



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

|                         |                    |                          |                                         |
|-------------------------|--------------------|--------------------------|-----------------------------------------|
| <b>APPLICATION NO.:</b> | <b>AN/A-21:369</b> | <b>SUBJECT PROPERTY:</b> | 2333 JERSEYVILLE ROAD W ANCASTER        |
| <b>ZONE:</b>            | "A1" (Agriculture) | <b>ZONING BY-LAW:</b>    | Zoning By-law 05-200, as Amended 15-173 |

**APPLICANTS:**      **Owner John Kerr**

The following variances are requested:

1. A maximum aggregate gross floor area of 234.0m<sup>2</sup> shall be permitted for all accessory buildings whereas the zoning by-law permits a maximum 200m<sup>2</sup>, or 5% lot coverage, whichever is the lesser.

**PURPOSE & EFFECT:**      To permit the construction of an addition to the westerly side of the existing detached garage in the rear yard accessory to the existing single detached dwelling

**Notes:**

Notes: The applicant shall ensure that a proper dust free stable surface such as asphalt, concrete or other hard-surfaced material, crushed stone or gravel is also maintained.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

|               |                                                                                                                                                    |
|---------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DATE:</b>  | <b>Thursday, June 9, 2022</b>                                                                                                                      |
| <b>TIME:</b>  | <b>3:50 p.m.</b>                                                                                                                                   |
| <b>PLACE:</b> | <b>Via video link or call in (see attached sheet for details)</b>                                                                                  |
|               | <b>To be streamed (viewing only) at</b><br><b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b> |

## AN/A-21:369

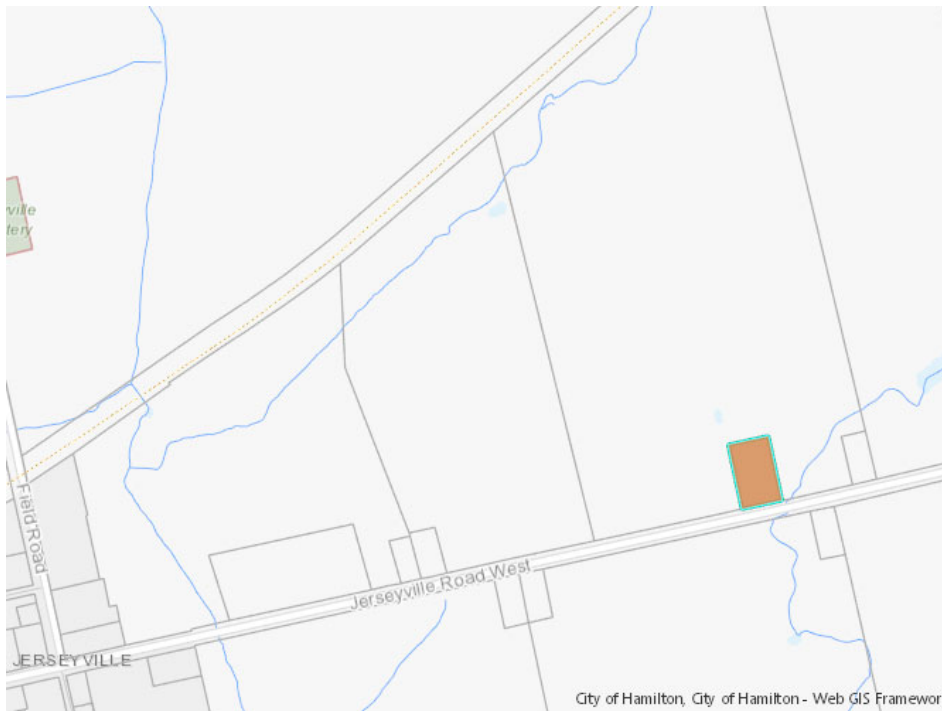
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

### PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.



DATED: May 24, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

Comments are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions During the Virtual Meeting

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, the hearing date, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

**GENERAL CONDITIONS, CODES AND STANDARDS**

ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES AND BYLAWS. THE OWNER AND/OR CONTRACTOR SHALL INSURE THAT THE CONSTRUCTION COMPLIES WITH ALL NATIONAL, PROVINCIAL, AND LOCAL STATUTES, ORDINANCES, AND REGULATIONS. PRIOR TO PROCEEDING WITH CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS CONTAINED IN THESE DRAWINGS. THE DESIGNER DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE DRAWING, UNLESS ADVISED IN WRITING OF SUCH ERRORS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PLEASE ADVISE THE DESIGNER IF ANY DISCREPANCIES ARE OBSERVED OR EXPLANATIONS ARE REQUIRED. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DEPARTURE FROM THESE DRAWINGS OR SPECIFICATIONS ADVISED BY ANY OFFICIAL, APPROVING AUTHORITY OR PROFESSIONAL CONSULTANT AT ANY TIME DURING CONSTRUCTION. FURTHER, ANY SUCH DEVIATION OR CHANGES NULLIFIES ANY RESPONSIBILITY THAT THE ARCHITECT MAY HAVE WITH RESPECT TO THESE DRAWINGS OR CONSEQUENT CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, OR FOR ANY PROGRAMS OR SAFETY PRECAUTIONS IN CONNECTION WITH THE CONSTRUCTION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND FOR MAKING ARRANGEMENTS FOR ALL REQUIRED INSPECTIONS. CONTRACTOR SHALL HAVE MINIMUM \$1,000,000 DOLLAR INSURANCE COVERAGE. CONTRACTOR SHALL BE WELL QUALIFIED AND LICENSED. CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF MATERIALS SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS. ALL WORKMANSHIP SHALL BE A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE. ALL WORK SHALL BE INSTALLED BY PERSONS EXPERIENCED IN THE TRADE THEY ARE PERFORMING. MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS AND SPECIFICATIONS. PROJECT MEETINGS SHALL BE HELD WHEN DEEMED NECESSARY BY THE OWNER, CONTRACTOR, OR DESIGNER. IF THE CONTRACTOR IS UNCERTAIN AS TO THE MEANING, INTENT, DESIRED OUTCOME OF ANY ASPECT OF THE WORK, HE/SHE SHALL OBTAIN CLARIFICATION FROM THE OWNER OR DESIGNER BEFORE PROCEEDING. NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS OR QUESTIONS OF INTENT OR CLARITY IN THE DOCUMENTS. IF DURING THE COURSE OF THE WORK UNKNOWN CONDITIONS ARE DISCOVERED WHICH COULD NOT BE REASONABLY ASSUMED TO HAVE BEEN PRESENT OR ANTICIPATED, THE CONTRACTOR SHALL NOTIFY THE DESIGNER.

**SITE WORK**

THE OWNER / CONTRACTOR IS REQUIRED TO HAVE A PLOT PLAN, LOT GRADING AND DRAINAGE PLAN PREPARED BY AN ONTARIO LAND SURVEYOR. THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT SITTING OF THE BUILDING ON THE PROPERTY AND FOR CONFIRMATION OF ALL REQUIREMENTS FOR SITTING. THE DESIGNER IS NOT RESPONSIBLE FOR DRAWINGS COMPLYING WITH LOCAL SIDE YARDS AND SETBACKS FOR A SPECIFIC PIECE OF PROPERTY. THE ARCHITECT IS NOT RESPONSIBLE FOR CONDITIONS SUCH AS SOIL BEARING CAPACITY, DEPTH OF FROST PENETRATION, WATER TABLE OR BURIED STRUCTURES, ETC. WELLS AND SEPTIC SYSTEMS SHOULD BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH OBC AND LOCAL HEALTH AUTHORITIES. CONTRACTOR SHALL PERFORM ALL EXCAVATING REQUIRED FOR FOUNDATION, FOOTINGS, AND UTILITIES. FOOTING DEPTHS INDICATED ON DRAWINGS ARE ASSUMED TO BE UPON UNDISTURBED, VIRGIN SOIL WITH A MINIMUM BEARING CAPACITY OF 3,000 P.S.F. ALL FOOTINGS SHALL HAVE A MINIMUM DEPTH OF 4'-0" BELOW GRADE, & SHALL BEAR ON VIRGIN SOIL. UNUSUAL SOILS AND/OR EVIDENCE OF MIGRATION WATERS SHALL BE REPORTED TO A SOILS ENGINEER. CONTRACTOR SHALL VERIFY MINIMUM 3,000 P.S.F. SOIL BEARING CAPACITY. CONTRACTOR SHALL INVESTIGATE FOR AND VERIFY LOCATIONS OF ANY EXISTING SUB GRADE UTILITIES PRIOR TO COMMENCING EXCAVATING. BACK FILLING SHALL BE DONE WITH EXTREME CARE. BACK FILLING SHALL BE DONE IN MAXIMUM 1'-0" LIFTS AND TAMPED AS REQUIRED. INSTALL STRUCTURAL FILL UNDER GARAGE SLABS. BACK FILLING MAY COMMENCE ONLY AFTER FOUNDATION WALLS HAVE ACHIEVED THE DESIRED STRENGTH AND ARE PROPERLY BRACED. PROVIDE TRENCH PUMPING IN INCLEMENT WEATHER TO PROTECT BEARING SOILS. EXCESS SOILS SHALL BE REMOVED FROM THE SITE. IF ROUGH PLUMBING IS TO BE PROVIDED IN THE BASEMENT, THE OWNER/CONTRACTOR SHALL ENSURE BASEMENT SLAB ELEVATION IS SUCH THAT ADEQUATE SLOPE CAN BE PROVIDED FOR THE WASTE SYSTEMS CONNECTION TO SANITARY SYSTEM. LAWN AREAS SHALL BE ROUGH GRADED. PROVIDE TOP SOIL AND SOD FOUR FEET FROM FOUNDATION WALL.

**FOUNDATIONS**

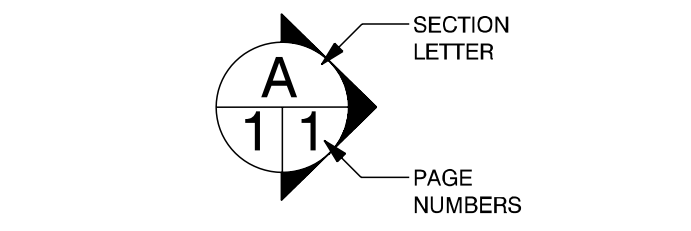
CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE BUILDING CODE. CONCRETE FOOTINGS & FOUNDATION WALLS SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS - 5% ±1% AIR CONTENT BY VOLUME. CONCRETE GARAGE / CARPORT SLAB SHALL HAVE A COMPRESSIVE STRENGTH OF 3,600 P.S.I. AT 28 DAYS. 5% ±1% AIR CONTENT BY VOLUME. MAXIMUM WATER : CEMENTIOUS RATIO = 0.45 INTERIOR SLABS STRENGTH (4000 PSI) CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED, VIRGIN / NATIVE SOIL BELOW FROST PENETRATION LEVEL. FOUNDATION WALLS SHOULD NOT BE BACK FILLED UNTIL CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIED 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD REQUIRED TO STABILIZE THE WALLS, IS COMPLETE, FULLY NAILED AND ANCHORED. ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING LIMITS STATED IN SUBSECTION 9.15.4 OF THE NATIONAL BUILDING CODE REQUIRE DESIGN BY A REGISTERED STRUCTURAL ENGINEER. FLYASH MAY NOT EXCEED 25% OF TOTAL WEIGHT OF CEMENTITIOUS MATERIALS. CEMENT CONTENT GREATER THAN OR EQUAL TO FLYASH CONTENT. GROUT FOR USE UNDER STEEL PLATES SHALL BE CEMENT-BASED, NON-SHRINK, NON-METALLIC GROUT HAVING A MINIMUM 1-DAY STRENGTH OF 5,000 PSI. ALL FOUNDATION WALLS 24" (600MM) AND HIGHER SHOULD HAVE ONE HORIZONTAL 10M REINFORCING BAR 3" (75MM) FROM THE TOP. CORNER REINFORCING TO BE LAPPED MINIMUM 24" (600MM). ALL FOOTINGS ARE TO HAVE TWO 15M REINFORCING BARS. THE REINFORCING BARS ARE TO BE PLACED SUCH THAT ONE BAR IS 3" (75MM) CLEAR OF THE SIDE AND BOTTOM OF THE FOOTING ON BOTH SIDES OF THE FOOTING. PROVIDE ONE 15M REBAR CONTINUOUS ALONG THE TOP OF THE FOUNDATION WALL. PROVIDE 15M REBAR UNDER ALL BEAM POCKETS, WINDOWS AND DOORS. ALL CONCRETE PAD FOOTINGS TO HAVE 3-15M REINFORCING BARS EACH WAY, U.O.N. GRADES SHOWN ON ELEVATIONS ARE ESTIMATED. ADJUST ON SITE AS REQUIRED. APPLY ASPHALTIC DAMPPROOFING AND MS DELTA DRAINAGE CELL TO EXTERIOR OF FOUNDATION WALL BELOW FINISHED GRADE LEVEL. STONE TIES: EMBED GALVANIZED METAL DOVETAIL-TYPE SLOTS VERTICALLY AT 2'-0" O.C. AT FOUNDATION WALLS TO RECEIVE STONE. PROVIDE WATER STOP IN KEY WHERE FOUNDATION WALL MEETS FOOTING. THE USE OF CALCIUM CHLORIDE ADMIXTURES IS PROHIBITED. REMOVE FORM WHALERS, & FILL VOIDS WITH CEMENT. VAPOR BARRIER UNDER SLABS TO BE 6 MIL OR 10 MIL POLYETHYLENE. LAP FLOOR SLAB VAPOR BARRIER JOINTS BY A MINIMUM OF 12" AND SEAL THE SEAMS. SEAL EDGES TO FOUNDATION WALLS. ALL EXPOSED FOUNDATION WALL SHALL BE PARGED, IF UTILIZING EXISTING FOUNDATIONS CONTRACTOR SHALL EXAMINE EXISTING FOUNDATIONS TO ENSURE STRUCTURAL STABILITY BEFORE PROCEEDING WITH NEW CONSTRUCTION. IN BASEMENTS WITH STEEL COLUMNS SUPPORTING FLOORS ABOVE FOUR CONCRETE SLAB AROUND STEEL COLUMNS BEARING PLATE.

**CARPENTRY**

ALL WOOD FRAME CONSTRUCTION SHALL COMPLY WITH N.B.C. / O.B.C. SECTION 9.23. ALL GLUE LAMINATED WOOD SHALL BE MANUFACTURED IN ACCORDANCE WITH CAN/C8A-O122-M AND CAN/C8A-O111-M IN CANADA AND ANSI/AITC A190.1 1983 IN U.S.A. OWNER / CONTRACTOR TO OBTAIN ENGINEER'S CERTIFICATE FROM MANUFACTURER OF GLUE LAMINATED MEMBERS. ALL LAMINATED VENEER LUMBER (LVL) BEAMS SHALL BE MARKED WITH THE APPLICABLE CCMC EVALUATION NUMBER IN CANADA AND NATIONAL EVALUATION REPORT NUMBER IN U.S.A. OWNER / CONTRACTOR TO OBTAIN ENGINEER'S CERTIFICATE FROM SUPPLIER OF LVL MEMBERS. INSTALL PLYWOOD SHEATHING CONTINUOUS FULL HEIGHT, FOUNDATION WALL TO ROOF : LAP AND SECURE TO FOUNDATION SILL PLATE : LAP OVER RIM JOISTS AT FLOOR LEVELS & TERMINATE AT TOP OF PLATES TO RECEIVE ROOF FRAMING. JOISTS SHALL BE DOUBLED UNDER ALL PARALLEL PARTITIONS AND AT TUB LOCATIONS. JOISTS SHALL BE PLACED TO ACCOMMODATE HEATING AND PLUMBING, ETC. ALL HEADERS SHALL COMPLY WITH SECTION 9.23, O.B.C., N.B.C. INSTALL METAL JOIST HANGERS AT ALL LOCATIONS WHERE JOISTS DO NOT BEAR ON CONSTRUCTION BELOW. PLYWOOD FLOOR SHEATHING SHALL BE GLUED AND NAILED TO THE FLOOR JOISTS WITH ELASTOMERIC ADHESIVE (PL-400) COMPLYING WITH CAN/CG6B-T1.26-M. FLOOR AND ROOF JOIST SPANS OF MORE THAN 1'-0" SHALL BE BRIDGED AT MID SPAN OR AT 6'-0" O.C. MAX. BRIDGING SHALL BE 2X2 DIAGONAL TYPE WHENEVER POSSIBLE. FLOOR JOISTS OVER UNFINISHED AREAS OR CRAWL SPACES SHALL HAVE 1X4 CONTINUOUS STRAPPING SECURELY NAILED TO THEIR UNDERSIDE NOT MORE THAN 1'-0" FROM EACH SUPPORT OR OTHER ROW OF STRAPPING. THE STRAPPING CAN BE OMITTED WHEN A PANEL TYPE CEILING FINISH IS APPLIED. SPIKING AND NAILING NOT INDICATED OR SPECIFIED OTHERWISE SHALL BE IN ACCORDANCE WITH THE "RECOMMENDED NAILING SCHEDULE" CONTAINED IN THE OBC. INSTALL 1/2" PLYWOOD FILLERS REQUIRED TO MATCH WALL THICKNESS. HEADERS SHALL BEAR UPON JACK STUDS. INSTALL SQUASH BLOCKS AT FLOOR / CEILING CAVITIES AT CONCENTRATED LOAD LOCATIONS, SOLID DOWN TO POST OR BEAM OR FOUNDATION WALL BELOW. INSTALL BLOCKING AS REQUIRED TO RECEIVE DRYWALL, STAIR RAILS, BUILT-INS, SHELVING, ACCESSORIES, ETC. WOOD SUPPORT ELEMENTS SHALL BE SEPARATED FROM CONCRETE BY MIN. 0.05mm POLYETHYLENE FILM. MAINTAIN AIR SPACES BETWEEN CHIMNEYS / FIREPLACES AND WOOD FRAMING AS REQUIRED BY CODE AND MANUFACTURER RECOMMENDATIONS. ALL WOOD FRAMING SHALL BE NO. 2 SPF OR DOUGLAS FIR-LARCH. LUMBER SHALL BE KILN DRIED. PLYWOOD FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE APA RATED SHEATHING. PLYWOOD WALL SHEATHING SHALL BE 1/2" APA RATED EXTERIOR GRADE SHEATHING. PLYWOOD ROOF SHEATHING SHALL BE 1/2" ( EXCEPTION: 3/4" THICK AT "FLAT" ROOF AREAS) APA RATED EXTERIOR SHEATHING. PLATES ARE TO BE ANCHORED TO CONCRETE WITH 1/2" DIA. ANCHOR BOLTS, MAXIMUM 6'-0" O.C. IF PRESSURE TREATED PLATES ARE USED THEN ANCHOR BOLTS MUST BE NON-CORROSIIVE. SILL PLATES BEARING ON CONCRETE FOUNDATION WALLS SHALL BE PRESSURE TREATED WITH SILL GASKET PROVIDED NON-CORROSIIVE ANCHOR BOLTS ARE USED. IF ANCHOR BOLTS ARE NOT NON-CORROSIIVE THEN USE STANDARD SPF WITH SILL GASKET. ALL SPANS FOR WOOD JOISTS, RAFTERS, AND BEAMS SHALL CONFORM TO THE SPANS SHOWN IN TABLES A-1 TO A-20 FOR THE UNIFORM LIVE LOADS SHOWN IN THE TABLES (N.B.C. SUBSECTION 9.23.4) ALL RAFTERS, FLOOR JOIST SHALL BEAR DIRECTLY OVER STUDS, U.O.N. ALL WOOD FRAMING IS TO BE STORED ON SITE ABOVE THE GROUND ON "STICKERS" INDOORS OR UNDER TARPS WITH ADEQUATE CLEARANCES TO ALLOW AIR CIRCULATION. FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH PREFABRICATED GALVANIZED STEEL HANGERS MADE BY SIMPSON STRONG-TIE CO., INC. BUILT-UP MEMBERS OF THREE PLIES OR LESS SHALL HAVE ADJACENT PLIES NAILED TOGETHER WITH TWO ROWS OF NAILS AT 12" O.C. (10D COMMON NAILS FOR 1 1/2" PLIES, 12D COMMON NAILS FOR 1 3/4" PLIES). BUILT-UP MEMBERS OF MORE THAN 3 PLIES SHALL BE ASSEMBLED WITH 1/2" DIAMETER THRU BOLTS AT 16" O.C. STAGGERED UP AND DOWN WITH 2" CLEARANCE AT TOP AND BOTTOM EDGES. EXTERIOR END WALLS OF CATHEDRAL CEILING SPACES SHALL BE FRAMED WITH STUDS RUNNING CONTINUOUSLY (NOT SPLICED) FROM FLOOR TO ROOF. JOISTS AND RAFTERS SHALL BE SUPPORTED Laterally AT EACH SUPPORT BY FULL DEPTH SOLID BLOCKING 2" IN THICKNESS, EXCEPT WHERE JOISTS ARE SUPPORTED BY A FLUSH HEADER OR NAILED TO A RIM JOIST. PROVIDE A MINIMUM OF TWO STUDS AT EACH END OF ALL FLUSH FRAMED HEADERS OR BEAM, UNLESS MORE ARE INDICATED ON PLAN. PROVIDE ONE JACK STUD AND ONE FULL KING STUD AT EACH END OF ALL DROPPED HEADERS OR BEAMS, UNLESS MORE JACK AND KING STUDS ARE INDICATED ON PLAN. POSTS SHALL BE SOLIDLY BLOCKED THROUGH ALL INTERVENING FRAMED DECKS DOWN TO SUPPORTING GIRDER/BEAMS OR TOP OF FOUNDATION. THE DESIGN OF THE DIMENSIONAL LUMBER MEMBERS AND THEIR CONNECTIONS IS BASED ON THE LUMBER HAVING A MOISTURE CONTENT AT THE TIME OF INSTALLATION OF 19% OR LESS. JOISTS OR RAFTERS ARE TO BE INSTALLED WITH "CROWN" UP (I.E. POSITIVE CAMBER) AND WITHIN 1/2" OF STRAIGHT, END-TO-END SEVERELY DISTORTED (TWISTED, BOWED, CUPPED, CHECKED, ETC.) LUMBER SHALL NOT BE USED. NOTCHES IN THE TOP OR BOTTOM OF DIMENSIONED LUMBER JOISTS OR RAFTERS SHALL NOT EXCEED ONE-SIXTH THE MEMBER DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. END NOTCHES SHALL NOT EXCEED ONE-FOURTH THE MEMBER DEPTH. BORED HOLES SHALL NOT BE WITHIN 2" OF THE TOP AND BOTTOM OF THE MEMBER AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE MEMBER DEPTH. SHEATHING PANELS ON FLAT SURFACES SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR ACROSS TO SUPPORTS AND CONTINUOUS OVER TWO OR MORE SPANS. WALL SHEATHING AND FLOOR SHEATHING SHALL BE GLUED TO SUPPORTING MEMBERS WITH CONSTRUCTION ADHESIVE SUCH AS PL200, LAID IN A CONTINUOUS 1/4" WIDE BEAD ALONG THE MEMBER LENGTH. ADHESIVES SHALL COMPLY WITH CG6B STANDARD CAN-CG6B T1.26-M88 OR APA-AFG-01.

**D. METHOT**  
Design and Construction Ltd.  
408 Fares Street  
Port Colborne, ON L3K 1X3  
Phone: (905)329-2443  
Email: dmethoddesignandconstruction@gmail.com

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THESE PLANS MAY NOT BE REPRODUCED BY ANYONE, BY ANY METHOD INCLUDING SCANNING, BLUEPRINTING, PHOTOCOPYING, PHOTOGRAPHY, TRACING, REDRAWING OR BY ANY OTHER MEANS.  
THESE PLANS MAY NOT BE USED FOR REPEAT CONSTRUCTION OR ANY MARKETING WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. IF ANY BUILDING IS CONSTRUCTED FROM THESE PLANS OTHER THAN THE ONE FOR WHICH THEY WERE INTENDED FOR, THE DESIGNER HAS THE RIGHT UNDER THE COPYRIGHT LAW TO RECOVER THE VALUE OF THE BUILDING LESS THE COST OF CONSTRUCTION.



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

**Qualification Information**  
Required unless design is exempt under Div. C-32.5.1. of the building code

|             |                    |       |
|-------------|--------------------|-------|
| Name        | Signature          | BCIN  |
| Dave Methot | <i>Dave Methot</i> | 35685 |

**Registration Information**  
Required unless design is exempt under Div. C-32.4.1. of the building code

|                                        |        |
|----------------------------------------|--------|
| D. Methot Design and Construction Ltd. | 105252 |
| Firm Name                              | BCIN   |

GENERAL CONDITIONS, CODES AND STANDARDS  
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**GARAGE ADDITION**

2333 JERSEYVILLE ROAD WEST  
ANCASTER

| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |

SCALE: AS NOTED  
DRAWN BY: D. METHOT  
DATE: June 24, 2021  
APPROVED:

CHECKED BY: D. METHOT

**NOTES**

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|                         |   |
|-------------------------|---|
| <b>DRAWING SCHEDULE</b> |   |
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| ELEVATIONS AND SECTION  | 3 |

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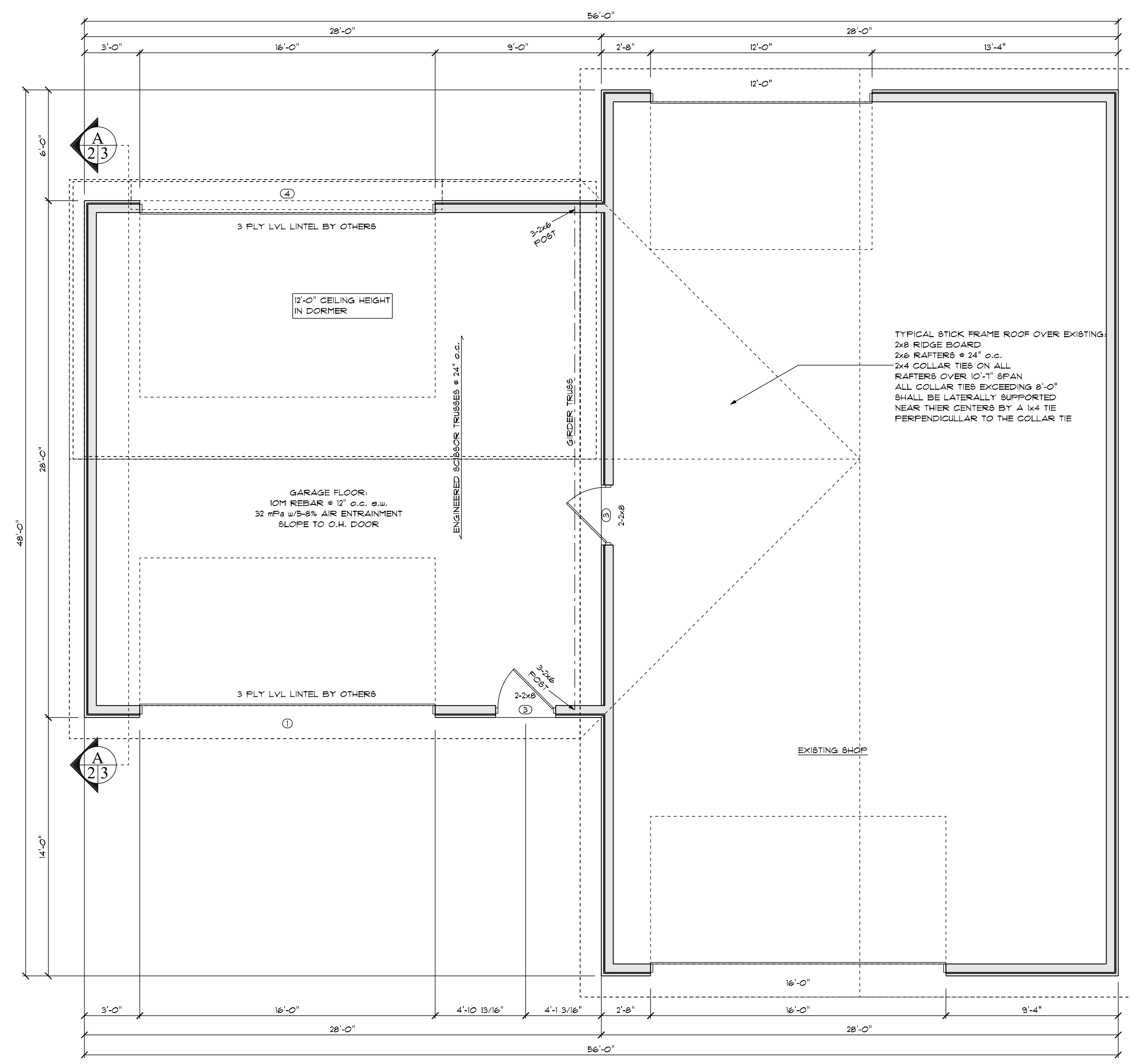
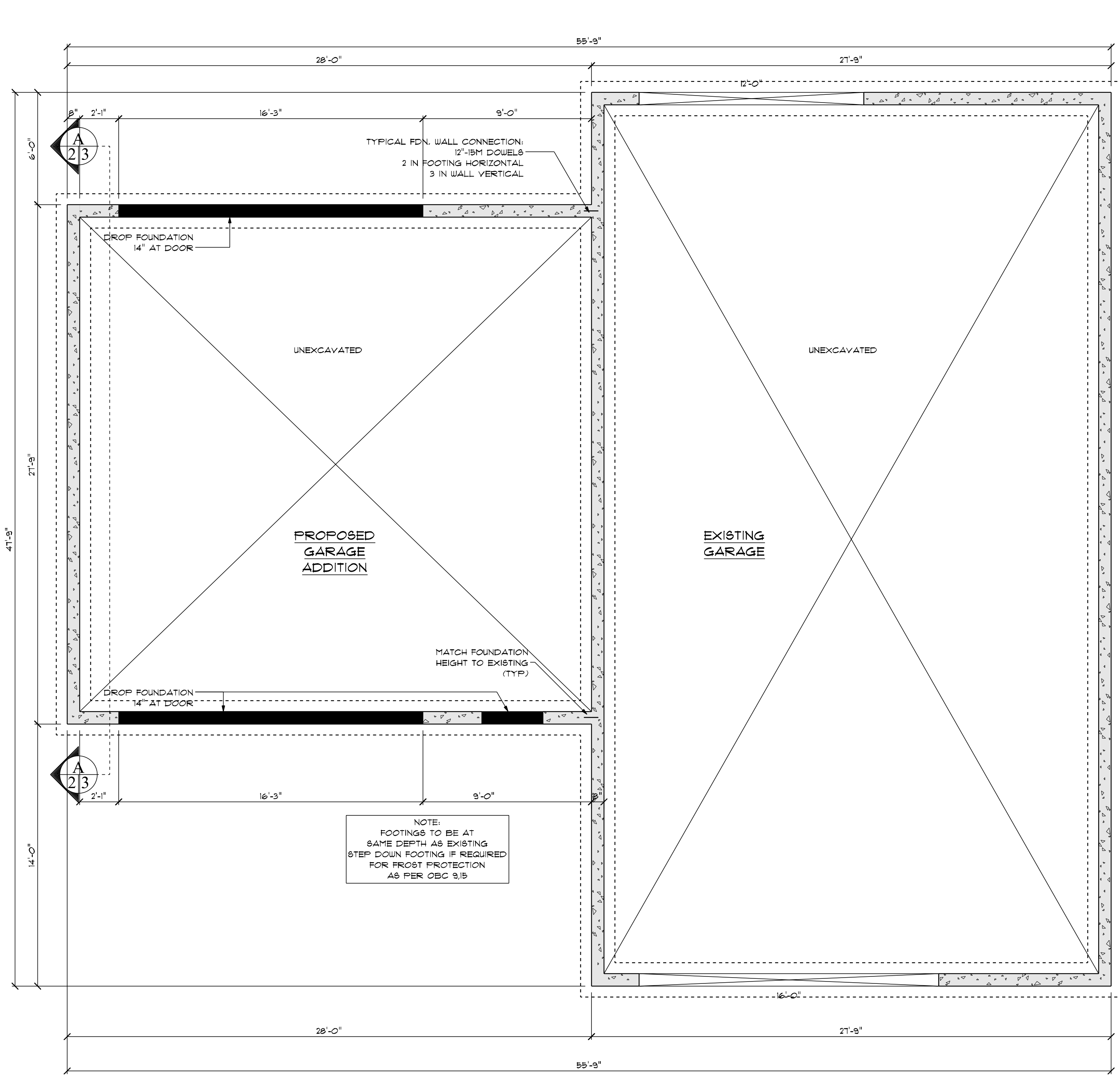
SECTION LETTER  
**A**  
 PAGE NUMBERS  
**11**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

**Qualification Information**  
 Required unless design is exempt under Div. C-32.5.1 of the building code  
 Dave Methot *[Signature]* 35685  
 Name Signature BCIN

**Registration Information**  
 Required unless design is exempt under Div. C-32.4.1 of the building code  
 D. Methot Design and Construction Ltd. 105252  
 Firm Name BCIN

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**GARAGE ADDITION**

2333 JERSEYVILLE ROAD WEST  
 ANCASTER

| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |

SCALE: AS NOTED  
 DRAWN BY: D. METHOT  
 DATE: June 24, 2021  
 APPROVED:  
 CHECKED BY: D. METHOT

**FLOOR PLANS**

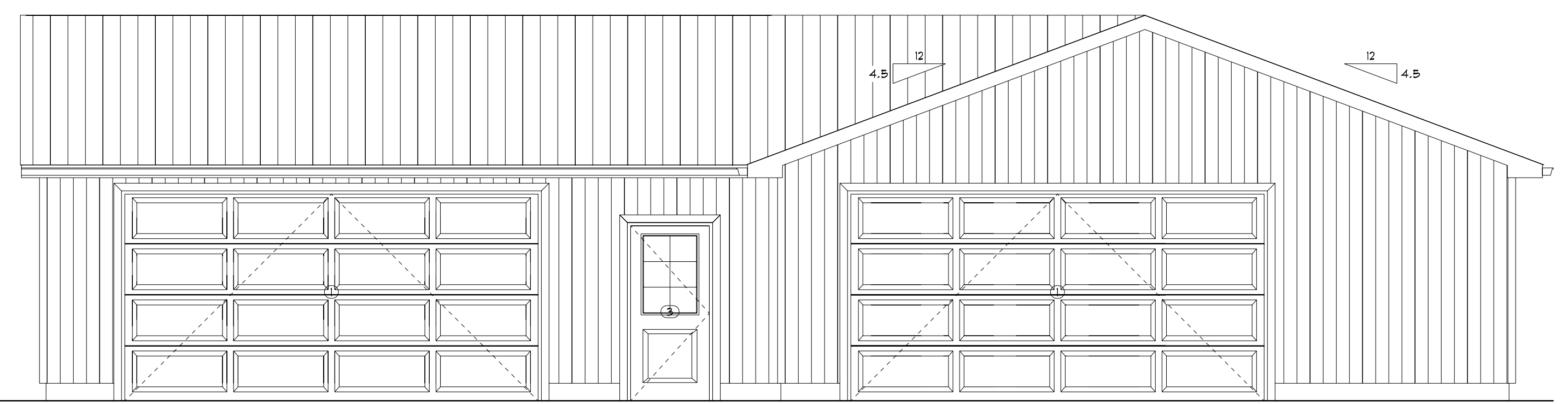
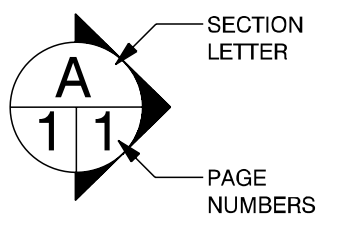
PAGE:

THE STRUCTURAL COMPONENTS HAVE BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS:  
 FLOOR LIVE LOADS: 40 P8F  
 ROOMS OTHER THAN SLEEPING ROOMS: 40 P8F  
 SLEEPING ROOMS: 40 P8F  
 STAIRS: 40 P8F  
 DECKS: 50 P8F  
 ATTIC WITH STORAGE, ROOF SLOPE EXCEEDS 3:12: 20 P8F  
 WITHOUT STORAGE, ROOF SLOPE 3:12 OR LESS: 10 P8F  
 ROOF SNOW LOAD: 50 P8F  
 GROUND SNOW LOAD (FG): 50 P8F  
 WIND DESIGN DATA: 0.43  
 BASIC WIND SPEED (3-SECOND GUST): 90 MPH

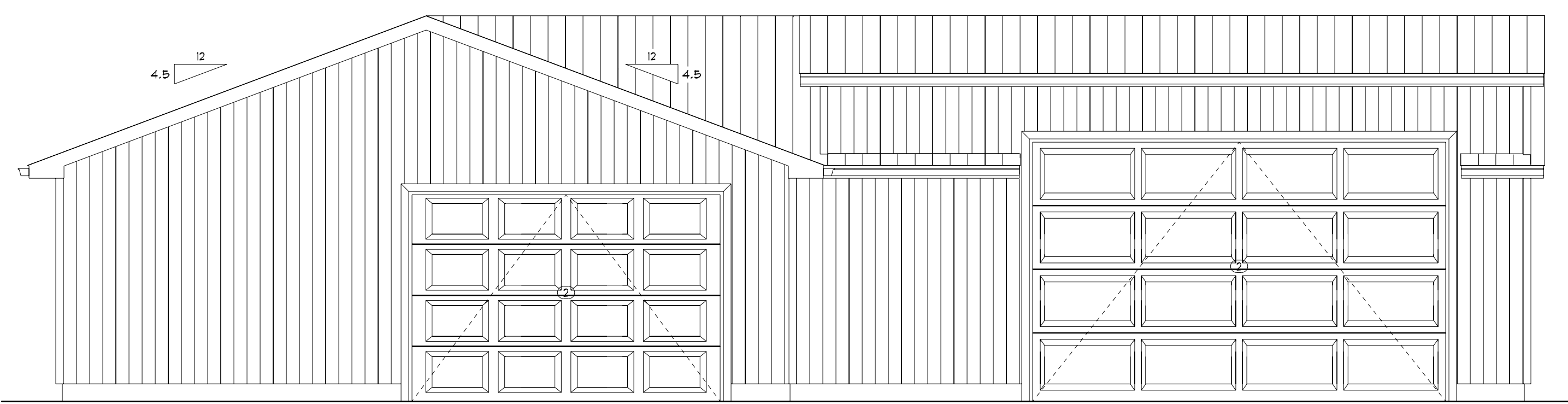
HEADER SCHEDULE:  
 SPANS UP TO 3'-0" USE (2)-2x6 C/W 1 JACK STUD EACH SIDE  
 SPANS UP TO 4'-0" USE (2)-2x8 C/W 1 JACK STUD EACH SIDE  
 SPANS UP TO 6'-0" USE (2)-2x10 C/W 1 JACK STUD EACH SIDE  
 SPANS UP TO 8'-0" USE (2)-2x12 C/W 2 JACK STUD EACH SIDE  
 SPANS UP TO 10'-0" USE 3-1/2" x 11-7/8" LVL C/W 2 JACK STUD EACH SIDE

| OPENING SCHEDULE |        |                   |        |            |             |              |       |
|------------------|--------|-------------------|--------|------------|-------------|--------------|-------|
| OPENING ID       | TYPE   | PRODUCT CODE      | SIZE   | R.O. WIDTH | R.O. HEIGHT | GLAZING AREA | COUNT |
| 1                | GARAGE | 192X96 - 4 PANEL  | 16'-0" | 16'-0"     | 8'-0"       | 0.0 sq ft.   | 1     |
| 3                | DOOR   | 36X80 COUNTRY A 1 | 3'-0"  | 3'-3"      | 6'-9 1/2"   | 5.9 sq ft.   | 2     |
| 4                | GARAGE | 192X120 - 4 PANEL | 16'-0" | 16'-0"     | 10'-0"      | 0.0 sq ft.   | 1     |

COPYRIGHT  
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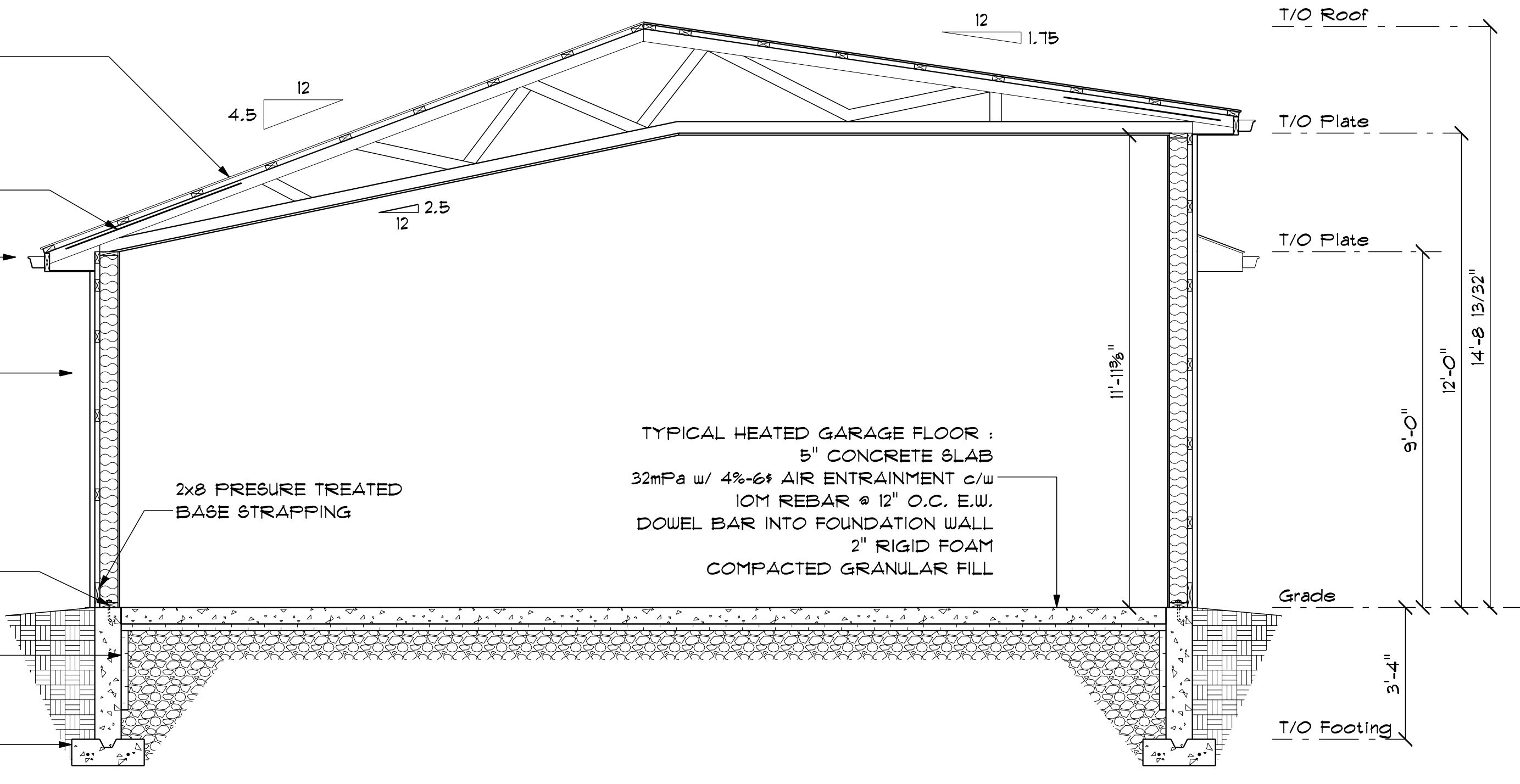
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

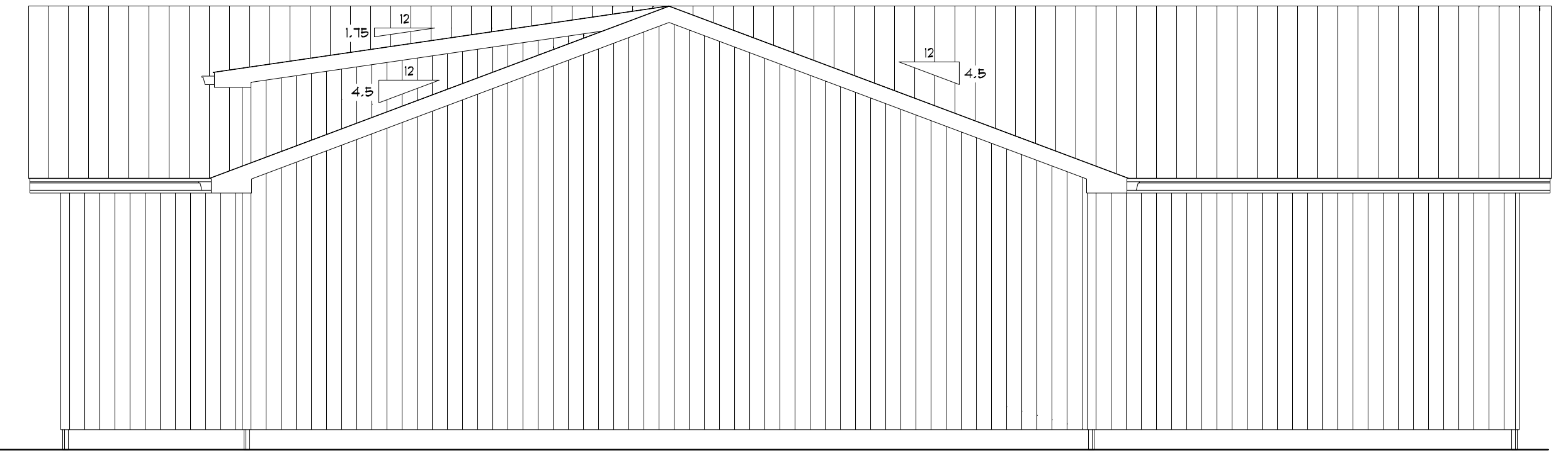
- TYPICAL TRUSS ROOF:  
VIC WEST OR EQUIV. METAL ROOFING  
2x4 STRAPPING AT 24" o.c.  
2x4 BLOCKING AT PEAK  
PRE-ENGINEERED SCISSOR TRUSSES @ 24" o.c.  
2x4 TRUSS BRACING  
R31 BATT INSULATION  
5/8" GWB  
TAPED & SANDED
- PROVIDE VENTING @ 48" o.c.  
TYPICAL
- ALUMINUM FASCIA, SOFFIT,  
GUTTERS & RAIN WATER LEADER&S
- TYPICAL 2x6 SIDING EXTERIOR WALL:  
VIC WEST VERT. METAL SIDING OR EQUIV.  
2x4 HORIZ. STRAPPING @ 24" o.c.  
TYVEK HOUSE WRAP OR EQUIV.  
2x6 STUDS @ 16" o.c.  
R20 BATT INSULATION  
6 mil POLY V.B.  
1/2" OSB
- TYPICAL SILL ASSEMBLY:  
1/2" DIA. ANCHOR BOLT @ 12" o.c.  
2x6 PRESSURE TREATED SILL PLATE  
1/4" SILL GASKET
- TYPICAL WALL INSULATION:  
2" RIGID FOAM  
MIN 24" BELOW FLOOR  
20" WIDE x 8" DEEP  
CONCRETE FOOTING c/w  
2 - RUN& 13M REBAR

NOTE:  
VENTILATE ROOF TO 1/300TH OF INSULATED CEILING AREA



TYPICAL HEATED GARAGE FLOOR:  
5" CONCRETE SLAB  
32mPa w/ 4%-6% AIR ENTRAINMENT c/w  
10M REBAR @ 12" O.C. E.W.  
2" RIGID FOAM  
COMPACTED GRANULAR FILL

**CROSS SECTION A**  
SCALE: 3/8" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

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| Qualification Information                                                   |                    |        |
|-----------------------------------------------------------------------------|--------------------|--------|
| Required unless design is exempt under Div. C - 32.5.1 of the building code |                    |        |
| Name                                                                        | Signature          | BCIN   |
| Dave Methot                                                                 | <i>Dave Methot</i> | 35685  |
| Registration Information                                                    |                    |        |
| Required unless design is exempt under Div. C - 32.4.1 of the building code |                    |        |
| Firm Name                                                                   |                    | BCIN   |
| D. Methot Design and Construction Ltd.                                      |                    | 105252 |

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**GARAGE ADDITION**

2333 JERSEYVILLE ROAD WEST  
ANCASTER

| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |

SCALE: AS NOTED  
DRAWN BY: D. METHOT  
DATE: June 24, 2021  
APPROVED:  
CHECKED BY: D. METHOT

**ELEVATIONS AND SECTION**



Hamilton

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

|                             |                                        |
|-----------------------------|----------------------------------------|
| <b>FOR OFFICE USE ONLY.</b> |                                        |
| APPLICATION NO. _____       | DATE APPLICATION RECEIVED _____        |
| PAID _____                  | DATE APPLICATION DEEMED COMPLETE _____ |
| SECRETARY'S SIGNATURE _____ |                                        |

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

| 1, 2                 | NAME | MAILING ADDRESS |         |
|----------------------|------|-----------------|---------|
| Registered Owners(s) |      |                 |         |
| Applicant(s)*        |      |                 |         |
| Agent or Solicitor   |      |                 |         |
|                      |      |                 | E-mail: |

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

- none -

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

- addition to accessory building - where zoning by-law states accessory buildings shall be a maximum size of 200m<sup>2</sup>  
- we are requesting a maximum size of 233m<sup>2</sup>

Secondary Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

- due to accessory buildings that already exist.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

2333 Jerseyville Rd  
PLAN 62R - 14250  
Part 1 Lot 21 Con. 2 - Part of 17409-0112 Area - 4131m<sup>2</sup>

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial   
Agricultural       Vacant       Other

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes       No       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes       No       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes       No       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes       No       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes       No       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes       No       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes       No       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes       No       Unknown



8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

-previous owners

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

### 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

oct 12021  
Date

John Kerr  
Signature Property Owner(s)

John Kerr  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 51m  
Depth 81m  
Area 4131m<sup>2</sup>  
Width of street 20.06m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: House - 9.205m x 12.5m = 115.06m<sup>2</sup> -ground floor  
Garage - 8.2m x 14.6m = 124.1m<sup>2</sup> gross floor = 203m<sup>2</sup>  
Shed - 4.87m x 7.3m = 35.5m<sup>2</sup>  
Proposed

Garage addition + 8.5m x 8.5m = 72.25m<sup>2</sup>

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: garage to west property line = 16.1m

Proposed:

garage addition to west property line = 9m  
(see site plan)

13. Date of acquisition of subject lands:  
April - 2008
14. Date of construction of all buildings and structures on subject lands:  
House - 1912 (or earlier) / Garage / Shed 2012
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
-single family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
-single family / agricultural.
17. Length of time the existing uses of the subject property have continued:  
100+ years
18. Municipal services available: (check the appropriate space or spaces) -none-
- |                |                          |           |                          |
|----------------|--------------------------|-----------|--------------------------|
| Water          | <input type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers   | <input type="checkbox"/> |           |                          |
19. Present Official Plan/Secondary Plan provisions applying to the land:  
Agricultural
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
Agricultural A1 zoning.
21. Has the owner previously applied for relief in respect of the subject property?  
Yes  No
- If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes  No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.