



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: FL/B-22:26

SUBJECT PROPERTY: 130 Coreslab Dr., Flamborough

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICANT(S): Agent Urban in Mind – T. Glover
Owner Lehigh Hanson – E. Tucker

PURPOSE OF APPLICATION: For the establishment of an easement for access and maintenance purposes in favour of property known as 81 Hwy 5

Easement:
12.00m[±] x 57.32m[±]

The Committee of Adjustment will hear this application on:

DATE: Thursday, May 12th, 2022
TIME: 3:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)

To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

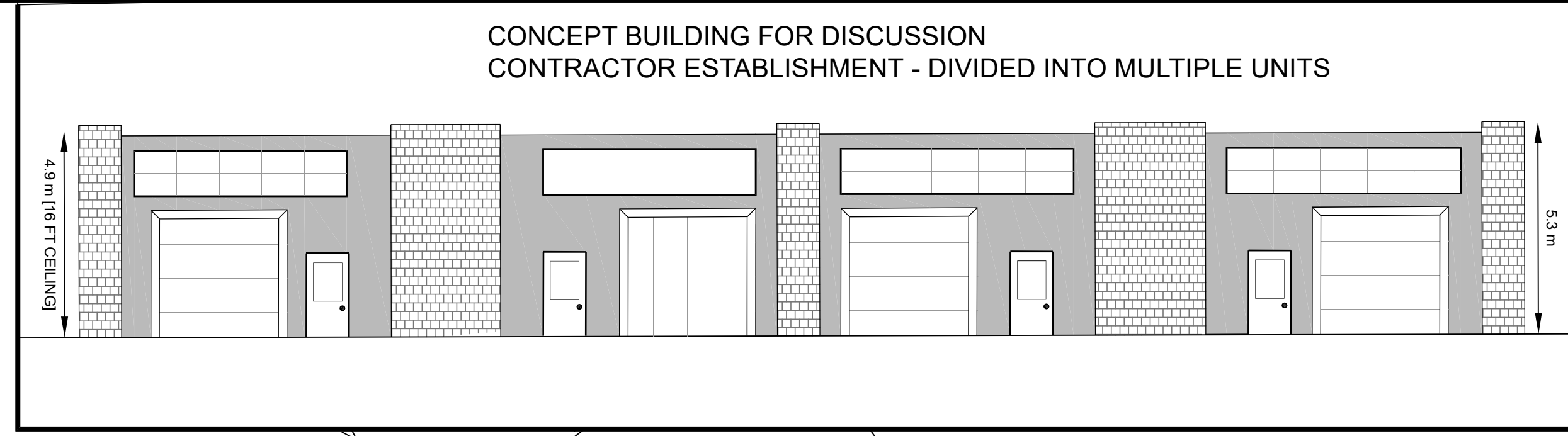
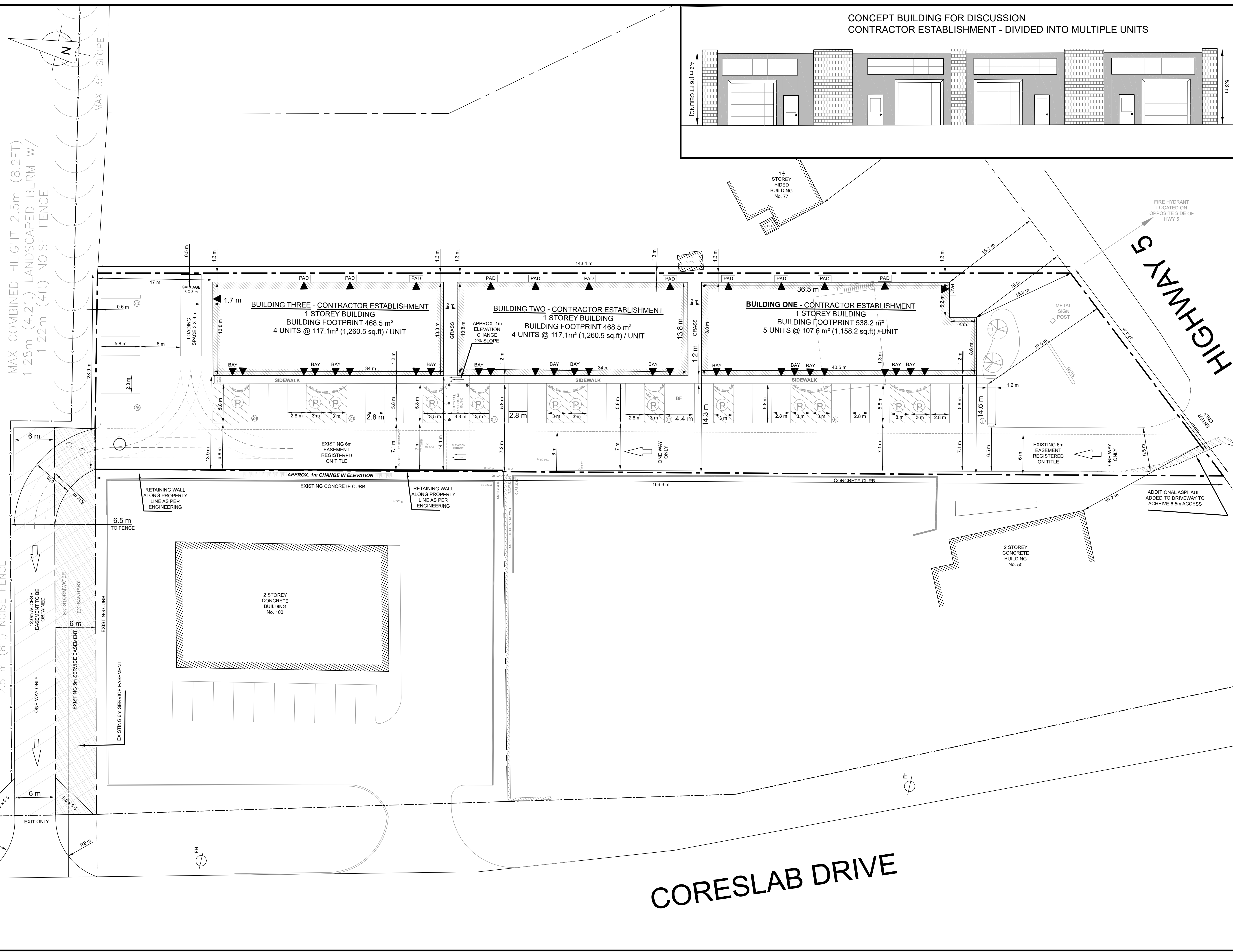
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: April 26th, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



CONCEPT SITE PLAN

81 HIGHWAY No.5 WEST
HAMILTON, ONTARIO

CURRENT ZONING: M3 ZB 05-200
PROPOSED ZONING: M3 - SPECIAL

81 HWY # 5: 4,546.9 m² (1.12 ac, 0.45 ha)

ZONING: M3	REQUIRED	PROVIDED
MIN. LOT AREA	4,000 m²	4,546.9 m²

YARD		
FRONT YARD		15.0 m
INTERIOR SIDE YARD (EAST)		1.3 m
INTERIOR SIDE YARD (WEST)		13.9 m
REAR YARD		17.0 m

YARD ABUTTING STREET	6.0 m min. 27.0 m max.	15.0 m
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MIN. LANDSCAPE STRIP ABUTTING A STREET	6.0 m min.	6.0 m
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BUILDING FOOTPRINTS		1,475.2 m²
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BUILDING COVERAGE		32.4%
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BUILDING HEIGHT		± 5.3 m
-----------------	--	---------

LANDSCAPED O.S.		18.8% (852.2 m²)
-----------------	--	------------------

HARD SURFACE		48.8% (2,219.5 m²)
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PARKING		
CONTRACTOR	13 SPACES	13 SPACES
OFFICE (SEE NOTE 1)	17 SPACES	17 SPACES
TOTAL	30 SPACES	30 SPACES

BARRIER FREE	1 SPACE	1 SPACE
--------------	---------	---------

LOADING SPACE		1 SPACE
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PARKING RATE FOR PROPOSED USE:
CONTRACTOR ESTABLISHMENT RATE OF 1 SPACE / 115 m²
OFFICE USE RATE 1 SPACE / 30 m²

"NO PARKING" SPACES IN FRONT OF BAY DOORS TO ENSURE ACCESSIBILITY. TO INCREASE TOTAL PARKING COUNT - ADDITIONAL PARKING CAN BE PROVIDED BY CONVERTING "NO PARKING" TO "RESERVED" PARKING SPACES.

REGULAR PARKING SPACES ARE 2.8 m X 5.8 m
BARRIER FREE PARKING SPACES ARE 4.4 m X 5.8 m
BUILDING ONE - 538.2 m² - 5 UNITS @ 107.6 m² / UNIT
BUILDING TWO - 468.5 m² - 4 UNITS @ 117.1 m² / UNIT
BUILDING THREE - 468.5 m² - 4 UNITS @ 117.1 m² / UNIT


TOTAL GFA (CONTRACTOR ESTABLISHMENT + OFFICE) = 538.2 + 468.5 + 468.2 + 510 = 1,985.2 m² (21,368.5 sq.ft) LEASABLE AREA.

NOTE 1: THE PROPOSED DESIGN ALLOWS FOR THE CREATION OF 510 m² (5,490 sq.ft) OF MEZZANINE OFFICE SPACE IF DESIRED TO BE DIVIDED BETWEEN MULTIPLE UNITS

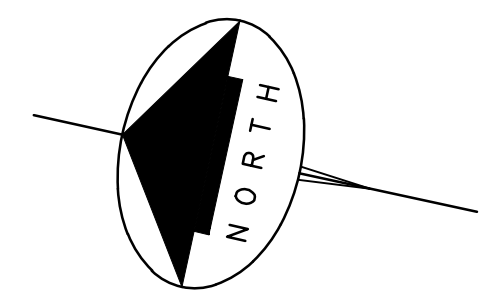
LEGEND
R - RESERVED - EMPLOYEE PARKING ONLY
BF - BARRIER FREE PARKING SPACE
FH - FIRE HYDRANT

REVISED FEB 7/22 ACCESS EASEMENT LOCATION AND DIRECTIONAL FLOW OF ON SITE TRAFFIC
REVISED MARCH 15/22 CHANGES TO BDLG TO MEET FIRE ROUTE AND REAR BDLG ACCESS.

NOTE: DRAWING IS FOR DISCUSSION PURPOSES ONLY. BASE SURVEY INFORMATION TAKEN FROM ASHENHURST NOUWENS & ASSOCIATES INC. PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS - HAMILTON, ONTARIO FILE: 15191 TOPO AND BLS. OCTOBER 7, 2015

PROJECT FILE NO. 2020_22	 www.URBANMIND.CA
SCALE: 1:250 WHEN PRINTED ON 24 X 36	
DATE: March 1, 2022	
DRAWN BY: S.C. REVIEWED BY: T.G.	

CORESLAB DRIVE



STORM SYSTEM			
MH No.	DESCRIPTION	T/G	INVERTS
ST1	1.2m ϕ P/C CB/MH	220.90E	W 219.37 S 219.40

SANITARY SYSTEM			
MH No.	DESCRIPTION	T/G	INVERTS
S1	1.2m ϕ P/C MH	221.88E	W 219.37 S 219.43
S2	1.2m ϕ P/C MH	219.68E	E 218.08 W 218.03

BLOCK 3
PLAN 62M-1011

PART 1
PLAN 2R-15239

PART 1
PLAN 2R-15231

BLOCK 1
PLAN 62M-1011

BLOCK 2
PLAN 62M-1011

HIGHWAY No. 5



APPROX. LOCATION OF EX. 150mm WATER SERVICE WHICH NEEDS TO BE UPGRADED TO 38mm FOR FUTURE DEVELOPMENT.

LEGEND:

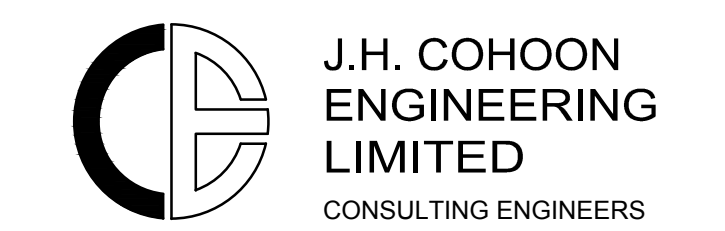
	EXISTING ELEVATIONS
	PROPOSED ELEVATIONS
	PROPOSED SWALE ELEVATIONS
	PROPOSED SWALE
	GENERAL DRAINAGE

- NOTES:**
- ALL ELEVATIONS SHOWN ARE METRIC.
 - BUILDER/OWNER TO VERIFY COMPLIANCE WITH ZONING BYLAWS (i.e. SIDEYARDS, SETBACKS, REARYARDS ETC.)

T.B.M. No. 1 ELEV. = 224.09m (GEO)
CUT CROSS IN TOP OF CURB ALONG THE WEST PROPERTY LINE OF SUBJECT PROPERTY AS SHOWN.

T.B.M. No. 2 ELEV. = 220.84m (GEO)
TOP NUT OF FIRE HYDRANT ON THE EAST SIDE OF CORESLAB DRIVE AS SHOWN.

NO.	REVISION	DATE (MM/DD/YY)	BY
1	EXIST. WATER SERVICE ADDED	09/12/16	I.A.C.



440 HARDY ROAD - UNIT #1 - BRANTFORD - ONTARIO - N3T 5J8
TEL. (519) 753-2656 FAX. (519) 753-4263 www.cohooneng.com

PROJECT:
PROPOSED SERVICING ESCARPMENT WOOLCOTT REALTY INC.
81 HIGHWAY No. 5 WEST
WATERDOWN, ONTARIO

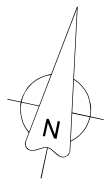
CLIENT:
DREW WOOLCOTT

SITE DEVELOPMENT PLAN

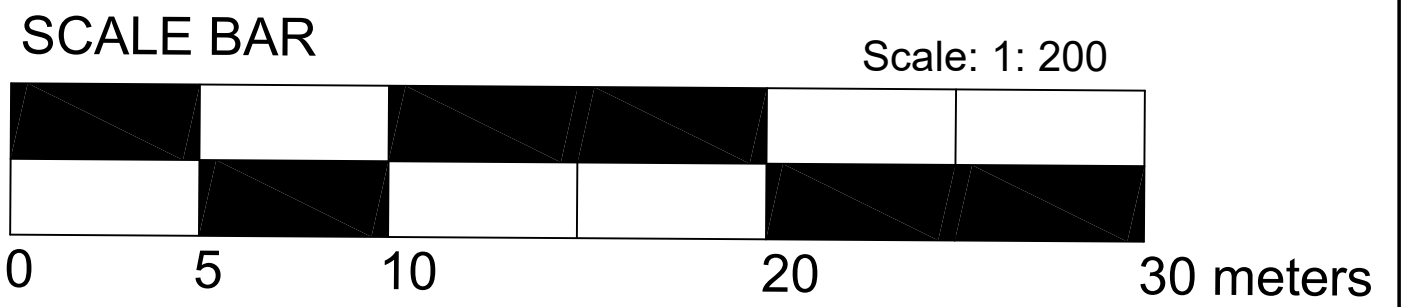
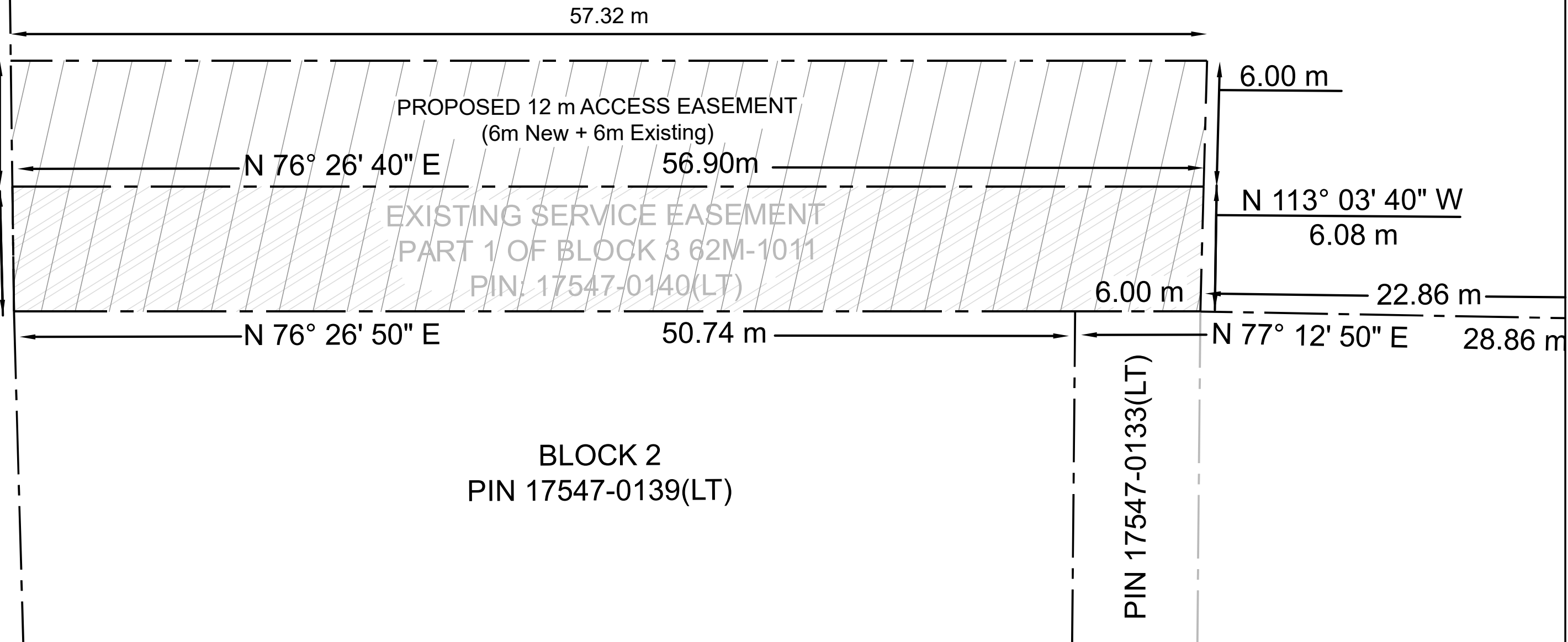
DESIGN:	R.W.P.	SCALE:	1:300
DRAWN:	K.P.B.	JOB No:	11566
CHECKED:	R.W.P.		
SHEET:	1 of 1	DWG. No:	11566-1
DATE:	MAY 30/16		

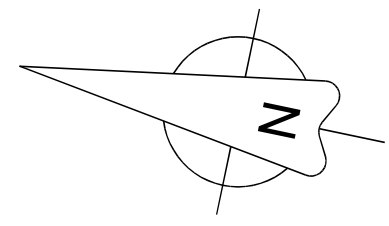
CORESLAB DRIVE

PROPOSED ACCESS Easement over 130 Coreslab Drive in Favour of 81 Hwy 5



CORESLAB DRIVE
 BY REGISTERED PLAN
 62M-1011 PIN 17547-0153(LT)





CONCEPT SITE PLAN

130 CORESLAB DRIVE
HAMILTON, ONTARIO

CURRENT ZONING: M2 (ZB 05-200)
PROPOSED ZONING: M2 (ZB 05-200)
M2- GENERAL BUSINESS PARK ZONE

130 CORESLAB DRIVE: 22,085 m² (5.46 ac, 2.21 ha)

COMMITTEE OF ADJUSTMENT FILE:
FL/B-16/97 & FL/A-07:12 & FL/A-08:60

ZONING: M2	REQUIRED	PROVIDED
MIN. LOT AREA	4,000 m ²	22,085 m ²

YARD		
YARD ABUTTING STREET	3.0 m min.	13.49 m EXISTING
OUTDOOR STORAGE AND ASSEMBLY	85%	430 m ²
VISUAL BARRIER (4.19)	REQUIRED	PROVIDED
MIN. LANDSCAPE STRIP ABUTTING A STREET	6.0 m (3m PLANTING STRIP)	5.31 m EXISTING

BUILDING COVERAGE		
MAIN BUILDING EXISTING	460.0 m ²	
AGGREGATE BINS EXISTING	72.5 m ²	
2 SILO'S EXISTING	20.0 m ²	
PROPOSED BATCH PLANT	430.0 m ²	
TOTAL	982.5 m²	4.5 % COVERAGE

OFFICE AREA	75.5 m ²	2.5 SPACES
MANUFACTURING	982.5 m ²	4.9 SPACES
TOTAL REQUIRED		8 SPACES
PARKING PROVIDED		19 SPACES
BARRIER FREE	1 SPACES	1 SPACES

PARKING RATES
OFFICE @ 1 / 30 m²
MAUFACTURING 1 / 200 m²
DESIGN STANDARDS
Parking Spaces 2.8 x 5.8 m
Barrier Free Spaces 4.4 x 5.8 m
For 1 - 49 = 1 Space
Drive Isle: 90 ° = 6.0 m

Mineral Aggregate Operation: c) Associated facilities used in extraction, transport, beneficiation, processing or recycling of Mineral Aggregate Resources, including concrete and asphalt recycling, and shall include a concrete batch plant, but shall not include an asphalt plant or the production of secondary related products.

NOTE: DRAWING IS FOR DISCUSSION PURPOSES ONLY.

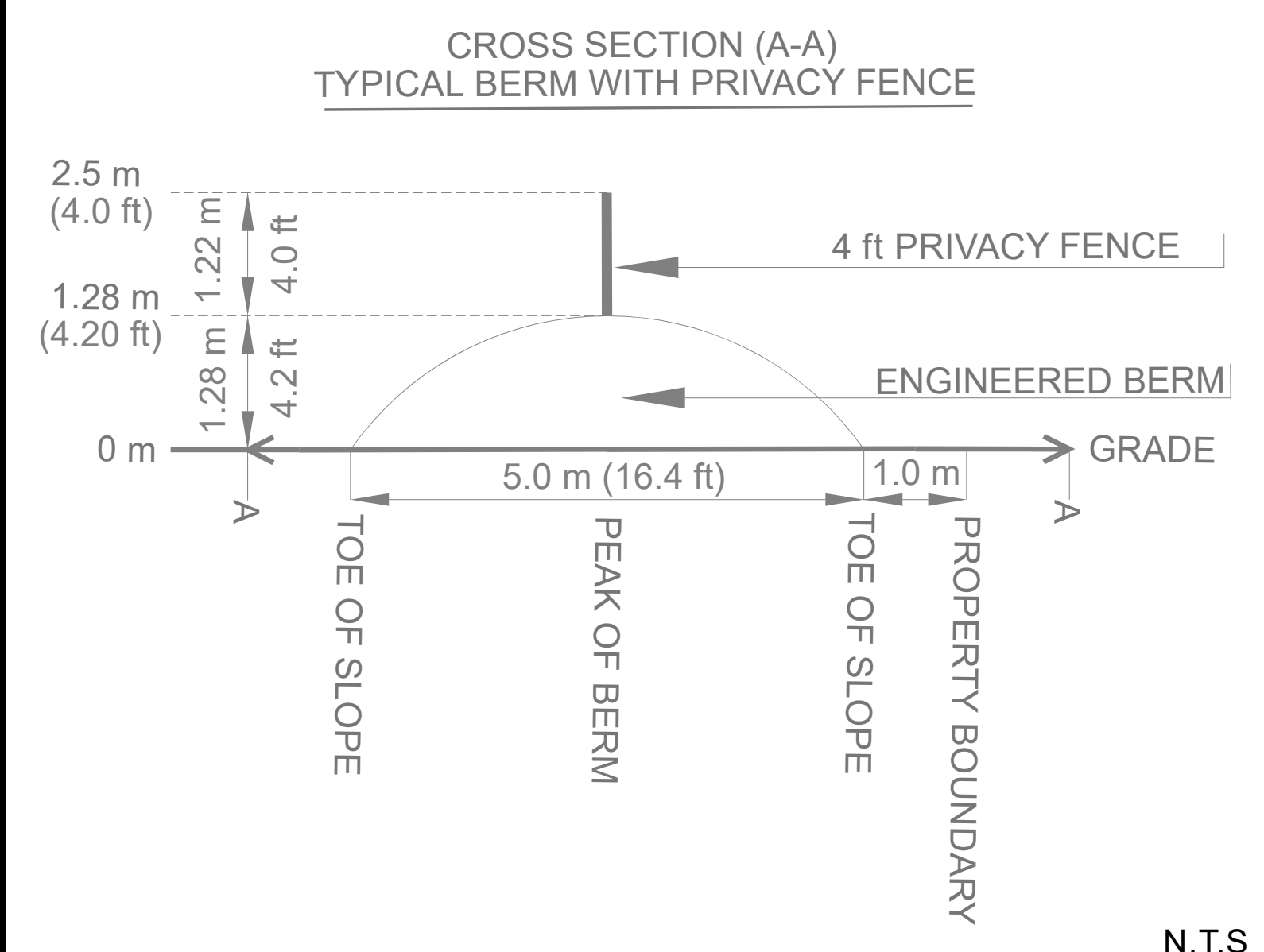
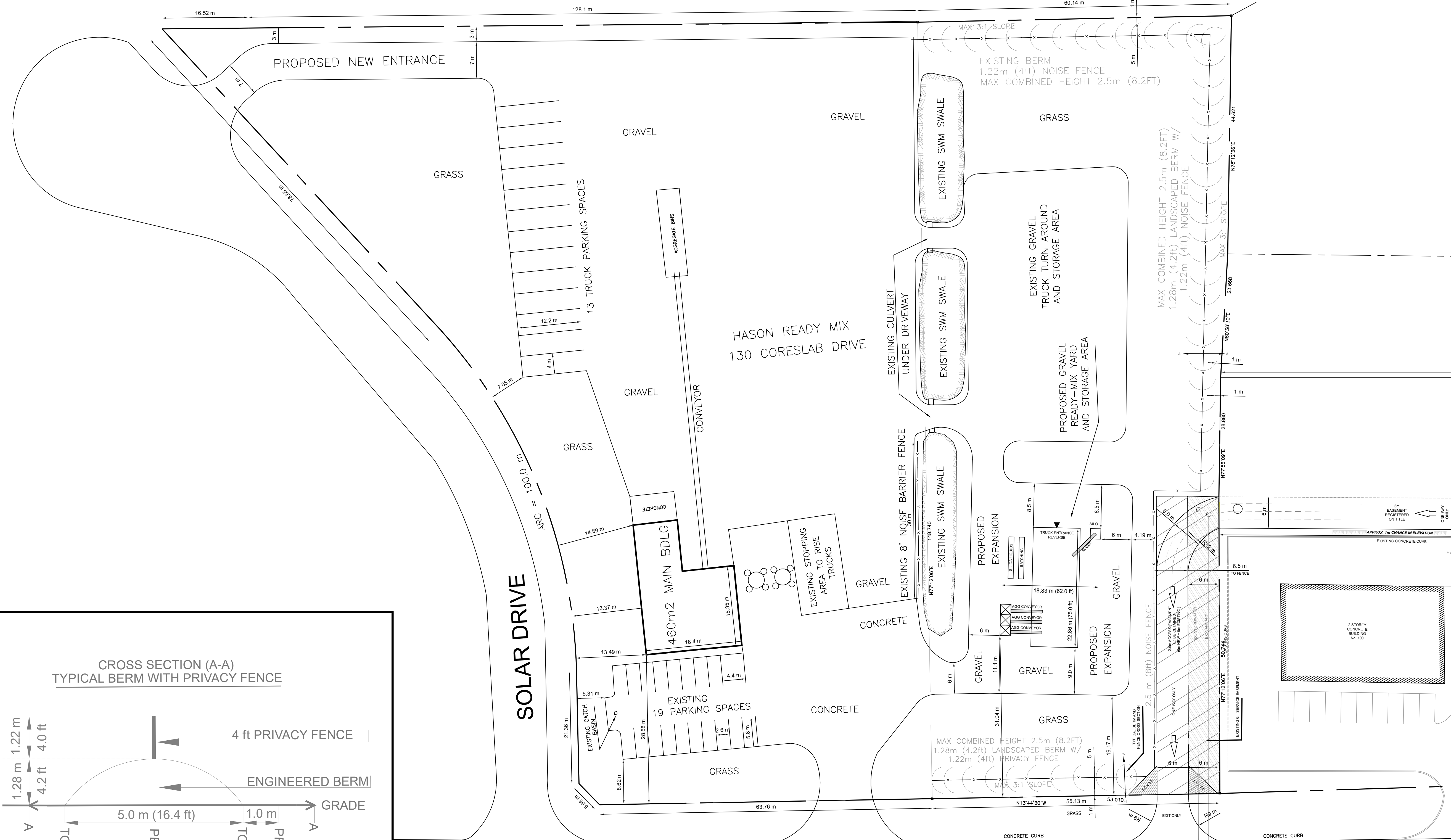
REVISION:
FEBRUARY 7, 2022 - ROTATE PROPOSED READY MIX PLANT (SC)
MARCH 1, 2022 - ACCESS EASEMENT MODIFICATION (SC)

PROJECT FILE NO.
2021_59

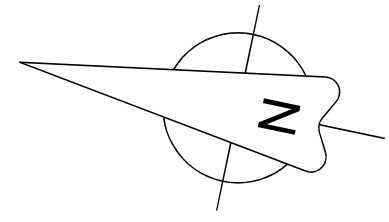
SCALE: 1:400
WHEN PRINTED ON 24 X 36

DATE:
NOVEMBER 8, 2021

DRAWN BY: S.C.
REVIEWED BY: T.G.



N.T.S



CONCEPT SITE PLAN

130 CORESLAB DRIVE HAMILTON, ONTARIO

CURRENT ZONING: M2 (ZB 05-200)
 PROPOSED ZONING: M2 (ZB 05-200)
 M2- GENERAL BUSINESS PARK ZONE

130 CORESLAB DRIVE: 22,085 m² (5.46 ac, 2.21 ha)

COMMITTEE OF ADJUSTMENT FILE:
 FL/B-16/97 & FL/A-07:12 & FL/A-08:60

ZONING: M2	REQUIRED	PROVIDED
MIN. LOT AREA	4,000 m ²	22,085 m ²

YARD		
YARD ABUTTING STREET	3.0 m min.	13.49 m EXISTING
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BUILDING COVERAGE		
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2 SILO'S EXISTING	20.0 m ²	
PROPOSED BATCH PLANT	430.0 m ²	
TOTAL	982.5 m²	4.5 % COVERAGE

OFFICE AREA	75.5 m ²	2.5 SPACES
MANUFACTURING	982.5 m ²	4.9 SPACES
TOTAL REQUIRED		8 SPACES
PARKING PROVIDED		19 SPACES
BARRIER FREE	1 SPACES	1 SPACES

PARKING RATES
 OFFICE @ 1 / 30 m²
 MAUFACTURING 1 / 200 m²
DESIGN STANDARDS
 Parking Spaces 2.8 x 5.8 m
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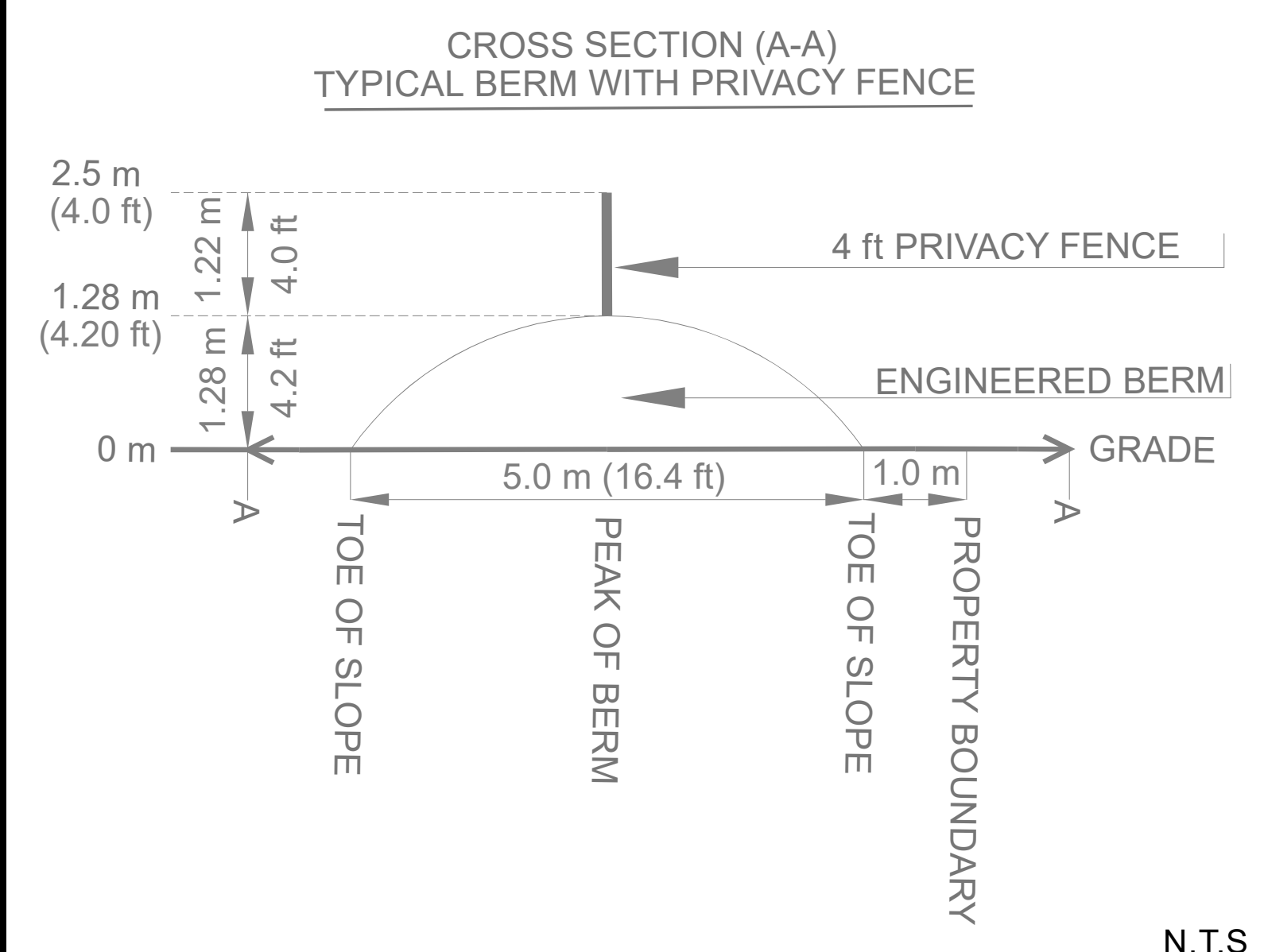
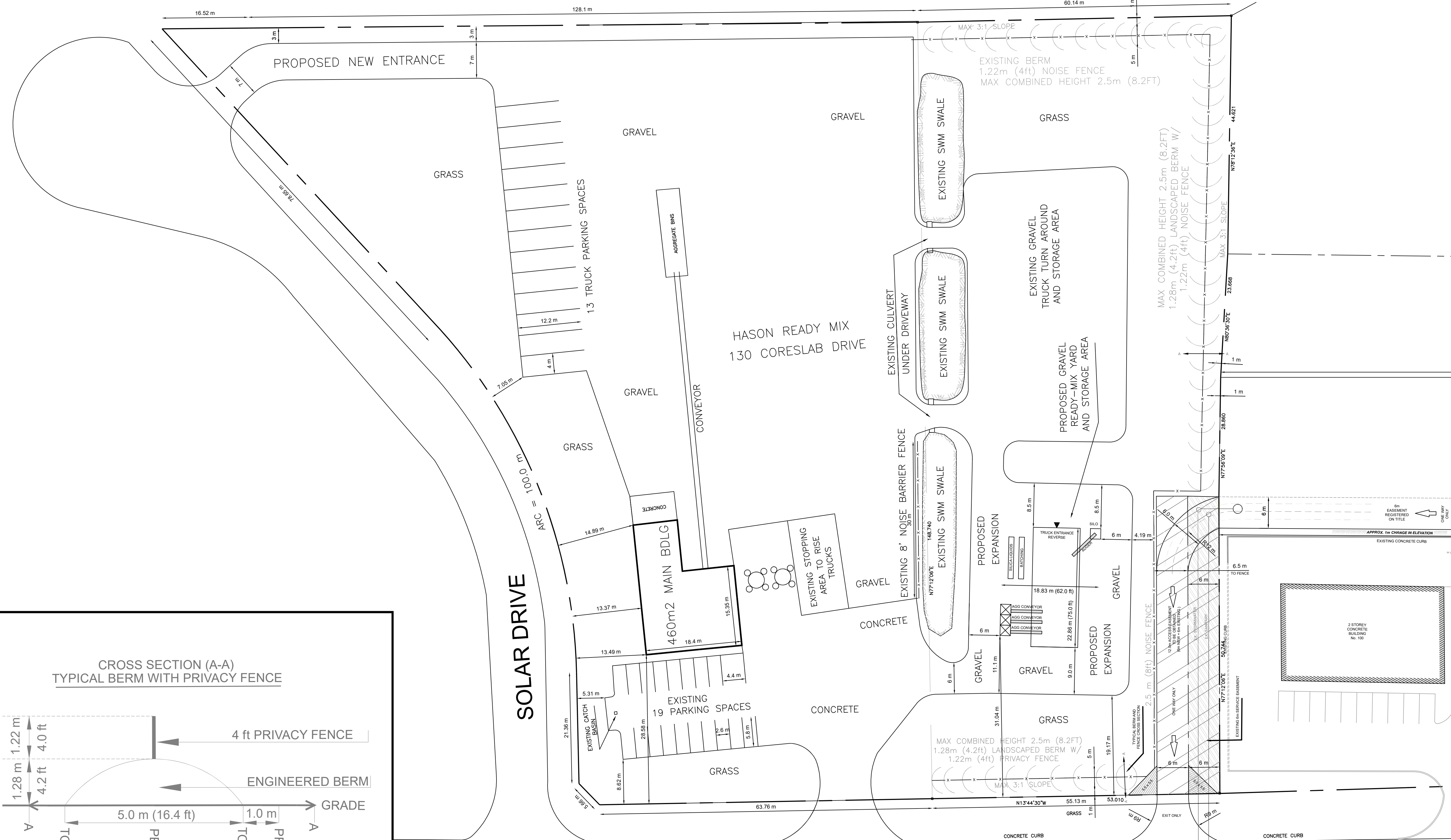
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2021_59

SCALE: 1:400
WHEN PRINTED ON 24 X 36

DATE:
NOVEMBER 8, 2021

DRAWN BY: S.C.
REVIEWED BY: T.G.





Urban in Mind

Professional Urban Planning, Land Development & CPTED Consultants

Urban in Mind

3370 South Service Road, Unit #103
Burlington, ON L7N 3M6

www.UrbaninMind.ca

Date: March 24th, 2022

To: **City Planner (Committee of Adjustment – Consent)**

Planning Department,
City of Hamilton (Flamborough)

RE: **Justification for Access Easement over 130 Coreslab in favour of 81 Hwy 5.
(130 Coreslab Drive, Dundas)**

To whom it may concern,

Urban in Mind has been retained by the owners of 130 Coreslab Drive & 81 Hwy 5, to obtain a consent for the purpose of adjusting the terms of an **existing service easement** to additionally include an access easement over the subject property lands. The proposed easement will be over the lands municipally known as 130 Coreslab Drive, Dundas (Lehigh Hanson Material Ltd.) and providing site access to 81 Hwy 5, Dundas at the rear of the site, but will be increased from the current 6m in width, to a new 12m in width to better accommodate traffic movements, and City curbing requirements and visibility triangle concerns. The additional area will also facilitate improved landscaping to create a more pleasant streetscape experience.

130 Coreslab Drive, hereafter referred to as the **subject property**, is an industrial parcel of land with frontage along Coreslab Drive and Solar Drive (**Appendix 'A'**). The subject property is located on the east side of Coreslab Drive, just north of Highway No. 5 West and is currently occupied by Lehigh Hanson Material Ltd., a ready-mix aggregate facility (**Appendix 'B-1'**). Along the southern property boundary, there is an existing 6m service easement (**B-97-16**) (**Appendix 'B-2'**) which allows for the connection of municipal services in favour of the property municipally known as 81 Hwy 5, Dundas. Services have already been physically installed within this easement.

According to the City of Hamilton Urban Official Plan (UHOP), the **subject property** is designated "**Employment Area**" – Schedule E – Urban Structure and within the Zoning By-Law 05-200, the subject lands are zoned **M2 (General Business Park)**. There is no change in use proposed through this consent application.

81 Hwy No. 5 West, hereafter described as the **neighbouring property**, is a rectangular parcel of land with frontage along Hwy 5 West (**Appendix 'A'**). Currently on the subject property there is one existing building which is utilized as office space (**Appendix 'C-1'**). The neighbouring property only has one point of site access along Highway 5. The proposed easement will allow the property to

PHONE
(905) 320-8120

EMAIL
urbaninmind@bell.net

WEB
www.UrbaninMind.ca

create a one-way traffic circulation, which will reduce pressure/conflicts on the adjacent Hwy 5 & Coreslab intersection.

The neighbouring property is also designated “**Employment Area**” on Schedule E – Urban Structure of the UHOP and within the Zoning By-Law 05-200, the neighbouring lands are zoned **M3 (Prestige Business Park)**. There is no change in use proposed through this consent application, however plans are in place and a recent Formal Consultation has been held (by the time of this CofA Meeting) that will see 81 Hwy 5 redevelop to a more appropriate employment type use (i.e. tradesperson/contractor employment units).

It is the intention of the owner of the subject property to extend the terms of the existing 6m service easement to include site access for 81 Hwy 5 via Coreslab Drive over the lands municipally described as 130 Coreslab Drive but at a 12m width instead of the current 6m servicing easement width.

As development and activity increases in the area, so too does the volume of traffic that travels along Highway No. 5 West (which at this location is an MTO controlled roadway). With the existing driveway of the neighbouring property in close proximity to the signalized intersection of Coreslab Drive and Highway No 5 West (**Appendix C-2**), it is increasingly becoming a safety concern for workers entering and existing the site (81 Hwy 5). It is for this reason that an alternate exit, through the creation of an access easement over the existing service easement is being requested. Through the secondary site access point onto Coreslab Drive, employees/customers can safely utilize the signalized intersection to complete traffic movement over Highway 5 West.

Alternatively, if the requested easement is not permitted, it is highly likely that the 81 Hwy 5 site will never be able to achieve its full redevelopment/employment use potential.

Regards,




Terrance Wm. Glover, RPP, CPT,
Principal,
Urban in Mind, Professional Urban Planning, Land Development & CPTED Consultants

Appendix 'A'
Aerial View of 130 Coreslab Drive



Image Source: City of Hamilton Maps (2019 Air Photo)

LEGEND

-  Approx. Property Boundary 130 Coreslab Drive
"Subject Property"
-  Approx. Location of Existing Service Easement
-  Approx. Property Boundary 81 Hwy 5
"Neighbouring Property"

Appendix 'B'
Street View of 130 Coreslab Drive
"Subject Property"



Appendix B-1 - Google Street view of the Subject Property – 130 Coreslab Drive - Lehigh Hanson Material Ltd. (Google Street view: Captured 2014)



Appendix B-2 - Google Street view of existing service easement over 130 Coreslab Drive in favour of 81 Hwy 5. (Google Street view: Captured 2014)

Appendix 'C'

Street View of 81 Hwy 5

“Neighbouring Property”



Appendix C-1 – Google Street view of “Neighbouring Property” – 81 Hwy 5. (Google Street view: Captured early 2021)



Appendix C-2 – Google Street view of “Neighbouring Property” – 81 Hwy 5. (Google Street view: Captured early 2021)



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
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1 APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Purchaser*			
Registered Owners(s)			
Applicant(s)**			
Agent or Solicitor			

*Purchaser must provide a copy of the portion of the agreement of purchase and sale that authorizes the purchaser to make the application in respect of the land that is the subject of the application. (O. Reg. 786/21)

** Owner's authorisation required if the applicant is not the owner or purchaser.

1.3 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality	Lot	Concession	Former Township
Registered Plan N°.	Lot(s)	Reference Plan N°.	Part(s)
Municipal Address			Assessment Roll N°.

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

- creation of a new lot
- addition to a lot
- an easement

- Other: a charge
 a lease
 a correction of title

b) Rural Area / Rural Settlement Area Transfer (Section 10 must also be completed):

- creation of a new lot
- creation of a new non-farm parcel
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation)
- addition to a lot

- Other: a charge
 a lease
 a correction of title
 an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

3.3 If a lot addition, identify the lands to which the parcel will be added:

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed (lease, easement, charge etc.):**

Frontage (m)	Depth (m)	Area (m ² or ha)

Existing Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Building(s) or Structure(s):

Existing: _____

Proposed: _____

Existing structures to be removed: _____

Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well
- lake or other water body
- other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify)

4.2 Description of land intended to be **Retained (remainder)**:

Frontage (m)	Depth (m)	Area (m ² or ha)

Certificate Request for Retained Lands: Yes*

* If yes, a statement from an Ontario solicitor in good standing that there is no land abutting the subject land that is owned by the owner of the subject land other than land that could be conveyed without contravening section 50 of the Act. **(O. Reg. 786/21)**

Existing Use of Property to be retained:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be retained:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Building(s) or Structure(s):

Existing: _____

Proposed: _____

Existing structures to be removed: _____

Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well
- lake or other water body
- other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify)

4.3 Other Services: (check if the service is available)

- electricity
- telephone
- school bussing
- garbage collection

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Urban Hamilton Official Plan designation (if applicable): _____

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

5.2 What is the existing zoning of the subject land?

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? _____

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard*	<input type="checkbox"/>	
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

*Complete MDS Data Sheet if applicable

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

6.1 If Industrial or Commercial, specify use _____

6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?

- Yes No Unknown

6.3 Has a gas station been located on the subject land or adjacent lands at any time?

- Yes No Unknown

6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

- Yes No Unknown

6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

- Yes No Unknown

6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?

- Yes No Unknown

6.7 Have the lands or adjacent lands ever been used as a weapons firing range?

- Yes No Unknown

6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

- Yes No Unknown

6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?

- Yes No Unknown

- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached?
 Yes No (only previous use known is Hanson Ready Mix - 130 Coreslab Drive)

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)
 Yes No
- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)
- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)
- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No
- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No
 If yes, is the proposal in conformity with the Niagara Escarpment Plan?
 Yes No
 (Provide Explanation)
- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No
 If yes, is the proposal in conformity with the Parkway Belt West Plan?
 Yes No (Provide Explanation)
- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

If yes, does this application conform with the Greenbelt Plan?
 Yes No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

8.4 How long has the applicant owned the subject land?

8.5 Does the applicant own any other land in the City? Yes No
If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?
 Yes No Unknown

If YES, and if known, specify file number and status of the application(s).

File number _____ Status _____

10 RURAL APPLICATIONS

10.1 **Rural Hamilton Official Plan Designation(s)**

<input type="checkbox"/> Agricultural	<input type="checkbox"/> Rural	<input type="checkbox"/> Specialty Crop
<input type="checkbox"/> Mineral Aggregate Resource Extraction	<input type="checkbox"/> Open Space	<input type="checkbox"/> Utilities
<input type="checkbox"/> Rural Settlement Area (specify) _____	_____	_____
	Settlement Area	Designation

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 Type of Application (select type and complete appropriate sections)

- Agricultural Severance or Lot Addition
 - Agricultural Related Severance or Lot Addition
 - Rural Resource-based Commercial Severance or Lot Addition
 - Rural Institutional Severance or Lot Addition
 - Rural Settlement Area Severance or Lot Addition
- } (Complete Section 10.3)
- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
 - Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
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Existing Land Use: _____ Proposed Land Use: _____

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
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Existing Land Use: _____ Proposed Land Use: _____

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

 (Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
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Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

- Prior to December 16, 2004
- After December 16, 2004

f) Condition of surplus farm dwelling:

- Habitable
- Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

(Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m ² or ha):
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Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

d) Surplus farm dwelling date of construction:

Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
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Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

12 ACKNOWLEDGEMENT CLAUSE

I acknowledge that The City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

Signature of Owner