



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>GL/A-22:63</b>	<b>SUBJECT PROPERTY:</b>	3353 HOMESTEAD DR GLANBROOK
<b>ZONE:</b>	“R3-311” (Residential “R3” Zone)	<b>ZONING BY-LAW:</b>	Zoning By-law 464, as Amended 18-291 and 22-053

**APPLICANTS:** Agent Prem Tewari  
**Owner Sara Salari-Joubani**

The following variances are requested:

1. One semi-detached dwelling per lot shall be permitted notwithstanding that only a single detached dwelling per lot is permitted.
2. A minimum lot area of 785m<sup>2</sup> shall be permitted instead of the minimum required lot area of 810m<sup>2</sup>.
3. A minimum rear yard of 7.7m shall be permitted instead of the minimum required rear yard of 22.0m.
4. Eaves and gutters shall be permitted to project into a required yard not more than 0.9m instead of the requirement that eaves or gutters may project into any required yard a distance of not more than 0.5 metres.
5. The rear patio decks shall be permitted to be setback a minimum of 5.0m from the Upper James Street street line instead of the requirement that patio decks shall be setback a minimum of 7.5m from any street line.
6. A minimum parking space size of 2.75m wide x 5.8m long shall be permitted for the parking spaces in the driveway instead of the minimum required parking space size of 3.0m wide x 6.0m long.

**PURPOSE & EFFECT:** So as to permit the construction of a semi-detached dwelling and to establish a secondary dwelling unit in each half of the semi-detached dwelling.

Notes:

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, June 9, 2022</b>
<b>TIME:</b>	<b>1:55 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.



 **Subject Lands**

DATED: May 24, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

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E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

Comments are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions During the Virtual Meeting

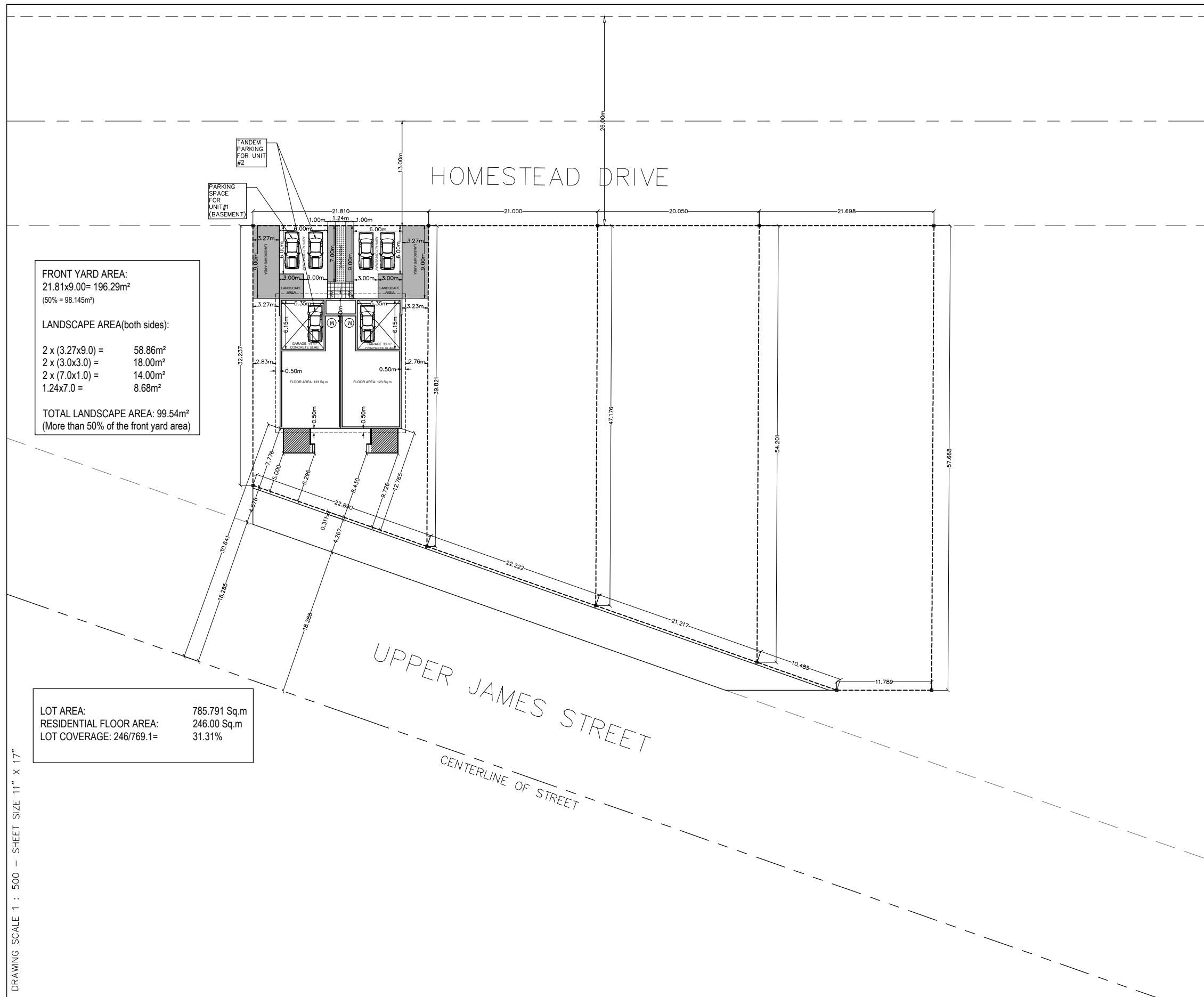
Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, the hearing date, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



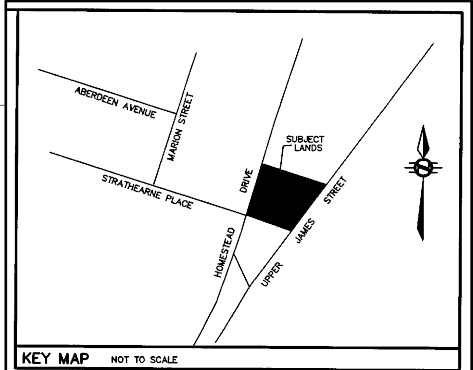
FRONT YARD AREA:  
 21.81x9.00= 196.29m<sup>2</sup>  
 (50% = 98.145m<sup>2</sup>)

LANDSCAPE AREA(both sides):

2 x (3.27x9.0) = 58.86m<sup>2</sup>  
 2 x (3.0x3.0) = 18.00m<sup>2</sup>  
 2 x (7.0x1.0) = 14.00m<sup>2</sup>  
 1.24x7.0 = 8.68m<sup>2</sup>

TOTAL LANDSCAPE AREA: 99.54m<sup>2</sup>  
 (More than 50% of the front yard area)

LOT AREA: 785.791 Sq.m  
 RESIDENTIAL FLOOR AREA: 246.00 Sq.m  
 LOT COVERAGE: 246/789.1= 31.31%



No.	Date	By	Revisions
Design	P.T.	Chk'd	P.T.
Drawn	H.Z.	Chk'd	P.T.
Scale			References
1:200m HOR			Field Notes
Manager of Development Services			<input type="checkbox"/> Bell <input type="checkbox"/> Gas <input type="checkbox"/> Hydro <input type="checkbox"/> Cable <input type="checkbox"/> Water <input type="checkbox"/> Traf.
Stamp			

**IDM (2005) CONSULTANTS INC.**  
 5325 HARVESTER ROAD  
 BURLINGTON, ONTARIO  
 L7R 4K4  
 TEL. 905-928-2542

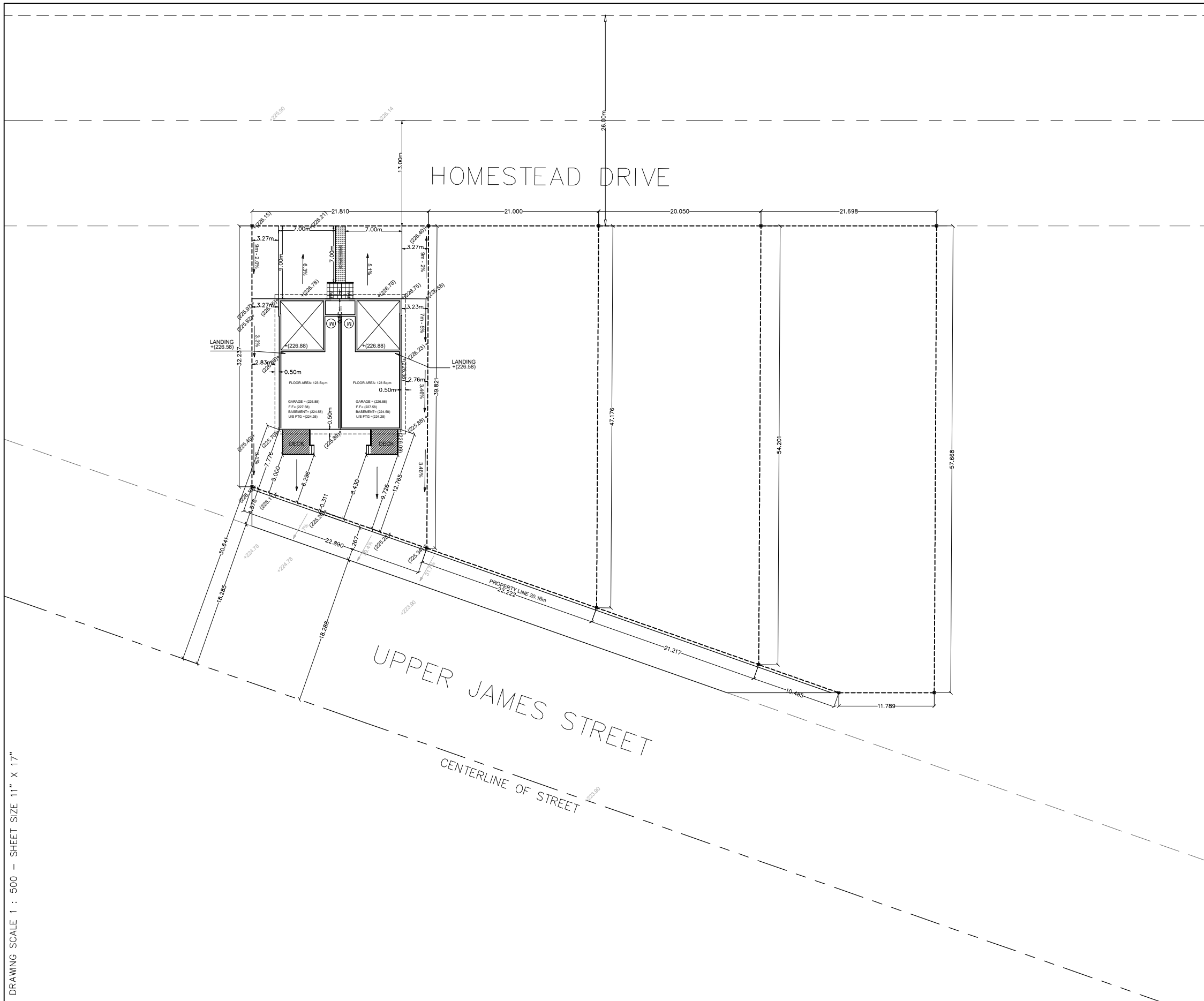
Municipality  
**CITY OF HAMILTON**  
 3353 HOMESTEAD Dr.

PROJECT NAME  
**SITE PLAN**

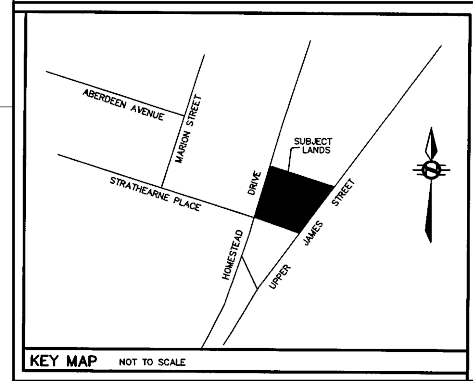
SCALE  
**1 : 500**

Regional Drawing No.  
 Project No.  
**SP1.01**

DRAWING SCALE 1 : 500 - SHEET SIZE 11" X 17"



DRAWING SCALE 1 : 500 - SHEET SIZE 11" X 17"



No.	Date	By	Revisions
Design	P.T.	Chk'd	P.T. Date
Drawn	H.Z.	Chk'd	P.T. JAN 26, 2022

Scale	References
1:200m HGR	

Field Notes

Manager of Development Services	Bell <input type="checkbox"/>	Hydro <input type="checkbox"/>
	Gas <input type="checkbox"/>	Cable <input type="checkbox"/>
	Traf. <input type="checkbox"/>	Water <input type="checkbox"/>

LICENCED PROFESSIONAL ENGINEER  
 MAR 23, 2022  
**P.K. TEWARI**  
 HAMILTON  
 PROVINCE OF ONTARIO

Stamp  
 Planning & Economic Development

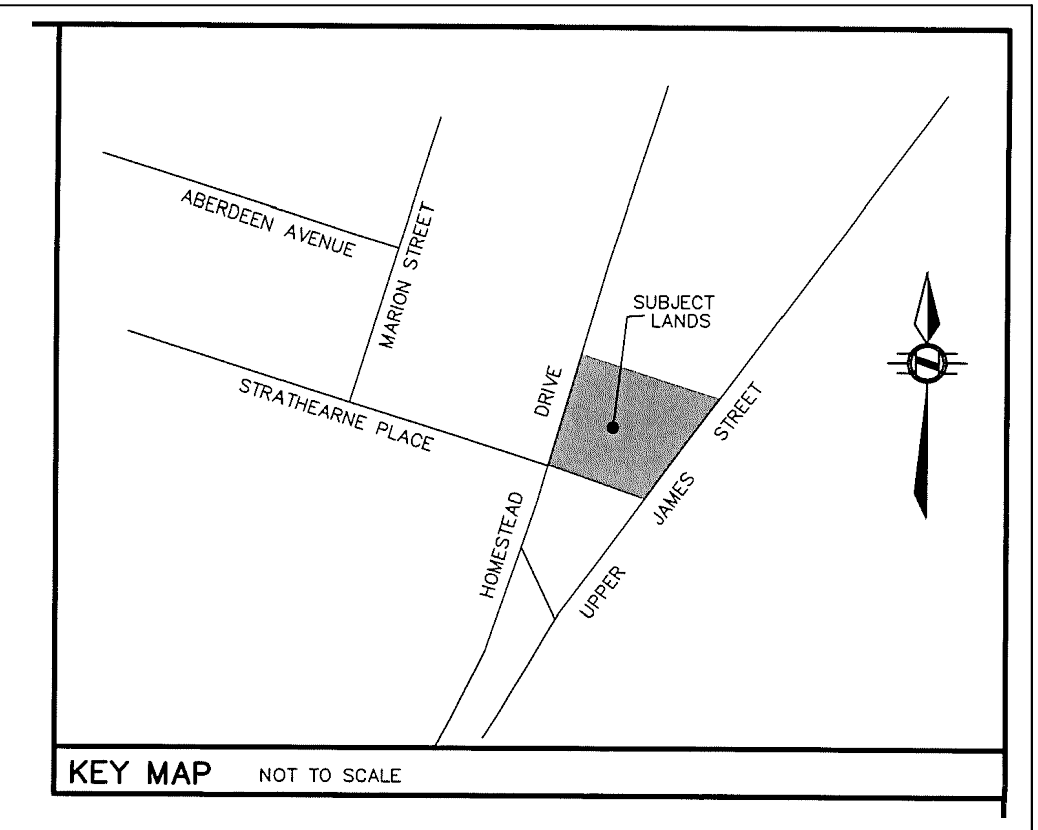
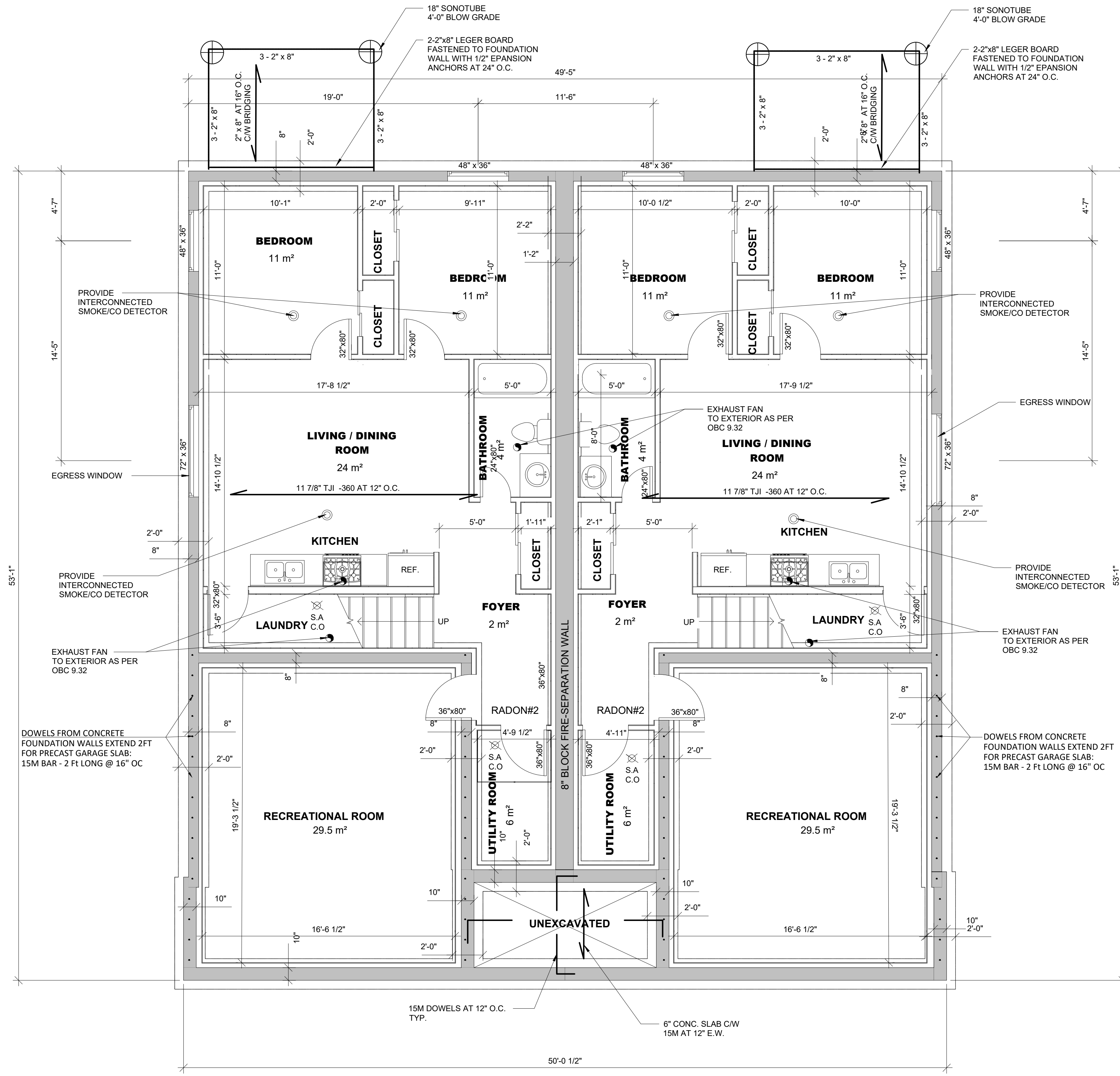
**IDM (2005) CONSULTANTS INC.**  
 5325 HARVESTER ROAD  
 BURLINGTON, ONTARIO  
 5K4 L7L  
 TEL. 905-928-2542

Municipality  
**CITY OF HAMILTON**  
 3353 HOMESTEAD Dr.

PROJECT NAME  
**SITE GRADING PLAN**

SCALE <b>1 : 500</b>	<b>GDPL101</b>
Regional Drawing No.	
Project No.	

DRAWING SCALE 1/4" : 1' - SHEET SIZE 24" X 36"



No.	Date	By	Revisions
Design	P.T.	Chk'd	P.T. Date
Drawn	H.Z.	Chk'd	P.T.

References
Field Notes

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	Gas <input type="checkbox"/>	Cable <input type="checkbox"/>
	Traf. <input type="checkbox"/>	Water <input type="checkbox"/>

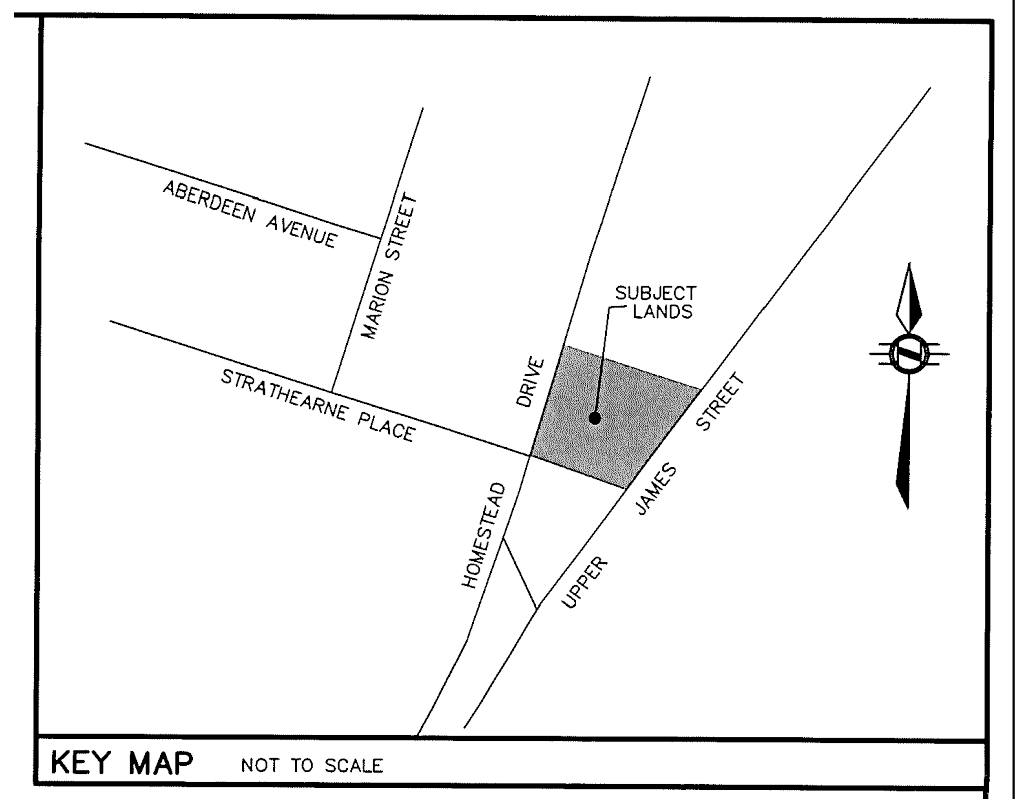
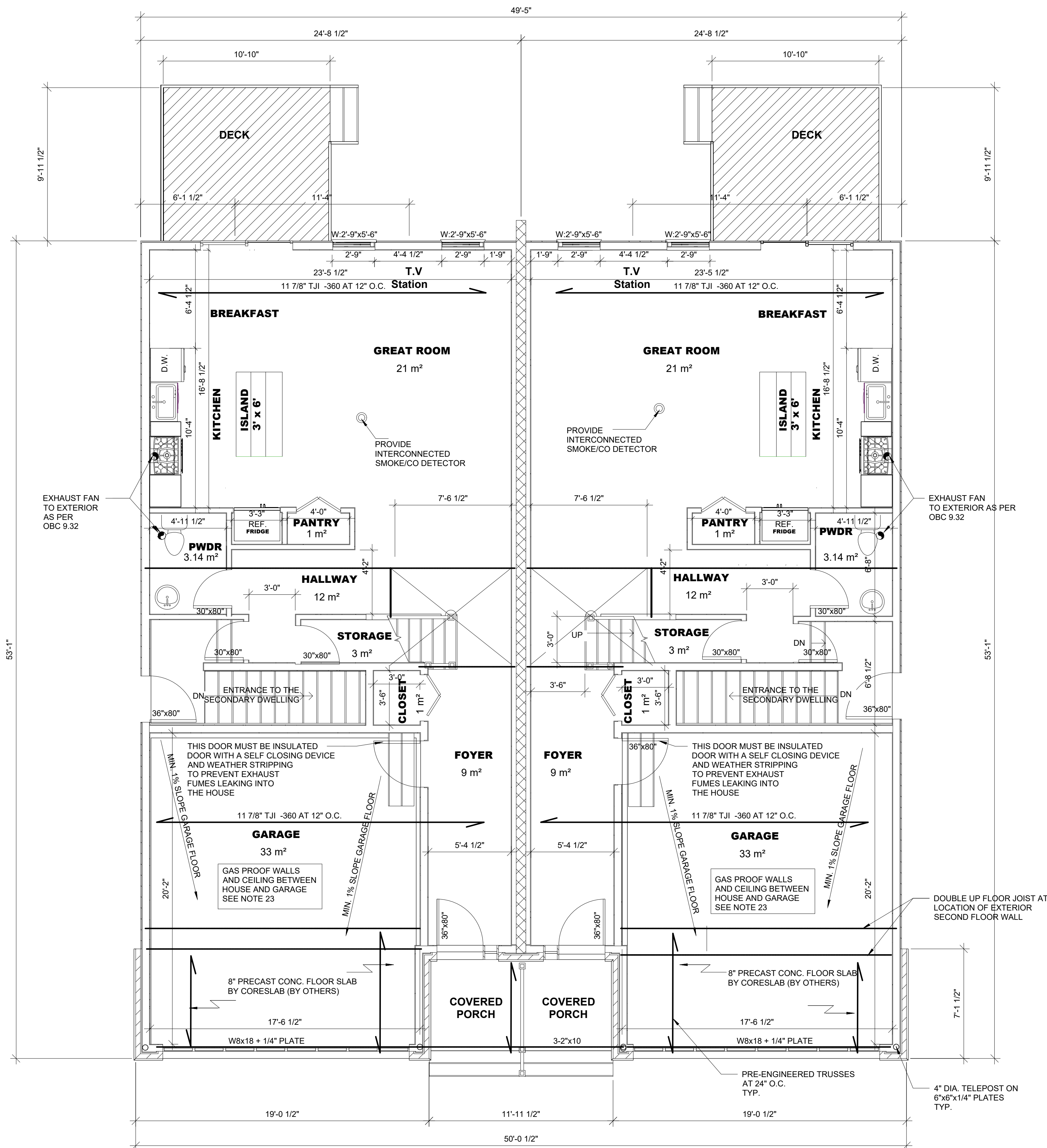
Stamp: LICENSED PROFESSIONAL ENGINEER, MAR 11, 2022, P.K. TEWARI, PROVINCE OF ONTARIO

**IDM (2005) CONSULTANTS INC.**  
 5325 HARVESTER ROAD  
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Municipality  
**CITY OF HAMILTON**  
 3353 HOMESTEAD Dr.

PROJECT NAME	<b>BASEMENT FLOOR PLAN</b>
SCALE	<b>1/4" : 1'</b>
Regional Drawing No.	
Project No.	<b>A101</b>

DRAWING SCALE 1/4" : 1' - SHEET SIZE 24" X 36"



No.	Date	By	Revisions
Design	P.T.	Chk'd	P.T. Date
Drawn	H.Z.	Chk'd	P.T.
References			
Field Notes			
Bell <input type="checkbox"/> Hydro <input type="checkbox"/> Gas <input type="checkbox"/> Cable <input type="checkbox"/> Traf. <input type="checkbox"/> Water <input type="checkbox"/> Stamp			
Manager of Development Services Planning & Economic Development			



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3353 HOMESTEAD Dr.

PROJECT NAME

**GROUND FLOOR PLAN**

SCALE

**1/4" : 1'**

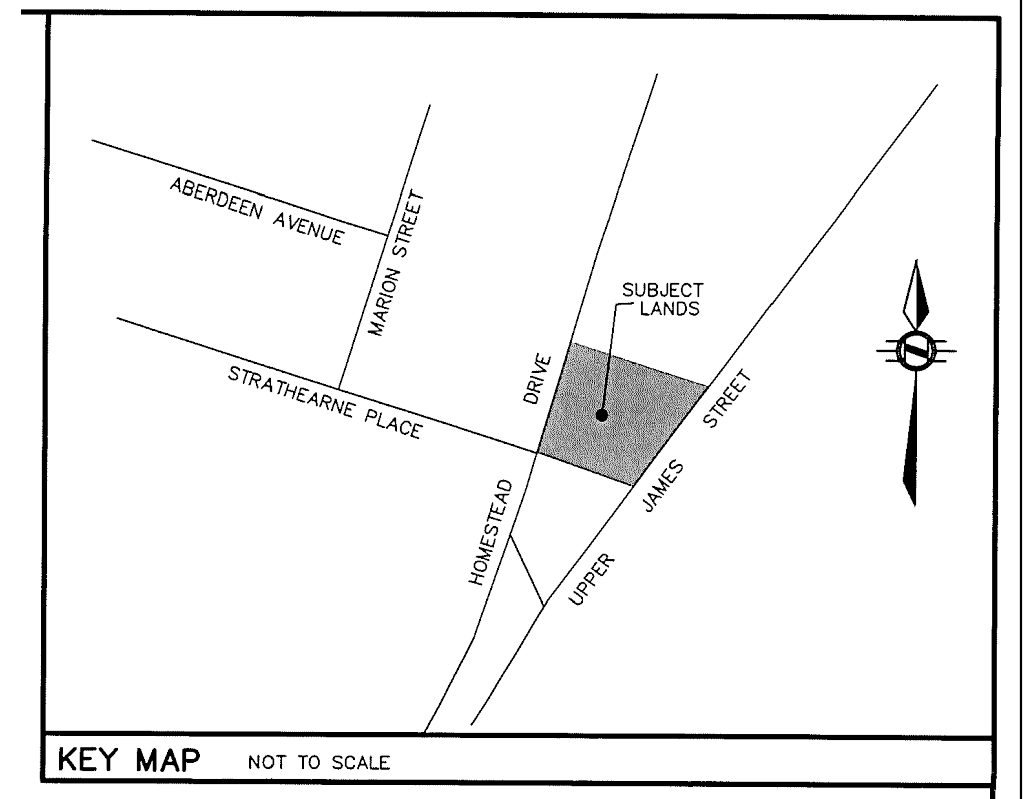
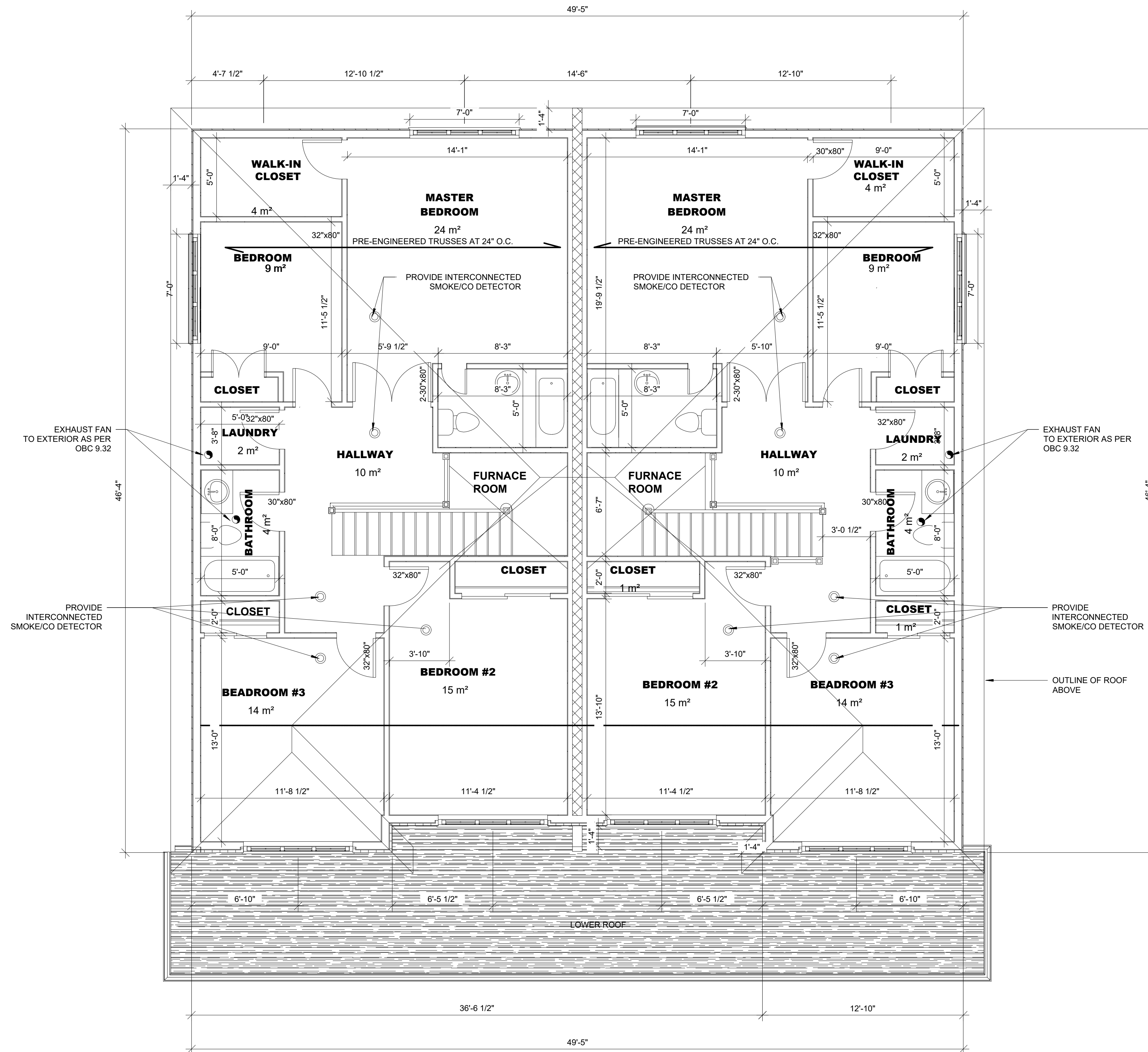
Regional Drawing No.

Project No.

**A1.02**



DRAWING SCALE 1/4" : 1' - SHEET SIZE 24" X 36"



No.	Date	By	Revisions
Design	P.T.	Chk'd	P.T. Date
Drawn	H.Z.	Chk'd	P.T.
References			
Field Notes			
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Manager of Development Services Planning & Economic Development			



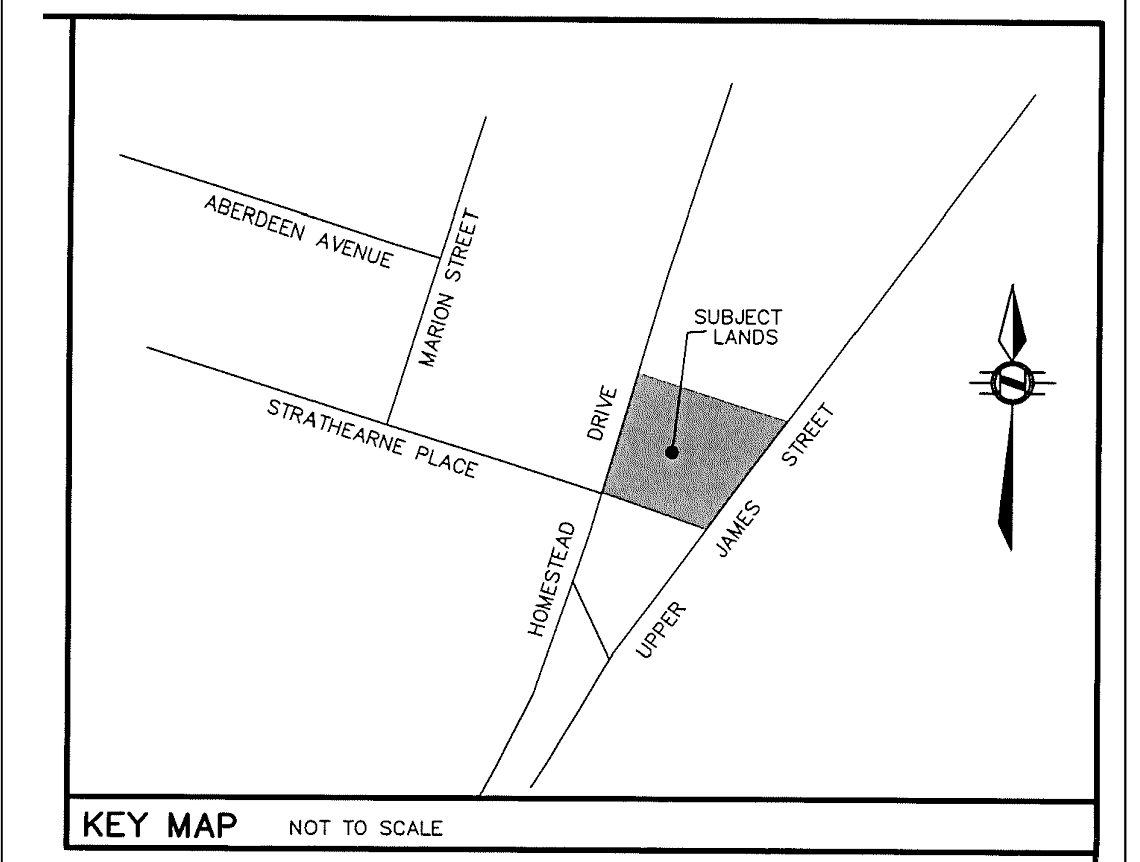
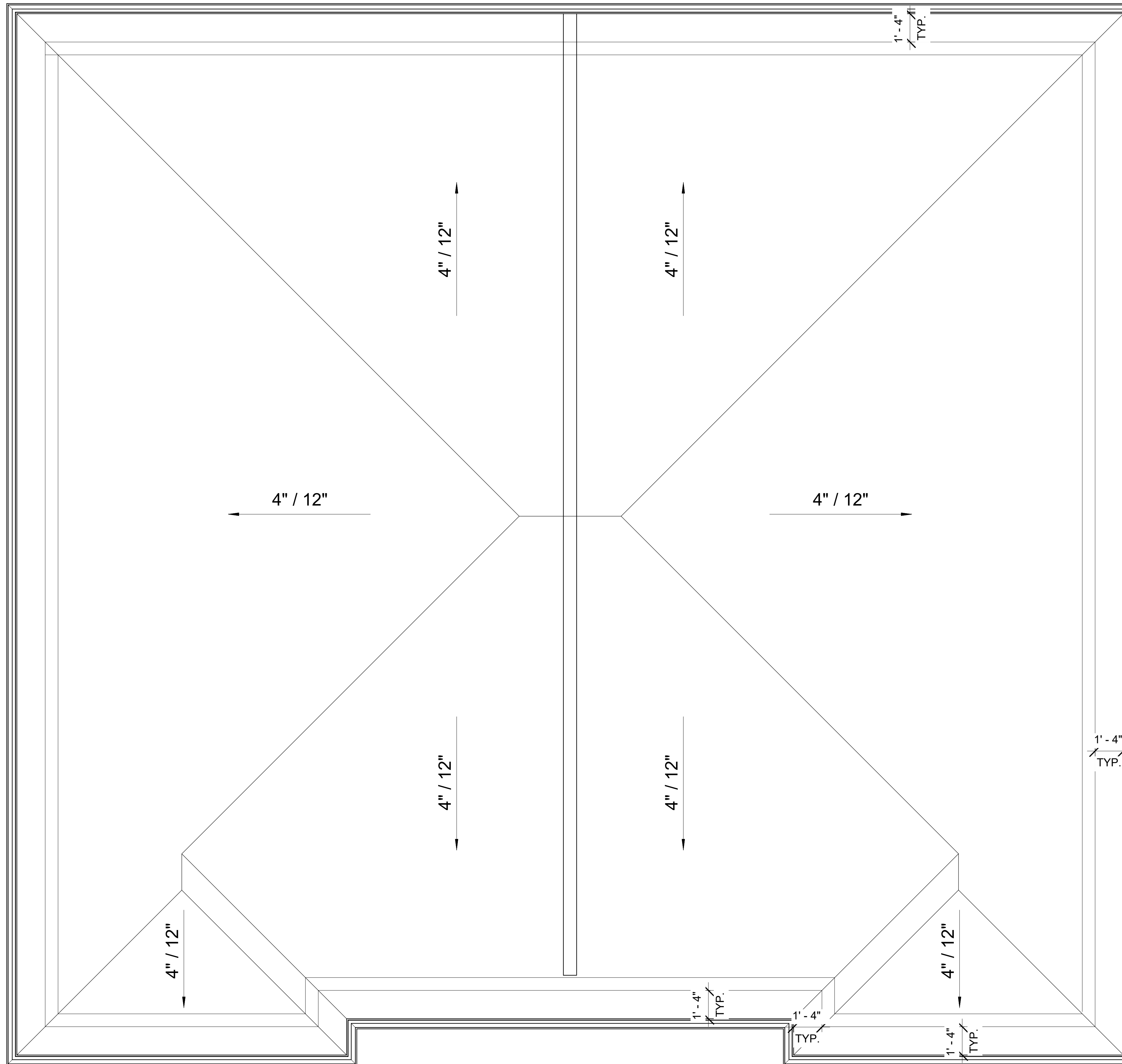
IDM (2005) CONSULTANTS INC.  
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 BURLINGTON, ONTARIO  
 5K4 L7L  
 TEL. 905-928-2542

Municipality  
**CITY OF HAMILTON**  
 3353 HOMESTEAD Dr.

PROJECT NAME  
**SECOND FLOOR PLAN**

SCALE	<b>1/4" : 1'</b>
Regional Drawing No.	
Project No.	<b>A103</b>

DRAWING SCALE 3/8" : 1' - SHEET SIZE 24" X 36"



No.	Date	By	Revisions
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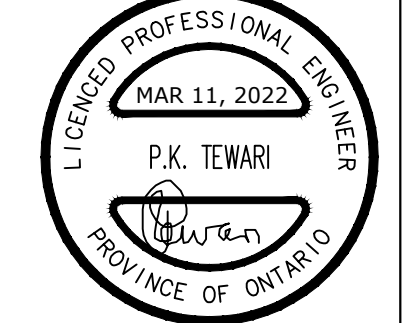
Design	P.T.	Chk'd	P.T.	Date
Drawn	H.Z.	Chk'd	P.T.	

References

Field Notes

Manager of Development Services

Bell  Hydro   
 Gas  Cable   
 Traf.  Water



Stamp

Planning & Economic Development

IDM (2005) CONSULTANTS INC.

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 BURLINGTON, ONTARIO  
 SK4 L7L  
 TEL. 905-928-2542

Municipality

**CITY OF HAMILTON**  
 3353 HOMESTEAD Dr.

PROJECT NAME

**ROOF PLAN**

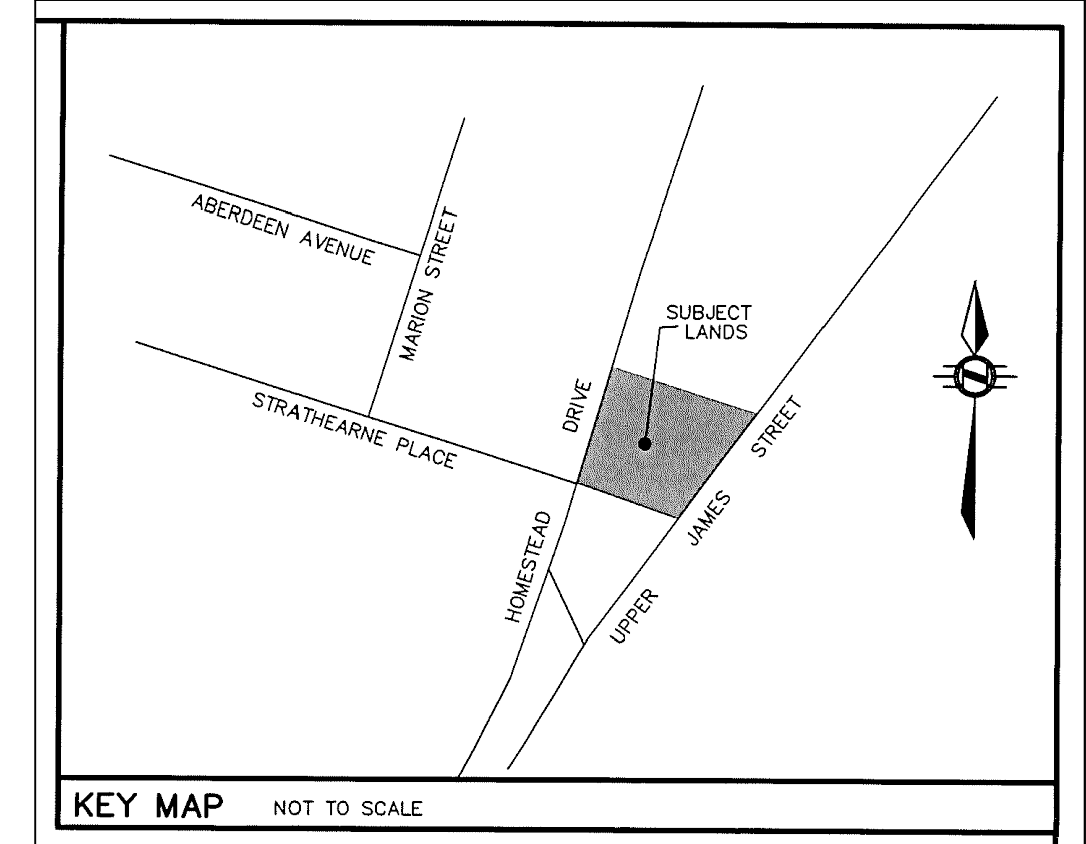
SCALE	<b>3/8" : 1'</b>
Regional Drawing No.	
Project No.	<b>A1.04</b>

Roof  
27' - 1 1/2"

Roof  
18' - 1 1/2"

SECOND FLOOR  
10' - 1 1/2"

GROUND FLOOR  
0"



KEY MAP NOT TO SCALE

No.	Date	By	Revisions	
Design	P.T.	Chk'd	P.T.	Date
Drawn	H.Z.	Chk'd	P.T.	

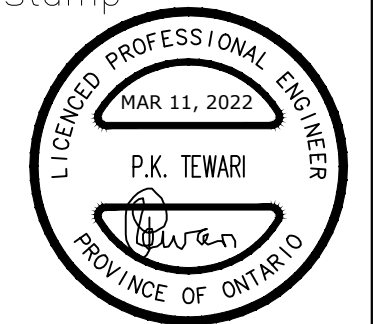
References

Field Notes

Manager of Development Services

Bell  Hydro   
Gas  Cable

Traf.  Water   
Stamp



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Municipality  
**CITY OF HAMILTON**  
3353 HOMESTEAD Dr.

PROJECT NAME  
**NORTH ELEVATION**

SCALE <b>3/8" = 1'</b>	A2.01
Regional Drawing No.	
Project No.	

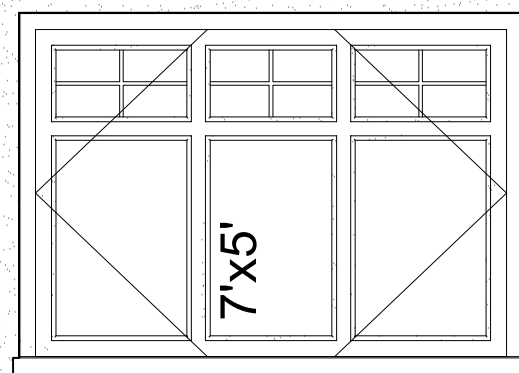
Roof  
27' - 1 1/2"

4 12

ASPHALT SHINGLES

Roof  
18' - 1 1/2"

STUCCO SIDING



7'x5'

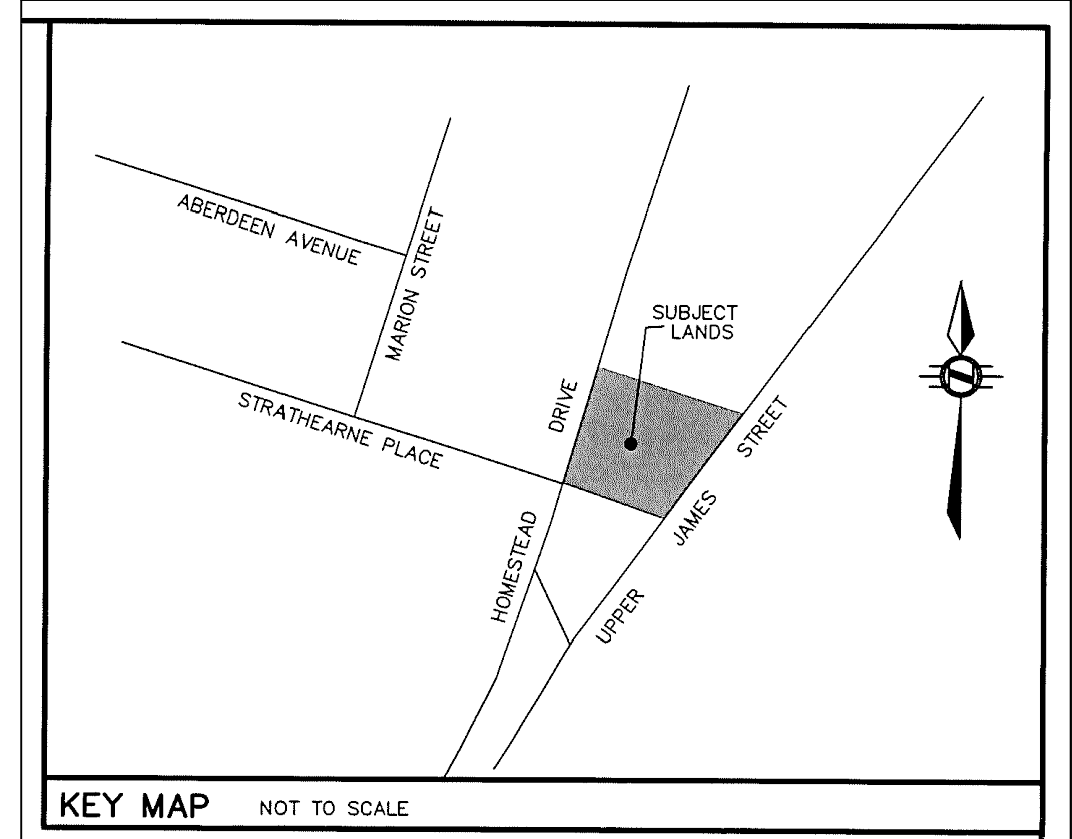
SECOND FLOOR  
10' - 1 1/2"

BRICKS

GROUND FLOOR  
0"

WINDOW WELL  
48" X 36"

EGRESS WINDOW WELL  
72" X 36"



KEY MAP NOT TO SCALE

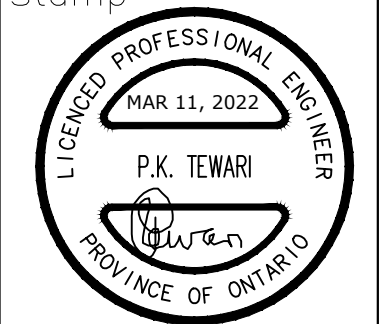
No.	Date	By	Revisions	
Design	P.T.	Chk'd	P.T.	Date
Drawn	H.Z.	Chk'd	P.T.	

References

Field Notes

Manager of Development Services  
 Bell  Hydro  
 Gas  Cable

Traf.  Water  
Stamp



Planning & Economic Development

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Municipality

CITY OF HAMILTON  
3353 HOMESTEAD Dr.

PROJECT NAME

WEST ELEVATION

SCALE

3/8 : 1'

Regional Drawing No.

Project No.

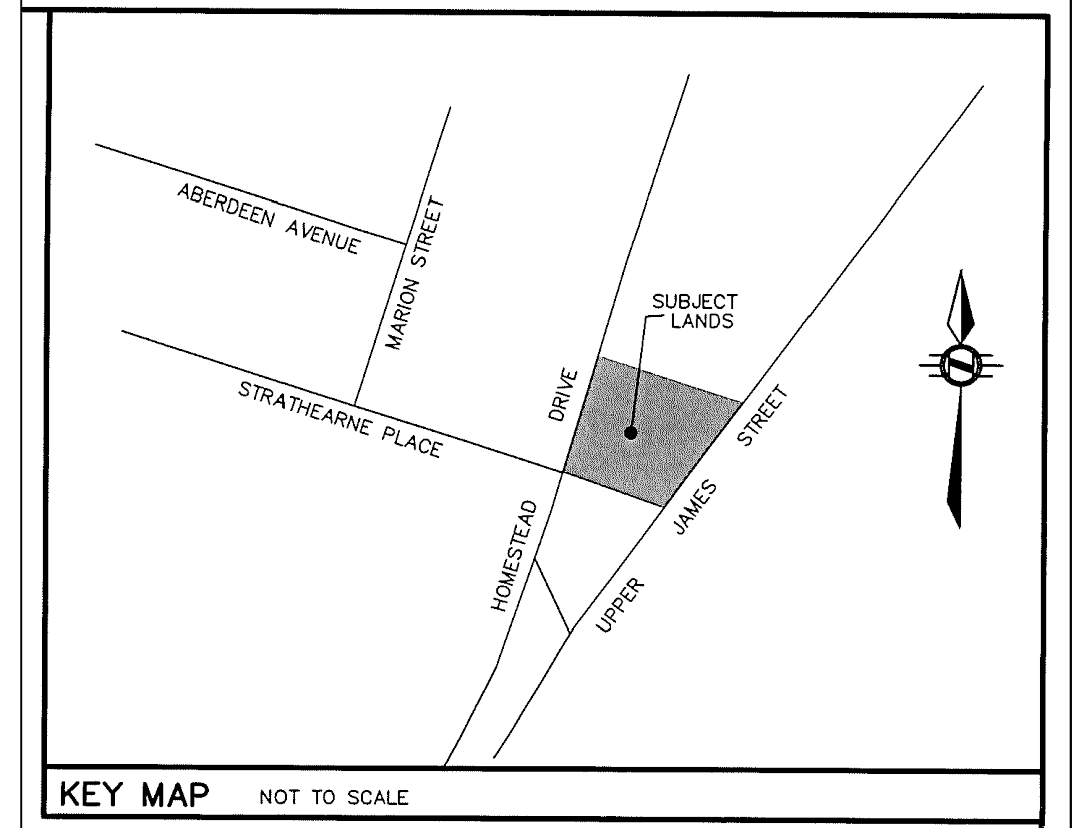
A2.02

Roof  
27' - 1 1/2"

Roof  
18' - 1 1/2"

SECOND FLOOR  
10' - 1 1/2"

GROUND FLOOR  
0"



KEY MAP NOT TO SCALE

No.	Date	By	Revisions	
Design	P.T.	Chk'd	P.T.	Date
Drawn	H.Z.	Chk'd	P.T.	

References

Field Notes

Manager of Development Services

Stamp

Bell    Hydro    Gas    Cable    Traf.    Water



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Municipality

**CITY OF HAMILTON**  
3353 HOMESTEAD Dr.

PROJECT NAME

**SOUTH ELEVATION**

SCALE **3/8" = 1'**

Regional Drawing No.

Project No.

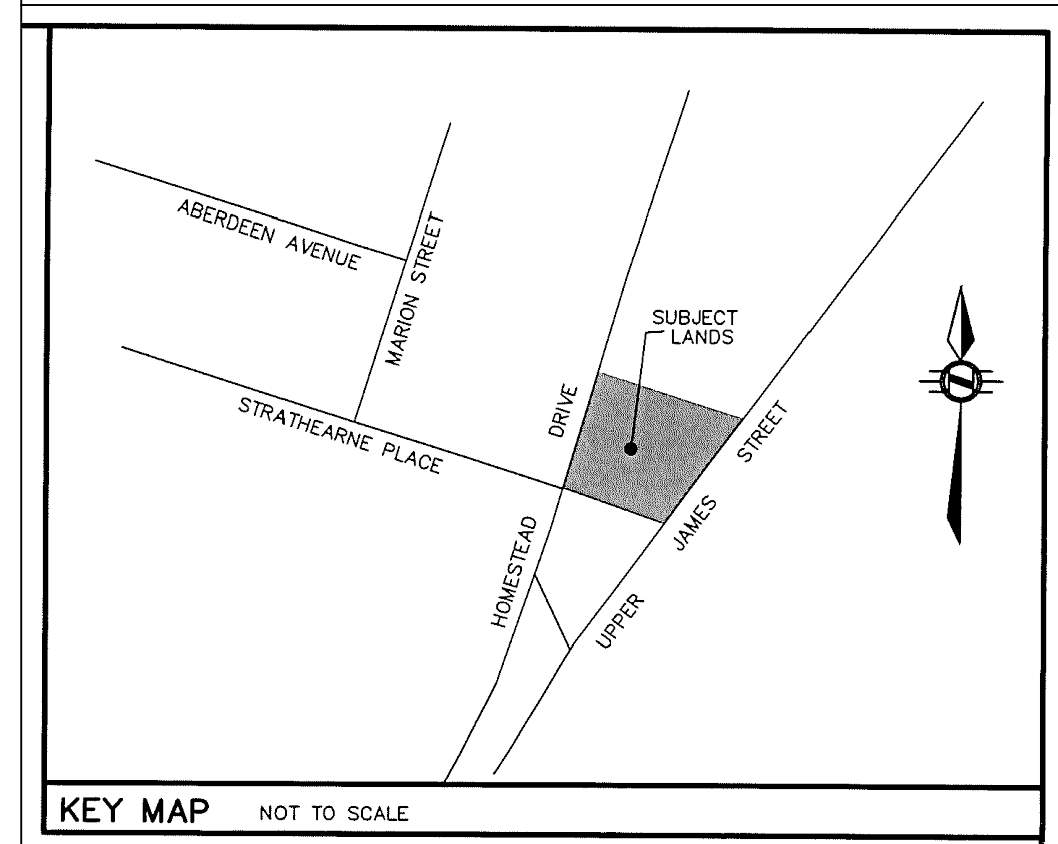
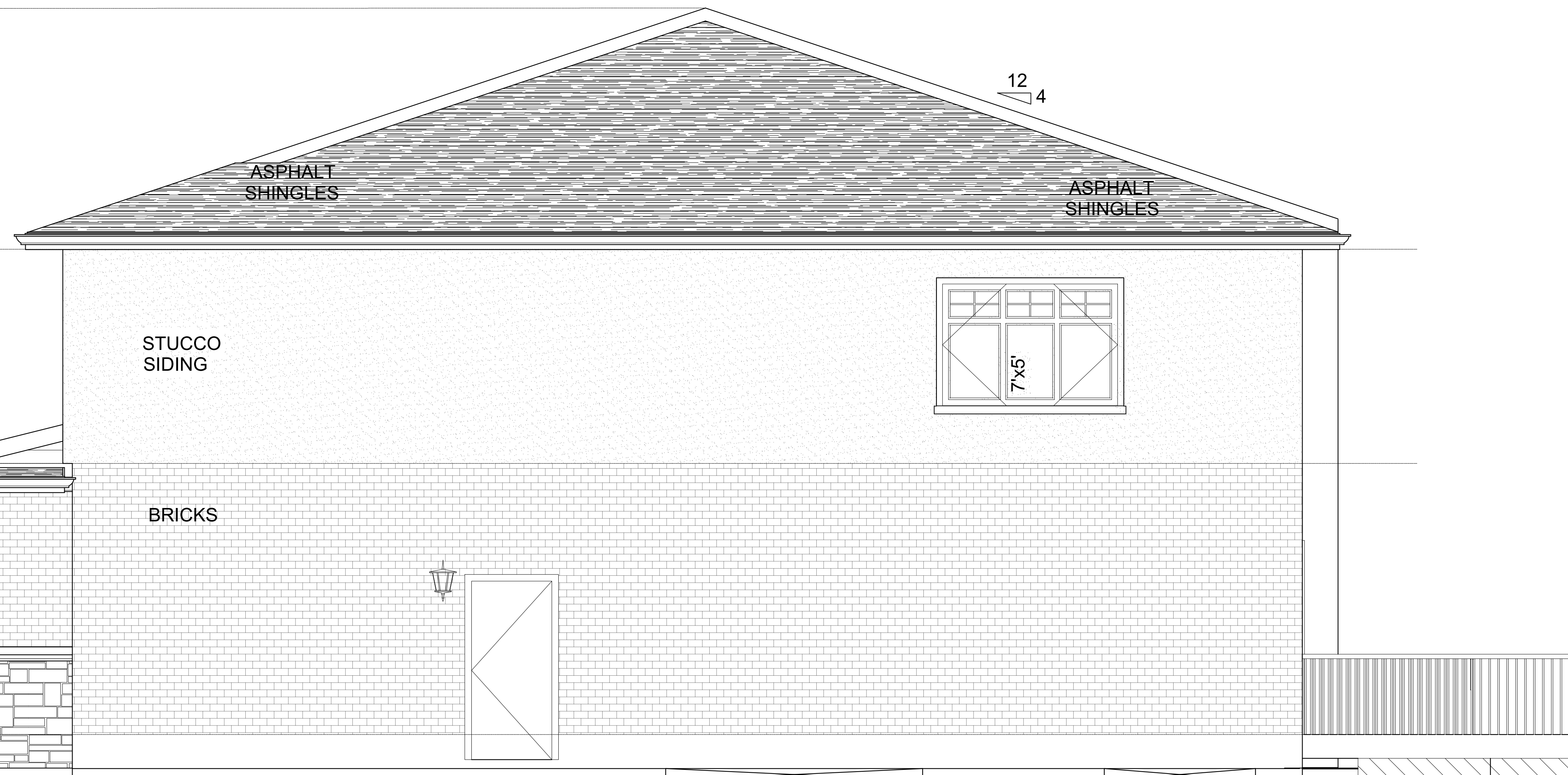
**A2.03**

Roof  
27' - 1 1/2"

Roof  
18' - 1 1/2"

SECOND FLOOR  
10' - 1 1/2"

GROUND FLOOR  
0"



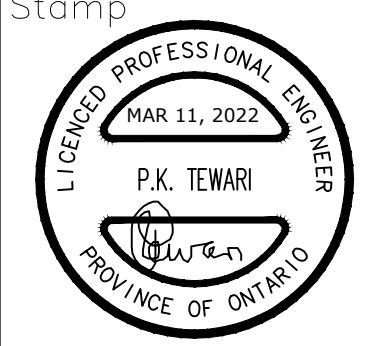
No.	Date	By	Revisions
Design	P.T.	Chk'd	P.T. Date
Drawn	H.Z.	Chk'd	P.T.

References	
Field Notes	

Manager of Development Services

- Bell  Hydro
- Gas  Cable
- Traf.  Water

Stamp



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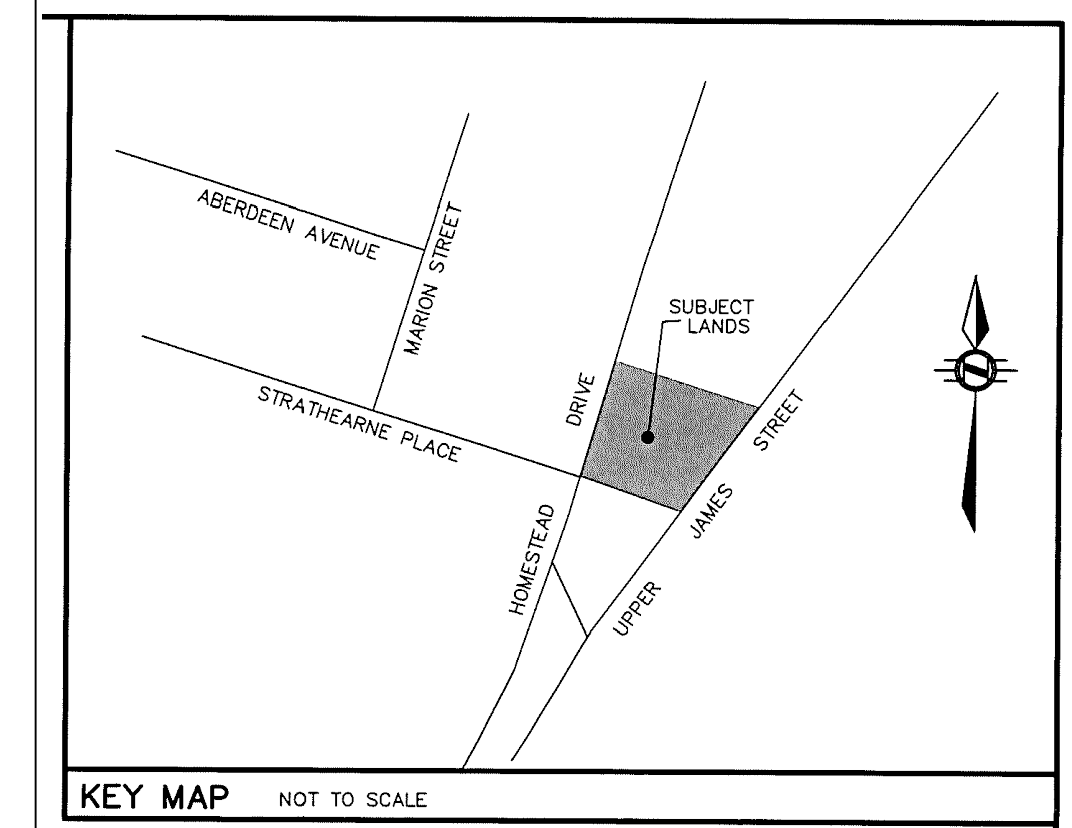
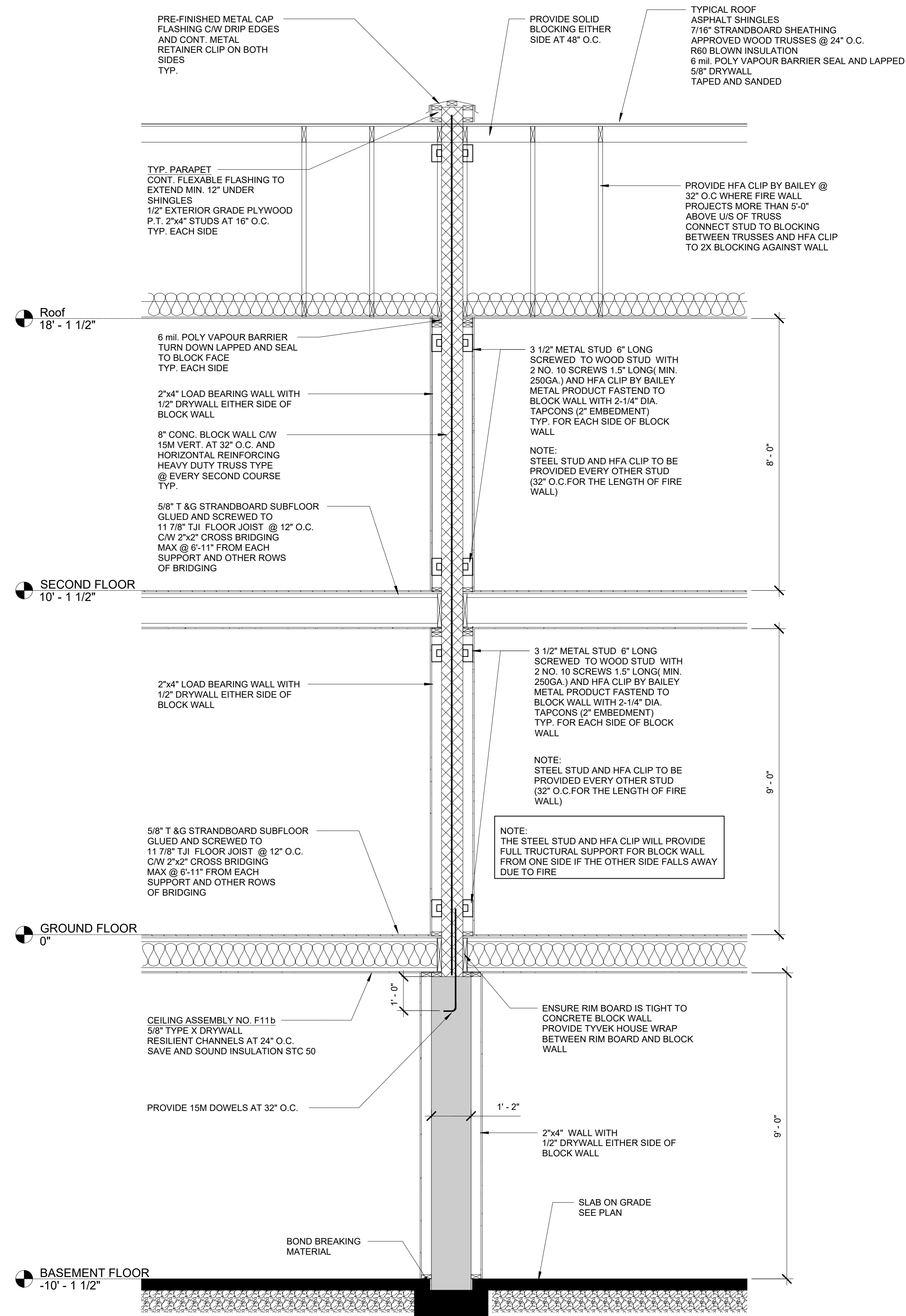
Municipality

**CITY OF HAMILTON**  
 3353 HOMESTEAD Dr.

PROJECT NAME  
**EAST ELEVATION**

SCALE **3/8" = 1'**  
 Regional Drawing No.  
 Project No. **A2.04**

DRAWING SCALE 1/4" : 1' - SHEET SIZE 24" X 36"



No.	Date	By	Revisions
Design	P.T.	Chk'd	P.T. Date
Drawn	H.Z.	Chk'd	P.T.
References			
Field Notes			
Bell <input type="checkbox"/> Hydro <input type="checkbox"/> Gas <input type="checkbox"/> Cable <input type="checkbox"/> Traf. <input type="checkbox"/> Water <input type="checkbox"/> Stamp			
Manager of Development Services Planning & Economic Development			



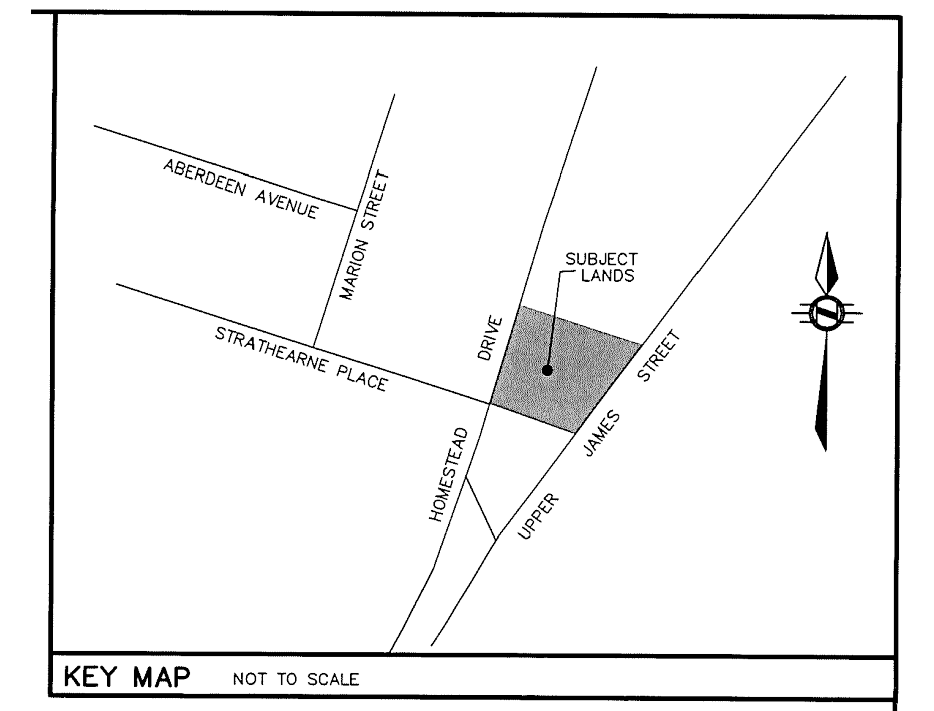
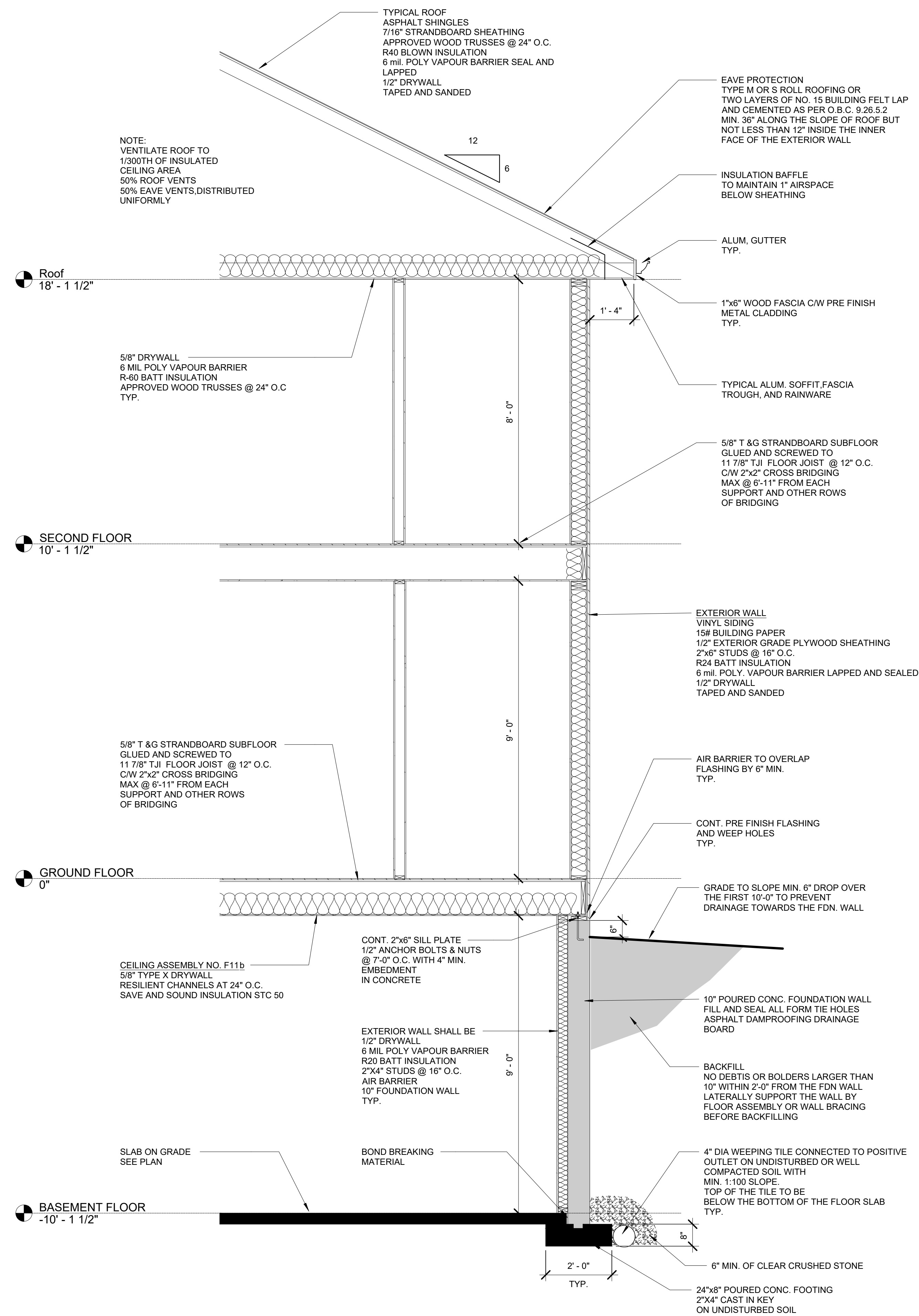
IDM (2005) CONSULTANTS INC.  
 5325 HARVESTER ROAD  
 BURLINGTON, ONTARIO  
 5K4 L7L  
 TEL. 905-928-2542

Municipality  
**CITY OF HAMILTON**  
 3353 HOMESTEAD Dr.

PROJECT NAME  
**FIRE WALL SECTION DETAILS**

SCALE **1/2" : 1'**  
 Regional Drawing No.  
 Project No. **A4.01**

DRAWING SCALE 1/2" : 1' - SHEET SIZE 24" X 36"



No.	Date	By	Revisions
Design	P.T.	Chk'd	P.T. Date
Drawn	H.Z.	Chk'd	P.T.
References			
Field Notes			
Bell <input type="checkbox"/> Hydro <input type="checkbox"/> Gas <input type="checkbox"/> Cable <input type="checkbox"/> Traf. <input type="checkbox"/> Water <input type="checkbox"/>			
Stamp			
Manager of Development Services			
Planning & Economic Development			

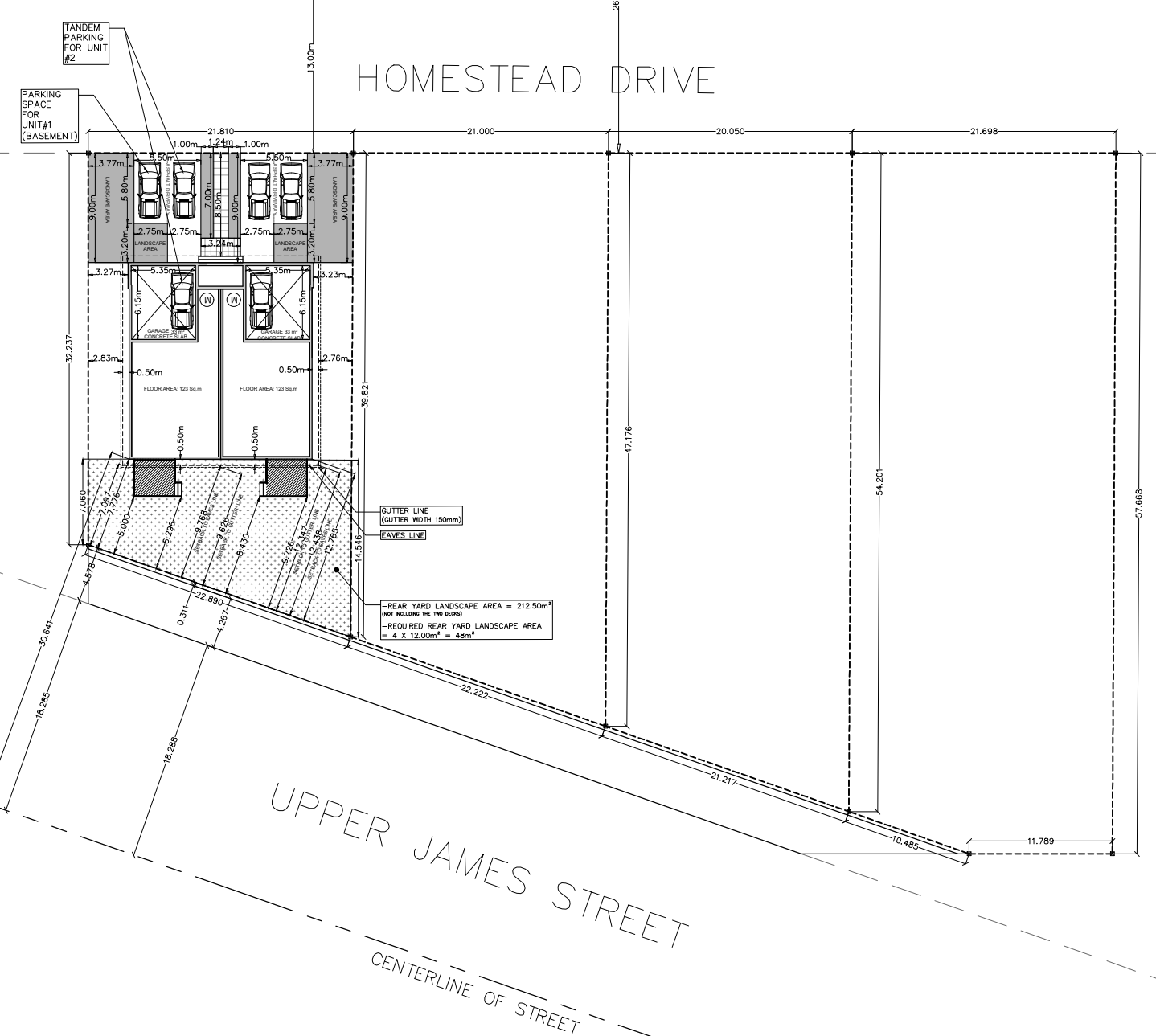
IDM (2005) CONSULTANTS INC.  
 5325 HARVESTER ROAD  
 BURLINGTON, ONTARIO  
 5K4 L7L  
 TEL. 905-928-2542

Municipality  
**CITY OF HAMILTON**  
 3353 HOMESTEAD Dr.

PROJECT NAME	A4.02
<b>SECTION DETAILS</b>	
SCALE	
1/2" : 1'	
Regional Drawing No.	
Project No.	



DRAWING SCALE 1 : 500 - SHEET SIZE 11" X 17"



FRONT YARD AREA:  
 $21.81 \times 9.00 = 196.29\text{m}^2$   
 (50% = 98.145m<sup>2</sup>)

LANDSCAPE AREA(both sides):

$2 \times (3.77 \times 9.0) = 67.86\text{m}^2$   
 $2 \times (2.75 \times 3.20) = 17.60\text{m}^2$   
 $2 \times (7.0 \times 1.0) = 14.00\text{m}^2$

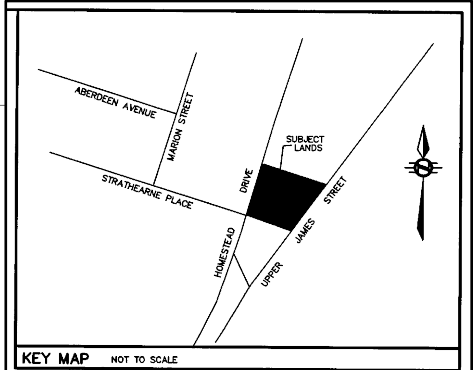
TOTAL LANDSCAPE AREA: 99.46m<sup>2</sup>  
 (More than 50% of the front yard area)

NOTRS:

1- "LANDSCAPED AREA" MEANS AN AREA THAT SHALL NOT BE BUILT UPON AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN AS AN AREA OF LANDSCAPING, WHICH MAY INCLUDE GRASS, SHRUBS, FLOWERS, TREES AND SIMILAR TYPES OF VEGETATION, AND PATHS, WALKS, PATIOS, FENCES AND SIMILAR APPURTENANCES, BUT SHALL EXCLUDE PARKING AREAS, LOADING AREAS, DRIVEWAYS OR RAMPS.

2- WHERE A LANDSCAPED AREA IS REQUIRED ADJACENT TO A PARKING AREA, THE LANDSCAPED AREA SHALL BE CURBED WITH CONTINUOUS Poured CONCRETE AND/OR SUITABLY BARRICADED WHERE IT ABUTS THE PARKING AREA SO AS TO PREVENT THE USE OR ENCROACHMENT OF THIS LANDSCAPED AREA BY PARKING OR MANOEUVRING MOTOR VEHICLES

LOT AREA: 785.791 Sq.m  
 RESIDENTIAL FLOOR AREA: 246.00 Sq.m  
 LOT COVERAGE: 246/769.1 = 31.31%



No.	Date	By	Revisions
Design	P.T.	Chk'd	P.T.
Drawn	H.Z.	Chk'd	P.T.

Date: APR 24, 2022

Scale: 1:500m HOR

References:

Field Notes:

Manager of Development Services:

Bell  Hydro   
 Gas  Cable   
 Traf.  Water

Stamp:

IDM (2005) CONSULTANTS INC.  
 5325 HARVESTER ROAD  
 BURLINGTON, ONTARIO  
 L7R 4K4  
 TEL: 905-928-2542

Municipality:

**CITY OF HAMILTON**  
 3353 HOMESTEAD Dr.

PROJECT NAME:

**SITE PLAN**

SCALE	<b>1 : 500</b>
Regional Drawing No.	
Project No.	<b>SP101</b>



Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

#### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

3353 Homestead Drive. Ham./Glan. L0R 1W0 Vacant land - no mortgage property is fully purchased.
--

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

To permit construction of a semi-detached dwelling on this vacant land, as per submitted proposed developing drawings.

Second Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Refer to attached Letter NOTE 5.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

3353 Homestead Drive. Ham./Glan. L0R 1W0  
Lot 6 Concession 5 REGISTERED PLAN 62R-13335

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial

Agricultural       Vacant

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes       No       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes       No       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes       No       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes       No       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes       No       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes       No       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes       No       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes       No       Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

N/A

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

### 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Jan. 31, 2022

Date



Signature Property Owner(s)

Sara Salari-Joubani

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	21m
Depth	42m
Area	882m <sup>2</sup>
Width of street	9m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

Vacant land.

Proposed

New Semi-Detached Dwelling refer to propose development drawings.  
Ground floor area: 130m<sup>2</sup> each semi, Gross floor area: 240m<sup>2</sup>, Two storey building,  
Building Width 15.3m, Building Length 16.2m, Building Height max. 8m+ \_

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

Vacant land.

Proposed:

Front Yard 9m, Rear Yard 10.5m Side Yard 2.4m each side

13. Date of acquisition of subject lands:  
This Land was purchased 2019
14. Date of construction of all buildings and structures on subject lands:  
Vacant Land
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Vacant Land
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
Single Family Dwellings, Semi-Detached, Townhouses, 2 New subdivision.
17. Length of time the existing uses of the subject property have continued:  
Yes, this is a Vacant Land
18. Municipal services available: (check the appropriate space or spaces)  
Water YES, Connected To be once permit obt  
Sanitary Sewer YES Connected To be once permit obt  
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:  
Yes, this is existng established neighborhood, lot created through consent.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
NO
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)  
 Yes  No  
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
 Yes  No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

Required	Proposed	Conforms/Non-conforms	Variance Required
<b>Minimum Parking Space Size</b> <i>[Section 7.35(a)(i) and (b)]</i>	3.0m x 6.0m	The width is not shown to the narrowest part of the driveway x 9.0m long <i>(2 parking spaces within the driveway shown on the Site Plan submitted with the March 14/22 email)</i>  NOTE: The 7.0m width shown is not to the unobstructed part of the driveway where it appears a walkway is located to the front entrance	<b>The Parking spaces are 3m x 6m Conform</b>
		The width is not shown to the narrowest part of the attached garage (but will be less than 3.0m in width for each space) x 6.15m long <i>(2 parking spaces within the driveway shown on the Site Plan submitted with the March 14/22 email)</i>  NOTE: The 5.35m width is not shown to the narrowest part of the attached garage	<b>This is in compliance</b>

### SDU REGULATIONS

1. Section 11.13(n) “exterior appearance of a semi-detached dwelling” was deleted in its entirety by Amending By-law No. 21-167.

	Required	Proposed	Conforms/Non-conforms	Variance Required
<b>Maximum Number of Secondary Dwelling Units in each half of a Semi-Detached Dwelling</b> <i>[Section 11.13(c), (f) and (h)]</i>	For lands within a Residential Zone, a maximum of one (1) Secondary Dwelling Unit shall be permitted within a Single Detached Dwelling, a Semi-Detached Dwelling or Street Townhouse Dwelling <i>[Section 11.13(c)]</i>	It appears that one SDU is proposed in each half of the semi-detached dwelling	<b>1 Single-Family Dwelling And 1 Secondary Dwelling Unit For Each side Conform</b>	No
	A Secondary Dwelling Unit shall be permitted in each semi-detached or street townhouse dwelling unit on a non-severed lot <i>[Section 11.13(f)]</i>			
	A semi-detached dwelling containing one or more Secondary Dwelling Units, one or more Secondary Dwelling Units – Detached, or both, shall not be considered a			

	triplex or apartment building [Section 11.13(h)]			
<b>Parking shall be provided for a Secondary Dwelling Unit</b> [Section 11.13(k) as further varied by By-law No. 21-167]	1) Parking shall be provided in accordance with Section 7.35a) of this bylaw; and  2) Notwithstanding clause (k)1), no additional parking space shall be required for any dwelling on a lot, provided the number of legally established parking spaces, which existed on May 12, 2021, shall continue to be provided and maintained	See the Parking Review Below  <b>As shown on the survey/grading site plan 2-parking spaces for Single-family dwellings are tandem which is permitted and 1-parking space is provided for the secondary dwelling unit.</b>	<b>Parking is Provided as shown on the site plan</b>	No
<b>Front Yard Landscaping for a Secondary Dwelling Unit</b> [Section 11.13(l) and (l)(i) as further varied by By-law No. 21-167]	(l) Not less than 50% of the gross area of the Front and Flankage Yards shall be used for a landscaped area and shall not include concrete, asphalt, gravel, pavers, or other similar material, and where required parking may be located in a required Front or Exterior Side Yard  (l) (i) Encroachments in the Front and Exterior Side Yards identified in Section 11.13l) shall also be subject to Section 7.26	Front yard landscape details have not been provided; however, it appear that less than 50% landscaping is provided due the 2 driveways	<b>Unable to determine compliance but appears to be Non-conforming</b>  <b>The amended revised site plan shows that green space is in compliance and is more than 50% please refer to the attached site plan showing compliance.</b>	<b>YES Variance #</b>  <b>NOT REQUIRED</b>
<b>Outside Stairway for a Secondary Dwelling Unit</b> [Section 11.13(o)]	There shall be no outside stairway above the first floor other than an required exterior exit	Details have not been provided. <b>There is no outside stairway refer to A2.02 drawing and A2.04.</b>	<b>Unable to determine compliance In compliance</b>	<b>Unable to determine</b>
<b>Entrance to a Secondary Dwelling Unit</b> [Section 11.13(p) as further varied by By-law No. 21-167]	An separate entrance and exit to the Secondary Dwelling Unit shall be oriented toward the interior Side Lot Line or Rear Lot Line, or in the case of a corner lot, the street frontage where the principal entrance is not located on	Details have not been provided  <b>The exit door for the secondary dwelling unit is oriented towards the interior as shown on drawing: A1.02 floor plan</b>	<b>Unable to determine compliance</b>  <b>In compliance</b>	<b>Unable to determine</b>
<b>Minimum Landscaped Area for Dwelling Units</b> [Section 11.13(q)]	A minimum landscaped area shall be provided and maintained in the rear yard for each dwelling unit on the lot,	Landscaped area details have not been provided for all dwelling units  <b>As shown on the site plan landscape and landscape</b>	<b>Unable to determine compliance</b>  <b>In compliance.</b>	<b>Unable to determ</b>

	<p>in accordance with the following provisions:</p> <p>(i) A landscaped area of 8.0 square metres for each dwelling unit less than 50 square metres; and,</p> <p>(ii) An landscaped area of 12.0 square metres for each dwelling unit 50 square metres or more</p>	<p><i>calculation is provided and is less than 50m<sup>2</sup></i></p> <p><i>The proposed backyard is 10.7m<sup>2</sup> the portion where the deck is for the upper unit and the land space in the back close to the rear is for the lower unit.</i></p> <p><i>The back yard is 120m<sup>2</sup> per unit side</i></p>		
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	Required	Proposed	Conforms/ Non-conforms	Variance Required
<b>Minimum Lot Frontage</b> [Section (a) of the "R3-311" site-specific zone]	20.0m	20.0m (As shown on the Site Plan prepared by IDM (2005) Consultants Inc)	Conforms	No
		21.810m (As shown on Part 4 of Plan 62R-21140)	Conforms	No
<b>Minimum Lot Area</b> [Section (b) of the "R3-311" site-specific zone]	810m <sup>2</sup> for Lot 4	769.0m <sup>2</sup> (As shown on the Site Plan prepared by IDM (2005) Consultants Inc)	<b>Non-conforming</b> This is how severance has been originally approved how would city of Hamilton approve severance for under size lot because the original zone for this property when severance was it was C5.	<b>YES Variance</b>
		785.78m <sup>2</sup> (As shown on Part 4 of Plan 62R-21140)	<b>Non-conforming</b>	<b>YES Variance</b>
		Determined by: 699.2m <sup>2</sup> (20m x 34.96m) + 69.8m <sup>2</sup> (20m x 6.98m [41.94m - 34.96m] = 139.6m <sup>2</sup> ÷ 2 = 69.8m <sup>2</sup> ) = 769.0m <sup>2</sup>		
		Determined by: 703.08m <sup>2</sup> (21.810m x 32.237m) + 69.8m <sup>2</sup> (21.810m x 7.584m [39.821m - 32.237m] = 165.40m <sup>2</sup> ÷ 2 = 82.7m <sup>2</sup> ) = 785.78m <sup>2</sup>		
<b>Maximum Lot Coverage</b>	35%	<b>Propose lot coverage is 31%</b>	<b>Conform</b>	NO



<i>[Section 15.2(c) of the "R3" zone]</i>		<b>Shown on the survey site plan</b>		
<b>Front Lot Line Determination and No Access to Upper James Street</b> <i>[Per the "R3-311" site-specific zone]</i>	Notwithstanding the definition of "Lot Line, Front" in <b>SECTION 4: DEFINITIONS</b> of Zoning By-law No. 464, for the purpose of this By-law, the Front Lot Line is deemed to be Homestead Drive, and	Homestead Drive is the front lot line	Conforms	No
	No vehicular egress to Upper James Street shall be permitted	Access is onto Homestead Drive only	Conforms	No
<b>Minimum Front Yard</b> <i>[Section (d) of the "R3-311" site-specific zone]</i>	9.0m	<b>9.0m refer to survey/grading plan</b>	<b>Conform</b>	No
<b>Minimum Side Yard</b> <i>[Section 15.2(e) of the "R3" zone]</i>  NOTE: An attached garage is shown for each half of the semi-detached dwelling.	1.2m	North 2.36m (7'9")	Conforms	No
		South 2.38m (7'10")	Conforms	No
<b>Minimum Rear Yard</b> <i>[Section (e) of the "R3-311" site-specific zone]</i>	22.0m	10.69m (35'1") <b>20m from the mid of the street</b>	<b>Non-conforming</b>	<b>YES</b>
<b>Minimum Floor Area per Dwelling</b> <i>[Section 15.2(g) of the "R3" zone]</i>	(i) 1 storey: 100m <sup>2</sup> (ii) 1½ storey or Split Level: 120m <sup>2</sup> (iii) 2 or 2½ storeys: 135m <sup>2</sup>	<b>Provided refer to the revised survey site plan. Basement Unit 1 – 115m<sup>2</sup> Main/Second Unit 2 – 200m<sup>2</sup>+</b>	<b>Conform</b>	<b>Unable to determine</b>
<b>Maximum Height</b> <i>[Section 15.2(h) of the "R3" zone and Section 7.28]</i>	10.7m ("R3" zone)  All development within the Township of Glanbrook shall comply with the Hamilton Airport Zoning (Height) Regulations established by Transport Canada, which are registered at the local Land Titles Office	<b>Building Height to pick of the roof is 8.3m This building is only 2-storey building as shown on the Elevation plan</b>	<b>Conform</b>	<b>Unable to determine</b>
<b>Maximum Permitted Yard Encroachment into the Side Yard for Eaves and Gutters</b> <i>[Section 7.26(a)]</i>	Sills, belt courses, cornices, eaves or gutters, chimneys, bay windows, or pilasters, which may project into any required yard a distance of not more than 0.5 metres	<b>No proposed encroachments Side Yard 2.36m Front Yard 9m Rear yard 10.7m</b>	<b>Conform</b>	<b>Unable to determine</b>

<p><b>Special Setback Requirements from Street</b> [Section 7.26(a)]</p>	<p>For the purpose of establishing building line setbacks and where the regulations of a Zone include a minimum yard requirement, such minimum yard shall be determined by measuring at right angles from the centre line of the street abutting such yard in the direction of such lot or parcel of land a distance equal to the sum of:</p> <p>(a) The said specific number of metres in the relevant regulation of the particular Zone, plus (b) The distance in metres specified in the following charts, which are hereby declared to form a part of this By-law, as the distance from the centre line of the deemed street width</p> <p><u>As such:</u></p> <p><u>Setback from the Centreline of Homestead Drive:</u> 22.0m from the centerline [13.0m (26.0m deemed street width) + 9.0m (front yard setback)]</p> <p><u>Setback from the Centreline of Upper James Street:</u> 31.0m from the centerline [9.0m (18.0m deemed street width) + 22.0m (rear yard setback)]</p>	<p>The setback of the dwelling from the centerline of both Homestead Drive and Upper James Street has not been shown</p> <p><b>Provided as shown on the survey/grading plan. Upper James to Dwelling – 20m Homestead Dr to Dwelling – 22m</b></p>	<p><b>Unable to determine compliance</b></p> <p><b>A committee may be required.</b></p>	<p><b>Unable to determine</b></p>
<p><b>Minimum Garage Floor Elevation</b> [Section 11.8]</p>	<p>The floor elevation of a garage shall be a minimum of 30 centimetres (0.3m) above the centre line of the street adjacent to the garage, unless other provisions are made for adequate drainage to the satisfaction of the Township Engineer</p>	<p><b>The garage is sloping to the outwards by 2% and there are two steps to enter the house the garage slab is over 0.3m than the required. See Grading/Survey Plan</b></p>	<p><b>Conform</b></p>	<p><b>Unable to determine</b></p>
<p><b>PARKING REGULATIONS</b></p>				
	<p><b>Required</b></p>	<p><b>Proposed</b></p>	<p><b>Conforms/ Non-conforms</b></p>	<p><b>Variance Required</b></p>

<b>Minimum Number of Parking Spaces for a Semi-detached Dwelling</b> [Section 7.35(a)(i) and (b)]	2 spaces for each dwelling unit	<b>Revise survey/grading plan shows 2 parking spaces (tandem) and 1 parking space outside the garage</b>	<b>Not sure if variance will be required.</b>	<b>Unable to determine</b>
<b>Minimum Parking Space Size</b> [Section 7.35(a)(i) and (b)]	3.0m x 6.0m	<b>Provided the revised site plan illustrates 3x6m</b>		<b>Unable to determine</b>
<b>Parking Spaces on the Lot</b> [Section 7.35(a)(iii)]	The parking facilities shall be located on the same lot as the principal use	<b>All parking spaces are provided on the lot and within the inside garage</b>	<b>Conform</b>	<b>Unable to determine</b>
<b>Tandem Parking for a Single Detached Dwelling</b> [Section 7.35(a)(iv)]	Tandem parking is permitted for a semi-detached dwelling	<b>Tandem parking provided</b>	<b>Conform</b>	<b>Unable to determine</b>
<b>Parking Area Surface</b> [Section 7.35(a)(x)]	All parking areas shall be constructed with a stable surface, shall have adequate drainage and shall be permanently maintained	<b>As per the grading plan the parking area is going to be asphalt slope to outdoor as per P.Eng design.</b>	<b>Conform</b>	<b>Unable to determine</b>