



NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:97

APPLICANTS: Agent R. & R. Design – R. Khanna
Owner P. Sawhney

SUBJECT PROPERTY: Municipal address **17 Grosvenor Ave. S., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 87-09

ZONING: “C” (Urban Protected Residential, etc.) district

PROPOSAL: To permit the conversion of the existing single family dwelling to contain a maximum of one Secondary Dwelling Unit, notwithstanding that:

1. No parking spaces shall be provided instead of the minimum required one (1) parking space.
2. The front yard landscaped area shall be a minimum of 1.3% the gross area of the front yard instead of the minimum 50.0% required front yard landscaped area

NOTE:

1. A building permit is required for the conversion of the existing single family dwelling into a two family dwelling. Be advised that Ontario Building Code regulations may require specific setback and construction types.

This application will be heard by the Committee as shown below:

DATE: Thursday, May 12th, 2022
TIME: 2:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: April 26th, 2022.

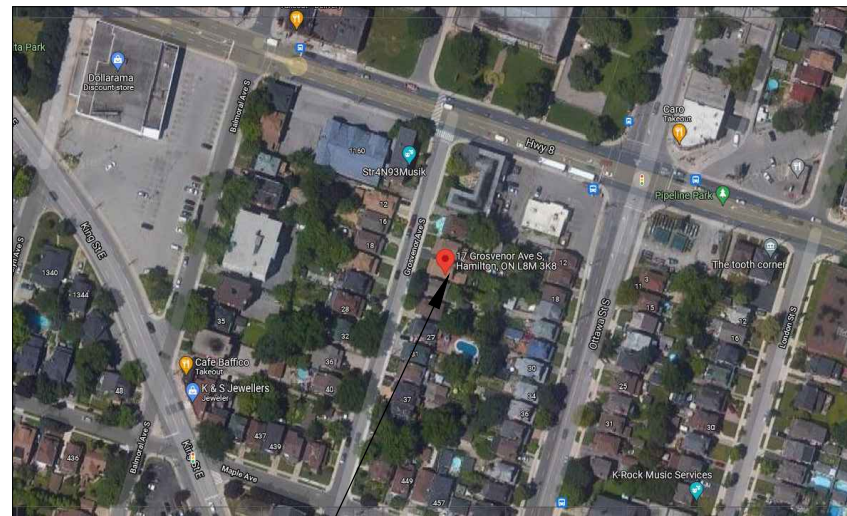
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

PERMIT FOR CONVERSION 17 GROSVENOR AVE. S., HAMILTON, ON L8M 3K8



EXISTING BUILDING IMAGE



AREA OF WORK



KEY MAP

SCOPE OF WORK:

1. CONVERSION OF EXISTING SINGLE FAMILY INTO TWO FAMILY DWELLING.
2. INTERIOR ALTERATIONS, RENOVATIONS, FIRE SEPARATION WORK AND OTHER RELATED WORKS.

SCOPE OF WORK

TITLE/SITE	REVISIONS				
ARCHITECTURAL					
A0.01 COVER PAGE					
SP1.01 EXISTING SITE PLAN					
SP1.02 PROPOSED SITE PLAN					
A0.02 GENERAL NOTES					
A0.03 SCHEDULE					
A1.01 EXISTING BASEMENT FLOOR PLAN					
A1.02 EXISTING FIRST FLOOR PLAN					
A1.03 EXISTING SECOND FLOOR PLAN					
A1.04 EXISTING ATTIC FLOOR PLAN					
A1.05 PROPOSED BASEMENT FLOOR PLAN					
A1.06 PROPOSED FIRST FLOOR PLAN					
A1.07 PROPOSED SECOND FLOOR PLAN					
A1.08 PROPOSED ATTIC FLOOR PLAN					
A2.01 SECTION					

SHEET INDEX

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED, ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

ARCHITECT
ENGINEER

R&R DESIGNS INC.



Another project by
92 STAPLETON AVE
HAMILTON, ON L8H 3N6
Tel: 905.547-8668
RICHIE@R-DESIGNS.NET
WWW.R-DESIGNS.NET

REVISIONS

NO.	DESCRIPTION	DATE
△	CLIENT REVIEW	2021-11-25
△	ISSUED FOR PERMIT	2021-11-30
△	MINOR VARIANCE	2022-03-18
△		
△		
△		

PROJECT #. RR55

DRAWN BY: DD
REVIEWED BY: R.K
DATE: 2021-11-30

PROJECT NAME
CONVERSION TO TWO UNITS

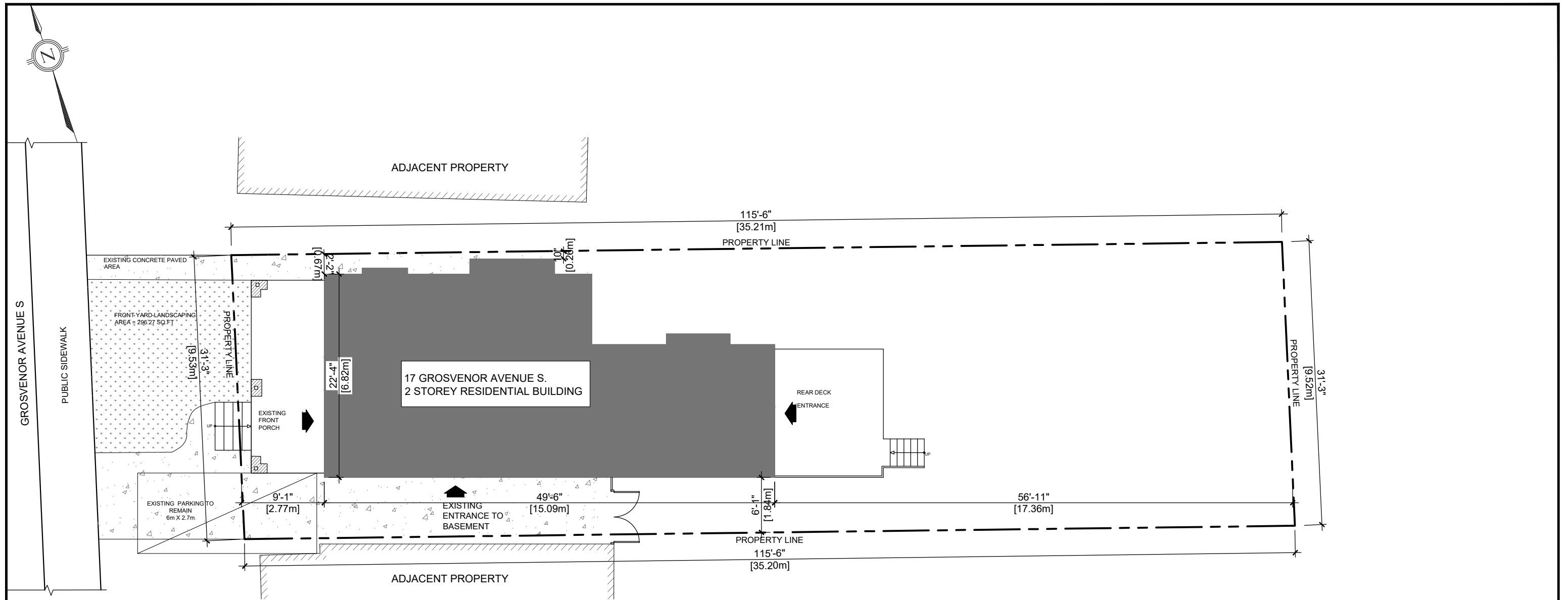
ADDRESS:
17 GROSVENOR AVE S.,
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SHEET NAME

COVER PAGE

SHEET NO.

A0.01



1 EXISTING SITE PLAN
Scale: 3/32"=1'-0"

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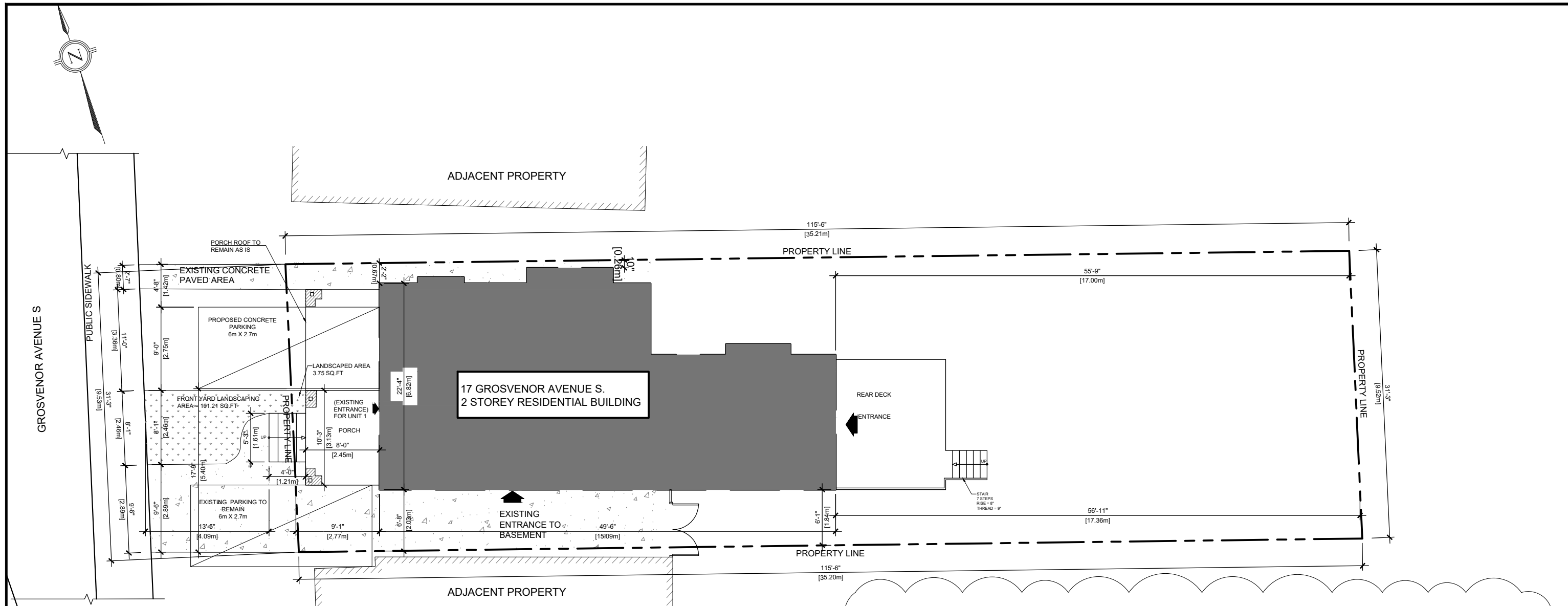
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ADDRESS:
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SHEET NAME
SITE PLAN

SHEET NO. **SP1.01**



1 PROPOSED SITE PLAN
Scale: 3/32"=1'-0"

SITE STATISTICS	
SITE LOT	0.08 ACRE (323.75 m ²) (EXISTING)
FRONTAGE	31'-3" (9.53 m) (EXISTING)
DEPTH	115'-6" (35.21 m) (EXISTING)
ZONING CODE	C
ZONING DESCRIPTION	URBAN PROTECTED RESIDENTIAL
PARENT BY-LAW	6593 FORMER HAMILTON
PARKING	1 EXISTING SPOT 1 PROPOSED

BUILDING SETBACKS	
FRONT	2.77 m (EXISTING)
REAR	17.36 m (EXISTING)
NORTH SIDE	0.26 m (EXISTING)
SOUTH SIDE	1.84 m (EXISTING)
BUILDING STATISTICS	
HEIGHT	EXISTING TO REMAIN
WIDTH	6.82 m (EXISTING)
DEPTH	15.09 m (EXISTING)
# OF STOREYS	2 + BASEMENT AND ATTIC

LOCATION	Sqm	AREA	Sqft	PERCENTAGE
BASEMENT (UNIT 1)	88.37	PAVED	47.59+1.7+2.85+64.5 = 116.64	-
FIRST FLOOR (UNIT 1)	89.87	PORCH	89.5	-
UNIT 1	178.24	DRIVE WAY	86.7	-
SECOND FLOOR (UNIT 2)	61.15	LANDSCAPE	3.76	±1.3
ATTIC FLOOR (UNIT 2)	29.84	HARD SCAPE	116.64+89.5+86.7= 292.84	±98.7
UNIT 2	90.99	TOTAL	±296.7	100
UNIT 1 + UNIT 2	(178.24+90.99) = 269.23			

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SHEET NAME
SITE PLAN

SHEET NO. **SP1.02**

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DESIGN DRAWINGS AS THEY APPLY FOR EACH TRADE AS APPLICABLE TO THE PROJECT.
2. INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE WALLS ETC. INSPECT WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING. VERIFY WITH OWNER.
3. ALL BEAMS WITH POINT LOADS TO BE SIZED BY PROFESSIONAL ENGINEER.
4. PROVIDE ENGINEERED LINTELS FOR ALL OPENINGS SUPPORTING TRUSSES SPANNING MORE THAN 4 FEET.
5. ALL LEVEL BEAMS @ HEADERS TO BE PRE-ENGINEERED BY LVL SUPPLIER.
6. ANY PORTION OF CONCRETE WALL THAT IS LATERALLY UNSUPPORTED FOR 48" OR MORE IN LENGTH, MUST BE ENGINEERED.
7. ENERGY REQUIREMENTS AS PER SB-12 OF THE O.B.C.
8. MILLWORK SUB-CONTRACTOR OR GENERAL CONTRACTOR SHALL VERIFY ON SITE ALL DIMENSIONS THAT ARE NECESSARY FOR THE CONSTRUCTION & INSTALLATION OF FURNITURE, MILLWORK AND EQUIPMENT.
9. ALL SUB FLOORS SCREWED & GLUED TO FLOOR JOISTS.
10. ALL PERIMETER WALLS TO BE STRIPED FROM THE INSIDE, CLEANED, ALL MOLD TO BE REMOVED AND DAMAGED AREAS TO BE REPAIRED AND PREPARED TO RECEIVE NEW FINISH. (UNLESS NOTED OTHERWISE).
11. ALL SWITCHES AND OUTLETS TO BE INSTALLED AS

PER PART 9.34.2 OF THE O.B.C.

12. PLUMBING NOTE: PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR SHOWER UNITS. PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR ALL FAUCETS OR WATER HEATER SOURCE.
13. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND ALL FINISHED GRADES ON SITE.
14. ALL DIMENSIONS ARE TO INTERIOR WALL FACE. ONLY NEW INTERIOR PARTITION DIMENSIONS SHOWN ON PROPOSED DRAWING. EXTERIOR WALL AND EXITING INTERIOR WALL DIMENSIONS SHALL BE VERIFIED ON SITE.
15. FOR INTERIOR FINISHES, VERIFY WITH OWNER.
16. IF THERE IS NO SPECIFIED, EXISTING ITEMS TO REMAIN, REPAIR IF IT IS REQUIRED.

FIRE PROTECTION:

1. INTERCONNECTED CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN THE BASEMENT IN A RETURN DUCT THAT WILL SHUT OFF THE FURNACE FAN IN THE EVENT OF A FIRE. CARBON MONOXIDE DETECTORS REQUIRED FOR ALL FUEL APPLIANCES (O.B.C. 9.33.4.2).
2. INSTALL SMOKE ALARMS IN EACH SLEEPING ROOM ON EVERY FLOOR AS PER 9.10.19.3.(1) (B).
3. SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND. SMOKE ALARMS SHOULD CONFORM TO SECTION 9.10.19.6. (SILENCING).
4. ALL SMOKE ALARMS TO BE INTERCONNECTED AS PER 9.10.19.5. ALL SMOKE ALARMS TO HAVE VISUAL SIGNAL DEVICE IN ADDITION TO AN AUDIBLE SIGNAL DEVICE.

FIRE SEPARATION NOTES:

1. EXISTING FIRE SEPARATIONS TO BE MAINTAINED.
2. DAMAGED AREAS SHALL BE CORRECTED BY THE G.C. ANY PENETRATIONS SHALL BE SEALED TO ENSURE NO COMPROMISE OF FIRE RATINGS.
3. EVERY DOOR IN A FIRE SEPARATION SHALL HAVE A SELF-CLOSING DEVICE AS PER 9.10.12.10. (1).

WASHROOMS:

1. WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS.
2. USE MOISTURE RESISTANT DRYWALL IN WET AREAS.

STAIRS:

1. ALL HANDRAILS AND GUARDS TO BE INSTALLED AS PER SB-1 OF THE O.B.C.

CONTRACTOR TO VERIFY ALL THE DIMENSIONS ON SITE. ANY DISCREPANCY TO BE INFORMED TO THE DESIGNER RIGHT AWAY.

ALL NEW FIXTURES APPLIANCES, FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING AND INSTALLATION

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ADDRESS:	17 GROSVENOR AVE S., HAMILTON ON L8M 3K8

SHEET NAME	
GENERAL NOTES	
SHEET NO.	A0.02

EXTERIOR WALL ASSEMBLY			
WALL TAG	PLAN LEGEND	WALL CONSTRUCTION	WALL ASSEMBLY DESCRIPTION
W1			EXISTING EXTERIOR WALL EXISTING FRR NOT LESS THAN 45MIN (SB-3, TABLE 1, W1b)
W2			NEW BRICK VENEER EXTERIOR WALL ASSEMBLY: <ul style="list-style-type: none"> - BRICK VENEER - 3/4" AIR SPACE - 1 " RIGID INSULATION - BLUE SKIN VP-160 - 1/2" EXTERIOR PLYWOOD - 2X6 WOOD STUD @16"O/C - BATT INSULATION IN CAVITIES MINIMUM R-22 - 6" MIL POLY VAPOUR BARRIER - 1/2" GWB - INTERIOR FINISH
W3			EXISTING SIDING EXTERIOR WALL ASSEMBLY: <ul style="list-style-type: none"> - VINYL SIDING - 3/4" AIR SPACE - 1 " RIGID INSULATION - BLUE SKIN VP-160 - 1/2" EXTERIOR PLYWOOD - 2X6 WOOD STUD @16"O/C - BATT INSULATION IN CAVITIES MINIMUM R-22 - 6" MIL POLY VAPOUR BARRIER - 1/2" GWB - INTERIOR FINISH

INTERIOR PARTITION WALLS			
WALL TAG	PLAN LEGEND	WALL CONSTRUCTION	WALL ASSEMBLY DESCRIPTION
P1			EXISTING INTERIOR PARTITION WALL - TO REMAIN <ul style="list-style-type: none"> - INTERIOR FINISH - 1/2" (12.7MM) REGULAR GWB - 2X4 WOOD STUD @ 16" O.C. - 1/2" (12.7MM) REGULAR GWB - INTERIOR FINISH PROVIDE FOR DWELLING UNIT INSIDE INTERIOR WALLS
P2			NEW INTERIOR FIRE SEPARATION WALL <ul style="list-style-type: none"> - INTERIOR FINISH - 5/8" (15.9MM) TYPE X GWB - NEW OR EXISTING 2"x4" STUD @ 16" O.C. W/ NEW BATT INSULATION - RESILIENT METAL CHANNELS - 2 LAYERS 5/8" (15.9MM) TYPE X GWB - INTERIOR FINISH PROVIDE FOR MECHANICAL ROOM. FRR NOT LESS THAN 1HR (SB-3, TABLE 1, W4a) SOUND TRANSMISSION (STC) 51
P3			NEW INTERIOR PARTITION WALL <ul style="list-style-type: none"> - INTERIOR FINISH - 1/2" (12.7MM) REGULAR GWB - 2X4 WOOD STUD @ 16" O.C. - 1/2" (12.7MM) REGULAR GWB - INTERIOR FINISH PROVIDE FOR DWELLING INTERIOR PARTITIONS.

FLOOR & ROOF ASSEMBLY		
FLOOR TAG	FLOOR CONSTRUCTION	FLOOR ASSEMBLY DESCRIPTION
FC1		EXISTING GROUND FLOOR ASSEMBLY <ul style="list-style-type: none"> - NEW FLOOR FINISH - EXISTING WOOD FLOOR ASSEMBLY TO REMAIN 1/2"(15.5MM) PLYWOOD SUBFLOOR WOOD JOIST @16" O.C. - NEW 1 LAYER 1/2" REGULAR GWB - NEW CEILING FINISH
FC2		FLOOR ASSEMBLY - FIRE RATED PROVIDE FOR BASEMENT MECHANICAL ROOM AND SECOND FLOOR <ul style="list-style-type: none"> - NEW FLOOR FINISH - EXISTING WOOD FLOOR ASSEMBLY TO REMAIN 1/2"(15.5MM) PLYWOOD SUBFLOOR WOOD JOIST @16" O.C. - NEW ABSORPTIVE MATERIAL IN CAVITY - RESILIENT METAL CHANNEL PERPENDICULAR TO JOIST @16" O/C - 2 LAYERS 5/8" (15.9MM) TYPE X GWB - CEILING FINISH FRR NOT LESS THAN 1HR (SB-3, TABLE 2, F9c) SOUND TRANSMISSION (STC) 52
ROOF TAG	ROOF CONSTRUCTION	ROOF ASSEMBLY DESCRIPTION
RC1		EXISTING ROOF ASSEMBLY <ul style="list-style-type: none"> - EXISTING ROOF FINISH TO REMAIN - EXISTING ROOF MEMBRANE TO REMAIN - EXISTING ROOF STRUCTURAL ASSEMBLY TO REMAIN - EXISTING ROOF CEILING JOIST W/ INSULATION TO REMAIN - EXISTING 1 LAYER 1/2" REGULAR GWB - NEW CEILING FINISH FRR NOT LESS THAN 45MIN (SB-3, TABLE 2, R1)

LEGEND:

- EXISTING WALL/ PARTITION TO REMAIN
- NEW EXTERIOR WALL
- NEW INTERIOR PARTITION
- NEW FIRE SEPARATION PARTITION (1 HR FRR, 50 STC)
- WALL TO BE DEMOLISHED
- NEW SMOKE ALARM INTERCONNECTED AND CO DETECTOR WITH VISUAL SIGNALING COMPONENT
- NEW EXHAUST FAN

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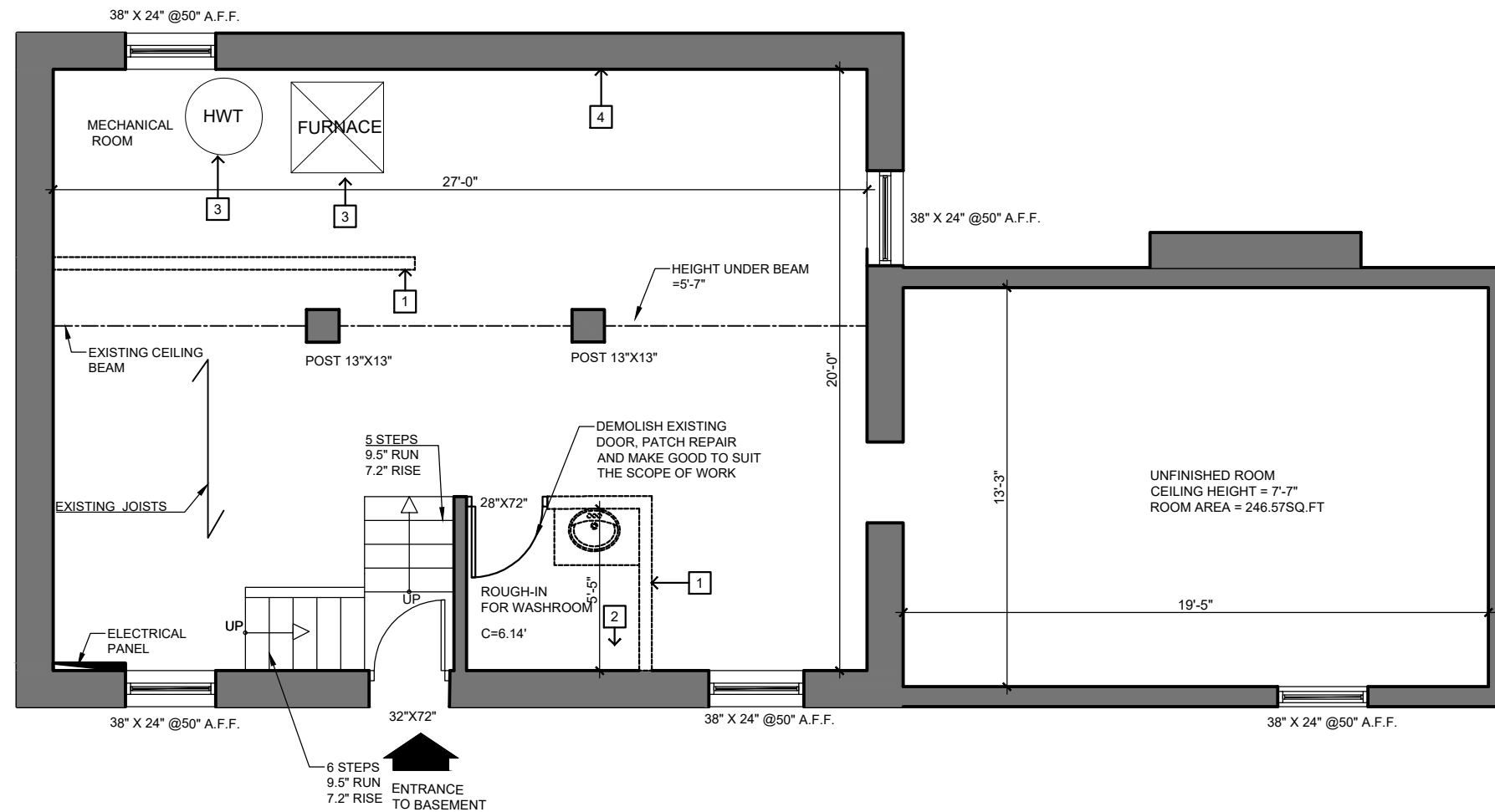
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SHEET NAME
SCHEDULES

SHEET NO. **A0.03**



DEMO KEY NOTES:

1. DEMOLISH EXISTING INTERIOR WALL .
2. DEMOLISH EXISTING WASHROOM .
3. RELOCATE THE EXISTING FURNACE AND HWT.REFER PROPOSED BASEMENT FLOOR PLAN.
4. IF NOT MENTIONED EXISTING TO REMAIN AS IS.

PATCH REPAIR AND MAKE GOOD THE AREA AFFECTED BY SCOPE OF WORK. REFER TO PROPOSED FLOOR PLAN FOR SCOPE OF WORK

ALL NEW FIXTURES APPLIANCES, FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING AND INSTALLATION

1 EXISTING BASEMENT FLOOR PLAN

Scale: 3/16=1'-0"

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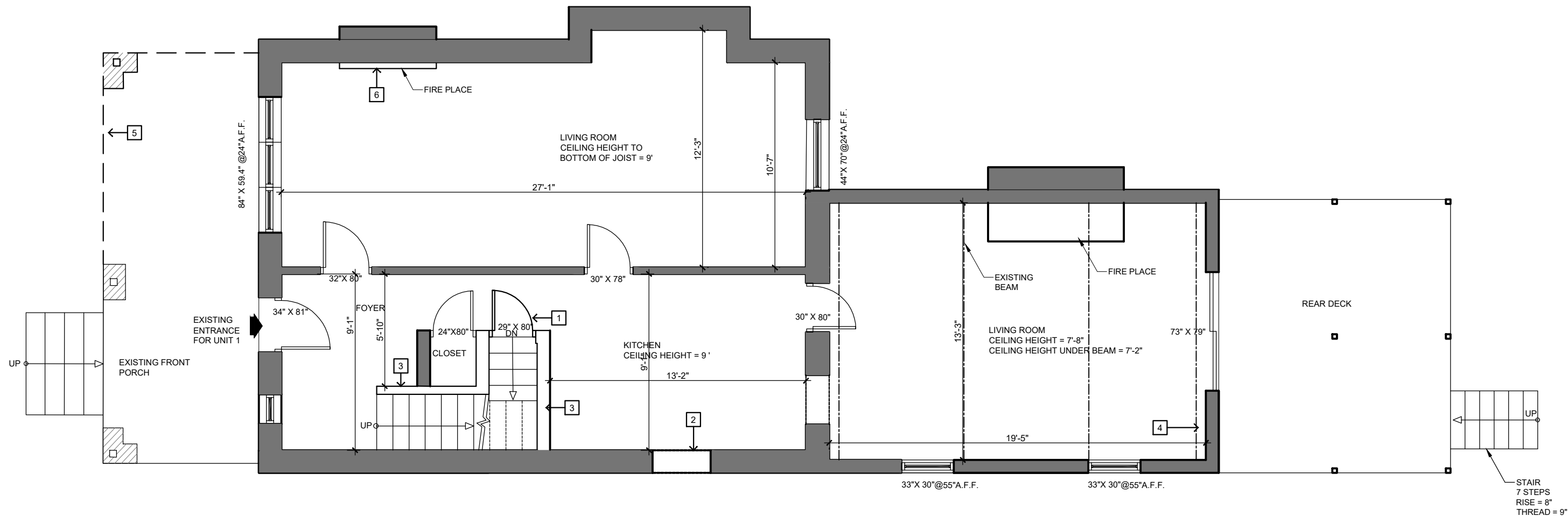
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SHEET NAME

EXISTING BASEMENT
FLOOR PLAN

SHEET NO.

A1.01



1 EXISTING FIRST FLOOR PLAN
Scale: 3/16"=1'-0"

- DEMO KEY NOTES:**
1. DEMOLISH EXISTING INTERIOR DOOR.
 2. CUT EXISTING WALL FOR NEW WINDOW.
 3. EXISTING INTERIOR WALL: REMOVE EXISTING GYPSUM BOARD, STUDS TO REMAIN AS IS. PATCH AND REPAIR, PREPARE TO INSTALL NEW FIRE SEPARATION WALL. FOR WALL ASSEMBLY REFER TO WALL SCHEDULES, SEE SHEET A0.03.
 4. IF NOT MENTIONED, EXISTING TO REMAIN AS IS.
 5. DEMOLISH A PORTION OF EXISTING FRONT PORCH SHOWN IN DASHED LINE. ROOF AND POSTS TO REMAIN AS IS. CUT THE DECK TO MAKE ROOM FOR PARKING. REFER SITE PLAN FOR PROPOSED SCOPE OF WORK FOR THIS AREA.
 6. DEMOLISH EXISTING FIREPLACE.

PATCH REPAIR AND MAKE GOOD THE AREA AFFECTED BY SCOPE OF WORK. REFER TO PROPOSED FLOOR PLAN FOR SCOPE OF WORK

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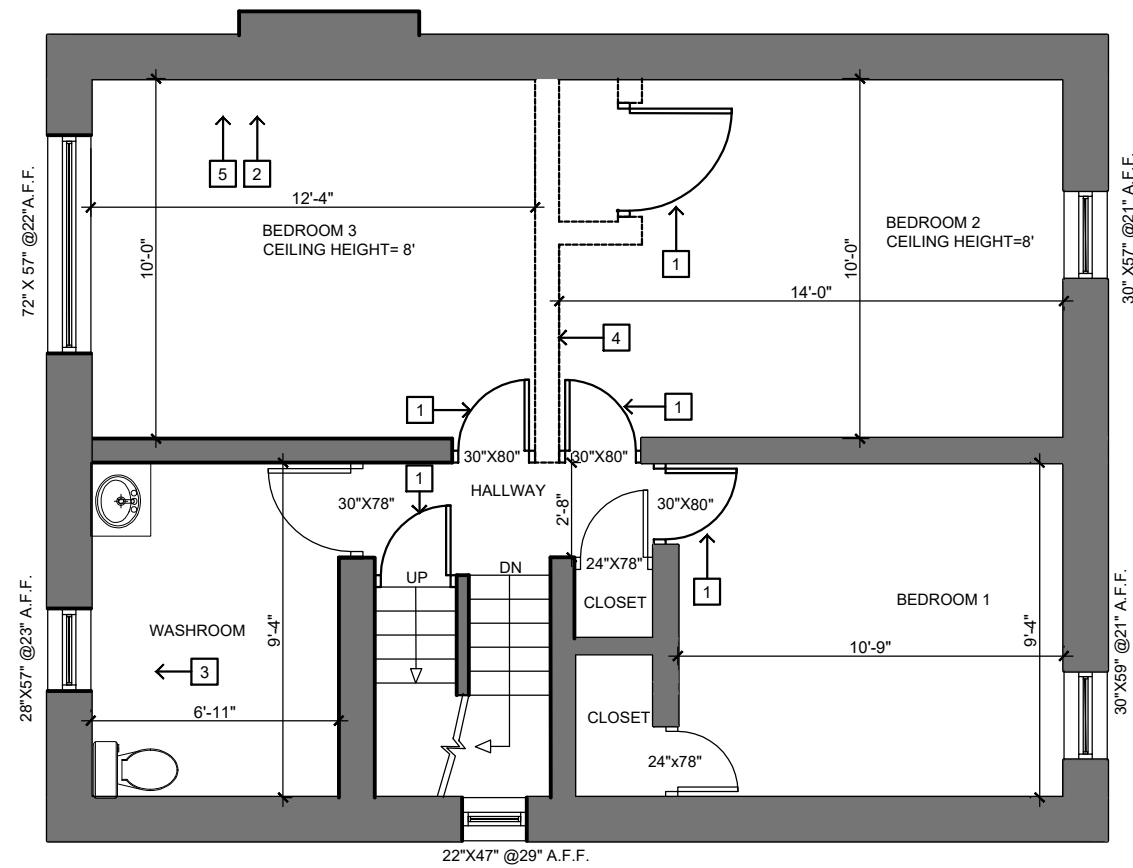
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SHEET NAME
EXISTING FIRST FLOOR PLAN

SHEET NO. **A1.02**



DEMO KEY NOTES:

1. DEMOLISH EXISTING DOORS.
2. PATCH AND REPAIR EXISTING EXTERIOR WALLS AS REQUIRED.
3. REMOVE EXISTING BATHROOM FIXTURES AND REPLACE WITH NEW
4. DEMOLISH EXISTING INTERIOR WALLS SHOWN IN DASHED.
5. IF NOT MENTIONED, EXISTING TO REMAIN AS IS.

PATCH REPAIR AND MAKE GOOD THE AREA AFFECTED BY SCOPE OF WORK. REFER TO PROPOSED FLOOR PLAN FOR SCOPE OF WORK

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1 EXISTING SECOND FLOOR PLAN

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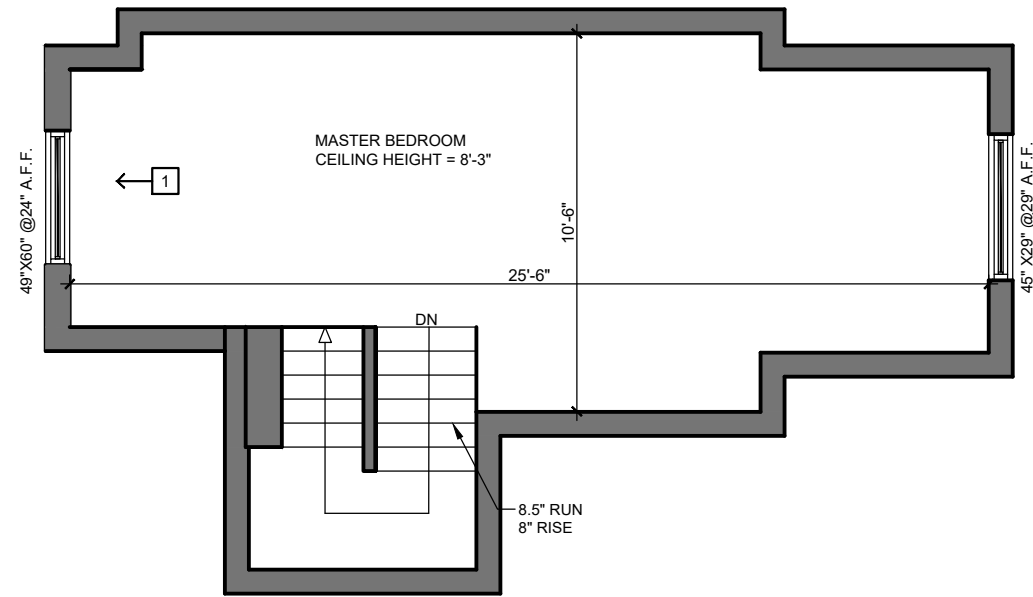
SHEET NAME	
EXISTING SECOND FLOOR PLAN	
SHEET NO.	A1.03

DEMO KEY NOTES:

1. IF NOT MENTIONED EXISTING TO REMAIN AS IS.

PATCH REPAIR AND MAKE GOOD THE AREA AFFECTED BY SCOPE OF WORK. REFER TO PROPOSED FLOOR PLAN FOR SCOPE OF WORK

ALL NEW FIXTURES APPLIANCES, FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING AND INSTALLATION



1

EXISTING ATTIC FLOOR PLAN

Scale: 3/16"=1'-0"

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED, ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

ARCHITECT
ENGINEER

R&R DESIGNS INC.



92 STAPLETON AVE
HAMILTON, ON L8H 3N6
Tel: 905.547-8668
RICHIE@R-DESIGNS.NET
WWW.R-DESIGNS.NET

REVISIONS

NO.	DESCRIPTION	DATE
△	CLIENT REVIEW	2021-11-25
△	ISSUED FOR PERMIT	2021-11-30
△	MINOR VARIANCE	2022-03-18
△		
△		

PROJECT #. RR55

DRAWN BY: DD
REVIEWED BY: R.K
DATE: 2021-11-30

PROJECT NAME
CONVERSION TO TWO UNITS

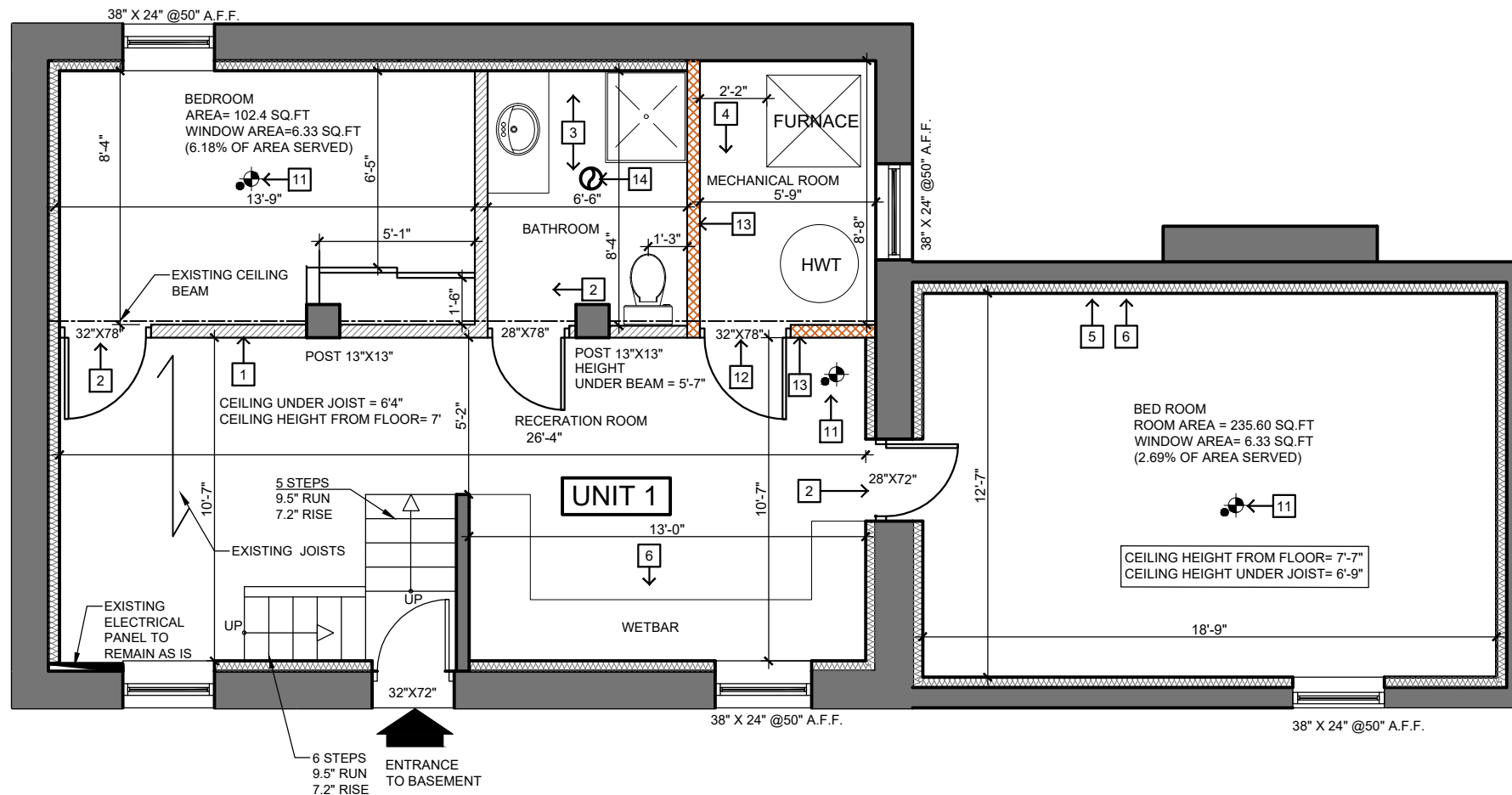
ADDRESS:
17 GROSVENOR AVE S.,
HAMILTON ON L8M 3K8

SHEET NAME

EXISTING ATTIC
FLOOR PLAN

SHEET NO.

A1.04



CONSTRUCTION KEY NOTES:

1. INSTALL NEW REGULAR INTERIOR WALL. INTERIOR WALL ASSEMBLY :
 -1/2" DRYWALL
 -2X4 STUDS
 -1/2" DRYWALL
2. INSTALL NEW DOORS .NOTE: DIMENSIONS DOES NOT INCLUDE DOOR FRAME.
3. INSTALL NEW FIXTURES AS SHOWN ON PLAN.
4. INSTALL NEW MECHANICAL ROOM
5. INSTALL INTERIOR INSULATED WALL FROM INTERIOR SIDE OF EXTERIOR WALL PERIMETER. WALL ASSEMBLY:
 - EXISTING CONCRETE FOUNDATION WALL
 -NEW 2X4 WOOD STUD @ 16" O/C
 -NEW BATT INSULATION MINIMUM R-20
 -NEW 6MIL VAPOUR BARRIER
 -NEW 1/2" REGULAR GYPSUM BOARD
 -NEW INTERIOR FINISH
10. INSTALL NEW WETBAR
11. INSTALL INTERCONNECTED CO/SMOKE DETECTORS .
12. INSTALL NEW FIRE RATED DOOR TO MECHANICAL ROOM.DOOR TO MEET 1 HR FRR.
13. INSTALL NEW FIRE SEPARATION WALL TO SEPARATE MECHANICAL ROOM. MAINTAIN WALL TO MEET 1 HOUR FIRE RESISTANCE RATING (FRR). WALL ASSEMBLY:
 - INTERIOR FINISH
 - 5/8" (15.9MM) TYPE X GWB
 - 2X4 WOOD STUD 16" O.C. W/ ABSORPTIVE MATERIAL
 - 5/8" (15.9MM) TYPE X GWB
 - INTERIOR FINISH
14. INSTALL NEW EXHAUST FAN IN BATHROOM IF MISSING.

1 PROPOSED BASEMENT FLOOR PLAN
 Scale: 3/16"=1'-0"

NOTE: BASEMENT AND FIRST FLOOR TO BE UNIT 1,
 SECOND FLOOR AND ATTIC TO BE UNIT 2

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED , ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

**ARCHITECT
ENGINEER**

R&R DESIGNS INC.
 Another project by

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PROJECT #. RR55

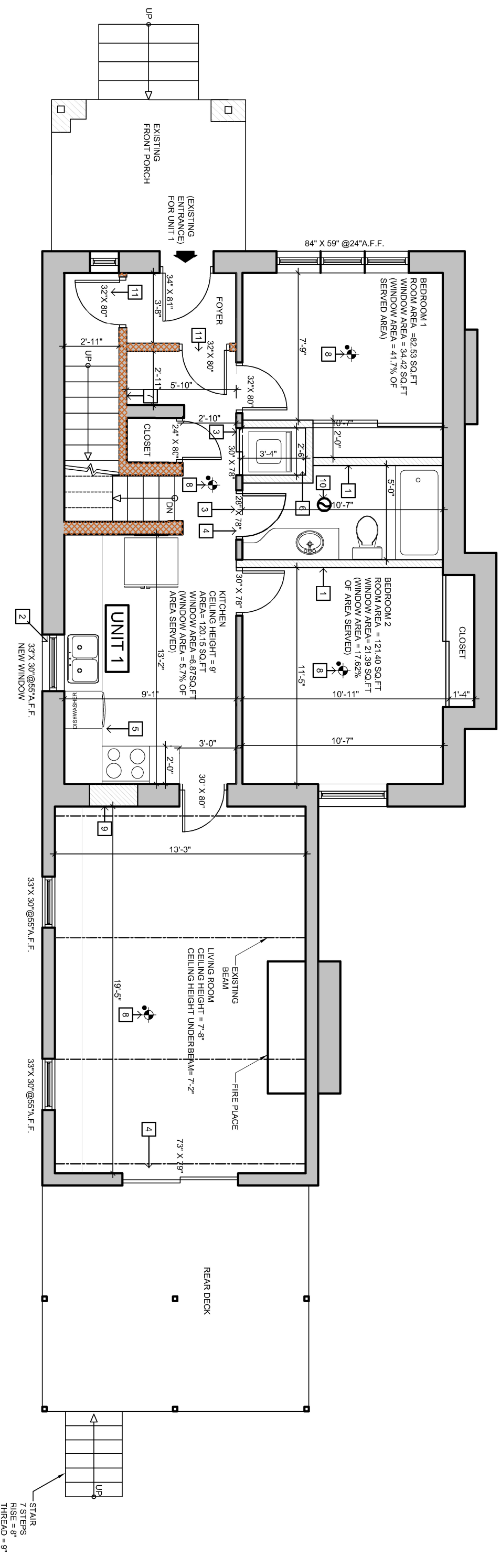
DRAWN BY: DD
 REVIEWED BY: R.K
 DATE: 2021-11-30

PROJECT NAME
 CONVERSION TO TWO UNITS

ADDRESS:
 17 GROSVENOR AVE S.,
 HAMILTON ON L8M 3K8

SHEET NAME
 PROPOSED BASEMENT
 FLOOR PLAN

SHEET NO. **A1.05**



1 PROPOSED FIRST FLOOR PLAN
Scale: 3/16"=1'-0"

CONSTRUCTION KEY NOTES:

1. INSTALL NEW REGULAR INTERIOR WALL WALL ASSEMBLY:
-1/2" DRYWALL
-2X4 STUDS
-1/2" DRYWALL
2. INSTALL NEW/ EXTERIOR WINDOWS. NOTE: DIMENSIONS ON DRAWING NOT INCLUDE WINDOW FRAMES. DOUBLE CHECK WINDOW SIZES ON SITE BEFORE COMMENCING WORK.
3. INSTALL NEW/ INTERIOR DOORS. NOTE: DIMENSIONS ON DRAWING NOT INCLUDE DOOR FRAMES.
4. INSTALL NEW BATHROOM AND BATHROOM FIXTURES.
5. INSTALL NEW KITCHEN MILLWORK.
6. INSTALL NEW STACKABLE LAUNDRY.
7. INSTALL NEW FIRE SEPARATION WALL TO MEET 1 HOUR FIRE RESISTANCE RATING (FRR).
WALL ASSEMBLY:
- INTERIOR FINISH
- 5/8" (15.9MM) TYPE X GWB
- 2X4 WOOD STUD 16" O.C. W/ ABSORPTIVE MATERIAL
- 5/8" (15.9MM) TYPE X GWB
- INTERIOR FINISH
8. INSTALL NEW INTERCONNECTED COSMOKE DETECTOR.
9. CLOSE EXISTING OPENING IN THE INTERIOR WALL. MATCH WALL COMPOSITION WITH THE ADJACENT WALL..
10. INSTALL NEW EXHAUST FAN IF MISSING.
11. INSTALL NEW 45 MINS FRR INTERIOR DOORS. NOTE: DIMENSIONS ON DRAWING NOT INCLUDE DOOR FRAMES.

NOTE: BASEMENT AND FIRST FLOOR TO BE UNIT 1, SECOND FLOOR AND ATTIC TO BE UNIT 2

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED, ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

ARCHITECT
ENGINEER

R&R DESIGNS INC.
Another project by
RR designs
Architectural Services, Residential & Commercial

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RICHE@R-RDESIGNS.NET
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REVISIONS		
NO.	DESCRIPTION	DATE
Δ	CLIENT REVIEW	2021-11-25
Δ	ISSUED FOR PERMIT	2021-11-30
Δ	MINOR VARIANCE	2022-03-18

PROJECT #: RR55

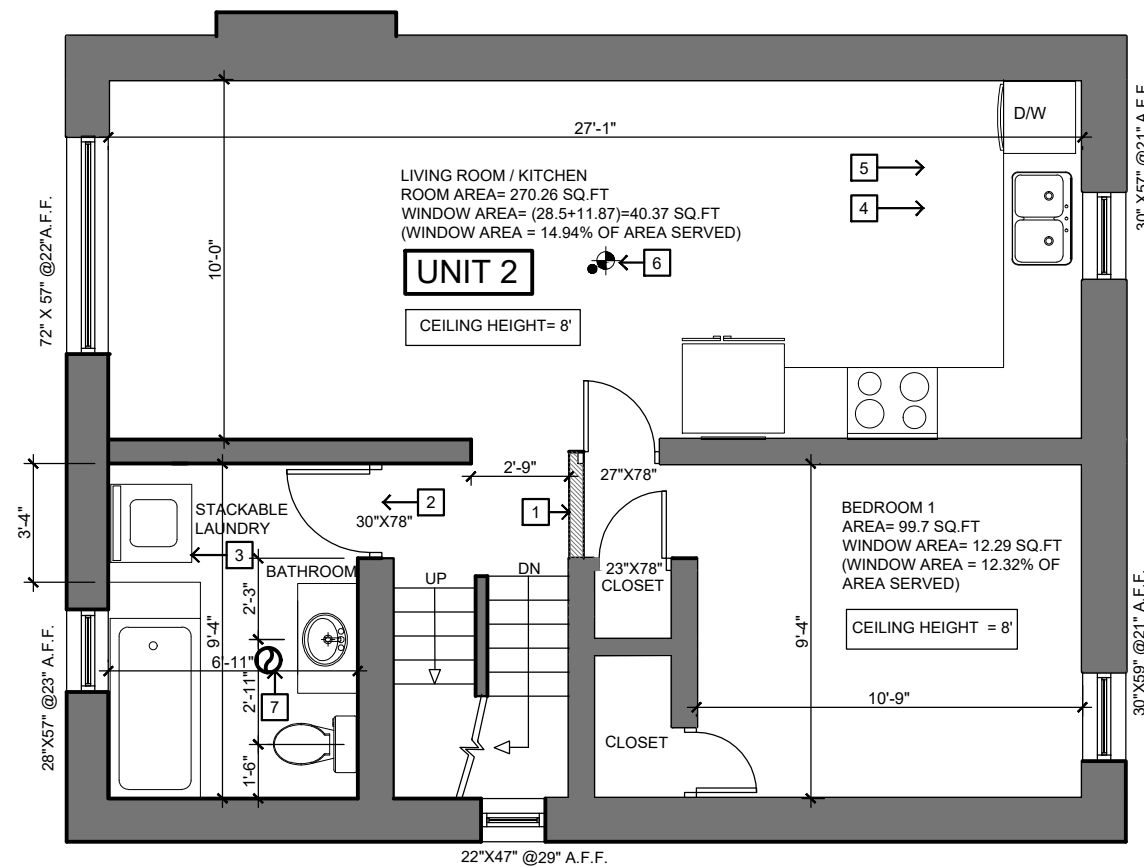
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REVIEWED BY: R.K
DATE: 2021-11-30

PROJECT NAME
CONVERSION TO TWO UNITS

ADDRESS:
17 GROSVENOR AVE S.,
HAMILTON ON L8M 3K8

SHEET NAME
PROPOSED FIRST FLOOR PLAN

SHEET NO. **A1.06**



CONSTRUCTION KEY NOTES:

1. INSTALL NEW REGULAR INTERIOR WALL. WALL ASSEMBLY:
 -1/2" DRYWALL
 -2X4 STUDS
 -1/2" DRYWALL.
2. INSTALL NEW INTERIOR DOORS. NOTE: DIMENSIONS ON DRAWING NOT INCLUDE DOOR FRAMES.
3. INSTALL NEW STACKABLE LAUNDRY. VENT DIRECTLY TO THE EXTERIOR.
4. INSTALL NEW KITCHEN MILLWORK.
5. IF NOT MENTIONED EXISTING TO REMAIN AS IS.
6. INSTALL INTERCONNECTED CO/SMOKE DETECTOR.
7. INSTALL NEW EXHAUST FAN IN BATHROOM IF MISSING.

1 PROPOSED SECOND FLOOR PLAN

Scale: 3/16"=1'-0"

NOTE: BASEMENT AND FIRST FLOOR TO BE UNIT 1,
 SECOND FLOOR AND ATTIC TO BE UNIT 2

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
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ARCHITECT
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R&R DESIGNS INC.

Another project by



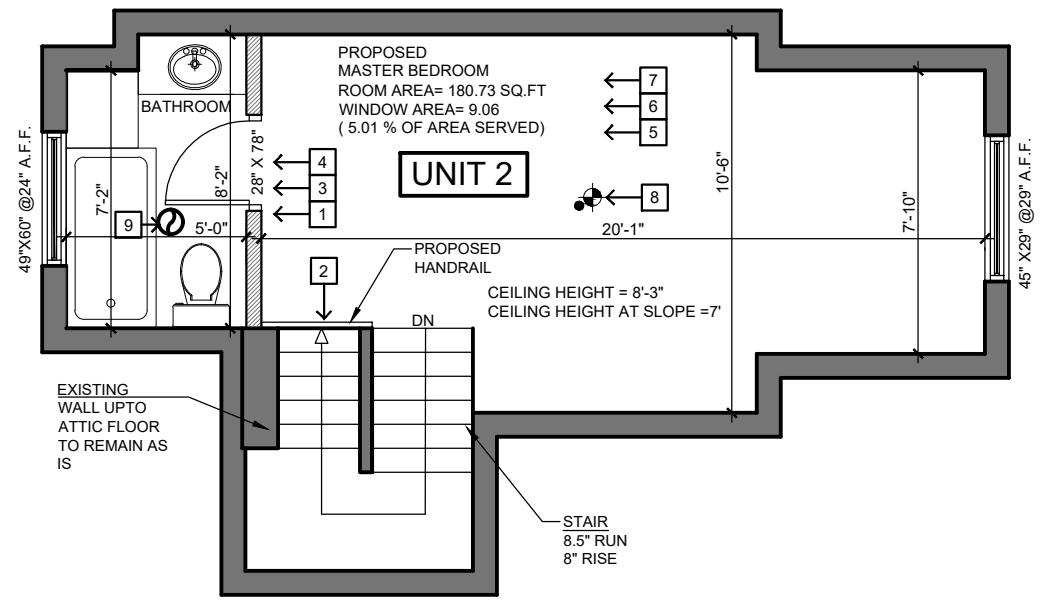
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PROJECT #.	RR55
DRAWN BY:	DD
REVIEWED BY:	R.K
DATE:	2021-11-30

PROJECT NAME	CONVERSION TO TWO UNITS
ADDRESS:	17 GROSVENOR AVE S., HAMILTON ON L8M 3K8

SHEET NAME	
PROPOSED SECOND FLOOR PLAN	
SHEET NO.	A1.07



CONSTRUCTION KEY NOTES:

1. INSTALL NEW REGULAR INTERIOR WALL. WALL ASSEMBLY:
 -1/2" DRYWALL
 -2X4 STUDS
 -1/2" DRYWALL
2. INSTALL NEW HANDRAILS AND GUARD RAILS. GUARDRAIL HEIGHT MINIMUM=42". HANDRAIL MINIMUM HEIGHT=36".
3. INSTALL NEW BATHROOM.
4. INSTALL NEW DOOR SIZE 28"X78"
5. INSTALL NEW FLOOR FINISHES ALL LEVEL THROUGHOUT.
6. INSTALL NEW TRIMS AND BASEBOARDS.
7. INSTALL NEW ELECTRICAL AND LIGHT FIXTURES.
8. INSTALL NEW INTERCONNECTED CO/SMOKE DETECTOR ALARM.
9. INSTALL NEW EXHAUST FAN IN BATHROOM IF MISSING.

1 PROPOSED ATTIC FLOOR PLAN

Scale: 3/16"=1'-0"

NOTE: BASEMENT AND FIRST FLOOR TO BE UNIT 1, SECOND FLOOR AND ATTIC TO BE UNIT 2

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
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ARCHITECT
ENGINEER

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PROJECT #. RR55

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REVIEWED BY: R.K

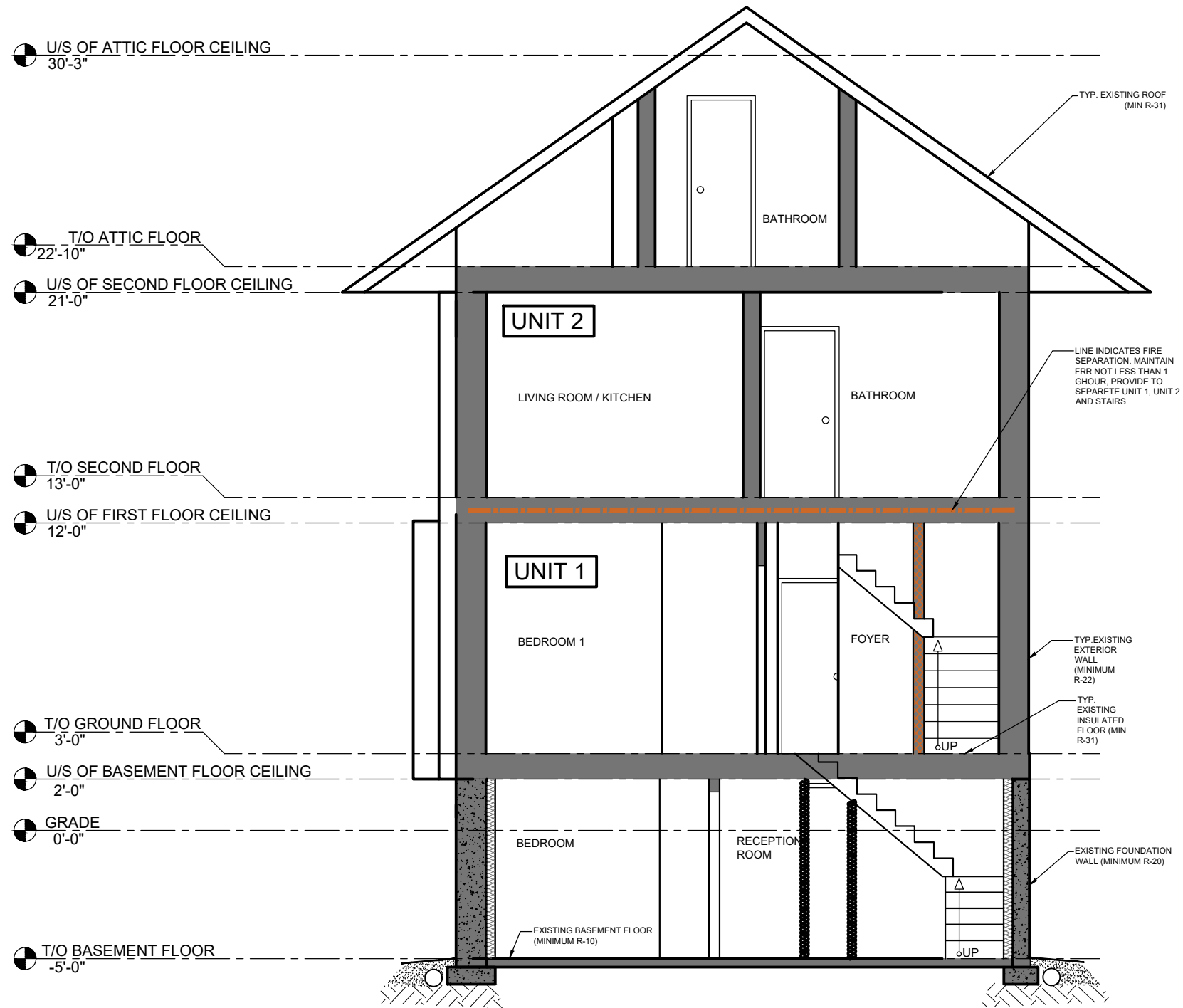
DATE: 2021-11-30

PROJECT NAME
CONVERSION TO TWO UNITS

ADDRESS:
17 GROSVENOR AVE S.,
HAMILTON ON L8M 3K8

SHEET NAME
PROPOSED ATTIC
FLOOR PLAN

SHEET NO. **A1.08**



1 SECTION
Scale: 3/16"=1'-0"

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
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3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED, ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

ARCHITECT
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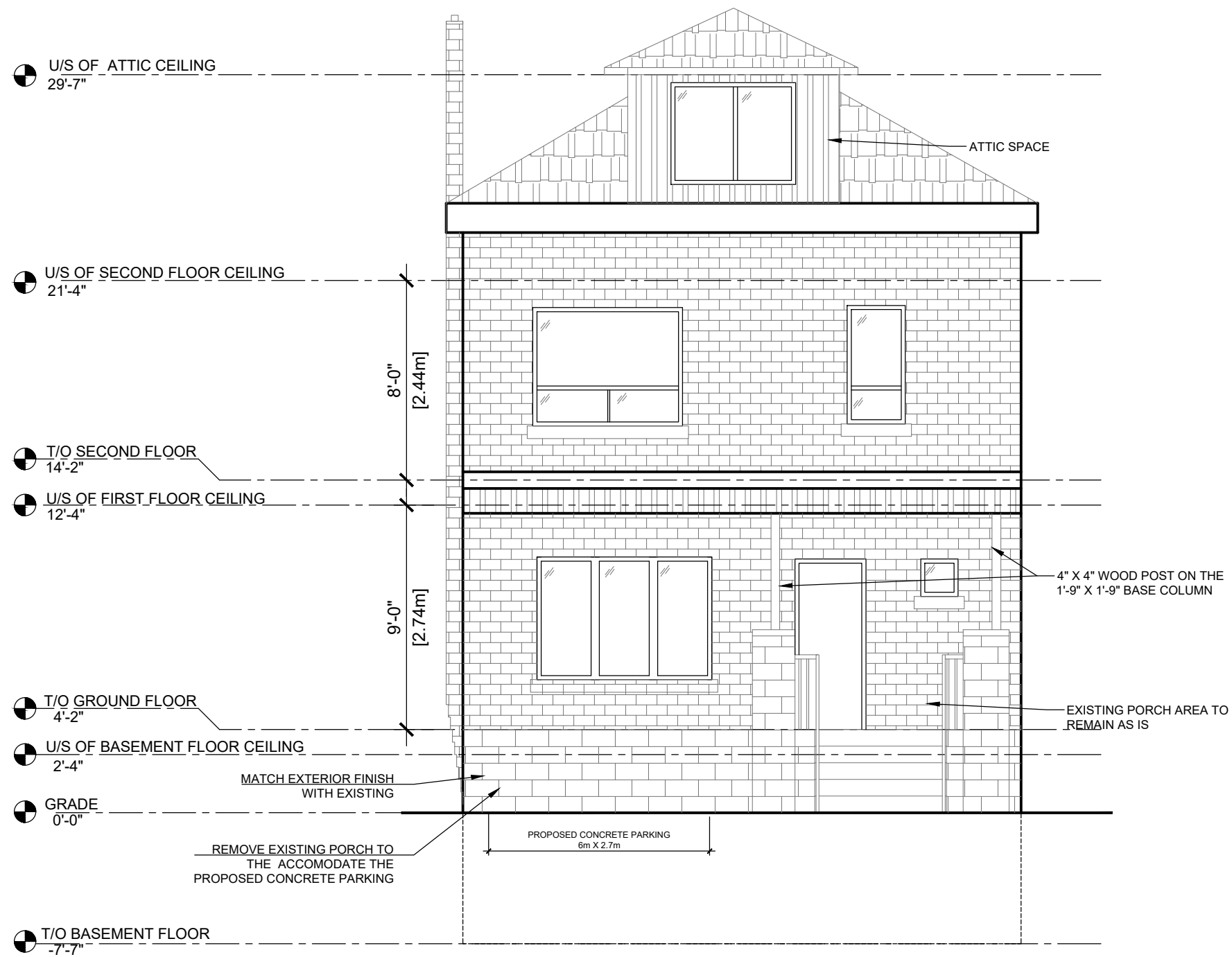
DATE: 2021-11-30

PROJECT NAME
CONVERSION TO TWO UNITS

ADDRESS:
17 GROSVENOR AVE S.,
HAMILTON ON L8M 3K8

SHEET NAME
BUILDING SECTION

SHEET NO. **A2.01**



1 FRONT ELEVATION
Scale: 3/16"=1'-0"

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
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ARCHITECT
ENGINEER

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PROJECT #. RR55

DRAWN BY: DD
REVIEWED BY: R.K
DATE: 2021-11-30

PROJECT NAME
CONVERSION TO TWO UNITS

ADDRESS:
17 GROSVENOR AVE S.,
HAMILTON ON L8M 3K8

SHEET NAME
BUILDING ELEVATION

SHEET NO. **A 3.01**



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Tribeca capital corporation 261 Sheppard Avenue West, Toronto, ON, M2N 1N4

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Additional proposed concrete Parking space(6m x 2.7m) in the front yard which reduces the green space required in the front yard. *Boulevard parking was applied & Denial letter from Hamilton Municipal parking system is attached.*

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Existing conditions- No room for the parking on site.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

17 GROSVENOR AVENUE SOUTH, HAMILTON

PT LTS 49 & 50, PL 586 , AS IN AB386566 ; PT AL, PL 586 , AS CLOSED BY HA2016

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

BASED ON DISCLOSURE OF PROPERTY USES BY THE SELLING AGENT

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

MARCH 10 2022
Date


Signature Property Owner(s)

PAULDEEP SAWHNEY
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 9.53 m
Depth 35.21 m
Area 323.75 17 m²
Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

House detail: basement floor area= 88.37m² , first floor area = 89.87m² second floor area: 61.15m², Attic floor area : 29.84m² Width= 6.82m Depth = 15.09m Height = ~9m

Proposed

No changes to overall area.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

House front setback: 2.77m , Rear setback: 17.36m , North side setback: 0.26m South side set back: 1.84m

Proposed:

No changes

13. Date of acquisition of subject lands:
DEC 4, 2021
-
14. Date of construction of all buildings and structures on subject lands:
APPROX. 1935
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Residential , Single family dwelling.
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Residential
-
17. Length of time the existing uses of the subject property have continued:
SINCE BUILT
-
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|--------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
6593 FORMER HAMILTON, ZONE "C" ,URBAN PROTECTED RESIDENTIAL
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
6593 Former Hamilton
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
- Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
- Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
- Yes No
23. Additional Information (please include separate sheet if needed)
-
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.