



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-22:102

APPLICANTS: Owner S. Popic

SUBJECT PROPERTY: Municipal address **352 Devonshire Terrace, Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended

ZONING: R3 Residential "R3" Zone

PROPOSAL: To permit the construction a new "L-shaped" covered porch at the rear of an existing single-family dwelling notwithstanding that:

1. A minimum rear yard of 2.8m shall be permitted instead of the minimum required rear yard of 7.5m.

This application will be heard by the Committee as shown below:

DATE: Thursday, May 12th, 2022
TIME: 1:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

- Email Committee of Adjustment staff at cofa@hamilton.ca

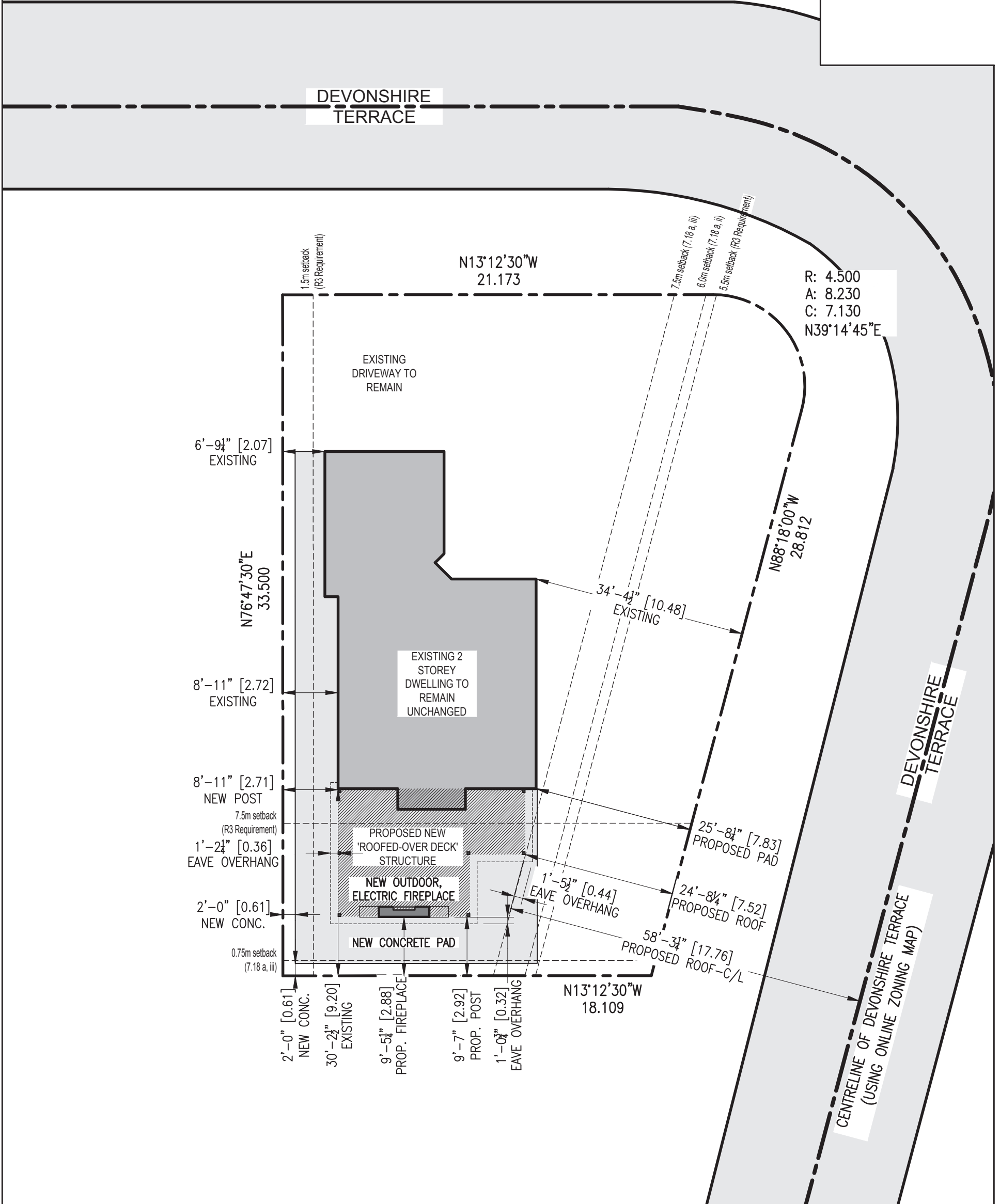
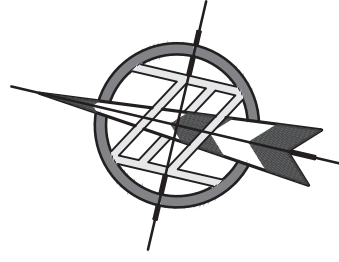
DATED: April 26th, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SITE STATISTICS

LOT AREA: 748.23 sq.m.
 COVERAGE: (R3 maximum = 35%)
 EXISTING HOUSE: 141.03 sq.m.
 PROP. PORCH: 46.14 sq.m. (7.18, a, v = 90 sq.m. MAX.)
 TOTAL: 187.17 sq.m. = 25.02%



SCHEDULE 1: DESIGNER INFORMATION

I BRIAN MATTHEWS DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK AND AM QUALIFIED IN THE APPROPRIATE CATEGORY AS AN "OTHER DESIGNER" UNDER SUBSECTION 3.2.2.2. OF THE BUILDING CODE.

INDIVIDUAL BCIN: 41322
 FIRM BCIN: 44237

SIGNATURE;

**POPIC PORCH,
 SITE PLAN, PROPOSED**

ADDRESS: 352 DEVONSHIRE TERRACE, ANCASTER, ON

btM Drafting & Design
 20 PRINCESS STREET WEST, CAYUGA, ON, N0A 1E0
 of. 289.736.0021
 ce. 905.912.2337
 em. btmdrafting@gmail.com



DRAWN BY:
 B.T. MATTHEWS

ISSUED FOR:
 MINOR VARIANCE

DATE:
 MAR. 17, 2022

SCALE:
 1/16" = 1'-0"

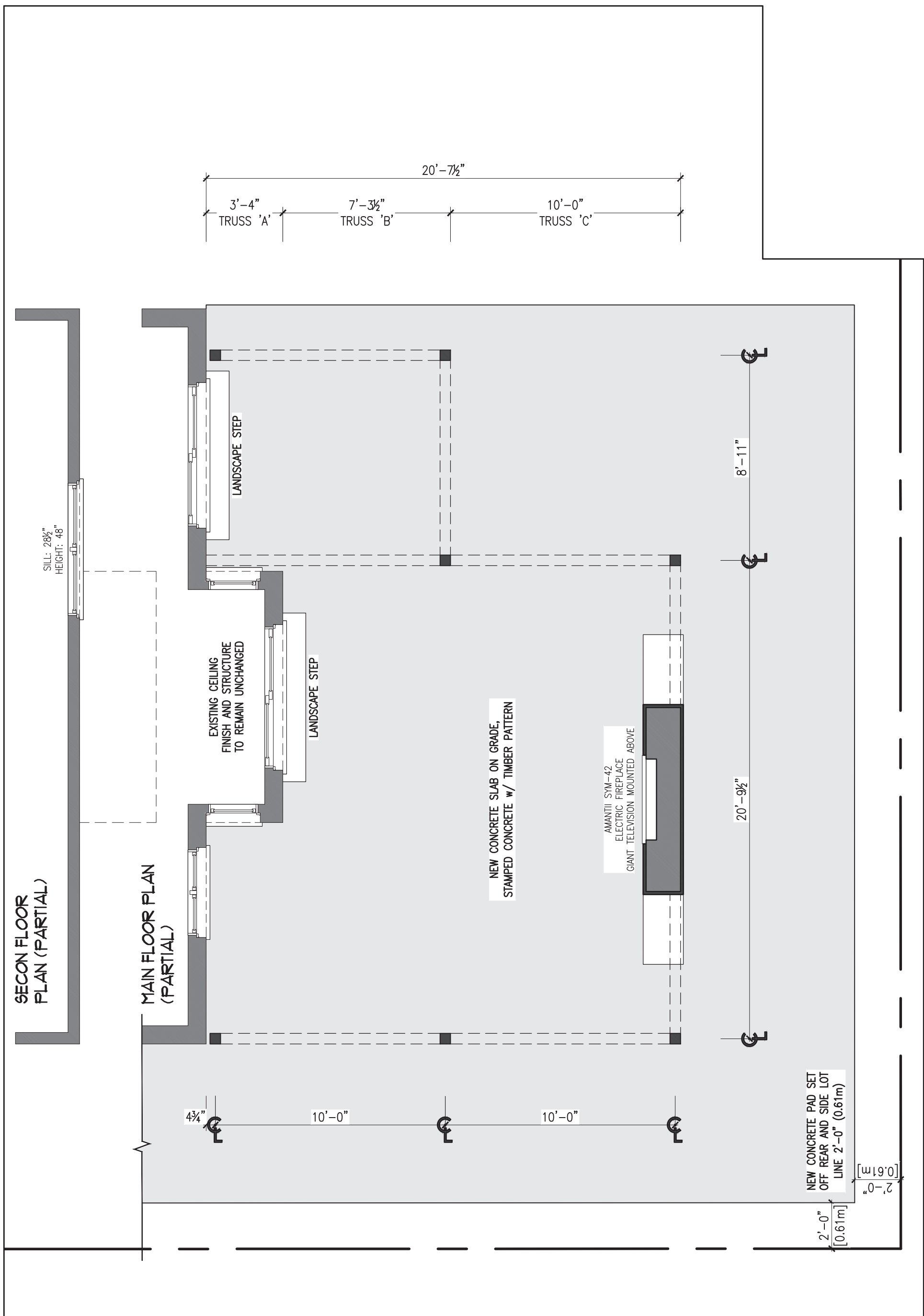
JOB No.

347-21

REVISION TO PAGE

SHEET / DETAIL No.

A2.1



SCHEDULE 1: DESIGNER INFORMATION

I BRIAN MATTHEWS DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK AND AM QUALIFIED IN THE APPROPRIATE CATEGORY AS AN "OTHER DESIGNER" UNDER SUBSECTION 3.2.2.2. OF THE BUILDING CODE.

INDIVIDUAL BCIN: 41322
 FIRM BCIN: 44237

SIGNATURE;

**POPIC PORCH,
 MAIN FLOOR PLAN, PROPOSED**

ADDRESS: 352 DEVONSHIRE TERRACE, ANCASTER, ON

btM Drafting & Design
 20 PRINCESS STREET WEST, CAYUGA, ON, N0A 1E0
 of. 289.736.0021
 ce. 905.912.2337
 em. btmdrafting@gmail.com



DRAWN BY:
B.T. MATTHEWS

ISSUED FOR:
MINOR VARIANCE

DATE:
MAR. 17, 2022

SCALE:
1/4" = 1'-0"

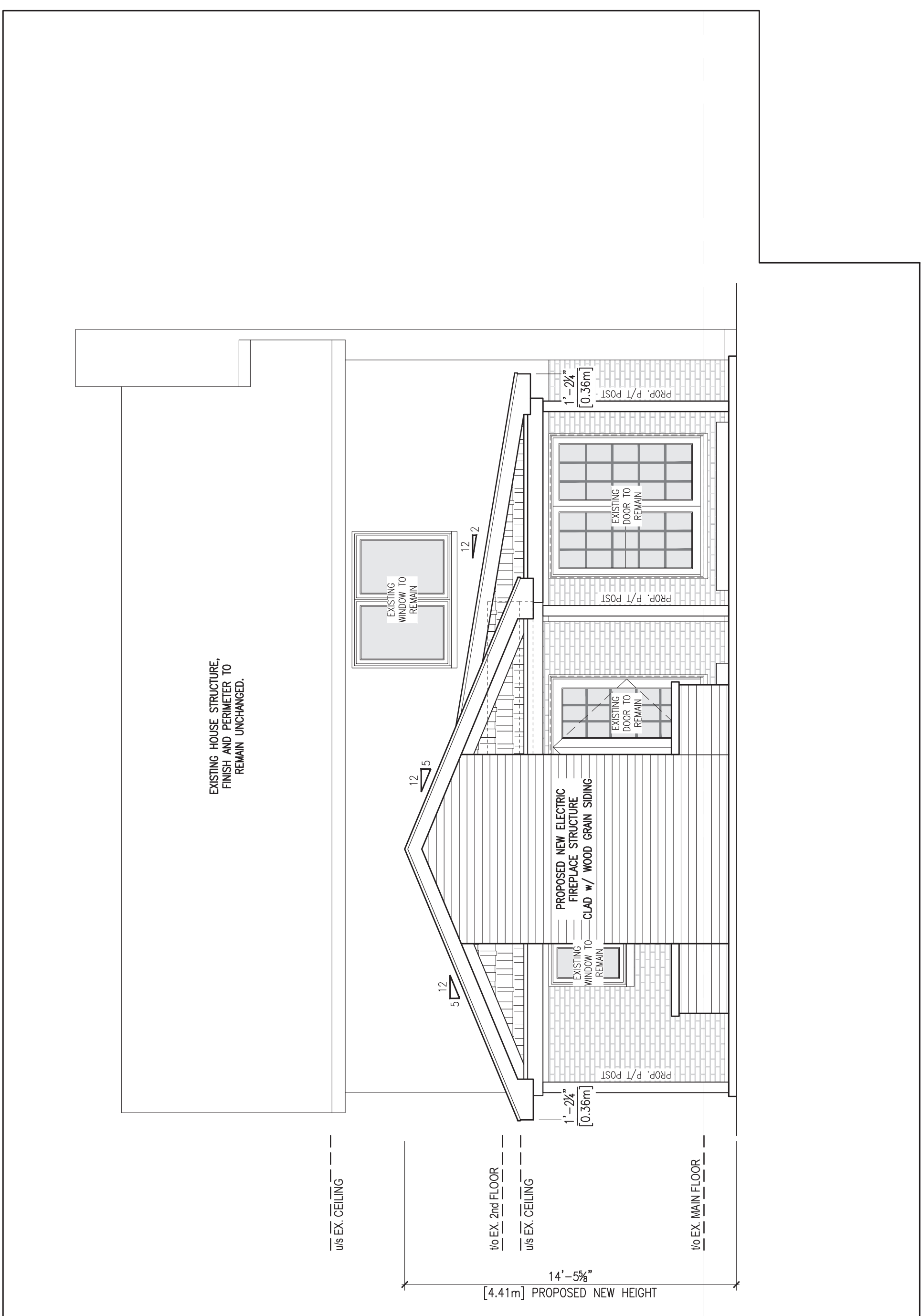
JOB No.

347-21

REVISION TO PAGE

SHEET / DETAIL No.

A3.1



SCHEDULE 1: DESIGNER INFORMATION

I BRIAN MATTHEWS DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK AND AM QUALIFIED IN THE APPROPRIATE CATEGORY AS AN "OTHER DESIGNER" UNDER SUBSECTION 3.2.2.2. OF THE BUILDING CODE.

INDIVIDUAL BCIN: 41322
 FIRM BCIN: 44237

SIGNATURE;

**POPIC PORCH,
 REAR ELEVATION, PROPOSED**

ADDRESS: 352 DEVONSHIRE TERRACE, ANCASTER, ON

btM Drafting & Design
 20 PRINCESS STREET WEST, CAYUGA, ON, N0A 1E0
 of. 289.736.0021
 ce. 905.912.2337
 em. btmdrafting@gmail.com



DRAWN BY:
B.T. MATTHEWS

ISSUED FOR:
MINOR VARIANCE

DATE:
MAR. 17, 2022

SCALE:
 1/4" = 1'-0"

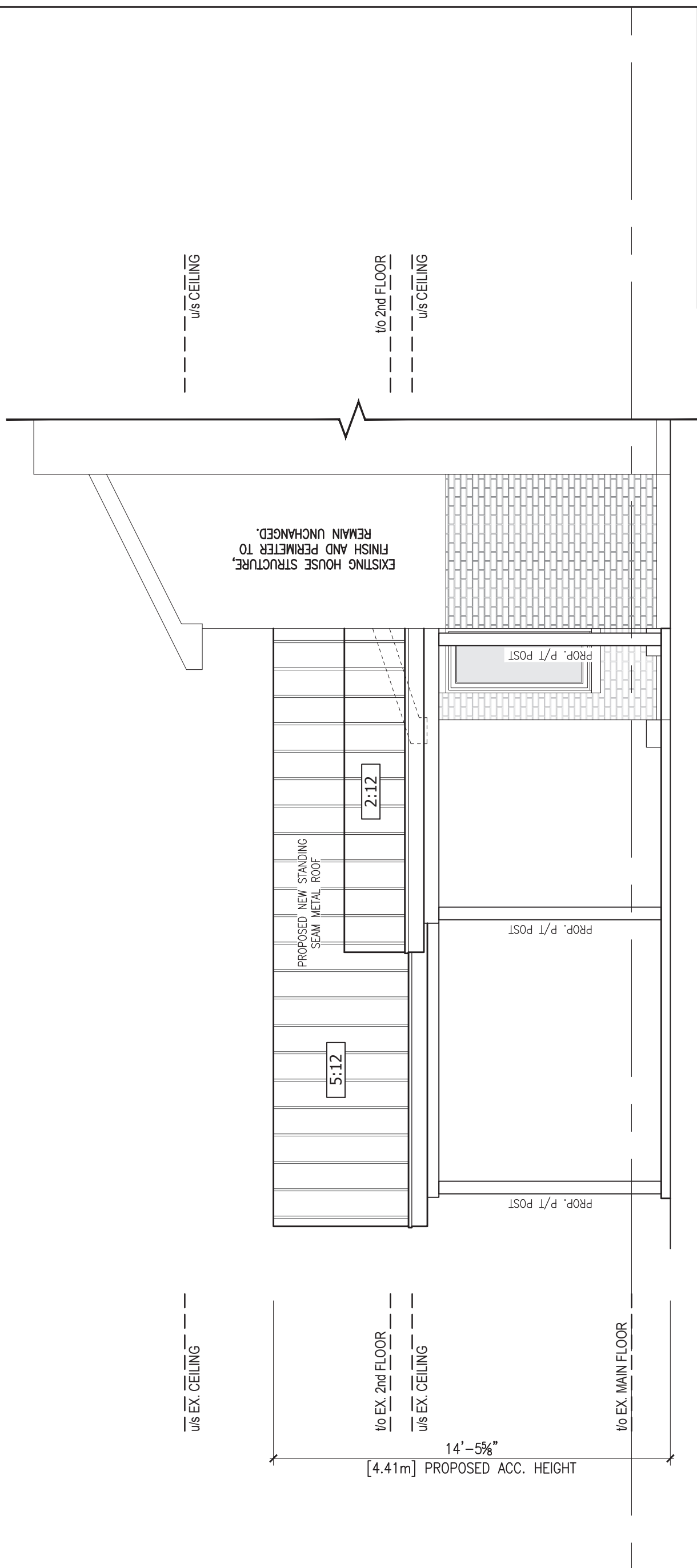
JOB No.

347-21

REVISION TO PAGE

SHEET / DETAIL No.

A4.1



SCHEDULE 1: DESIGNER INFORMATION

I BRIAN MATTHEWS DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK AND AM QUALIFIED IN THE APPROPRIATE CATEGORY AS AN "OTHER DESIGNER" UNDER SUBSECTION 3.2.2.2. OF THE BUILDING CODE.

INDIVIDUAL BCIN: 41322
 FIRM BCIN: 44237

SIGNATURE;

**POPIC PORCH,
 FLANKAGE YARD ELEVATION, PROPOSED**

ADDRESS: 352 DEVONSHIRE TERRACE, ANCASTER, ON

btM Drafting & Design
 20 PRINCESS STREET WEST, CAYUGA, ON, N0A 1E0
 of. 289.736.0021
 ce. 905.912.2337
 em. btmdrafting@gmail.com



DRAWN BY:
B.T. MATTHEWS

ISSUED FOR:
MINOR VARIANCE

DATE:
MAR. 17, 2022

SCALE:
 $\frac{1}{4}'' = 1'-0''$

JOB No.

347-21

REVISION TO PAGE

SHEET / DETAIL No.

A4.2



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

NONE.

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

To construct a "roofed-over deck" off the rear elevation of the existing single family dwelling.

Second Dwelling Unit

Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The existing rear yard setback requirement is too close to the rear face of the existing home to construct a useable covered area out back.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

352 Devonshire Terrace, Ancaster, Ontario

7. PREVIOUS USE OF PROPERTY

Residential

Industrial

Commercial

Agricultural

Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Hamilton.ca, Zoning Map.

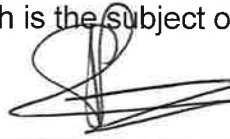
8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 17, 2022
Date


Signature Property Owner(s)
Sanjin Popic
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 21.173m + 8.23m curved.
Depth 33.50
Area 748.23 sq.m.
Width of street 9.14m (approximately).

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Existing house footprint 141.03 sq.m. There are no accessory buildings or other structures on site.

Proposed

New 'roofed over deck' 46.14 sq.m.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

See sketch attached.

Proposed:

See sketch attached.

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:

NONE.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

Subject property is zoned R3 in the Ancaster Zoning By-law 87-57.
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.