



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-22:117

APPLICANTS: Agent M. Sabelli
Owners W. Allison & E. Allison

SUBJECT PROPERTY: Municipal address **1525 Conc 2., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "P6 and A1" (Conservation/Hazard Land - Rural (P6) Zone
and Agricultural (A1) Zone

PROPOSAL: To permit the construction of a 12.19m (40') x 13.72m (45') detached garage/storage building together with a 1.83m (6') x 12.19m (40') porch which is accessory to an existing single detached dwelling on an Agricultural lot notwithstanding that:

1. A maximum accessory building height of 5.6m shall be permitted instead of the requirement that all accessory buildings shall have a maximum height of 4.5 metres for the portion of the lot within the "P6" zone.
2. A maximum aggregate gross floor area of 168m² shall be permitted for all accessory buildings instead of the requirement that the aggregate gross floor area of all accessory buildings shall not exceed 45m² for the portion of the lot within the "P6" zone.

NOTE:

i) The proposed 12.19m (40') x 13.72m (45') detached building together with a 1.83m (6') x 12.19m (40') porch straddles both the "A1" and "P6" zone lines. As such, the portion of the lot within the "P6" zone is required to comply with the accessory building regulations of Sections 4.8 and 4.8.1.1 and the portion of the lot within the "A1" zone is required to comply with the accessory building regulations of Sections 4.8 and 4.8.1.2. Be advised that the proposed accessory building complies with the accessory building regulations of the "A1" zone respecting the maximum permitted accessory building height of 6.0m and the maximum permitted aggregate gross floor area of 200m² for all accessory buildings.

ii) The Agent has confirmed that the existing barn is being used to store the owner's own horses. As such, this building is considered an agricultural use and not a building accessory to a single detached dwelling.

iii) The Agent has confirmed that the new storage building/garage will be used to store the owner's various vehicles and home lawn equipment. This building shall not be used for human habitation, a commercial or industrial use.

This application will be heard by the Committee as shown below:

DATE: Thursday, May 12th, 2022
TIME: 3:45 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

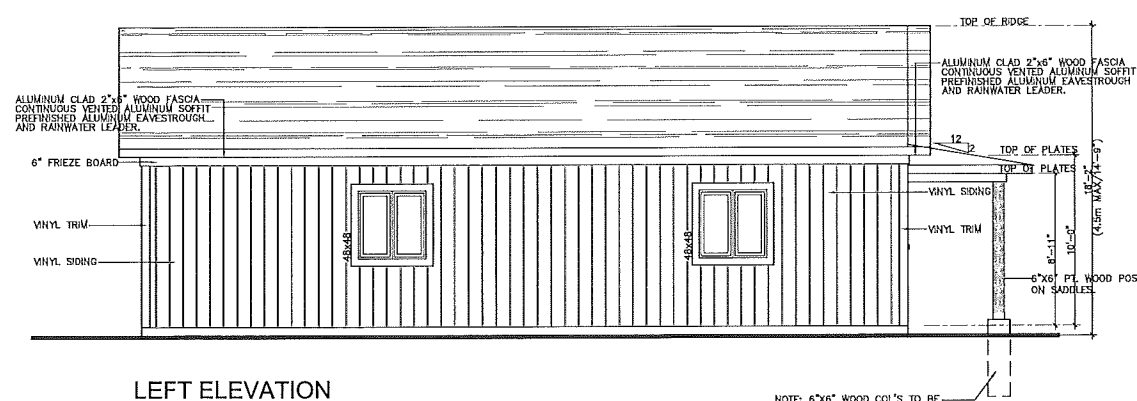
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: April 26th, 2022.

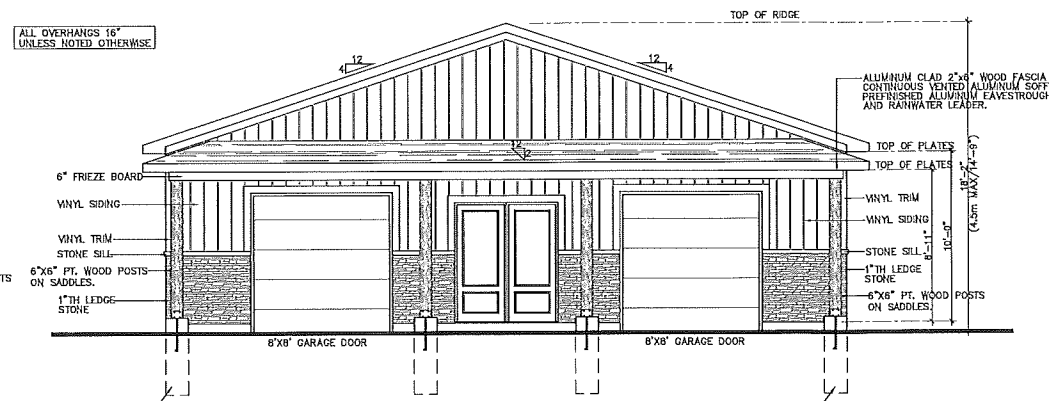
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



LEFT ELEVATION

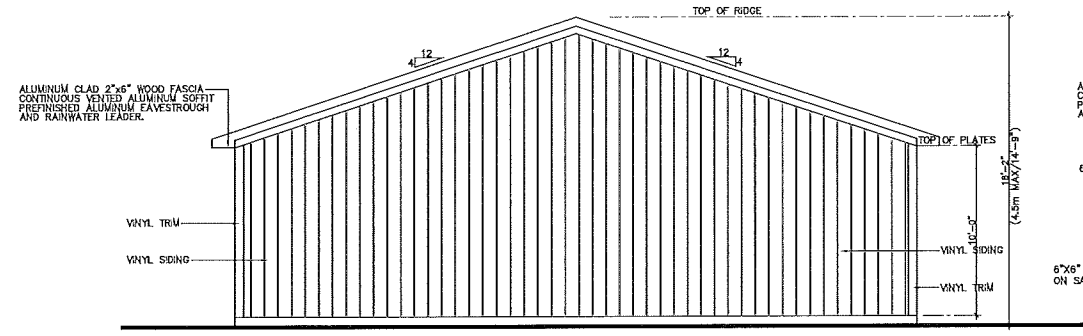
NOTE: 6"x6" WOOD COL'S TO BE RESTING SADDLES IN 16" DIA CONC. PIER W/ 4-16M VERT. REINF. TO 4'-0" MIN BELOW GRADE. (TYPICAL)



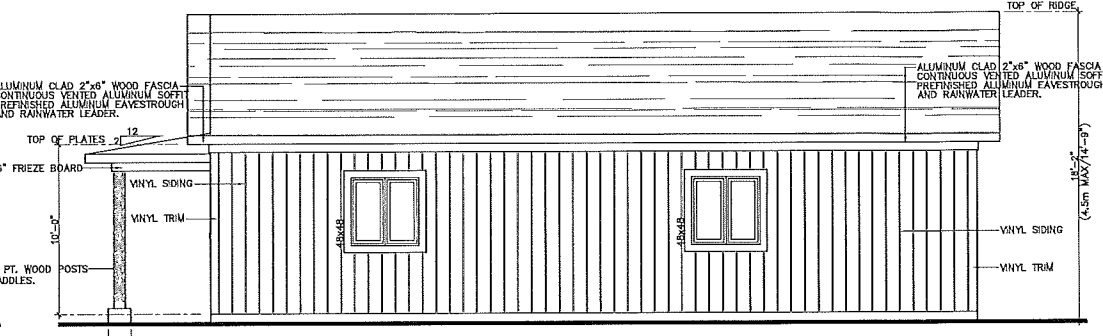
FRONT ELEVATION

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.

NOTE: 6"x6" WOOD COL'S TO BE RESTING SADDLES IN 16" DIA CONC. PIER W/ 4-16M VERT. REINF. TO 4'-0" MIN BELOW GRADE. (TYPICAL)

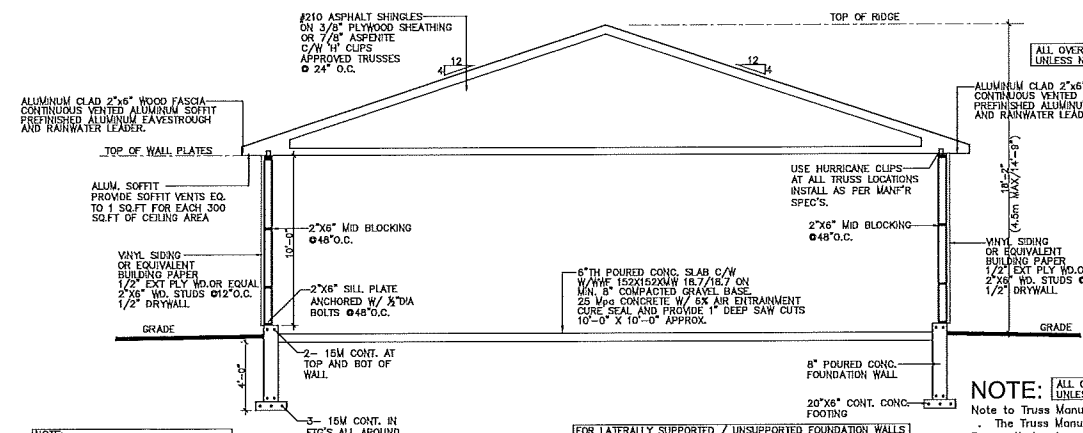


REAR ELEVATION



RIGHT SIDE ELEVATION

NOTE: 6"x6" WOOD COL'S TO BE RESTING SADDLES IN 16" DIA CONC. PIER W/ 4-16M VERT. REINF. TO 4'-0" MIN BELOW GRADE. (TYPICAL)



TYP. CROSS SECTION

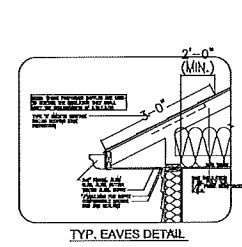
NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.

FOR LATERALLY SUPPORTED / UNSUPPORTED FOUNDATION WALLS AT TOP - SEE TABLE 9.15.4.2.A. FOR MAX. HT. PERMITTED

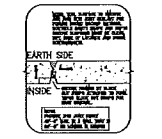
NOTE: NEW CONCRETE FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 Kpa OR GREATER.

NOTE: ALL OVERHANGS 16" UNLESS NOTED OTHERWISE

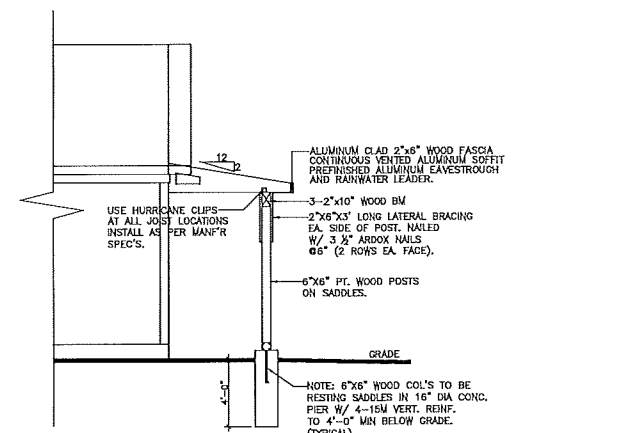
Note to Truss Manufacturer:
 - The Truss Manufacturer will: (1) Design and specify all Girder Trusses and Beams that only carry roof loads. (2) Ensure that all Roof Beams and Girder Trusses have been designed around the Architectural structural design and therefore have full bearing to the footings in the basement. (3) Automatically upgrade and provide calculations for any Architecturally specified beams that will carry roof point loads. (4) Design and specify all Conventional Roof Framing over and between manufactured roof trusses systems needed to complete overall roof shape. (5) Provide the Local Municipality with Engineered documents for any of the above mentioned items if required.



TYP. EAVES DETAIL



TYP. CONTROL JOINT DETAIL



SECTION B-A2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Registered under design by general law, under Article 32.0.1 of the Building Code

MAILED FORWARDED
 Name: Signature: 16294
 Firm Name: BOY

REGISTRATION INFORMATION
 Registered under design in exempt under DMC, Article 32.4.1 of the Building Code

16290
 BOY

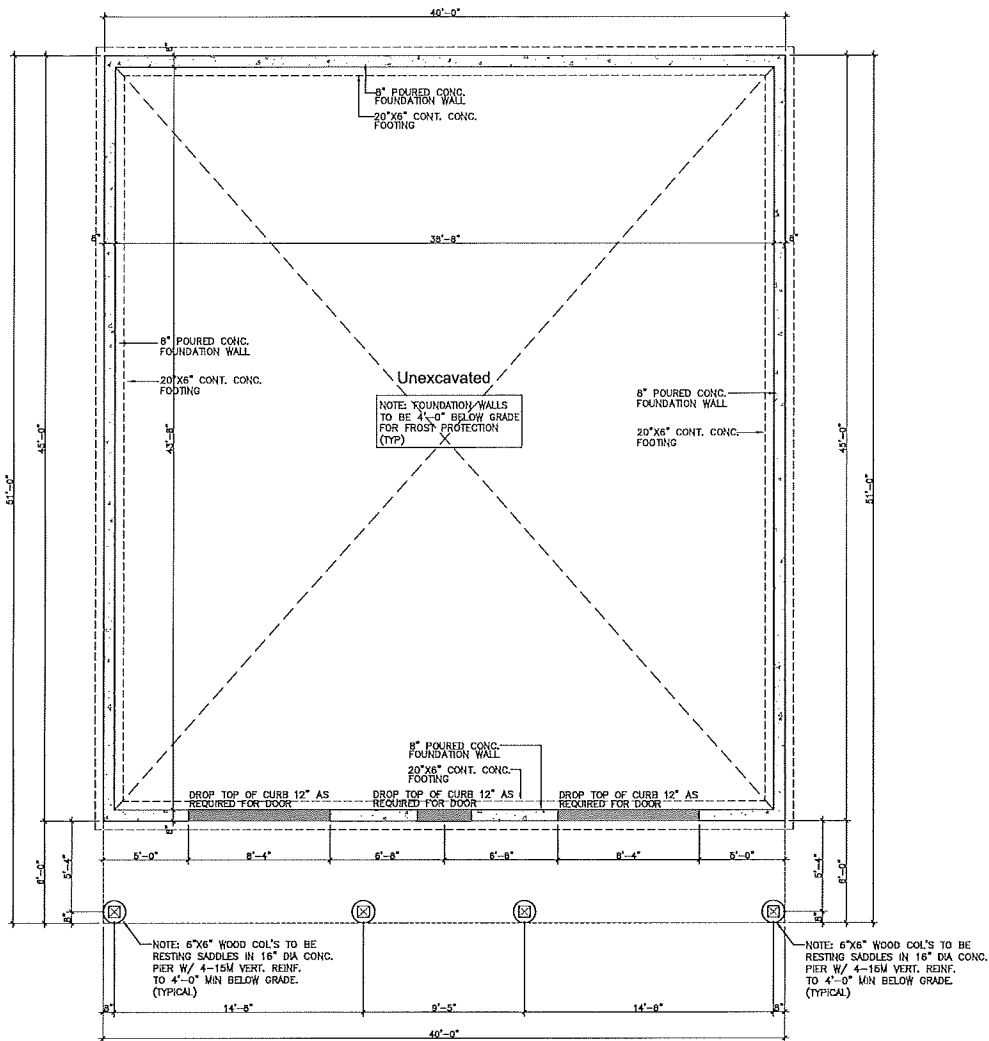
No.	DATE	ISSUED FOR PERMIT	DESCRIPTION
2			
3			
4			
5			
6			

UNIQUE DESIGNS INC.
 1525 2ND CONCESSION
 FLAMBOROUGH, ONT.

ALLISON
 RESIDENCE

Drawn By	Scale
Date: 01.18.22	1/4"=1'-0"
Job Number	A1
011022	

DO NOT SCALE DRAWINGS



FOUNDATION PLAN

NOTE: FOUNDATION WALLS TO BE 8" THICK FOURED CONCRETE UNLESS NOTED OTHERWISE. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED. FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES.

COLUMN SCHEDULE

- COL. 1=3-2x4
- COL. 2=4-2x4
- COL. 3=2-2x6
- COL. 4=3-2x6
- COL. 5=4-2x6

NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.

FOR LATERALLY SUPPORTED / UNSUPPORTED FOUNDATION WALLS AT TOP - SEE TABLE 9.16.4.2.A. FOR MAX. HT. PERMITTED

NOTE: NEW CONCRETE FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 Kpa OR GREATER.

CLEAR SPAN	BLOCK	LINTEL SIZE	STONE
2'-6"	L 3'x3'x1/4"	L 4'x3'x1/4"	
3'-11"	L 3 1/2'x3 1/2'x1/4"	L 5'x3 1/2'x5/16"	
4'-11"	L 3 1/2'x3 1/2'x5/16"	L 5'x3 1/2'x5/16"	
6'-11"	L 4'x3 1/2'x5/16"	L 5'x5'x5/16"	
6'-11"	L 5'x3 1/2'x5/16"	L 5'x5'x5/16"	
7'-10"	L 5'x3 1/2'x5/16"	L 5'x5'x5/16"	
8'-10"	L 5'x3 1/2'x5/16"	L 5'x5'x5/16"	
9'-10"	L 5'x4'x3/8"	L 5'x5'x1/2"	

STEEL LINTELS SHOWN ABOVE CHART SHALL HAVE VENT AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 6" LENGTH OF BEARING AT END SUPPORTS.

STRUCTURAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF THE O.B.C. 2012.
- DO NOT SCALE DRAWINGS.
- SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION.
- THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY ON THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH.
- ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 4 KSI.
- SPECIFIED CONCRETE STRENGTH IS 20 MPA. ALL CONCRETE EXPOSED TO FREEZE-THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFICATION C-1 TO CSA-A23.1-100.
- REINFORCING STEEL: CSA 1010 GRADE 400R.
- STRUCTURAL STEEL: CSA C40.20 GRADE 350W CLASS H GRADE 250W OTHER STEEL GRADE 300W AND W47.1
- LOAD BEARING MASONRY MATERIALS:
 - CSA A188.1W-H/15/XX
 - CSA A188.1W-S/15/XX
 - CSA A175M-TYPE 2
 - CSA A175M-TYPE 3
 - CSA A175M 1.5-2 CEMENT SAND FEA
- STRUCTURAL LUMBER: ALL LUMBER TO BE KILN-DRIEN GRADED TO CONFORM TO CSA 0141-SPF NO.2 UNLESS NOTED.
- SUPPLY JOIST HANGERS TO THE JOIST MANUFACTURER'S SPECIFICATIONS.
- PROVIDE WEB STIFFENERS WHERE TA JOISTS CONNECTED USING HANGERS.
- PROVIDE FIRE PROTECTION WHEN WELDING CLOSE TO COMBUSTIBLE MATERIALS.

ALL OVERHANGS 16" UNLESS NOTED OTHERWISE.

NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.

NOTES:

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE (OBC, 2006) UNLESS SPECIFICALLY ALIENED BY MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE.

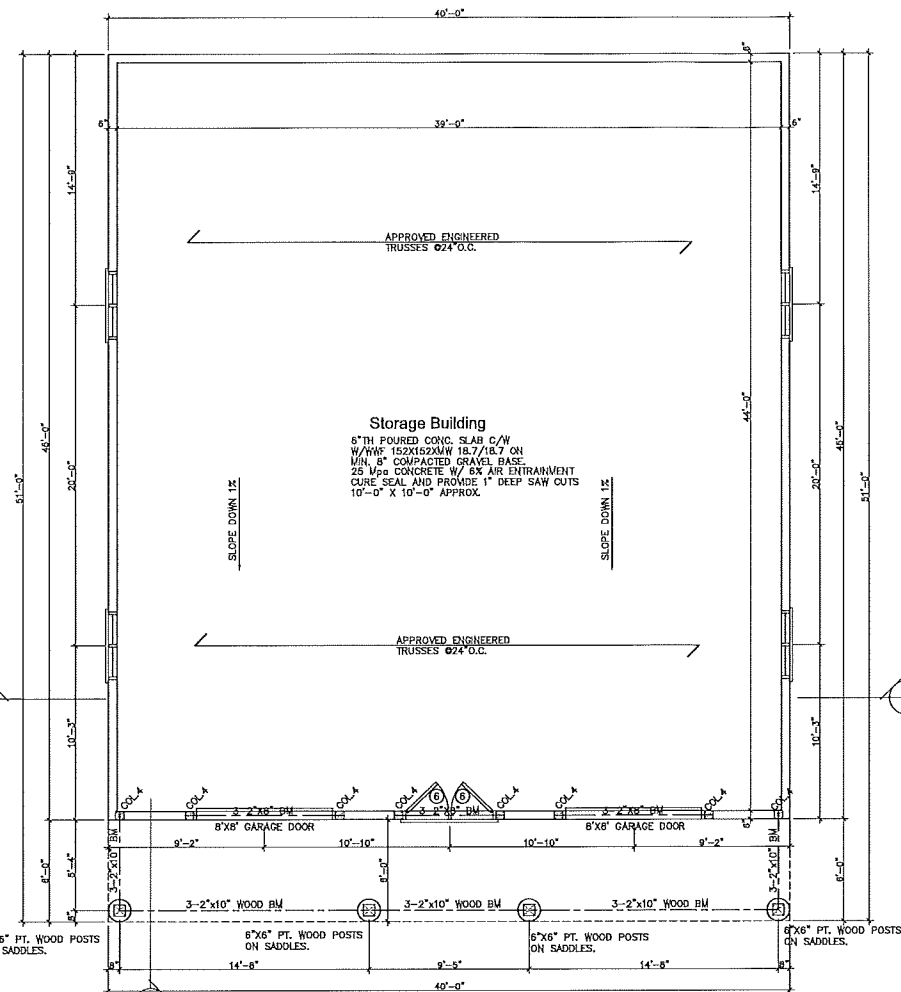
ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OF TABLES OF THE BUILDING CODE - ONTARIO REG. 415/97

ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPLANE.

ALL WINDOW HEADS TO BE 6"-10" (OR 7"-10") ABOVE FIN. FLOOR OR TO MATCH DOOR HEAD FRAMING HEIGHTS.

ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.

ALL TIMBER TO BE SUPPORTED MIN 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES. REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACKILL.



FLOOR PLAN

1800 SQ FT
IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED. PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS.

NOTE: VERIFY ALL ELECTRICAL LIGHTING FIXTURES, OUTLET PLUGS ETC. WITH OWNER PRIOR TO INSTALLATION.

COLUMN SCHEDULE

- COL. 1=3-2x4
- COL. 2=4-2x4
- COL. 3=2-2x6
- COL. 4=3-2x6
- COL. 5=4-2x6

USE ONLY WHERE 'L.M.'S ARE NOT SPECIFIED

WOOD LINTEL LEGEND
FOR WOOD OPENINGS:
44" OR LESS USE 2/2"x8"
66" OR LESS USE 2/2"x10"
88" OR LESS USE 2/2"x12"
PROVIDE INSUL. BETWEEN HEADERS IF POSSIBLE

DOOR LEGEND	GENERAL NOTES:	FLOOR PLAN DIMENSIONS:
1 1'6" x 6'6"	SMOKE ALARMS:	ALL DIMENSIONS ON FLOOR PLANS
2 2'0" x 6'6"	NOTE ALL SMOKE ALARMS WITH-IN A SINGLE DWELLING UNIT	ARE FROM NOMINAL STUD FACE TO NOMINAL STUD FACE OR FACE OF EXTERIOR FINISH MATERIAL.
3 2'4" x 6'6"		
4 2'6" x 6'6"		
5 2'8" x 6'6"		
6 3'0" x 6'6"		

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED. FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES AT HOUSE.

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

The undersigned has reviewed and takes responsibility for this design and for the qualifications and needs the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under OBC, Article 3.2.4.1 of the Building Code.

MAURO FORNATANO
Name: Signature: 15504 BSN

Required unless design is exempt under OBC, Article 3.2.4.1 of the Building Code.

UNIQUE DESIGNS INC
Firm Name: 31090 BSN

UNIQUE DESIGNS INC.

FOUNDATION PLAN

FLOOR PLAN

STORAGE BUILDING

ALLISON RESIDENCE

1525 2ND CONCESSION FLAMBOROUGH, ONT.

No. | DATE | DESCRIPTION | ISSUED FOR PERMIT

1.	01-19-21		
2.			
3.			
4.			
5.			
6.			

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING ON ANY OTHER PROJECT WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER IS PROHIBITED.

Drawn By: Scale: 1/4"=1'-0"

Date: 01.18.22

Job Number: 011022

A2

DO NOT SCALE DRAWINGS



Grand River
Conservation Authority
Date: Mar 03, 2022

1525 Concession 2 West,
Hamilton

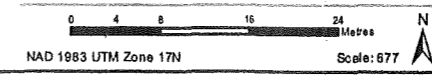


Legend

- Regulation Limit (GRCA)
- Regulated Watercourse (GRCA)
- Regulated Waterbody (GRCA)
- Wetland (GRCA)
- Floodplain (GRCA)
 - Engineered
 - Estimated
 - Approximate
 - Special Policy Area
- Slope Valley (GRCA)
 - Steep
 - Oversteep
 - Steep
- Slope Erosion (GRCA)
 - Oversteep
 - Toe
- Lake Erie Flood (GRCA)
- Lake Erie Shoreline Reach (GRCA)
- Lake Erie Dynamic Beach (GRCA)
- Lake Erie Erosion (GRCA)
- Parcel - Assessment (MPAC/MNRF)

This legend is static and may not fully reflect the layers shown on the map. The text of Ontario Regulation 150/06 supercedes the mapping as represented by these layers.

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Disclaimer: This map is for illustrative purposes only. Information contained herein is not a substitute for professional review or a site survey and is subject to change without notice. The Grand River Conservation Authority takes no responsibility for, nor guarantees, the accuracy of the information contained on this map. Any interpretations or conclusions drawn from this map are the sole responsibility of the user.
The source for each data layer is shown in parentheses in the map legend. For a complete listing of sources and citations go to: <https://maps.grandriver.ca/Sources-and-Citations.pdf>





1525 Concession 2 West,
Hamilton



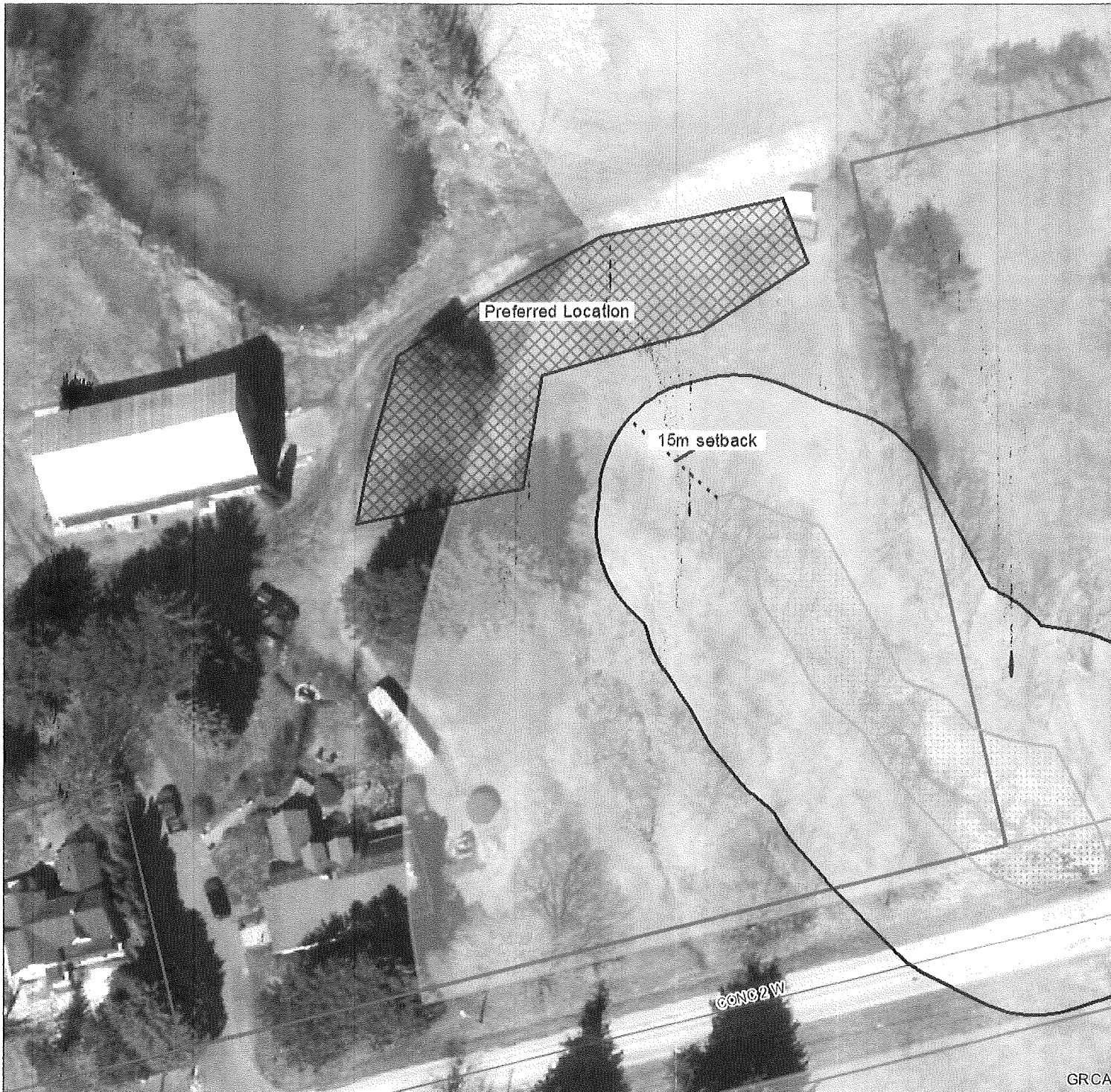
Legend

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0 4.25 8.5 17 25.5 Metres
NAD 1983 UTM Zone 17N Scale: 710





Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

NONE

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

PROPOSED HEIGHT OF ACCESSORY BUILDING - 5.54M,
ALLOWED HEIGHT - 4.5M
EXISTING 100 YEAR OLD BARN - 10.67M, ALLOWED HEIGHT - 4.5M

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

EXISTING BARN IS OVER 100 YEARS OLD,
PROPOSED ACCESSORY BUILDING'S HEIGHT IS TO COMPLIMENT
EXISTING BARN AND PROVIDE SUFFICIENT STORAGE.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

1525 2ND CONCESSION
FLAMBOROUGH

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

PRESENT OWNER

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 11 / 2022
Date

Signature Property Owner(s)

Wayne Allison Eileen Allison
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 106.38m
Depth 171.30m
Area 14.8 ACRES
Width of street 20.12m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

EXISTING 1 1/2 STOREY FAMILY DWELLING -
APPROXIMATE 186m², WIDTH - 11M, DEPTH - 12M, HEIGHT - 10M
EXISTING BARN - 34m², WIDTH - 12M, DEPTH - 27.4M,
HEIGHT - 10.67m

Proposed

PROPOSED 1 STOREY STORAGE BUILDING, APPROXIMATE 280m²
WIDTH - 12M, DEPTH - 15.5M, HEIGHT - 5.54M

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

HOUSE - FRONT YARD - 12M, SIDE YARD - 15M (LEFT), SIDE YARD - 24M (RIGHT)
REAR YARD - 18.2M
BARN - FRONT YARD - 55M, SIDE YARD - 53M (LEFT) SIDE YARD - 52M (RIGHT)
REAR YARD - 15.3M

Proposed:

STORAGE BUILDING - FRONT YARD - 54M, SIDE YARD - 57M (LEFT), SIDE YARD - 49M (RIGHT)
REAR YARD - 13.7M

13. Date of acquisition of subject lands:
August 1988

14. Date of construction of all buildings and structures on subject lands:
MORE THAN 50 YEARS

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SINGLE-FAMILY RESIDENTIAL

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SINGLE-FAMILY RESIDENTIAL

17. Length of time the existing uses of the subject property have continued:
MORE THAN 50 YEARS

18. Municipal services available: (check the appropriate space or spaces)
Water None Connected
Sanitary Sewer None Connected
Storm Sewers None

19. Present Official Plan/Secondary Plan provisions applying to the land:
AGRICULTURAL

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
A1 AGRICULTURAL

21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No

If yes, please provide the file number:

21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No

21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No

23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.