



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	HM/A-22:141	SUBJECT PROPERTY:	18 ALPINE AVE., HAMILTON
ZONE:	“C” (Urban Protected Residential and etc.)	ZONING BY-LAW:	Zoning By-law 6593, as Amended

APPLICANTS: Agent Matthew Fratarcangeli
Owners Steven & Teresa Mercer

The following variances are requested:

1. A side yard setback of 0.3m shall be provided instead of the minimum required 1.2m side yard setback.
2. An encroachment of 0.25m shall be provided for the eaves projection instead of the minimum required 0.15m encroachment for a canopy, cornice, eave or gutter.
3. An encroachment of 1.45m shall be provided for the bay window project in the front yard instead of the minimum required 1.0m encroachment for a bay window projection.

PURPOSE & EFFECT: So as to permit an addition in the rear yard of an existing single family dwelling.

Notes:

- i. The eaves of the proposed addition encroaches into the side yard by 0.25 metres where an eaves/ gutter is permitted to project into the required side yard not more than one-half of its width, or 1.0m whichever is the lesser is permitted as per section 18(3)(iv)(b). As such, a variance has been provided to address this.
- ii. The proposed Bay Window in the front yard encroaches into the required front yard by 1.45 metres where an encroachment of 1.0 metres into the required front yard is permitted as per section 18(3)(iv)(cc). As such, a variance has been provided to

HM/A-22:141

address this.

- iii. An additional variance may be required if the number of habitable rooms within the dwelling is greater than eight (8) as a result of the proposed addition.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, June 9, 2022
TIME:	2:15 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Email Committee of Adjustment staff at cofa@hamilton.ca
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.



 Subject Lands

DATED: May 24, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

Comments are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions During the Virtual Meeting

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, the hearing date, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	STEVEN MERCER TERESA MERCER	
Applicant(s)*	MATTHEW FRATARCANGELI	
Agent or Solicitor	MATTHEW FRATARCANGELI	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

SCOTIA BANK

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

NEW ADDITION AT REAR OF HOUSE TO MAINTAIN EXISTING SIDE YARD SETBACK OF 0.3 METERS.
A 1.2 METER SIDE YARD SETBACK IS REQUIRED.

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

THE NEW ADDITION IS TO MATCH THE EXISTING WIDTH OF THE HOUSE FOR FLOOR PLAN AND CONSTRUCTION EFFICIENCY. THE EXISTING SIDE YARD SETBACK OF 0.3 METERS DOES NOT MEET THE REQUIREMENT OF 1.2 METERS.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

18 ALPINE AVENUE, HAMILTON - HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

LOCATION OF PROPERTY AND HISTORY OF HOUSE AS PROVIDED BY OWNER.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

8/4/2022
Date

Teresa Mercer
Signature Property Owner(s)

TERESA MERCER SIVGEN MERCER
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 9.14 METERS
Depth 28.04 METERS
Area 256.41 SQUARE METERS
Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

HOUSE:
FOOTPRINT INCLUDING COVERED PORCH = 75.60 SQUARE METERS
GROSS FLOOR AREA = 124.54 SQUARE METERS
2 STOREYS, 7.32 METERS WIDE x 9.37 LONG, 8.04 METERS HIGH

Proposed

REAR ADDITION:
FOOTPRINT = 33.45 SQUARE METERS
GROSS FLOOR AREA = 66.90 SQUARE METERS
2 STOREYS, 7.32 METERS WIDE x 4.57 LONG, 8.04 METERS HIGH

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

HOUSE:
LEFT SIDE = 0.3 METERS, RIGHT SIDE = 1.52 METERS,
FRONT = 3.2 METERS, REAR = 13.54 METERS
SHED:
LEFT SIDE = 0.04 METERS, RIGHT SIDE = 0.60 METERS

Proposed:

REAR ADDITION:
LEFT SIDE = 0.3 METERS, RIGHT SIDE = 1.52 METERS,
FRONT = N/A, REAR = 10.38 METERS
DECK:
LEFT SIDE = 1.15 METERS, RIGHT SIDE = 5.10 METERS

13. Date of acquisition of subject lands:
AUGUST 28, 2017
-
14. Date of construction of all buildings and structures on subject lands:
1920
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SINGLE FAMILY
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SINGLE FAMILY
-
17. Length of time the existing uses of the subject property have continued:
SINCE CONSTRUCTED
-
18. Municipal services available: (check the appropriate space or spaces)
- Water _____ Connected _____
- Sanitary Sewer _____ Connected _____
- Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
Urban Protected Residential
-
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
City of Hamilton Zoning By-Law No. 6593
-
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
- Yes No
- If yes, please provide the file number:

- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
- Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
- Yes No
23. Additional Information (please include separate sheet if needed)
-
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



1 AREA MAP
A.01 NTS



2 18 ALPINE AVENUE
A.01 NTS

PROJECT DESCRIPTION:

- THESE DRAWINGS OUTLINE THE PLANS FOR A NEW TWO-STORY ADDITION AT 18 ALPINE AVENUE, IN HAMILTON.

GENERAL NOTES:

1. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT 2012 ONTARIO BUILDING CODE AND ONTARIO CONSTRUCTION SAFETY ACT, AS REQUIRED.
2. CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS TO COMPLY WITH LOCAL SAFETY AUTHORITIES HAVING JURISDICTION (I.E. OCCUPATIONAL HEALTH & SAFETY ACT).
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARD AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
4. VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE PROPERTY OWNER BEFORE PROCEEDING WITH ANY WORK. DO NOT SCALE FROM DRAWINGS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBOURING PROPERTIES.
6. ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED. ANY DAMAGED OR DISTURBED UTILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT CONTRACTOR'S EXPENSE.
7. SAFEGUARD ALL EXISTING STRUCTURES, SERVICES, AND ADJACENT PROPERTY AFFECTED BY THE CONSTRUCTION.
8. ALL CONCRETE WORK, INCLUDING FORMING, REINFORCING, PREPARATION, MIXING, PLACING, CURING AND FINISHING SHALL CONFORM TO CSA CAN 3-A23.1-M90 (M94).
9. ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH CAN3-5304-M90.
10. IF THERE ARE ANY DEVIATIONS FROM WHAT IS DEPICTED ON THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY TENHOUSE BUILDING WORKSHOP AND SEEK INSTRUCTION BEFORE PROCEEDING.

11. DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH CSA S350-M1980(R2003) AND MINISTRY OF LABOUR REQUIREMENTS.
12. IF REQUIRED, CONTRACTOR IS TO PROVIDE SUPPORTS OR SHORING WHERE NECESSARY, BEFORE ANY CLEANUP, DEMOLITION, OR REPAIR ACTIVITIES.
13. ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
14. ALL DIMENSIONAL LUMBER TO BE SPRUCE, PINE, FIR (SPF) NO. 1 OR NO. 2 GRADE.
15. THE CONTRACTOR SHALL SEEK FURTHER DIRECTION, IF REQUIRED, REGARDING DETAILS OR MATERIAL SELECTION. TENHOUSE BUILDING WORKSHOP DOES NOT TAKE RESPONSIBILITY FOR ANY ADDITIONAL DETAILS NOT INCLUDED IN THESE DRAWINGS.
16. ALL SPECIFICATIONS AND MATERIALS PROPOSED BY ENGINEERS SHALL BE USED IN PLACE OF SPECIFICATIONS AND MATERIALS IDENTIFIED IN THE CONSTRUCTION NOTES.
17. ALL MANUFACTURED ITEMS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. SUBMIT ALL INSTALLATION INSTRUCTIONS TO OWNER UPON COMPLETION OF JOB.
18. ALL HAZARDOUS MATERIALS TO BE IDENTIFIED BY THE CONTRACTOR AND PROPERLY DISPOSED OF.
19. ALL WORK AND TRADES SHALL BE COORDINATED BY THE GENERAL CONTRACTOR TO ENSURE ALL WORK IS COMPLETED TO THE HIGHEST STANDARD POSSIBLE.
20. ALL NEW STRUCTURAL MEMBERS ARE TO BE FRAMED, FASTENED, TIED, BRACED, AND ANCHORED TO PROVIDE NECESSARY STRENGTH, RIGIDITY, AND STABILITY PER THE 2012 OBC.
21. GENERAL CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY AND REQUIRED INSPECTIONS.
22. ALL MATERIAL TO BE NEW AND FREE OF DEFECTS.

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	HB	HOSE BIB
ALUM	ALUMINUM	INSUL	INSULATED OR INSULATION
BBSE	BEAM BY STRUCTURAL ENGINEER	INT	INTERIOR
BM	BEAM	JST	JOIST
CLG	CEILING	LVL	LAMINATED VENEER LUMBER
CRF	CONVENTIONAL ROOF FRAMING	LSL	LAMINATED STRAND LUMBER
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM
COL	COLUMN	MIN	MINIMUM
CONC	CONCRETE	MTL	METAL
CONT	CONTINUOUS	OBC	ONTARIO BUILDING CODE
CW	COMPLETE WITH	OC	ON CENTER
DEMO	DEMOLISH	OSB	ORIENTED STRAND BOARD
DIM	DIMENSION	OTA	OPEN TO ABOVE
DJ	DOUBLE JOIST	OTB	OPEN TO BELOW
DN	DOWN	PT	PRESSURE TREATED
DO	DO OVER	PTD	PAINT OR PAINTED
DR	DOOR	REQD	REQUIRED
DROP	DROPPED	RM	ROOM
DS	DOWNSPOUT	RT	ROOF TRUSS
DWG	DRAWING	RWL	RAIN WATER LEADER
EA	EACH	SB	SOLID BEARING
EIFS	EXTERIOR INSULATED FINISH SYSTEM	SBFA	SOLID BEARING FROM ABOVE
ELEV	ELEVATION	SJ	SINGLE JOIST
ENC	ENCLOSED	SPEC	SPECIFIED OR SPECIFICATION
ENG	ENGINEER OR ENGINEERED	SPF	SPRUCE, PINE, FIR
EQ	EQUAL	STL	STEEL
EST	ESTIMATED	T&G	TONGUE AND GROOVE
EXT	EXTERIOR	TJ	TRIPLE JOIST
FD	FLOOR DRAIN	T/O	TOP OF
FG	FIXED GLASS	TYP	TYPICAL
FL	FLUSH	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR	U/S	UNDERSIDE
GA	GAUGE	WIC	WALK-IN CLOSET
GALV	GALVANIZED	WP	WEATHER PROOF
GWB	GYPSUM WALL BOARD		



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI
BCIN#:44839

REGISTRATION INFORMATION

TENHOUSE BUILDING WORKSHOP
BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	04/07/22	MINOR VARIANCE

PROJECT:
TWO STOREY ADDITION
AT 18 ALPINE AVENUE,
HAMILTON, ON

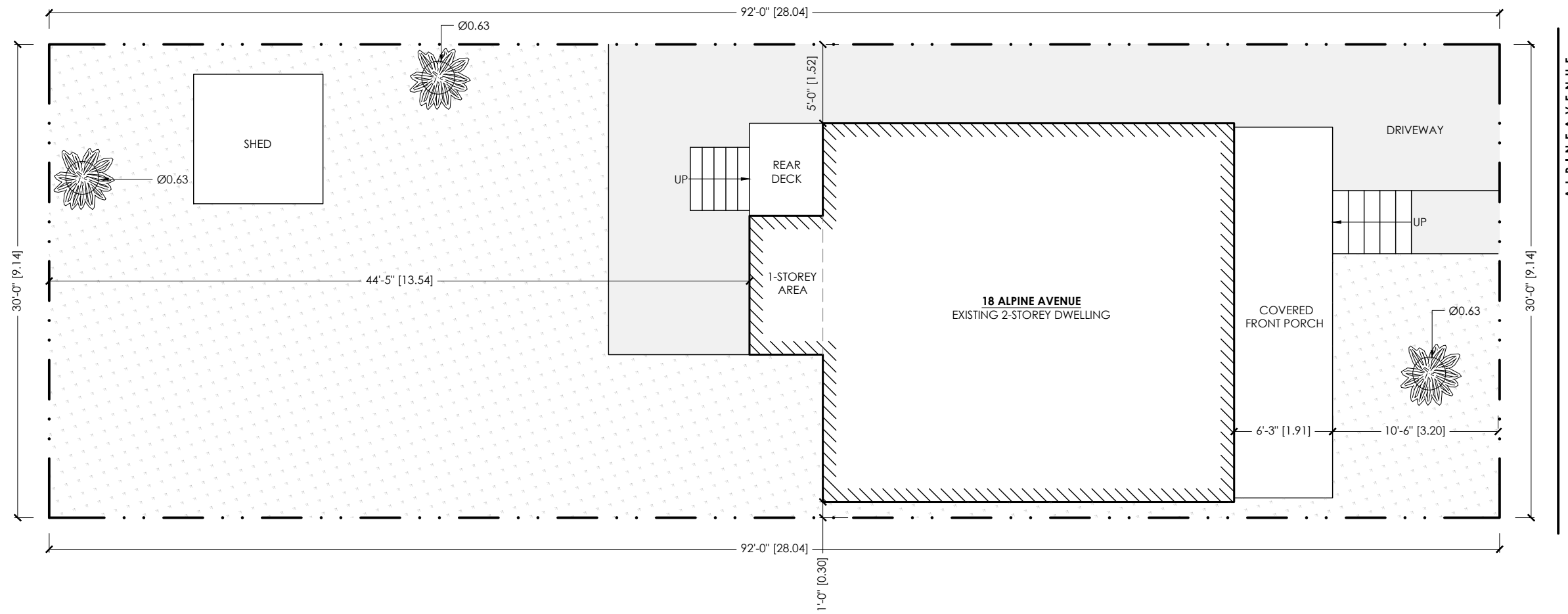
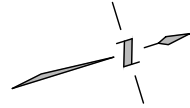
DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-003	CHECKED: M.D.F
REVISION: 0	DATE: 2022-04-07

COVER PAGE

A0.01

LEGEND:

- HARDSCAPE
- SOFTSCAPE



1
A1.01
EXISTING SITE PLAN
 1/8"=1'



TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
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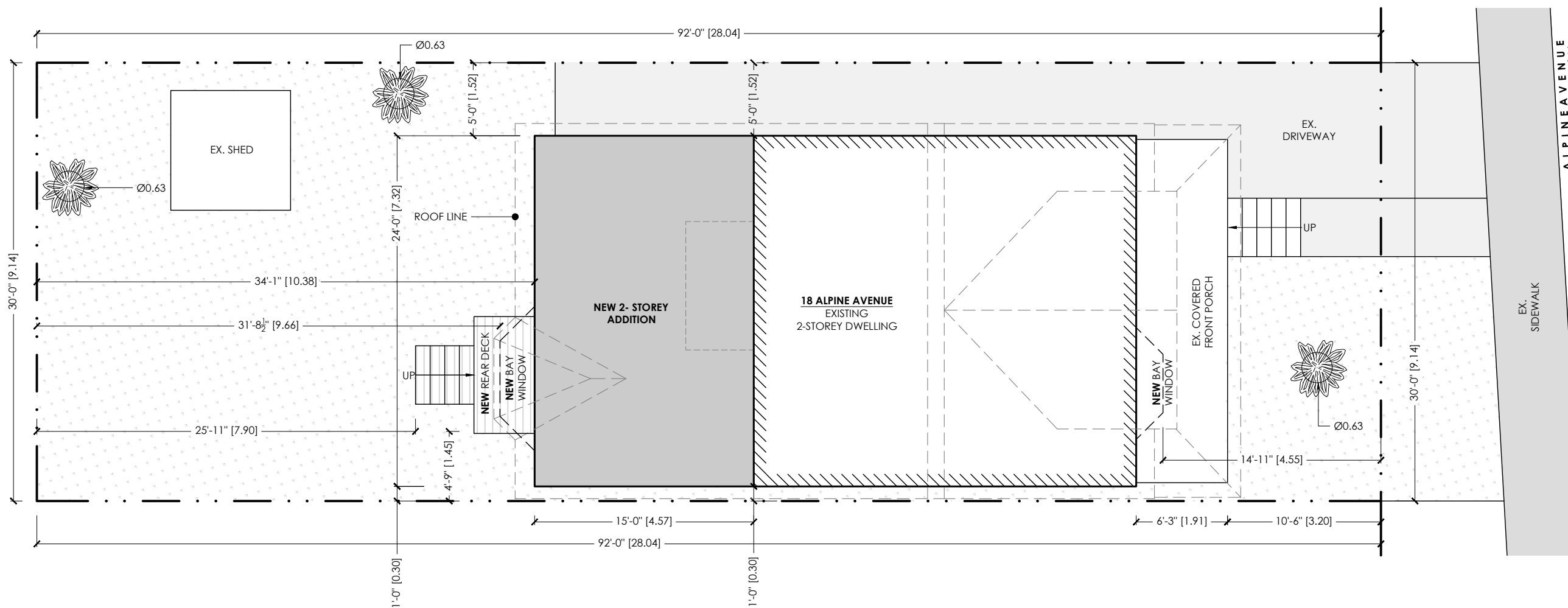
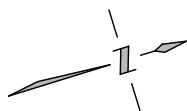
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AT 18 ALPINE AVENUE,
HAMILTON, ON

DRAWN: J.T	APPROVED: M.D.F
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EXISTING SITE PLAN
A.01

- LEGEND:**
- WALLS TO REMAIN
 - NEW ADDITION
 - NEW REAR DECK
 - SOFTSCAPE
 - HARDSCAPE
 - TO BE REMOVED



LOT STATS:

LOT AREA	2757.1 SQ. FT.	[256.14 SQ. M.]
EXISTING HOUSE / PORCH	775.9 SQ. FT.	[72.09 SQ. M.]
EXISTING SHED	67.3 SQ. FT.	[6.25 SQ. M.]
PROPOSED ADDITION	360.1 SQ. FT.	[33.45 SQ. M.]
NEW REAR DECK	49.2 SQ. FT.	[4.57 SQ. M.]

1
A1.02

PROPOSED SITE PLAN

1/8"=1'



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BUILDING WORKSHOP

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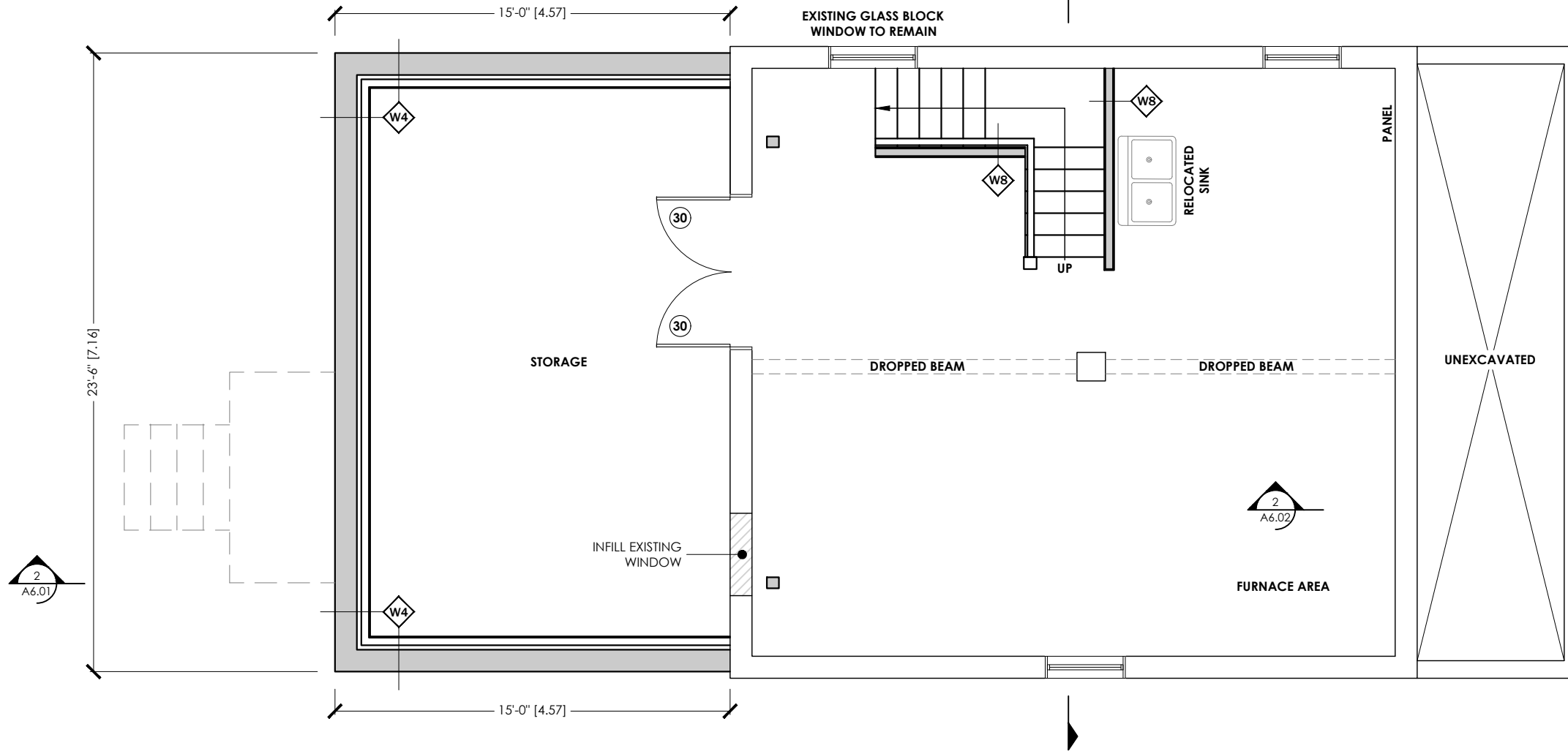
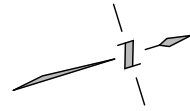
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PROPOSED SITE PLAN

A1.02

LEGEND:

- WALLS TO REMAIN
- NEW CONSTRUCTION



1 PROPOSED BASEMENT LEVEL
A3.01 3/16" - 1'-0"

TENHOUSE
BUILDING WORKSHOP

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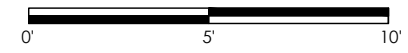
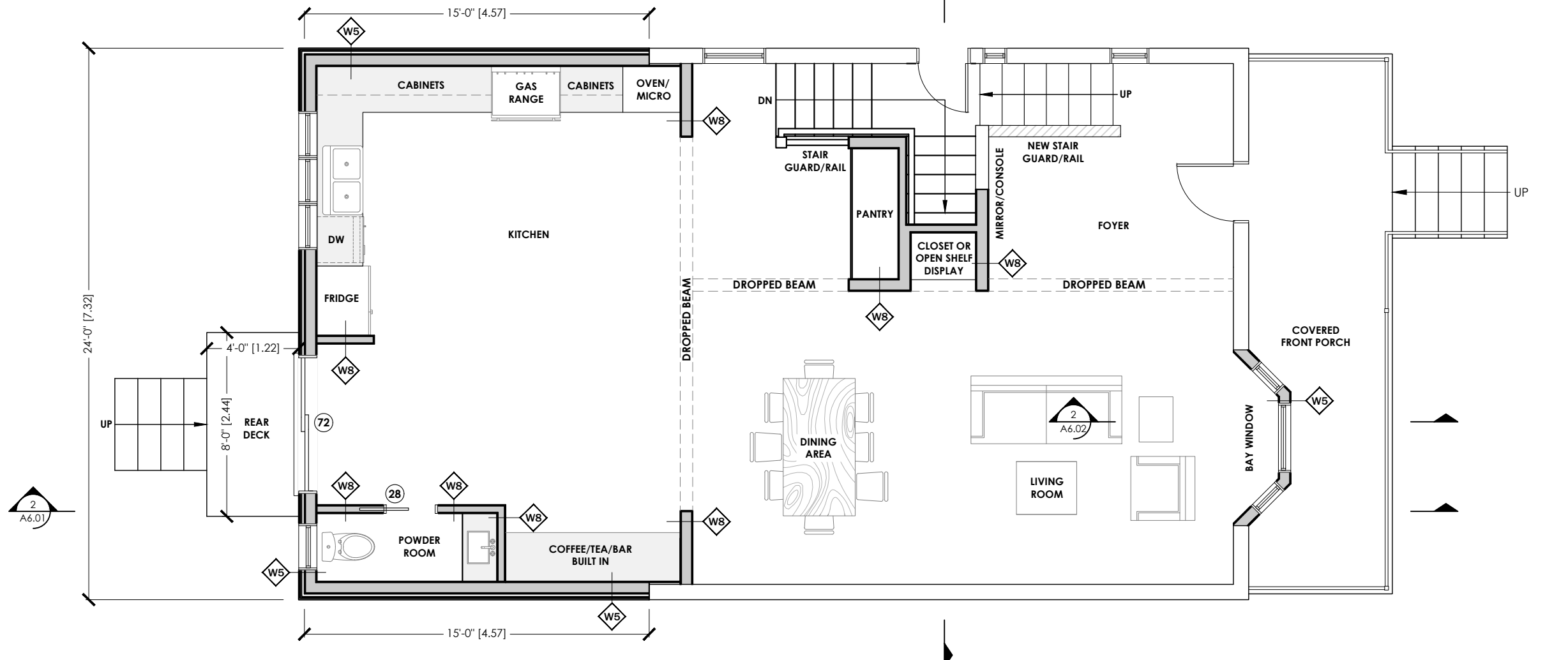
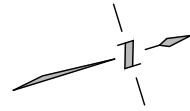
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DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-003	CHECKED: M.D.F
REVISION: 0	DATE: 2022-04-07

PROPOSED BASEMENT LEVEL
A3.01

LEGEND:

- WALLS TO REMAIN
- NEW CONSTRUCTION



1 PROPOSED MAIN LEVEL
A3.02 3/16" - 1'-0"

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BUILDING WORKSHOP

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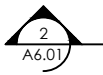
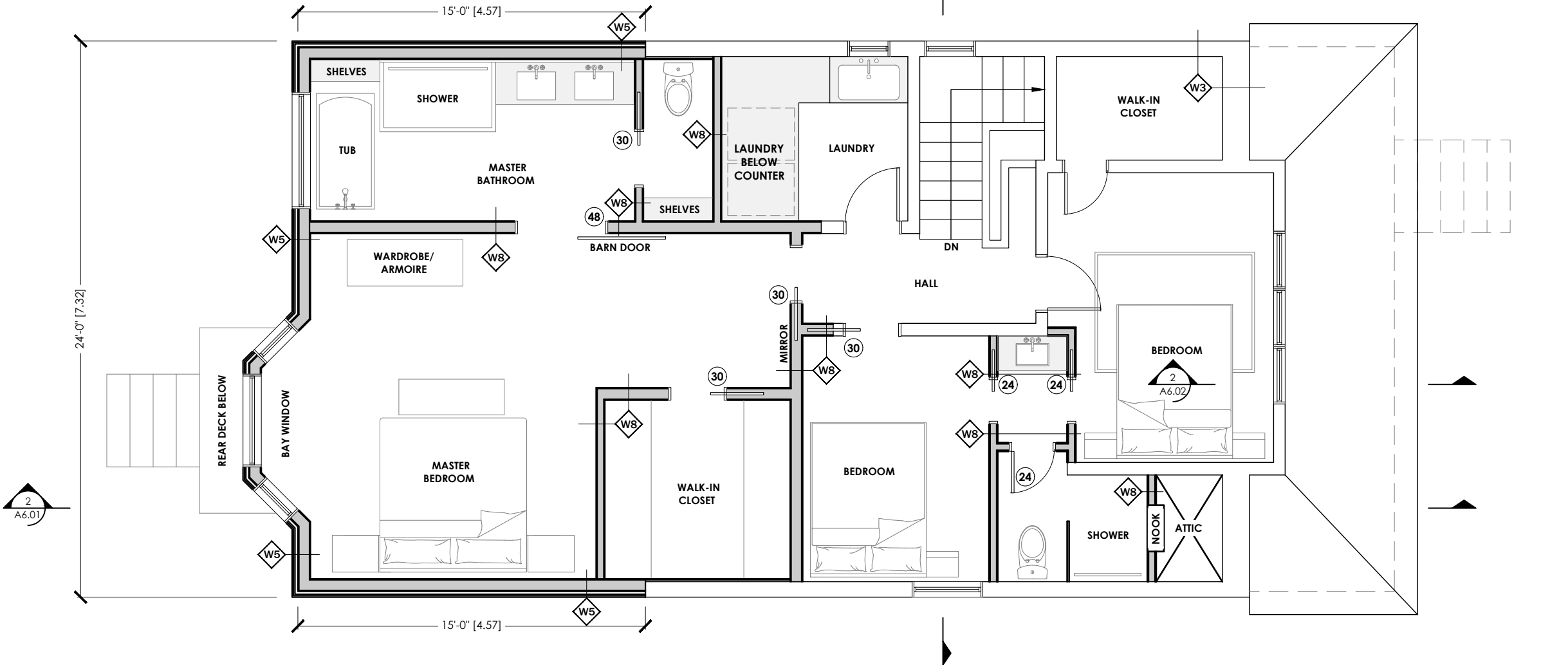
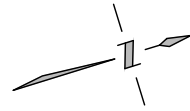
TWO STOREY ADDITION
AT 18 ALPINE AVENUE,
HAMILTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-003	CHECKED: M.D.F
REVISION: 0	DATE: 2022-04-07

PROPOSED MAIN LEVEL
A3.02

LEGEND:

- WALLS TO REMAIN
- NEW CONSTRUCTION



1 PROPOSED SECOND LEVEL
A3.03 3/16" - 1'-0"

TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

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MATTHEW FRATARCANGELI
BCIN#:44839

Matthew Fratarcangeli

REGISTRATION INFORMATION
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BCIN#:112916

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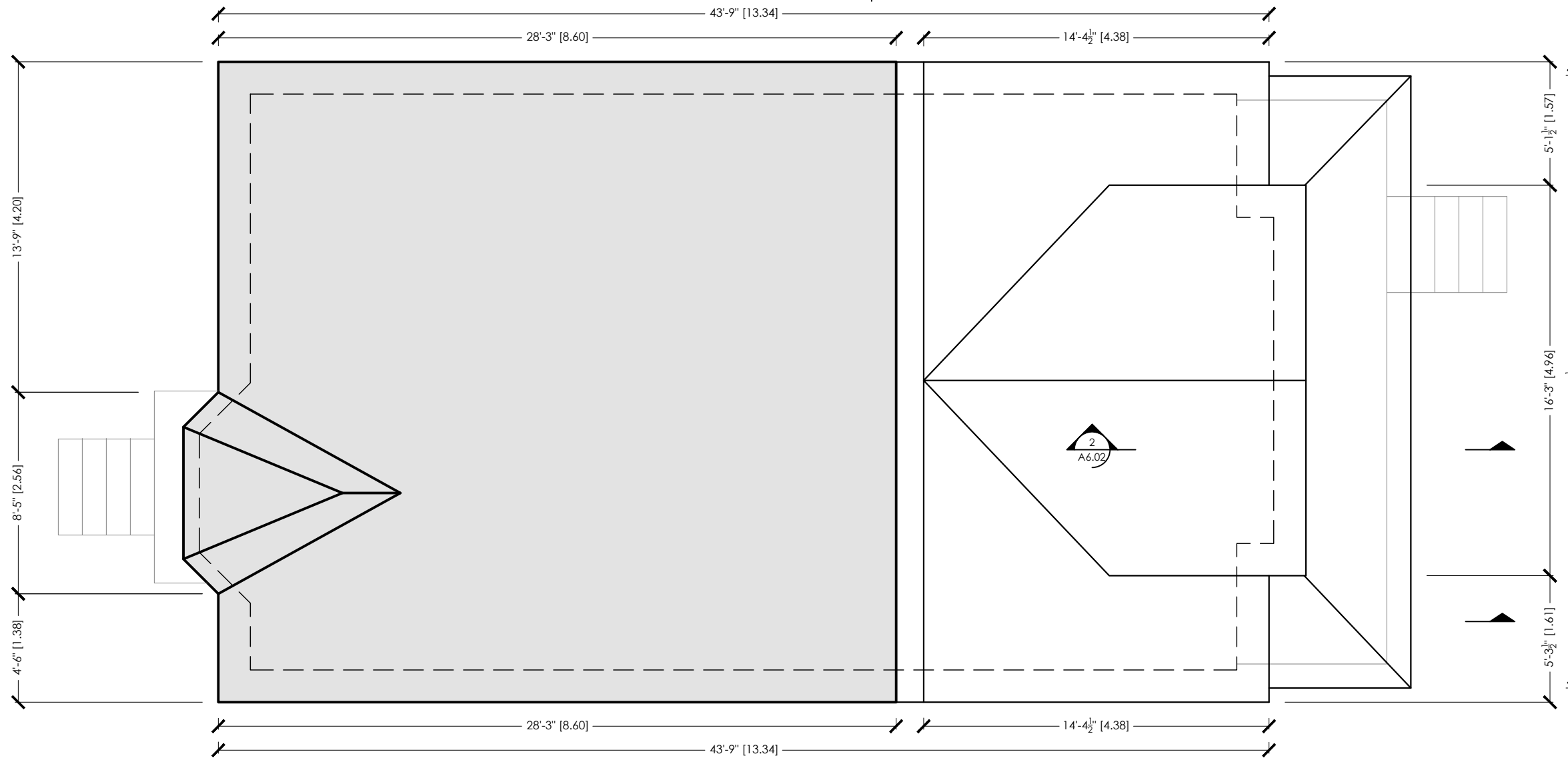
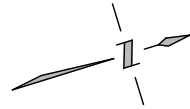
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PROPOSED SECOND LEVEL
A3.03

LEGEND:

 NEW ROOF



1 PROPOSED ROOF PLAN
A3.04 3/16" - 1'-0"



TENHOUSE BUILDING WORKSHOP
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PROPOSED ROOF PLAN

A3.04



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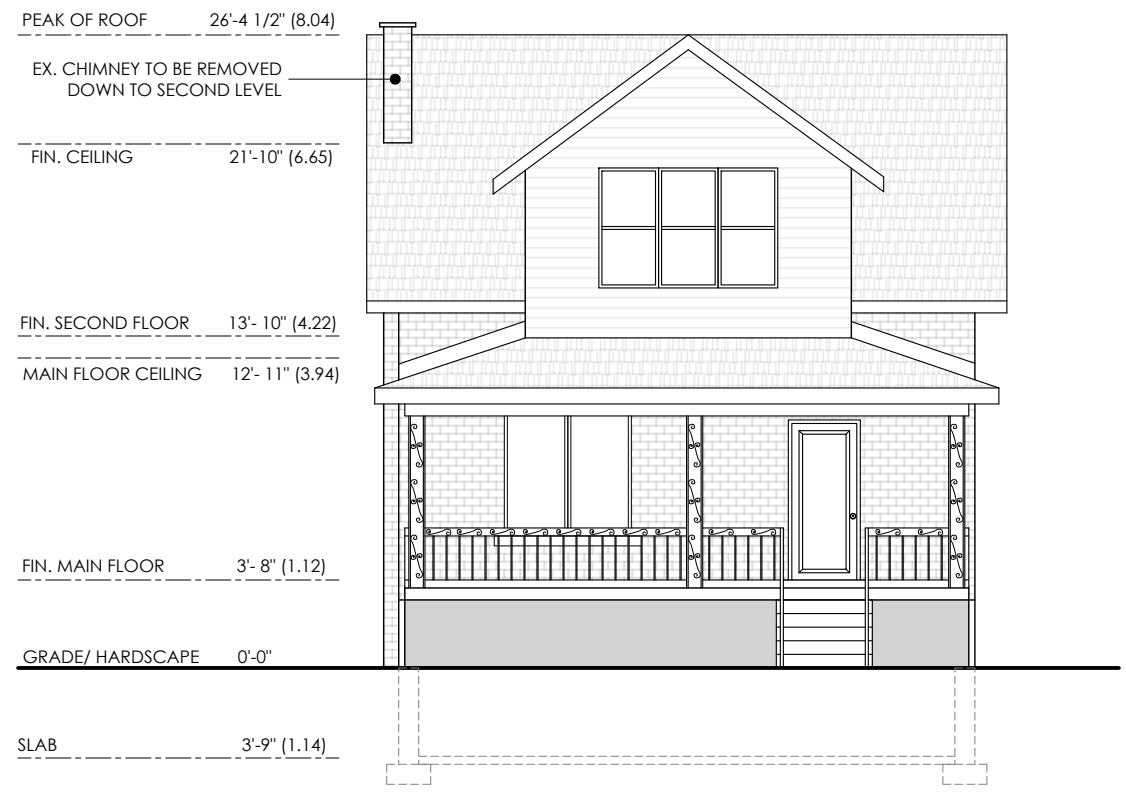
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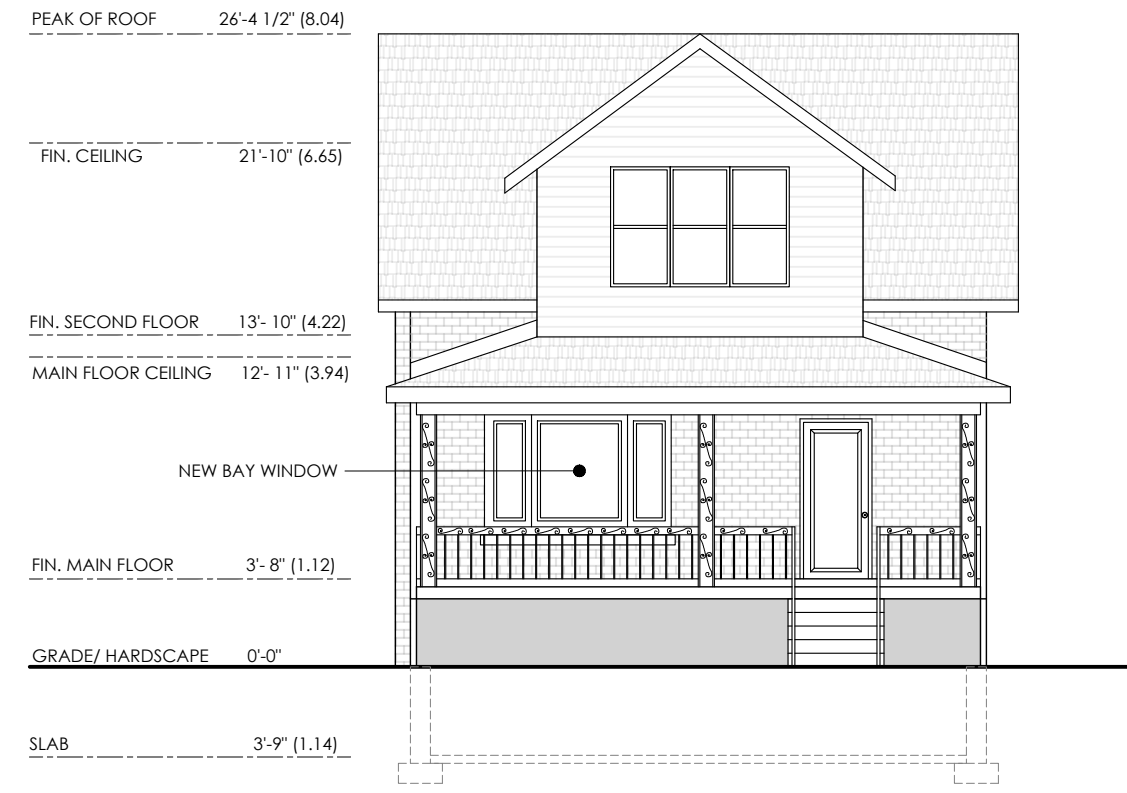
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EX. & PROP. NORTH ELEVATION
A5.01



1 EXISTING NORTH ELEVATION
 A5.01 1/8" - 1'-0"



2 PROPOSED NORTH ELEVATION
 A5.01 1/8" - 1'-0"



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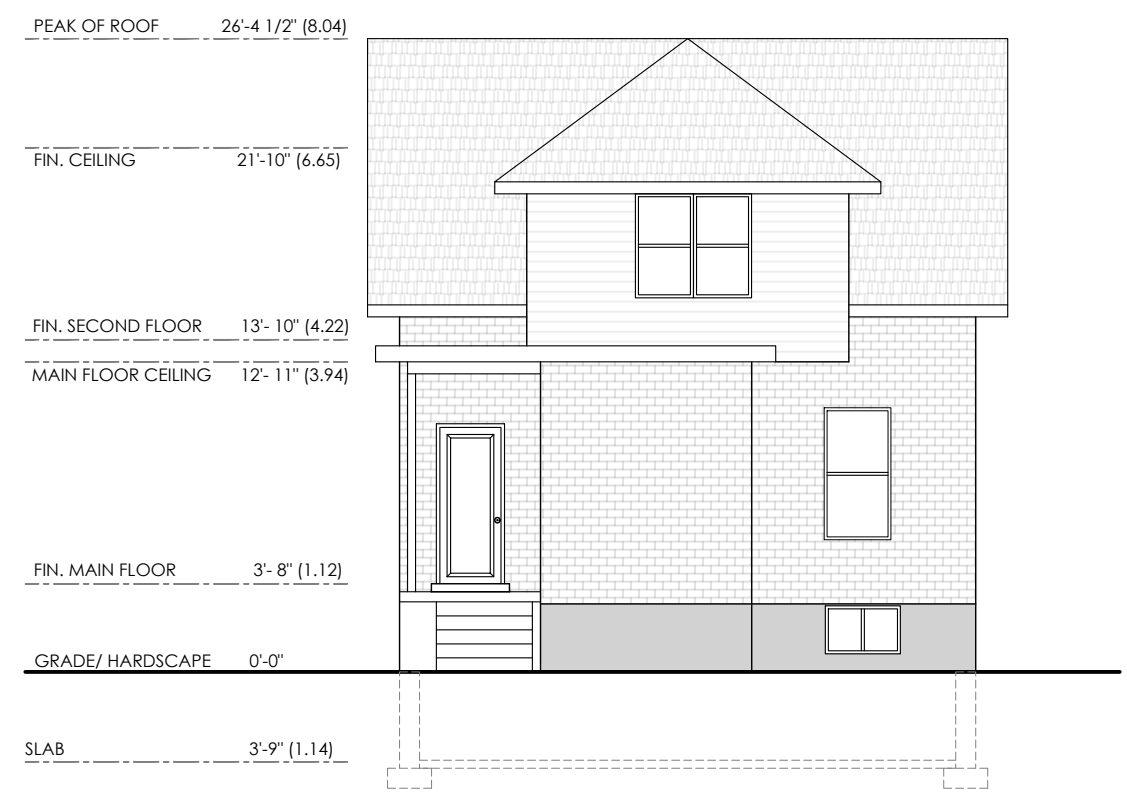
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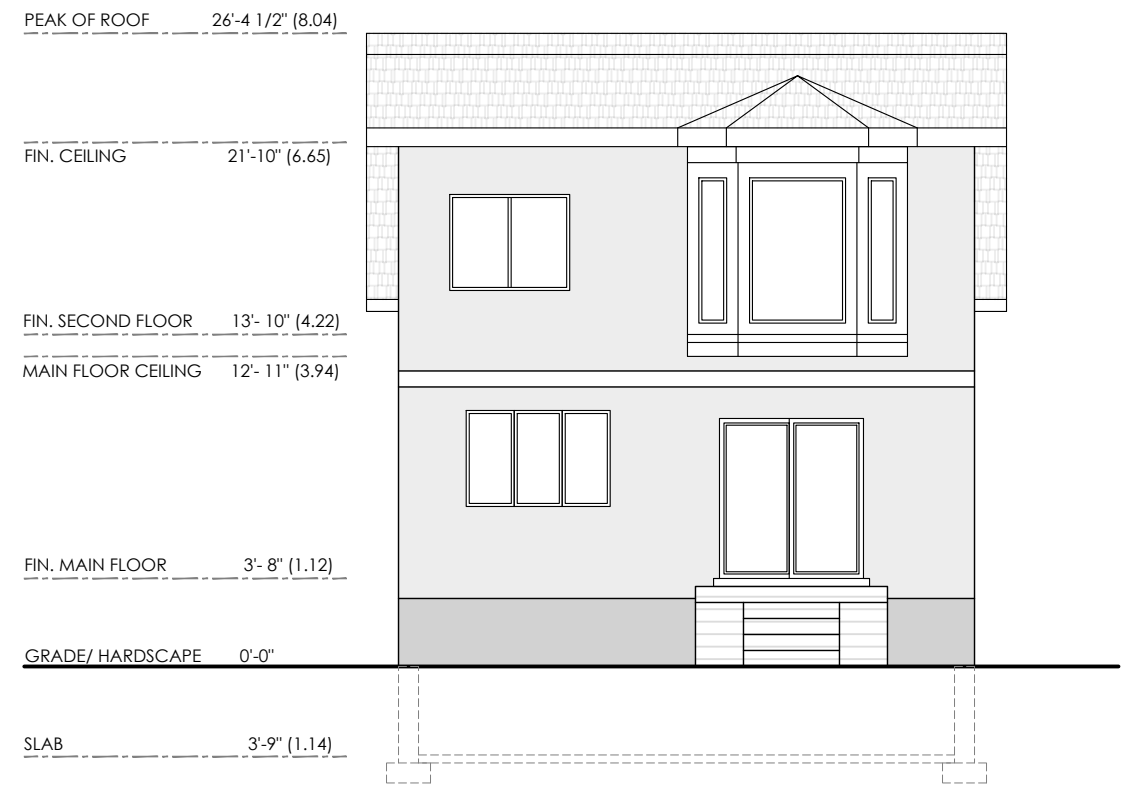
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EX. & PROP. SOUTH ELEVATION

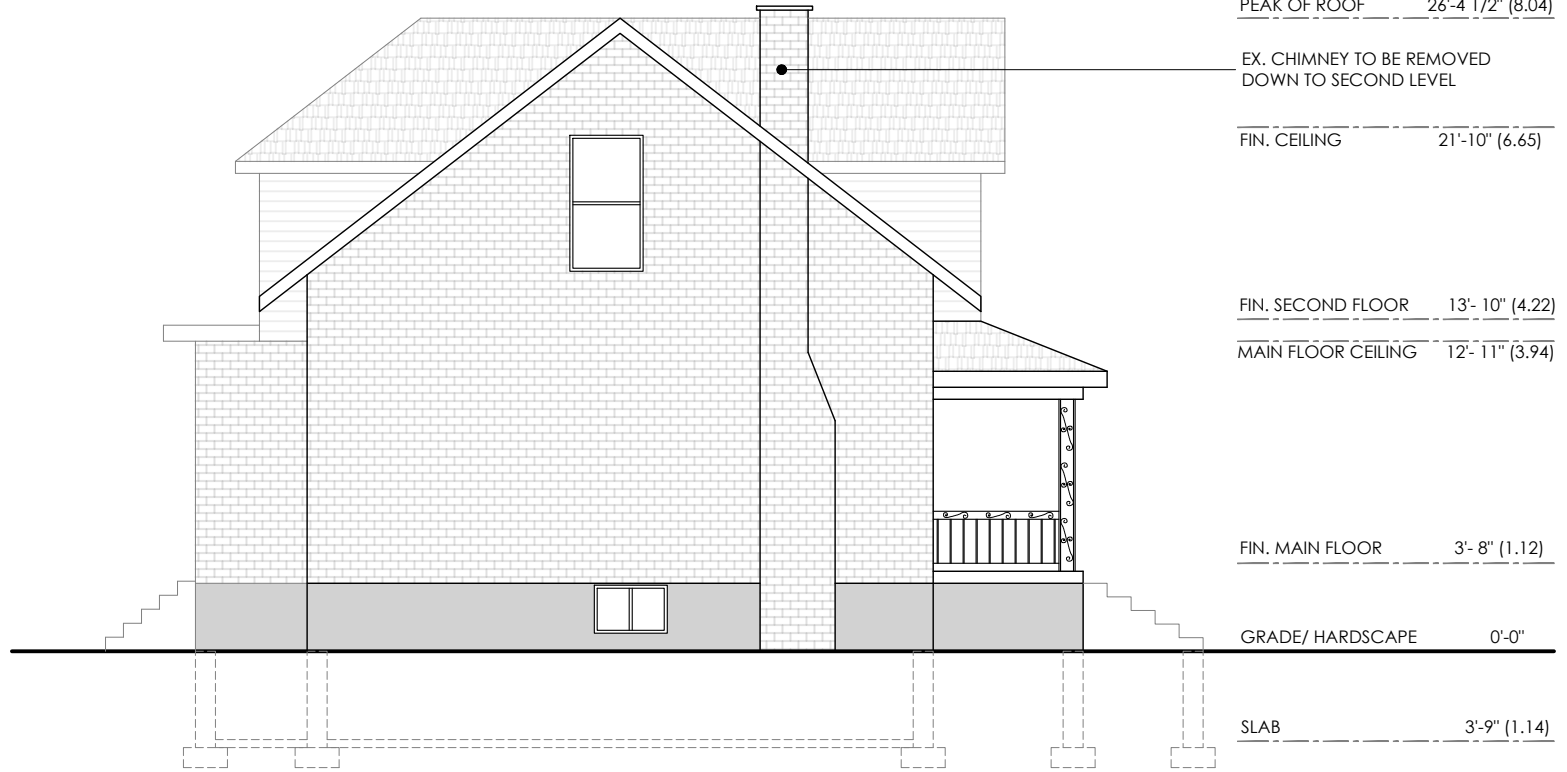
A5.02



1 EXISTING SOUTH ELEVATION
 A5.02 1/8" - 1'-0"



2 PROPOSED SOUTH ELEVATION
 A5.02 1/8" - 1'-0"



1 EXISTING EAST ELEVATION
A5.03 1/8" - 1'-0"



2 PROPOSED EAST ELEVATION
A5.03 1/8" - 1'-0"

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EXISTING & PROPOSED EAST ELEVATION
A5.03

PEAK OF ROOF 26'-4 1/2" (8.04)

FIN. CEILING 21'-10" (6.65)

FIN. SECOND FLOOR 13'-10" (4.22)

MAIN FLOOR CEILING 12'-11" (3.94)

FIN. MAIN FLOOR 3'-8" (1.12)

GRADE/HARDSCAPE 0'-0"

SLAB 3'-9" (1.14)



1 EXISTING WEST ELEVATION
A5.04 1/8" - 1'-0"

PEAK OF ROOF 26'-4 1/2" (8.04)

FIN. CEILING 21'-10" (6.65)

FIN. SECOND FLOOR 13'-10" (4.22)

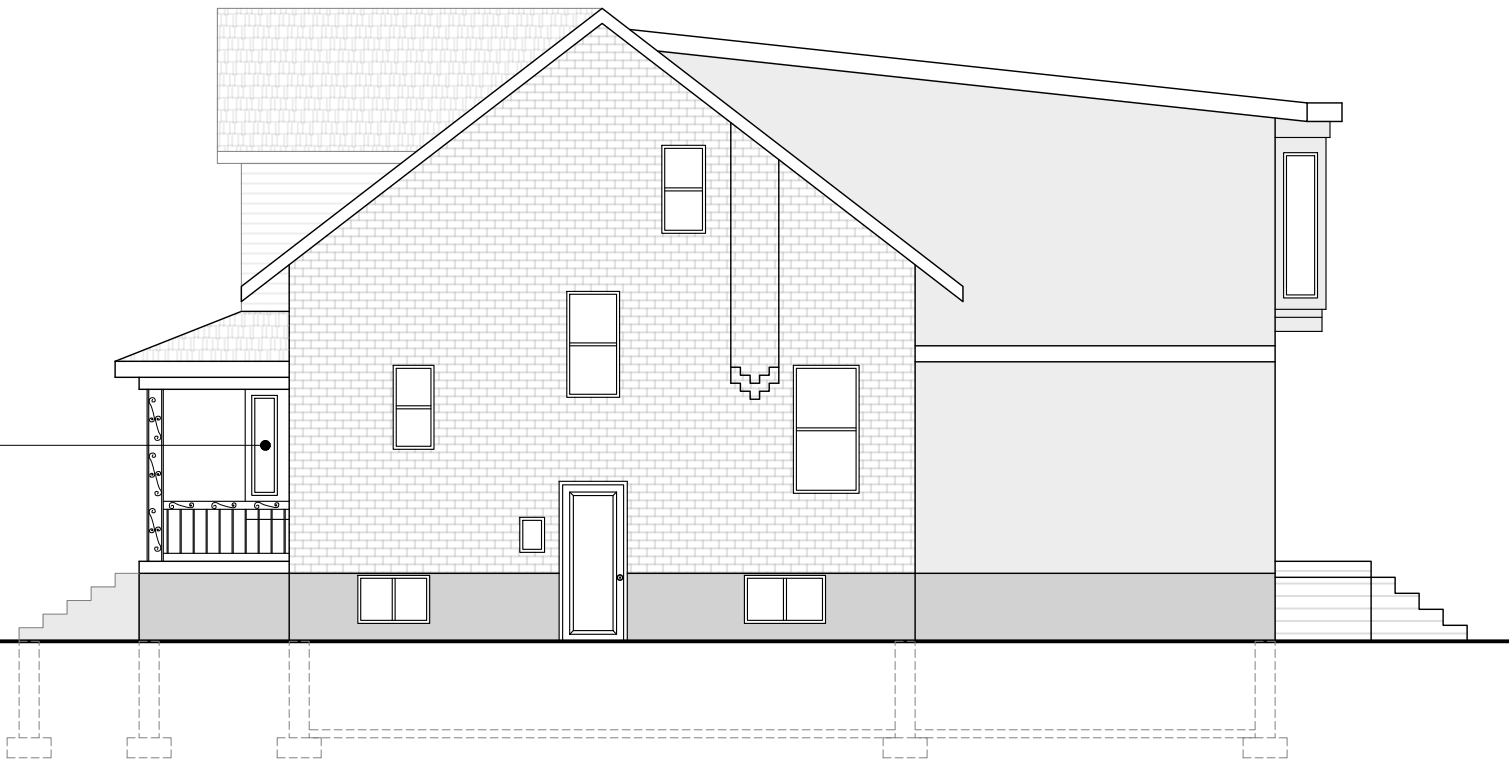
MAIN FLOOR CEILING 12'-11" (3.94)

FIN. MAIN FLOOR 3'-8" (1.12)

GRADE/HARDSCAPE 0'-0"

SLAB 3'-9" (1.14)

NEW BAY WINDOW



2 PROPOSED WEST ELEVATION
A5.04 1/8" - 1'-0"



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EX. & PROP. WEST ELEVATION

A5.04



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EXISTING & PROPOSED SECTIONS
A6.01

PEAK OF ROOF 26'-4 1/2" (8.04)

FIN. CEILING 21'-10" (6.65)

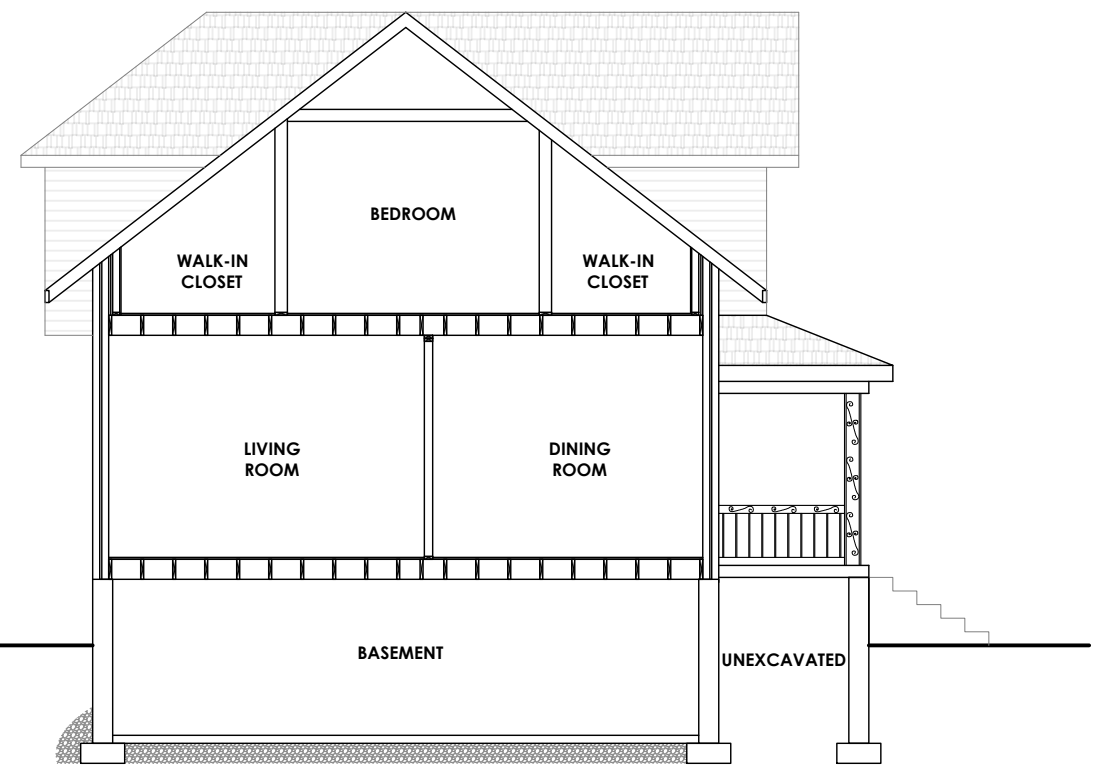
FIN. SECOND FLOOR 13'- 10" (4.22)

MAIN FLOOR CEILING 12'- 11" (3.94)

FIN. MAIN FLOOR 3'- 8" (1.12)

GRADE/ HARDSCAPE 0'-0"

SLAB 3'-9" (1.14)



1 EXISTING SECTION
A6.01 1/8" - 1'-0"

PEAK OF ROOF 26'-4 1/2" (8.04)

FIN. CEILING 21'-10" (6.65)

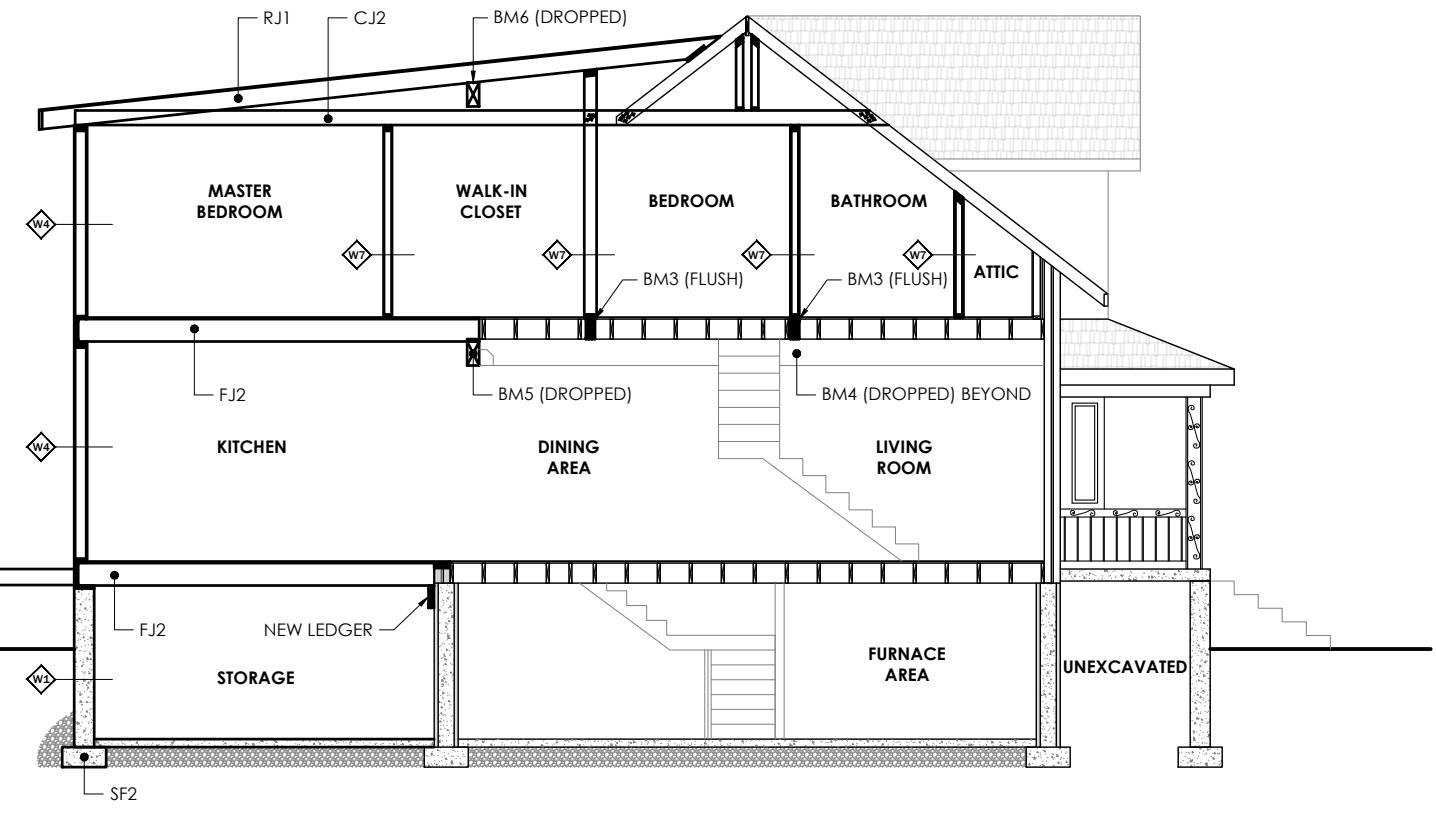
FIN. SECOND FLOOR 13'- 10" (4.22)

MAIN FLOOR CEILING 12'- 11" (3.94)

FIN. MAIN FLOOR 3'- 8" (1.12)

GRADE/ HARDSCAPE 0'-0"

SLAB 3'-9" (1.14)



2 PROPOSED SECTION A
A6.01 1/8" - 1'-0"