



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-22:28	SUBJECT PROPERTY:	185 PARK ST N., HAMILTON
ZONE:	“D” (Urban Protected Residential – One and Two Family Dwellings, etc.)	ZONING BY-LAW:	Zoning By-law 6593, as Amended

APPLICANTS: Agent Kevin Webster Design Inc.
Owner M. Barbosa

The following variances are requested:

1. A front yard depth of 0.0m shall be provided instead of the minimum required 6.0m front yard depth.
2. A northerly side yard width of 0.6m shall be provided instead of the minimum required 1.2m side yard width.
3. Eaves and gutter shall be permitted to project a maximum of 0.5m into the required northerly yard and may be as close as 0.1m to the northerly side lot line instead of the maximum 0.3m projection permitted.
4. A rear yard depth of 6.7m shall be provided instead of the minimum required 7.5m rear yard depth.
5. One (1) parking space shall be provided instead of the minimum required two (2) parking spaces.
6. No onsite manoeuvring shall be provided for the parking space instead of the minimum required 6.0m manoeuvring aisle width and the requirement that a manoeuvring space shall be provided and maintained on the lot.

HM/A-22:28

PURPOSE & EFFECT: So as to permit the construction of a new two (2) storey Single Family Dwelling.

Notes:

- i. Required parking spaces for a Single Family Dwelling is calculated at a rate of two (2) parking spaces for the first eight (8) habitable rooms, plus an additional 0.5 parking spaces for each additional habitable room in excess of eight (8). Based on the floor plans provided, two (2) parking spaces are required to be provided.
- ii. The Hamilton Zoning By-law 6593 states that eaves and gutters are permitted to project not more than one-half of the required width of the side yard, or 1.0m whichever is the lesser.
- iii. This is a corner lot. For zoning purposes, the lot line along Park Street North is considered the front lot line.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, June 23, 2022
TIME:	3:05 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

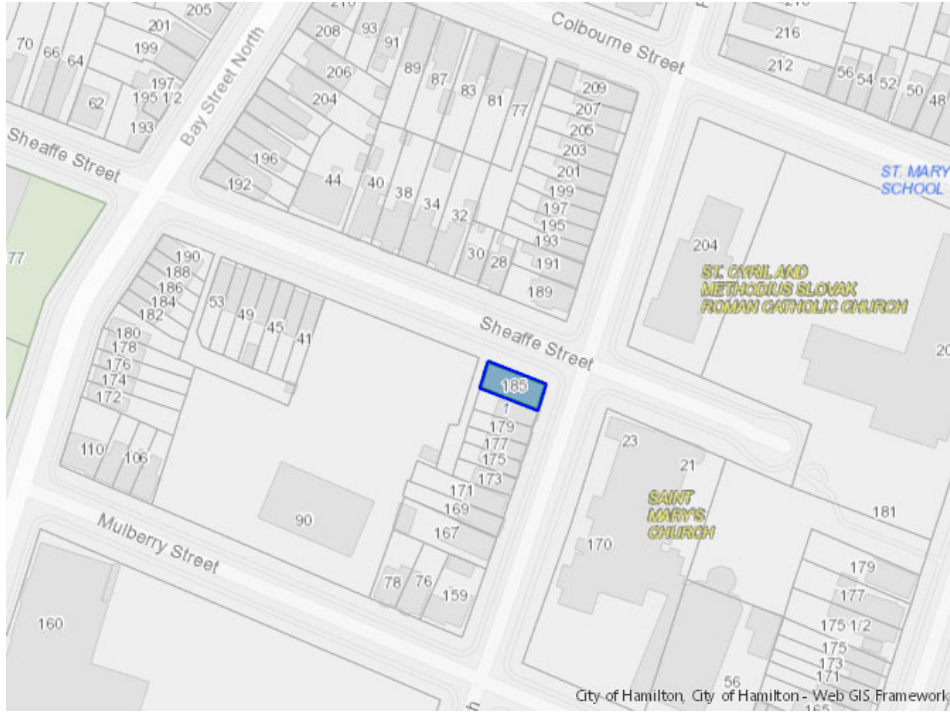
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Email Committee of Adjustment staff at cofa@hamilton.ca
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.



 Subject Lands

DATED: June 7, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

Comments are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions During the Virtual Meeting

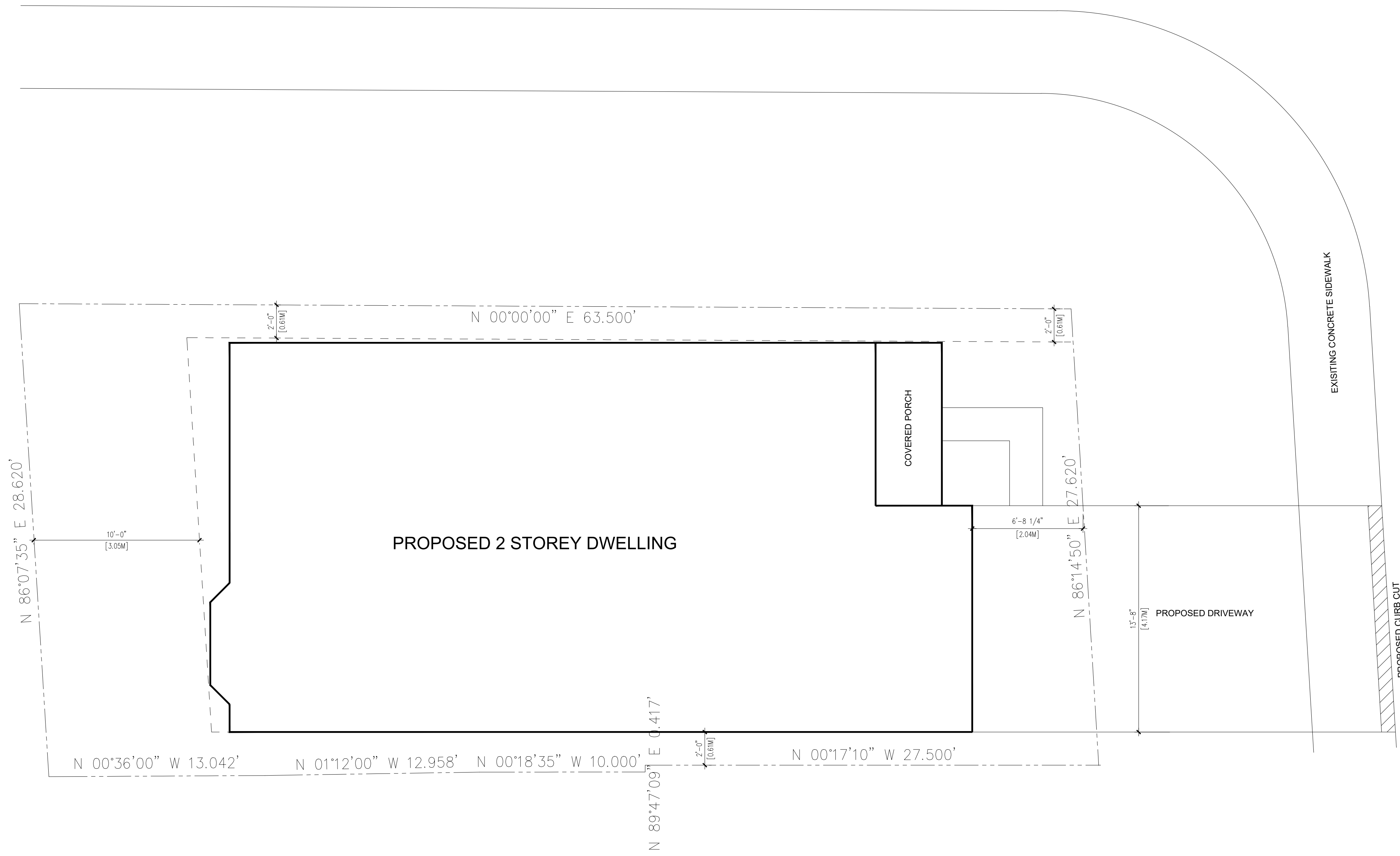
Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, the hearing date, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



SHEAFFE STREET

PARK ST. NORTH

ZONING	D		
LOT AREA	1776 S.F. / 164.99 S.M.		
	EXISTING	PROPOSED	REQUIRED
GROSS FLOOR AREA	N/A	1777.8 S.F.	
BUILDING LENGTH	N/A	46'-2" / 12.95 M	
RIGHT SIDE SETBACK	N/A	2'-0" / 0.60 M	4'-0" / 1.2 M
LEFT SIDE SETBACK	N/A	2'-0" / 0.60 M	4'-0" / 1.2 M
FRONT SETBACK	N/A	6'-8" / 2.03 M	19'-8" / 6.0 M
REAR SETBACK	N/A	10'-0" / 3.05 M	24'-8" / 7.5 M
BUILDING HEIGHT	N/A	?	14.0 M MAX.
BUILDING COVERAGE	N/A	1045 S.F. @ 58.84%	

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS SET OUT IN THE ONLINE BUILDING CODE TO BE A SURVEYOR'S WORK AND THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF.

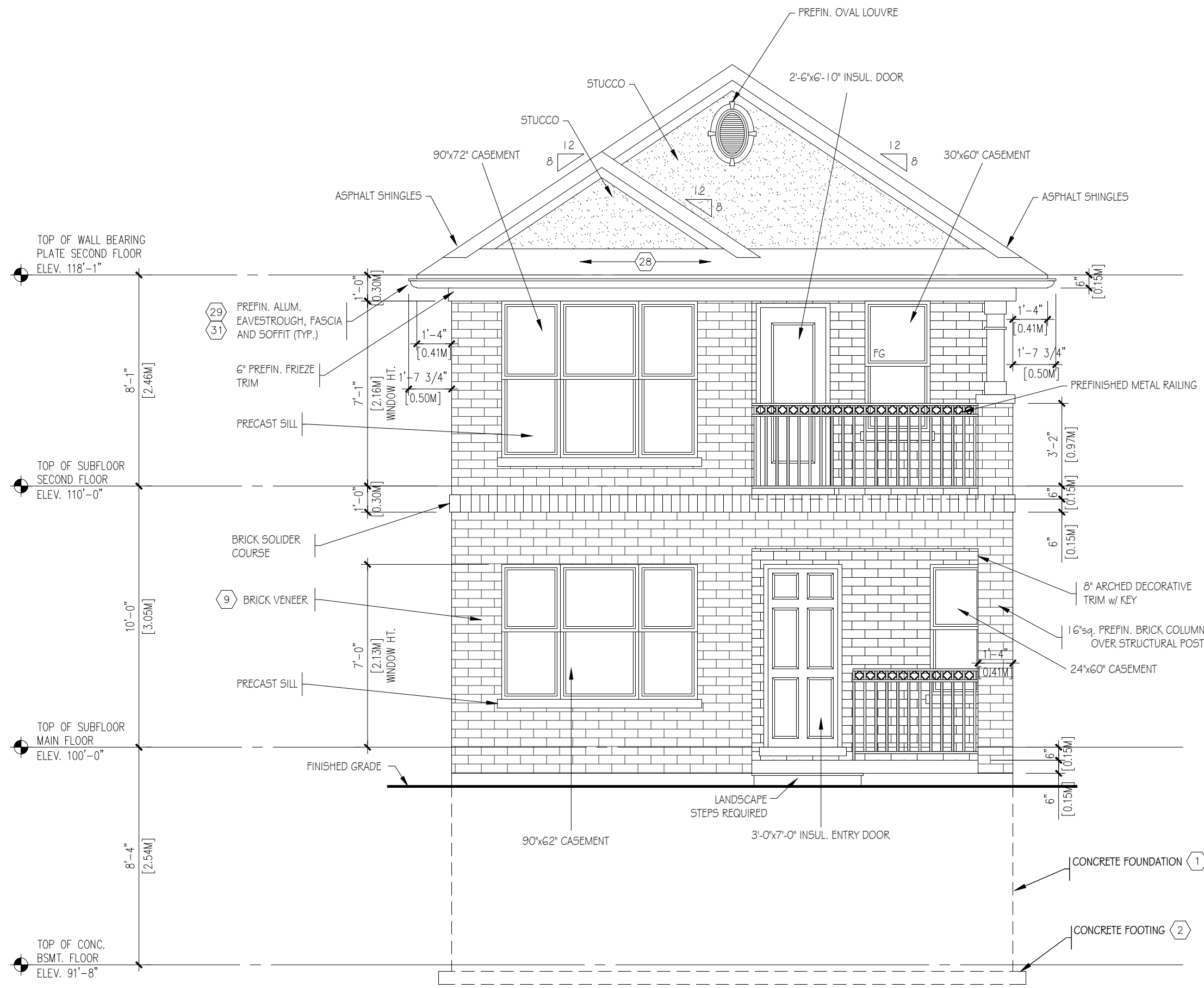
DATE: 2020
BY: [Signature]

68 NORTH VALLEY DR.
WELLAND, ONT
L3C 7L6
905.639.2009
kevin@kwdesigns.ca

KEVIN WEBSTER
DESIGNS INC.

PROJECT NO.	00	CHECKED BY:	KW
DATE:	DEC / 2021	DRAWN BY:	JIM
PAGE NO.	55	PROJECT NAME:	BARBOSA

NO.	DESCRIPTION	DATE	BY
0			



1 FRONT ELEVATION

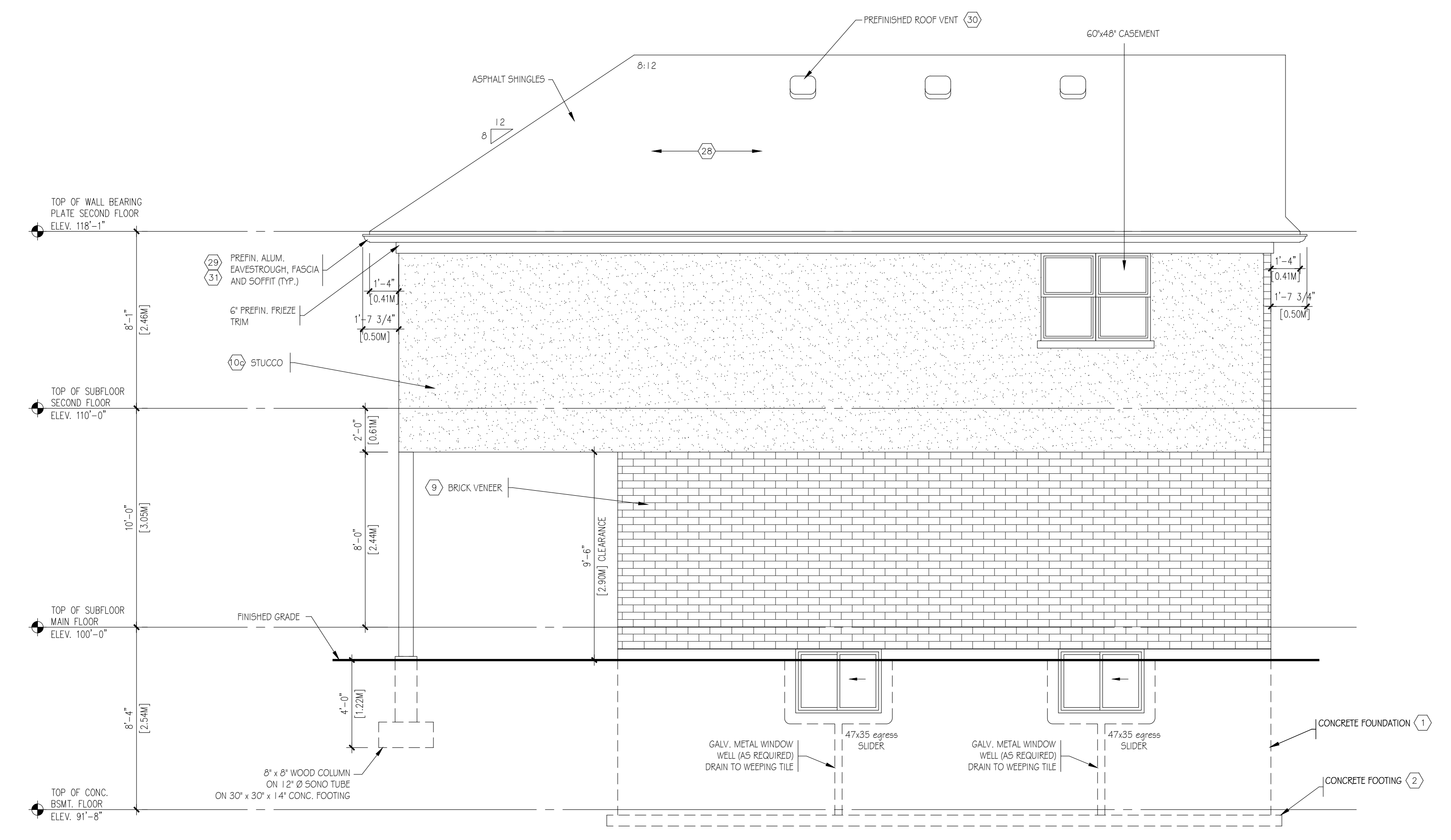
COMPLIANCE PACKAGE A1
IN ACCORDANCE WITH SB-12 TABLE 3.1.1.2.4 OF THE 2012 ONTARIO BUILDING CODE

ELEVATION	TOTAL AREA OF EXPOSED BUILDING FACE	PROPOSED TOTAL WINDOW/DOOR OPENING (EXCLUDING FRONT ENTRY)
FRONT	421.0 SQ.FT.	126.1 SQ.FT.
RIGHT	665.2 SQ.FT.	21 SQ.FT.
REAR	421.0 SQ.FT.	111.6 SQ.FT.
LEFT	665.2 SQ.FT.	42.8 SQ.FT.
TOTAL:	2172.4 SQ.FT.	301.5 SQ.FT.

TOTAL % OF WINDOW/DOOR OPENINGS: 14 %

TOTAL AREA OF EXPOSED BUILDING FACE = 665.2 sq.ft.
ALLOWABLE GLASS AREA BASED ON SETBACK (7%) = 46.6 sq.ft.
MAX. PROPOSED GLASS AREA ... = 42.8 sq.ft.

- FLAT ENTRY ROOF/ TERRACE NOTES:**
- SLOPE ROOF TO SIDE SCUPPER DRAIN. INSTALL SINGLE PLY NON-SLIP PLYWOOD MEMBRANE ON 8\"/>
- WALK-OUT & PART WALK-OUT LOTS:**
- FOR WALK-OUT AND PART WALK-OUT LOTS, STEP CONCRETE FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. LATERALLY UNSUPPORTED WALL DIMENSION OF 3'-11\"/>
- PATIO & TERRACE DOORS:**
- WHERE A PATIO OR TERRACE DOOR THRESHOLD EXCEEDS 23 1/2\"/>
- PORCH/BALCONY/DECK GUARDS:**
- PROVIDE AN SB-7 GUARD AT ALL PORCHES, BALCONYS OR DECKS 2'-0\"/>
- WINDOW SIZES:**
- WINDOW SIZES SHOWN ARE APPROXIMATE. REFER TO MANUFACTURERS SPECIFICATIONS FOR EXACT ROUGH OPENING MEASUREMENTS.



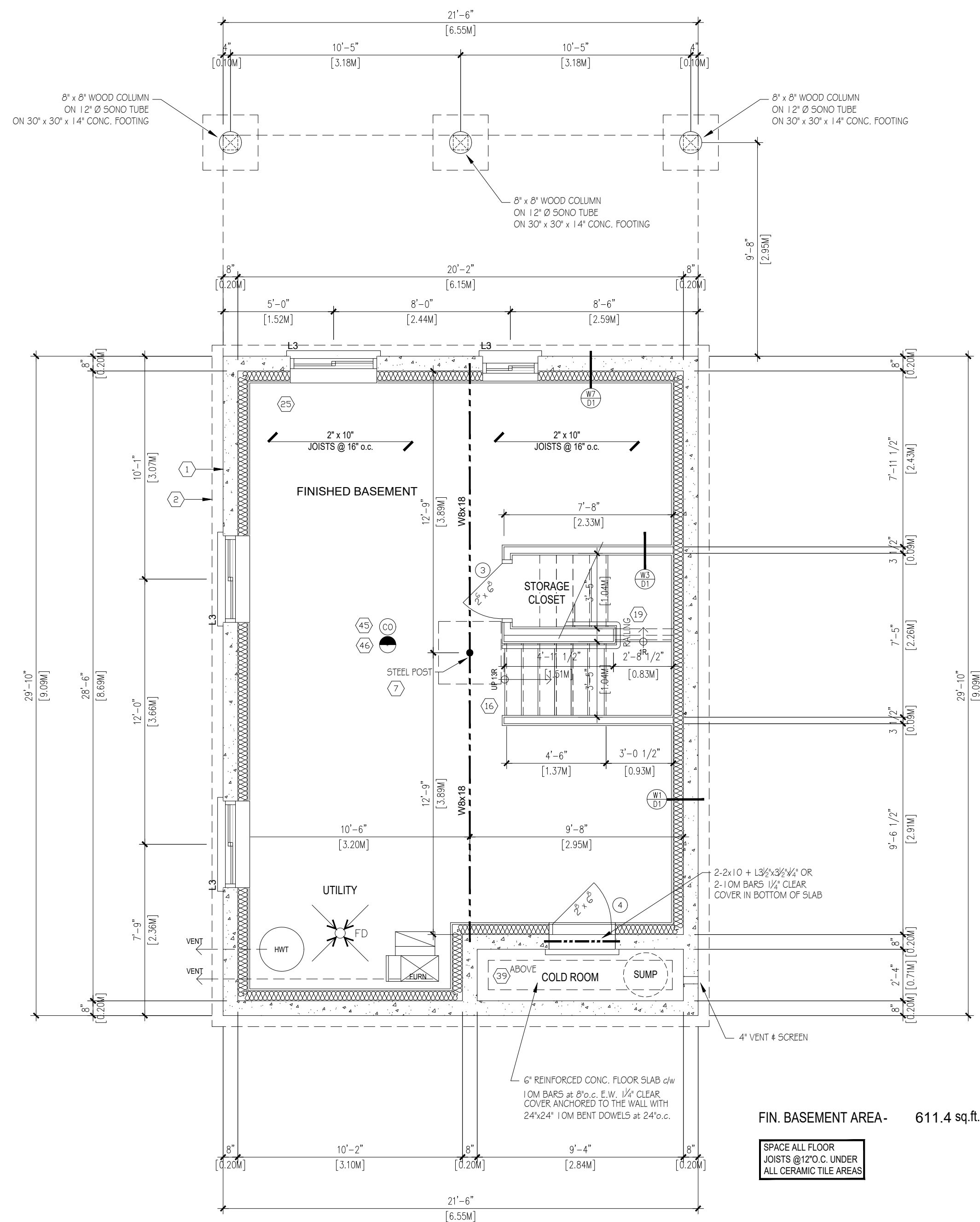
2 LEFT ELEVATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS SET OF DRAWINGS AND ASSURES THAT ALL REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A RESIDENTIAL BUILDING INFORMATION SYSTEM (B.I.S.) COMPLIANT.
 KEVIN WEBSTER
 NAME: KEVIN WEBSTER
 SIGNATURE: [Signature]
 REG. NO.: 25000
 REG. DATE: 2009
 REG. EXPIRES: 2019
 REG. EXPIRES: 2019
 REG. EXPIRES: 2019
 REG. EXPIRES: 2019

68 NORTH VALLEY DR.
 WELAND, ONT
 L3C 7L6
 905.639.2009
 kevin@kwdesigns.ca

KEVIN WEBSTER
DESIGNS INC.

PROJECT NO. 00	DRAWN BY: JIM	CHECKED BY: KW
DATE: DEC / 2021	PROJECT NAME: BARBOSA, PARK ST. NORTH	
PAGE NO. 1 OF 7	HAMILTON, ON	



3 BASEMENT PLAN

- M-E LEGEND**
- - SMOKE DETECTOR
 - ⊙ - C.O. DETECTOR
 - ⊙ - CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (9.3.2) BY MECHANICAL CONTRACTOR.

- MECHANICAL VENTILATION REQUIREMENTS:**
- COMPLY WITH THE REQUIREMENTS OF OBC DIV. B 9.32.3, SIZE PER DIV. B PART 6 OR DIV. B 9.32.3.5.
 - PROVIDE MANUAL SWITCH FOR PRINCIPAL EXHAUST FAN AND LABEL IT "VENTILATION FAN".
 - PROVIDE SUPPLEMENTAL EXHAUST FOR KITCHEN, BATHROOM & WATER CLOSETS AND EXHAUST TO EXTERIOR.
 - EXHAUST FANS AS PER OBC 9.32.3.5.
 - EXHAUST FANS VENTED TO EXTERIOR TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.

- FRAMING NOTES:**
- ALL INTERIOR STUD WALLS TO BE 2"x4" U.N.O.
 - PROVIDE DOUBLE JOIST UNDER ALL PARALLEL WALLS ABOVE.
 - PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR 2 FUTURE GRAB BARS IN MAIN BATHROOM TUB/SHOWER.
 - 1) VERTICAL - LOCATED ON SIDE WALL 40" LONG, LOWER END AT 24"± 3/4" A.F.F., 2"± FROM ADJACENT CLEAR SPACE.
 - 2) L-SHAPED - LOCATED ON WALL OPPOSITE THE BATH TUB OR SHOWER, 40" LONG HORIZ. COMPONENT, 29 1/2"± 3/4" AFF, 29 1/2" LONG VERT. COMPONENT, 15 1/2"± 19 1/4" FROM SIDE WALL, AS PER O.B.C. DIV. B 9.5.2.3.
 - ALL EXTERIOR MASONRY VENEER WALLS TO BE 10" THICK & ALL EXTERIOR SIDING WALLS TO BE 5-1/2" THICK U.N.O.
 - PROVIDE BUILT-UP WOOD STUD POST EQUAL TO STUD DEPTH x WIDTH OF BEAM AT BOTH ENDS OF STEEL OR WOOD BEAMS U.N.O.
 - DARKENED WALLS ARE LOADBEARING.
 - SB: SOLID BEARING POST ASPER OBC 9.17.4.1

- GARAGE NOTES:**
- PROVIDE R-31 NON-COMBUSTIBLE INSULATION IN FLOOR JOIST CAVITY C/W 6 MIL. POLY V.B. (WARM SIDE) AND 1/2" GYPSUM WALL BOARD TAPED AND SANDED.
 - PROVIDE TIGHT FITTING GARAGE MAN DOOR C/W SILL, WEATHER-STRIPPING & SELF-CLOSING DEVICE AS PER O.B.C. 9.10.13.21.
 - GARAGE WALLS ADJACENT TO INTERIOR SPACE SHALL BE GASPROOFED & COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING UNIT.

- ROOF FRAMING NOTES:**
- PROVIDE BUILT-UP WOOD STUD POST EQUAL TO WIDTH OF BEAM / GIRDER UNDER ALL BEAMS GIRDER TRUSSES.
 - ROOF AND CEILING FRAMING TO BE AS PER 2012 OBC PART 9.23.13. ALL ROOF RAFTERS TO BE 2" x 6" AT 16" O.C. UNLESS NOTED OTHERWISE.
 - PROVIDE 2" x 4" MIN. COLLAR TIES, WHERE REQUIRED, TO ENSURE RAFTER SPAN DOES NOT EXCEED 12'-9" HORIZONTALLY. COLLAR TIES MORE THAN 7'-10" LONG TO BE Laterally SUPPORTED NEAR THEIR CENTRES BY 1" x 4" MIN. CONTINUOUS MEMBERS PERPENDICULAR TO THE COLLAR TIES. FOR AN UNSUPPORTED RIDGE, RAFTERS ARE TO BE TIED TO CEILING JOISTS AT BASE AND NAILED IN ACCORDANCE WITH TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT. WHEN CEILING JOISTS ARE PERPENDICULAR TO RAFTERS, PROVIDE 2x6 RAFTER TIES (OR OUTRIGGERS) EVERY 3'-11" (MAX.) NAILED TO RAFTERS AS PER TABLE 9.23.13.8.
 - OVERFRAMED RAFTERS TO BE SUPPORTED ON LOWER RAFTERS BY 2x4 PROPS @ 24" E.W. OR DOUBLE LOWER RAFTERS WHERE THEY SUPPORT OVERFRAMED RAFTERS.
 - CEILING BEAMS DESIGNED ASSUMING NO LOADING FROM UPPER ROOF U.N.O. IF NOTED, CONTACT ENGINEER.
 - PROVIDE ROOF TIES AS REQUIRED.
 - DARKENED WALLS REPRESENT LOAD BEARING WALLS.
 - ALL ROOF OVERHANGS TO BE 1'-0" (1'-6" FOR MODERN ELEV. "E") U.N.O.

- TRUSS MANUFACTURER NOTE:**
- TRUSS MANUF. TO VERIFY ALL STEEL BEAMS AND LINTEL SIZES SUPPORTING ROOF LOADS.
 - TRUSS MANUF. TO PROVIDE ROOF TRUSS DRAWINGS FOR REVIEW PRIOR TO TRUSS MANUFACTURING.

- SPECIFICATIONS NOTE:**
- REFER TO PAGES AT END OF PACKAGE FOR STANDARD FOUNDATION & FRAMING NOTES, O.B.C. REQUIREMENTS AND TYP. CONSTRUCTION ASSEMBLIES.

- ROOF VENTILATION:**
- VENT ROOF SPACE TO EXTERIOR BY VENTED AREA NOT LESS THAN 1/300 OF INSULATED CEILING AREA.

- FLAT ENTRY ROOF/ TERRACE NOTES:**
- SLOPE ROOF TO SIDE SCUPPER DRAIN. INSTALL SINGLE PLY NON-SLIP PLYWOOD MEMBRANE ON 5/8" T&G PLYWOOD ON SLOPED 2x6 FLOOR JOISTS. WRAP MEMBRANE UP & OVER PARAPET WALL UNDER PRE-FINISHED METAL CAP FLASHING. INSTALL MEMBRANE UNDER SIDING 12" MIN. FASTEN AND SEAL TO SHEATHING.

- PATIO & TERRACE DOORS:**
- WHERE A PATIO OR TERRACE DOOR THRESHOLD EXCEEDS 2 1/2" ABOVE FINISHED GRADE, PROVIDE AN SB-7 GUARD OR BLOCKING TO PREVENT THE DOOR FROM OPENING MORE THAN 4".

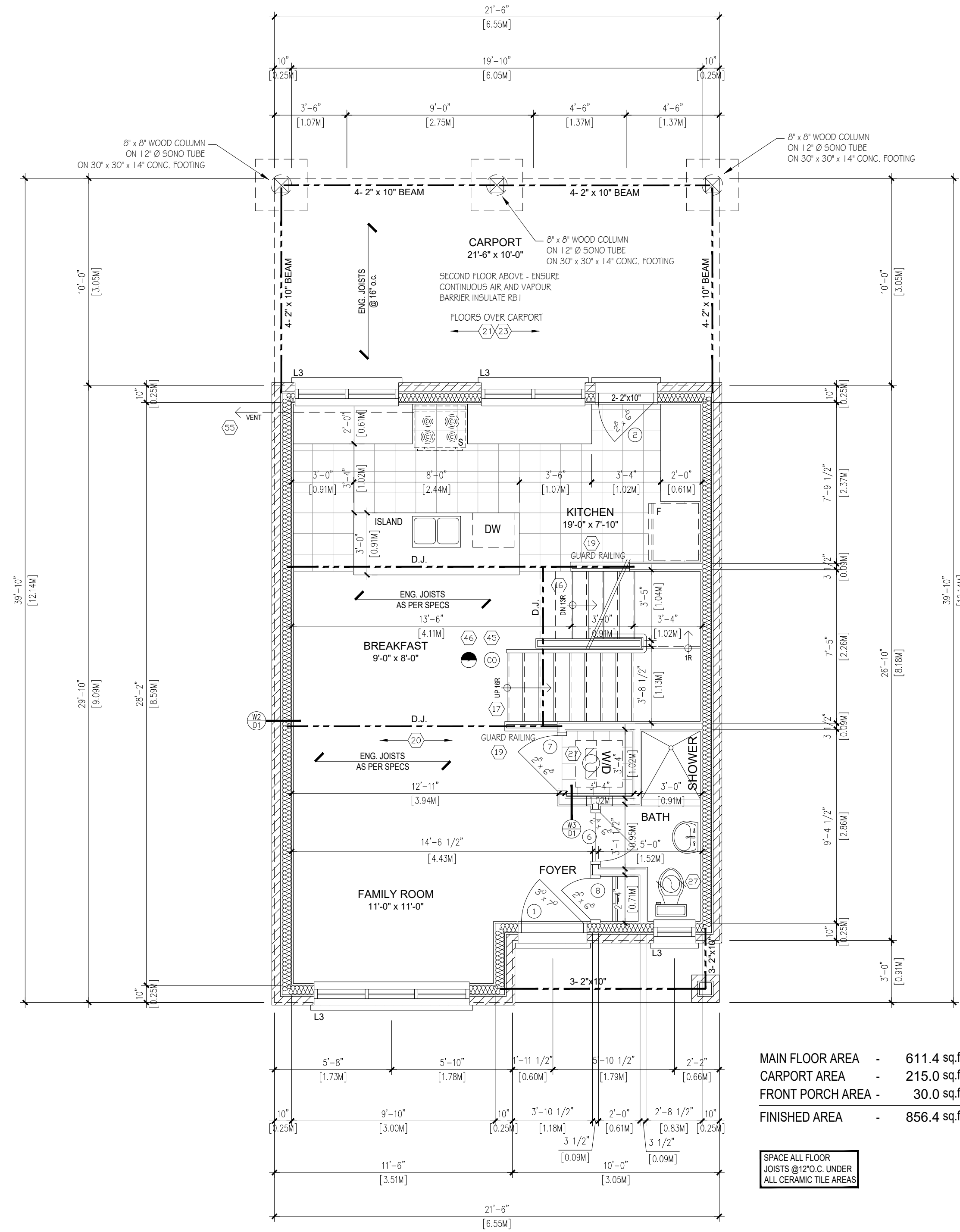
- PORCH/BALCONY/DECK GUARDS:**
- PROVIDE AN SB-7 GUARD AT ALL PORCHES, BALCONY'S OR DECKS 2'-0" ABOVE FINISHED GRADE OR HIGHER, (KOOL-RAY RAILINGS)

- WINDOW SIZES:**
- WINDOW SIZES SHOWN ARE APPROXIMATE. REFER TO MANUFACTURER'S SPECIFICATIONS FOR EXACT ROUGH OPENING MEASUREMENTS.

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L3C 7L6
905.639.2009
kevin@kwdesigns.ca

KEVIN WEBSTER
DESIGNS INC.

PROJECT NO.	00	CHECKED BY:	KW
DATE:	DEC / 2021	DRAWN BY:	JIM
PROJECT NAME:	BARBOSA, PARK ST. NORTH	PROJECT NO.	00
FACE NO.	2 OF 7	PROJECT NAME:	HAMILTON, ON



4 MAIN FLOOR PLAN

- M-E LEGEND**
- - SMOKE DETECTOR
 - ⊙ - C.O. DETECTOR
 - ⊙ - CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (9.3.2) BY MECHANICAL CONTRACTOR.

- MECHANICAL VENTILATION REQUIREMENTS:**
- COMPLY WITH THE REQUIREMENTS OF OBC DIV. B 9.32.3, SIZE PER DIV. B PART 6 OR DIV. B 9.32.3.5.
 - PROVIDE MANUAL SWITCH FOR PRINCIPAL EXHAUST FAN AND LABEL IT "VENTILATION FAN".
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 - PROVIDE DOUBLE JOIST UNDER ALL PARALLEL WALLS ABOVE.
 - PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR 2 FUTURE GRAB BARS IN MAIN BATHROOM TUB/SHOWER.
 - 1) VERTICAL - LOCATED ON SIDE WALL 40" LONG, LOWER END AT 24"± 5/8" AFF. 2"± FROM ADJACENT CLEAR SPACE.
 - 2) L-SHAPED - LOCATED ON WALL OPPOSITE THE BATHUB OR SHOWER, 40" LONG HORIZ. COMPONENT, 29 1/2"± AFF. 29 1/2" LONG VERT. COMPONENT, 15 1/2"± AFF. FROM SIDE WALL AS PER O.B.C. DIV. B 9.5.2.3.
 - ALL EXTERIOR MASONRY VENEER WALLS TO BE 10" THICK & ALL EXTERIOR SIDING WALLS TO BE 5-1/2" THICK U.N.O.
 - PROVIDE BUILT-UP WOOD STUD POST EQUAL TO STUD DEPTH x WIDTH OF BEAM AT BOTH ENDS OF STEEL OR WOOD BEAMS U.N.O.
 - DARKENED WALLS ARE LOADBEARING.
 - SB: SOLID BEARING POST AS PER OBC 9.17.4.1

- GARAGE NOTES:**
- PROVIDE R-31 NON-COMBUSTIBLE INSULATION IN FLOOR JOIST CAVITY C/W 6 MIL. PLY 1/8" (WARM SIDE) AND 1/2" GYPSUM WALL BOARD TAPED AND SANDED.
 - PROVIDE TIGHT FITTING GARAGE MAN DOOR C/W SILL, WEATHER-STRIPPING & SELF-CLOSING DEVICE AS PER O.B.C. 9.10.13.21.
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 - ROOF AND CEILING FRAMING TO BE AS PER 2012 OBC PART 9.23.13. ALL ROOF RAFTERS TO BE 2" x 6" AT 16" O.C. UNLESS NOTED OTHERWISE.
 - PROVIDE 2" x 4" MIN. COLLAR TIES WHERE REQUIRED, TO ENSURE RAFTER SPAN DOES NOT EXCEED 12'-9" HORIZONTALLY. COLLAR TIES MORE THAN 7'-10" LONG TO BE LATERALLY SUPPORTED NEAR THEIR CENTRES BY 1" x 4" MIN. CONTINUOUS MEMBERS PERPENDICULAR TO THE COLLAR TIES. FOR AN UNSUPPORTED RIDGE, RAFTERS ARE TO BE TIED TO CEILING JOISTS AT BASE AND NAILED IN ACCORDANCE W/ TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT. WHEN CEILING JOISTS ARE PERPENDICULAR TO RAFTERS, PROVIDE 2x6 RAFTER TIES (OR OUTRIGGERS) EVERY 3'-11" (MAX.) NAILED TO RAFTERS AS PER TABLE 9.23.13.8.
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 - DARKENED WALLS REPRESENT LOAD BEARING WALLS.
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- TRUSS MANUFACTURER NOTE:**
- TRUSS MANUF. TO VERIFY ALL STEEL BEAMS AND LINTEL SIZES SUPPORTING ROOF LOADS.
 - TRUSS MANUF. TO PROVIDE ROOF TRUSS DRAWINGS FOR REVIEW PRIOR TO TRUSS MANUFACTURING.

- SPECIFICATIONS NOTE:**
- REFER TO PAGES AT END OF PACKAGE FOR STANDARD FOUNDATION & FRAMING NOTES, O.B.C. REQUIREMENTS AND TYP. CONSTRUCTION ASSEMBLIES.

- ROOF VENTILATION:**
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- FLAT ENTRY ROOF/ TERRACE NOTES:**
- SLOPE ROOF TO SIDE SCUPPER DRAIN. INSTALL SINGLE PLY NON-SLIP PLYWOOD MEMBRANE ON 5/8" TAG PLYWOOD ON SLOPED 2x6 FLOOR JOISTS. WEAR MEMBRANE UP & OVER PARAPET WALL UNDER PRE-FINISHED METAL CAP FLASHING. INSTALL MEMBRANE UNDER SIDING 12" MIN. FASTEN AND SEAL TO SHEATHING.

- PATIO & TERRACE DOORS:**
- WHERE A PATIO OR TERRACE DOOR THRESHOLD EXCEEDS 2 1/2" ABOVE FINISHED GRADE, PROVIDE AN SB-7 GUARD OR BLOCKING TO PREVENT THE DOOR FROM OPENING MORE THAN 4".

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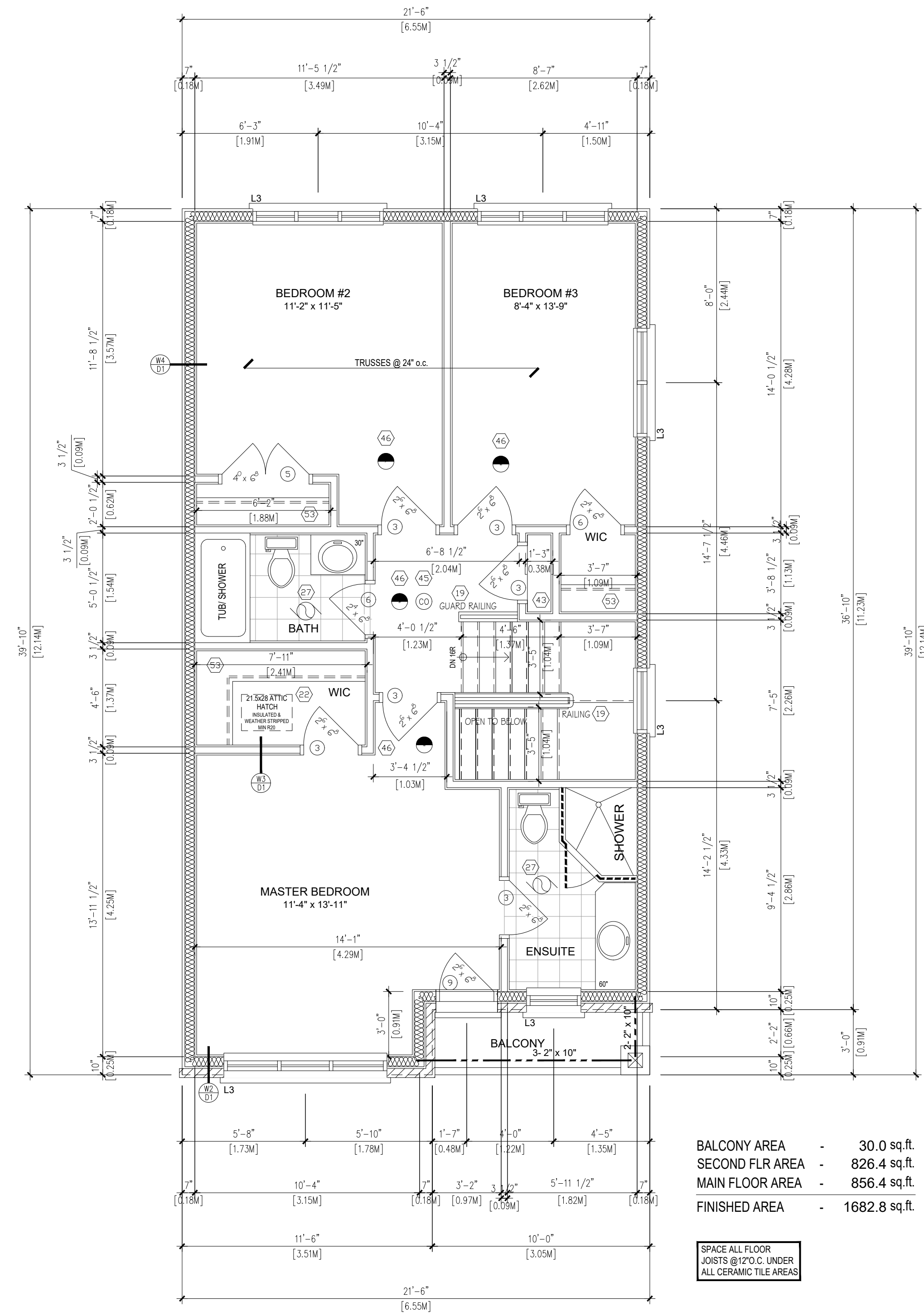
- WINDOW SIZES:**
- WINDOW SIZES SHOWN ARE APPROXIMATE. REFER TO MANUFACTURERS SPECIFICATIONS FOR EXACT ROUGH OPENING MEASUREMENTS.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DRAWING. ANY ERRORS OR OMISSIONS ARE THE RESPONSIBILITY OF THE USER. SET OUT IN THE CONTAINING BUILDING CODE TO BE A RECORD.
 INDICATING INFORMATION: 12.11
 REQUIRE OF THE 2006 O.B.C. SECTION 12.11
 KEVIN WEBSTER
 NAME: KEVIN WEBSTER
 SIGNATURE: [Signature]
 25.00
 REVISION: [Blank]
 12.11
 INDICATING INFORMATION: 12.11
 REQUIRE OF THE 2006 O.B.C. SECTION 12.11
 KEVIN WEBSTER
 NAME: KEVIN WEBSTER
 SIGNATURE: [Signature]
 25.00
 REVISION: [Blank]
 12.11

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WELLAND, ONT
L3C 7L6
905.639.2009
kevin@kwdesigns.ca

KEVIN WEBSTER
DESIGNS INC.

PROJECT NO.	00	CHECKED BY:	JIM
DATE:	DEC / 2021	DRAWN BY:	KW
PROJECT NAME:	BARBOSA, PARK ST. NORTH	PROJECT NO.	00
FACE NO.	3 OF 7	PROJECT NAME:	HAMILTON, ON



BALCONY AREA - 30.0 sq. ft.
 SECOND FLR AREA - 826.4 sq. ft.
 MAIN FLOOR AREA - 856.4 sq. ft.
 FINISHED AREA - 1682.8 sq. ft.

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS

5 SECOND FLOOR PLAN

- M-E LEGEND**
- - SMOKE DETECTOR
 - ⊙ - C.O. DETECTOR
 - ⊙ - CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (9.3.2) BY MECHANICAL CONTRACTOR.

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- COMPLY WITH THE REQUIREMENTS OF OBC DIV. B 9.32.3, SIZE PER DIV. B PART 6 OR DIV. B 9.32.3.5.
 - PROVIDE MANUAL SWITCH FOR PRINCIPAL EXHAUST FAN AND LABEL IT "VENTILATION FAN".
 - PROVIDE SUPPLEMENTAL EXHAUST FOR KITCHEN, BATHROOM & WATER CLOSETS AND EXHAUST TO EXTERIOR.
 - EXHAUST FANS AS PER OBC 9.32.3.5.
 - EXHAUST FANS VENTED TO EXTERIOR TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.

- FRAMING NOTES:**
- ALL INTERIOR STUD WALLS TO BE 2"x4" U.N.O.
 - PROVIDE DOUBLE JOIST FRAMING UNDER ALL PARALLEL WALLS ABOVE.
 - PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR 2 FUTURE GRAB BARS IN MAIN BATHROOM TUB/SHOWER.
 - 1) VERTICAL - LOCATED ON SIDE WALL 40" LONG, LOWER END AT 24"± AFF. 2"± FROM ADJACENT CLEAR SPACE.
 - 2) L-SHAPED - LOCATED ON WALL OPPOSITE THE BATH/TUB OR SHOWER. 40" LONG HORIZ. COMPONENT. 29 1/2"± AFF. 29 1/2" LONG VERT. COMPONENT. 15 1/2"± AFF. FROM SIDE WALL. AS PER O.B.C. DIV. B 9.5.2.3.
 - ALL EXTERIOR MASONRY VENEER WALLS TO BE 10" THICK & ALL EXTERIOR SIDING WALLS TO BE 5-1/2" THICK U.N.O.
 - PROVIDE BUILT-UP WOOD STUD POST EQUAL TO STUD DEPTH x WIDTH OF BEAM AT BOTH ENDS OF STEEL OR WOOD BEAMS U.N.O.
 - DARKENED WALLS ARE LOADBEARING.
 - SB: SOLID BEARING POST ASPER OBC 9.17.4.1

- GARAGE NOTES:**
- PROVIDE R-31 NON-COMBUSTIBLE INSULATION IN FLOOR JOIST CAVITY C/W 6 MIL. PLY 1/8" (WARM SIDE) AND 1/2" GYPSUM WALL BOARD TAPED AND SANDED.
 - PROVIDE TIGHT FITTING GARAGE MAN DOOR C/W SILL, WEATHER-STRIPPING & SELF-CLOSING DEVICE AS PER O.B.C. 9.10.13.21.
 - GARAGE WALLS ADJACENT TO INTERIOR SPACE SHALL BE GASPROOFED & COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING UNIT.

- ROOF FRAMING NOTES:**
- PROVIDE BUILT-UP WOOD STUD POST EQUAL TO WIDTH OF BEAM / GIRDER UNDER ALL BEAMS GIRDER TRUSSES.
 - ROOF AND CEILING FRAMING TO BE AS PER 2012 OBC PART 9.23.13. ALL ROOF RAFTERS TO BE 2" x 6" AT 16" O.C. UNLESS NOTED OTHERWISE.
 - PROVIDE 2" x 4" MIN. COLLAR TIES WHERE REQUIRED, TO ENSURE RAFTER SPAN DOES NOT EXCEED 12'-9" HORIZONTALLY. COLLAR TIES MORE THAN 7'-10" LONG TO BE LATERALLY SUPPORTED NEAR THEIR CENTRES BY 1" x 4" MIN. CONTINUOUS MEMBERS PERPENDICULAR TO THE COLLAR TIES. FOR AN UNSUPPORTED RIDGE, RAFTERS ARE TO BE TIED TO CEILING JOISTS AT BASE AND NAILED IN ACCORDANCE WITH TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT. WHEN CEILING JOISTS ARE PERPENDICULAR TO RAFTERS, PROVIDE 2x6 RAFTER TIES (OR OUTRIGGERS) EVERY 3'-11" (MAX.) NAILED TO RAFTERS AS PER TABLE 9.23.13.8.
 - OVERFRAMED RAFTERS TO BE SUPPORTED ON LOWER RAFTERS BY 2x4 PROPS @ 24" E/W. OR DOUBLE LOWER RAFTERS WHERE THEY SUPPORT OVERFRAMED RAFTERS.
 - CEILING BEAMS DESIGNED ASSUMING NO LOADING FROM UPPER ROOF U.N.O. IF NOTED, CONTACT ENGINEER.
 - PROVIDE ROOF TIES AS REQUIRED.
 - DARKENED WALLS REPRESENT LOAD BEARING WALLS.
 - ALL ROOF OVERHANGS TO BE 1'-0" (1'-6" FOR MODERN ELEV. "E") U.N.O.

- TRUSS MANUFACTURER NOTE:**
- TRUSS MANUF. TO VERIFY ALL STEEL BEAMS AND LINTEL SIZES SUPPORTING ROOF LOADS.
 - TRUSS MANUF. TO PROVIDE ROOF TRUSS DRAWINGS FOR REVIEW PRIOR TO TRUSS MANUFACTURING.

- SPECIFICATIONS NOTE:**
- REFER TO PAGES AT END OF PACKAGE FOR STANDARD FOUNDATION & FRAMING NOTES, O.B.C. REQUIREMENTS AND TYP. CONSTRUCTION ASSEMBLIES.

- ROOF VENTILATION:**
- VENT ROOF SPACE TO EXTERIOR BY VENTED AREA NOT LESS THAN 1/300 OF INSULATED CEILING AREA.

- FLAT ENTRY ROOF/ TERRACE NOTES:**
- SLOPE ROOF TO SIDE SCUPPER DRAIN. INSTALL SINGLE PLY NON-SLIP PLYWOOD MEMBRANE ON 5/8" 1x6 PLYWOOD ON SLOPED 2x6 FLOOR JOISTS. WEAR MEMBRANE UP & OVER PARAPET WALL UNDER PRE-FINISHED METAL CAP FLASHING. INSTALL MEMBRANE UNDER SIDING 12" MIN. FASTEN AND SEAL TO SHEATHING.

- PATIO & TERRACE DOORS:**
- WHERE A PATIO OR TERRACE DOOR THRESHOLD EXCEEDS 2 1/2" ABOVE FINISHED GRADE, PROVIDE AN SB-7 GUARD OR BLOCKING TO PREVENT THE DOOR FROM OPENING MORE THAN 4".

- PORCH/BALCONY/DECK GUARDS:**
- PROVIDE AN SB-7 GUARD AT ALL PORCHES, BALCONY'S OR DECKS 2'-0" ABOVE FINISHED GRADE OR HIGHER. (KOOLED-RAY RAILINGS)

- WINDOW SIZES:**
- WINDOW SIZES SHOWN ARE APPROXIMATE. REFER TO MANUFACTURERS SPECIFICATIONS FOR EXACT ROUGH OPENING MEASUREMENTS.

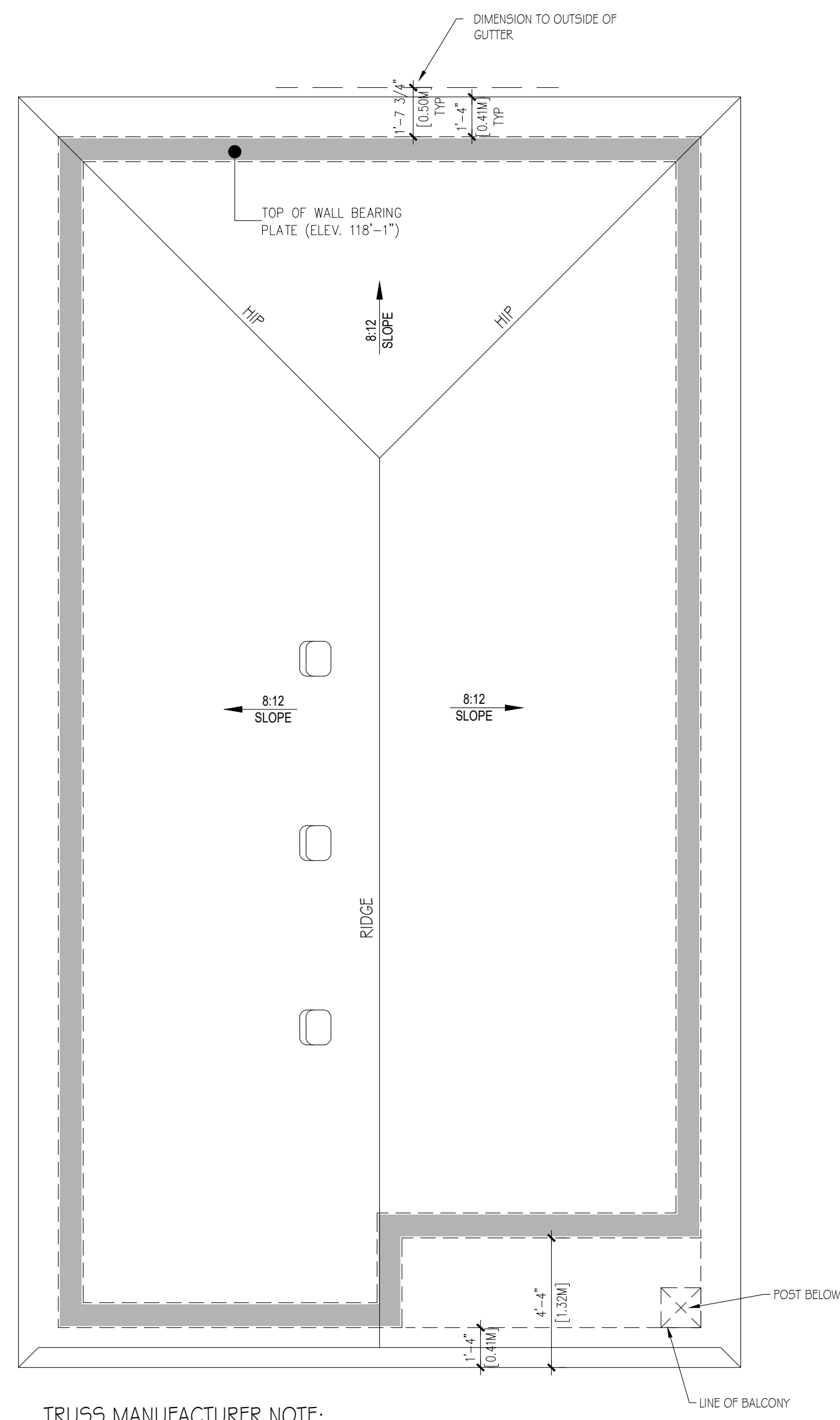
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DRAWING BEING ACCORDING TO THE REQUIREMENTS SET OUT IN THE EXISTING BUILDING CODE TO BE A RESIDENTIAL MECHANICAL DRAWING IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2006 O.B.C. DIV. B 9.3.1.1. I, THE UNDERSIGNED, AM A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO, CANADA. I AM NOT PROVIDING ANY SERVICES TO ANY OTHER PROJECTS AT THIS TIME.

DATE: 12/11/2021
 PROJECT NO.: 22000
 DRAWING NO.: 00

88 NORTH VALLEY DR.
 WELAND, ONT
 L3C 7L6
 905.639.2009
 kevin@kwdesigns.ca

KEVIN WEBSTER
DESIGNS INC.

PROJECT NO.	00	CHECKED BY:	KW
DATE:	DEC / 2021	DRAWN BY:	JIM
PROJECT NAME:	BARBOSA, PARK ST. NORTH HAMILTON, ON		
PAGE NO.:	4 OF 7		



TRUSS MANUFACTURER NOTE:
TRUSS MANUFACTURER TO VERIFY ALL STEEL BEAMS AND LINTEL SIZES SUPPORTING ROOF LOADS.

TRUSS MANUFACTURER TO PROVIDE ROOF TRUSS DRAWINGS FOR REVIEW PRIOR TO TRUSS MANUFACTURING.

6 ROOF PLAN

- M-E LEGEND**
- - SMOKE DETECTOR
 - ⊙ - C.O. DETECTOR
 - ⊙ - CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (9.3.2) BY MECHANICAL CONTRACTOR.

- MECHANICAL VENTILATION REQUIREMENTS:**
- COMPLY WITH THE REQUIREMENTS OF OBC DIV. B 9.32.3, SIZE PER DIV. B PART 6 OR DIV. B 9.32.3.5.
 - PROVIDE MANUAL SWITCH FOR PRINCIPAL EXHAUST FAN AND LABEL IT "VENTILATION FAN".
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 - 1) VERTICAL - LOCATED ON SIDE WALL 40" LONG, LOWER END AT 24"-25 1/2" A.F.F., 2'-3" FROM ADJACENT CLEAR SPACE.
 - 2) L-SHAPED - LOCATED ON WALL OPPOSITE THE BATHUB OR SHOWER, 40" LONG HORIZ. COMPONENT, 29 1/2"-34 1/2" AFF, 29 1/2" LONG VERT. COMPONENT, 15 1/2"-19 1/2" FROM SIDE WALL, AS PER O.B.C. DIV. B 9.5.2.3.
 - ALL EXTERIOR MASONRY VENEER WALLS TO BE 10" THICK & ALL EXTERIOR SIDING WALLS TO BE 5-1/2" THICK U.N.O.
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- PATIO & TERRACE DOORS:**
- WHERE A PATIO OR TERRACE DOOR THRESHOLD EXCEEDS 2 1/2" ABOVE FINISHED GRADE, PROVIDE AN SB-7 GUARD OR BLOCKING TO PREVENT THE DOOR FROM OPENING MORE THAN 4".

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- WINDOW SIZES:**
- WINDOW SIZES SHOWN ARE APPROXIMATE. REFER TO MANUFACTURERS SPECIFICATIONS FOR EXACT ROUGH OPENING MEASUREMENTS.

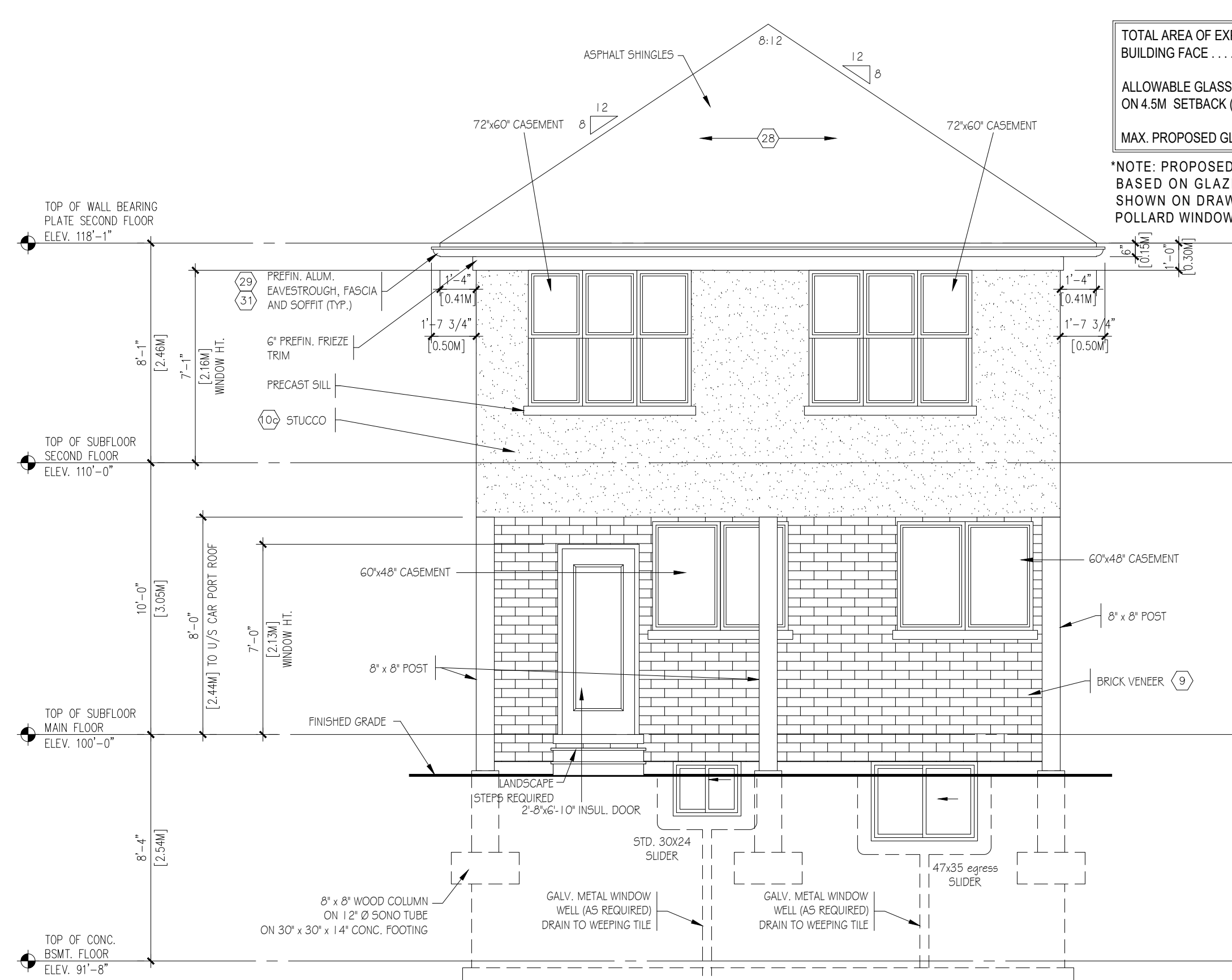
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS SET OF DRAWINGS. I AM A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO, CANADA. I HAVE REVIEWED THESE DRAWINGS AND I AM SURE THAT THEY COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF ONTARIO AND ALL APPLICABLE REGULATIONS.

REGISTERED PROFESSIONAL ENGINEER
NO. 27420
NAME: KEVIN WEBSTER
FIRM NAME: KEVIN WEBSTER DESIGN INC.

68 NORTH VALLEY DR.
WELLAND, ONT
L3C 7L6
905.639.2009
kevin@kwdesigns.ca

**KEVIN WEBSTER
DESIGNS INC.**

PROJECT NO. 00	CHECKED BY: JIM	DRAWN BY: KWI
DATE: DEC / 2021	PROJECT NAME: BARBOSA, PARK ST. NORTH	FLOOR PLANS
PAGE NO. 5 OF 7	CITY: HAMILTON, ON	



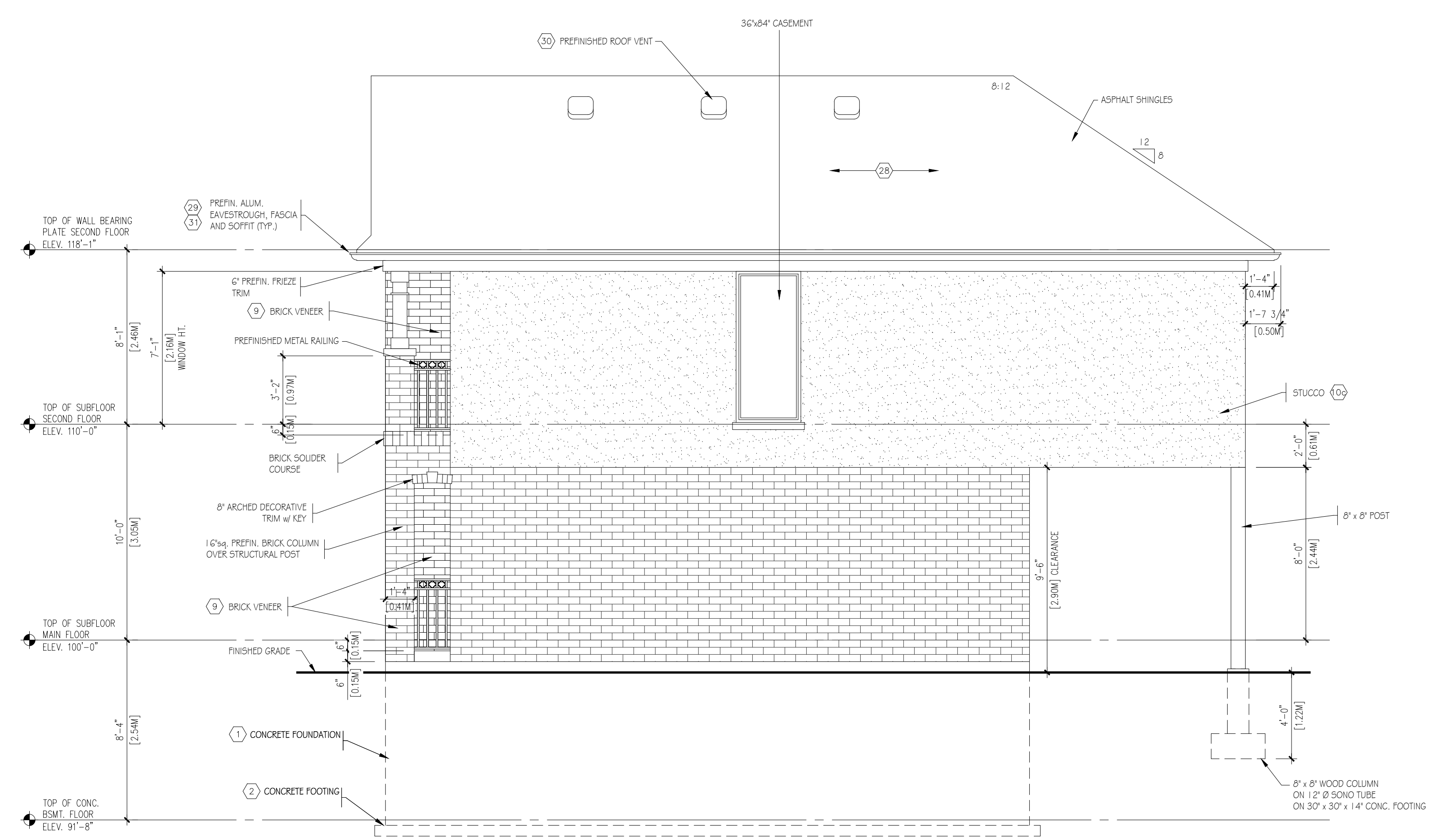
TOTAL AREA OF EXPOSED BUILDING FACE = 421.0 sq.ft.
 ALLOWABLE GLASS AREA BASED ON 4.5M SETBACK (28%) = 117.9 sq.ft.
 MAX. PROPOSED GLASS AREA ... = 111.6 sq.ft.

NOTE: PROPOSED UNPROTECTED OPENING VALUE IS BASED ON GLAZING AREA ONLY. GLAZING AREAS SHOWN ON DRAWINGS CAN BE FOUND IN THE 2016 POLLARD WINDOW ADVANTAGE LINE SPECIFICATIONS.

TOTAL AREA OF EXPOSED BUILDING FACE = 665.2 sq.ft.
 ALLOWABLE GLASS AREA BASED ON SETBACK (7%) = 46.6 sq.ft.
 MAX. PROPOSED GLASS AREA ... = 21 sq.ft.

7 REAR ELEVATION

- FLAT ENTRY ROOF/ TERRACE NOTES:**
- SLOPE ROOF TO SIDE SCUPPER DRAIN. INSTALL SINGLE PLY NON-SLIP PLYWOOD MEMBRANE ON 18" TAG PLYWD ON SLOPED 2"X8" FLOOR JOISTS. WRAP MEMBRANE UP & OVER PARAPET WALL UNDER PRE-FINISHED METAL CAP FLASHING. INSTALL MEMBRANE UNDER SIDING 12" MIN. FASTEN AND SEAL TO SHEATHING.
- WALK-OUT & PART WALK-OUT LOTS:**
- FOR WALK-OUT AND PART WALK-OUT LOTS, STEP CONCRETE FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. LATERALLY UNSUPPORTED WALL DIMENSION OF 3'-11"
- PATIO & TERRACE DOORS:**
- WHERE A PATIO OR TERRACE DOOR THRESHOLD EXCEEDS 2 1/2" ABOVE FINISHED GRADE, PROVIDE AN SB-7 GUARD OR BLOCKING TO PREVENT THE DOOR FROM OPENING MORE THAN 4".
- PORCH/BALCONY/DECK GUARDS:**
- PROVIDE AN SB-7 GUARD AT ALL PORCHES, BALCONYS OR DECKS 2'-0" ABOVE FINISHED GRADE OR HIGHER. (KOO-LRAY RAILINGS)
- WINDOW SIZES:**
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8 RIGHT ELEVATION

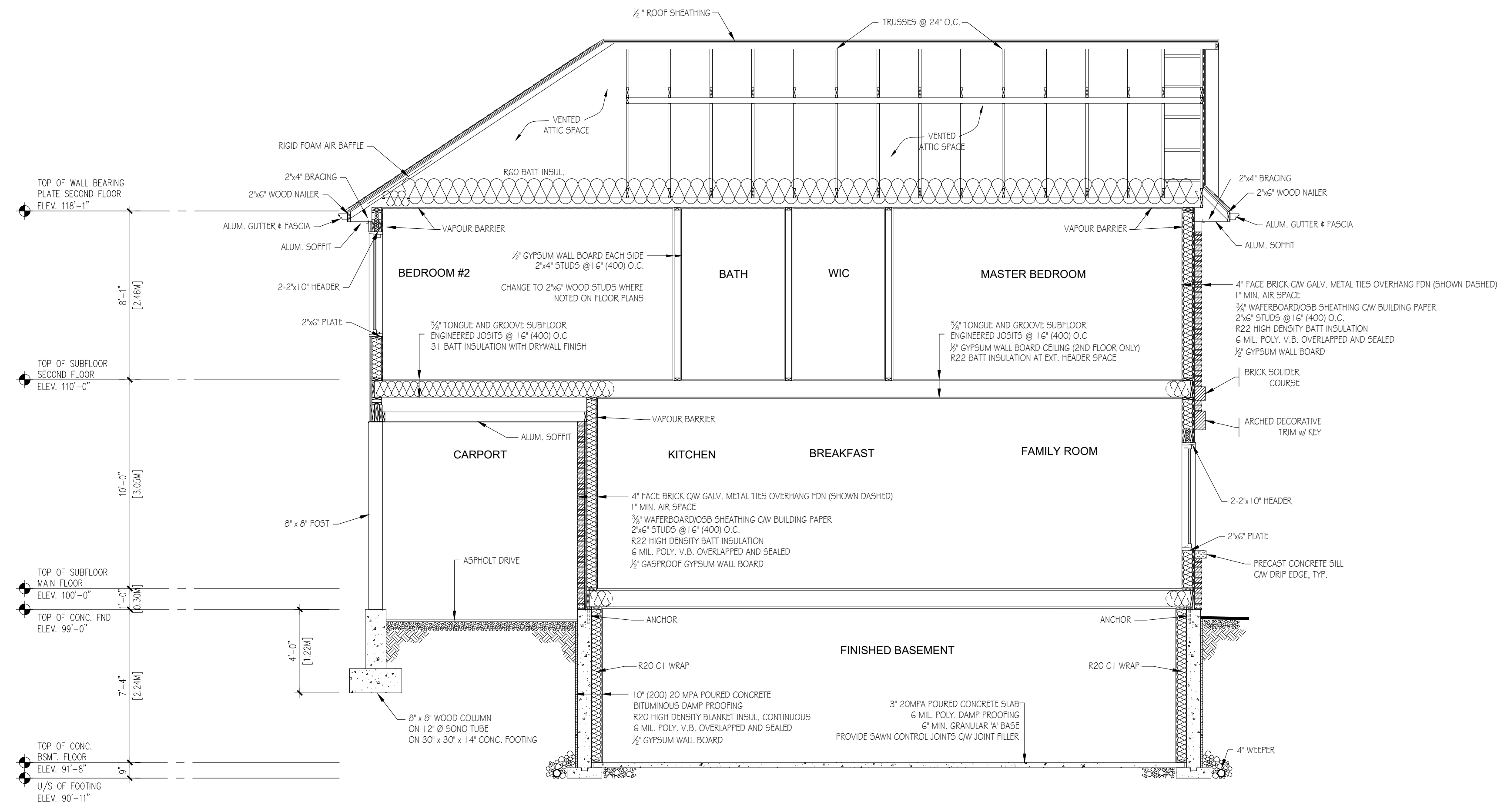
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DRAWING. ANY ERRORS OR OMISSIONS ARE THE SOLE RESPONSIBILITY OF THE CLIENT. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF KEVIN WEBSTER DESIGN INC.

DATE: 12/11/2021
 DRAWN BY: JIM
 CHECKED BY: KWI
 PROJECT NO.: 00
 DATE: DEC/2021
 PROJECT NAME: BARBOSA, PARK ST. NORTH HAMILTON, ON
 PAGE NO.: 6 OF 7

68 NORTH VALLEY DR.
 WELAND, ONT
 L3C 7L6
 905.639.2009
 kevin@kwdesigns.ca

**KEVIN WEBSTER
 DESIGNS INC.**

PROJECT NO.: 00
 DATE: DEC/2021
 PROJECT NAME: BARBOSA, PARK ST. NORTH HAMILTON, ON
 PAGE NO.: 6 OF 7



9 BUILDING SECTION

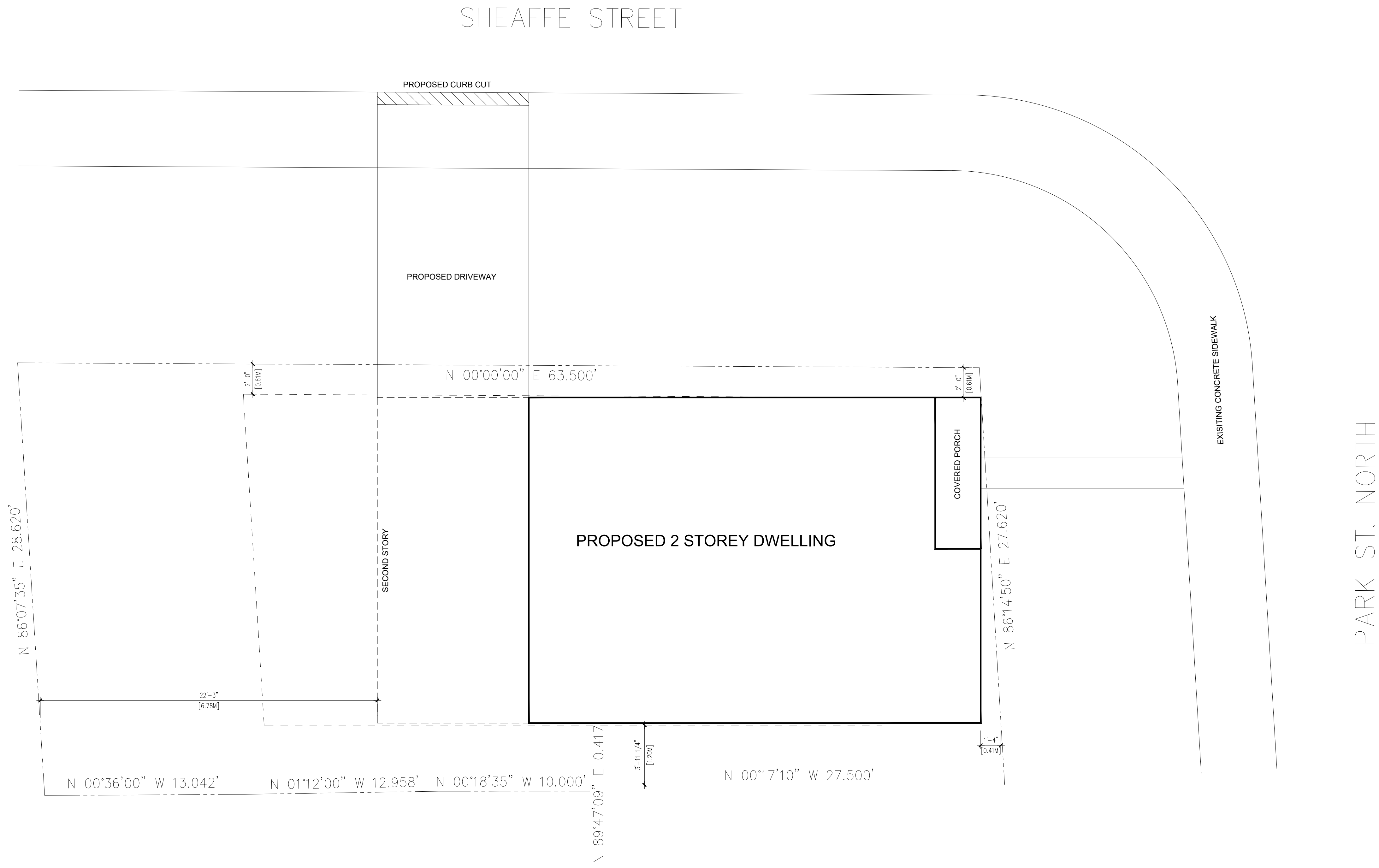
PROJECT NO. 00	DRAWN BY JIM	CHECKED BY KW
DATE DEC / 2021	DRAWING BUILDING-SECTION	
PAGE NO. 7 OF 7	PROJECT NAME BARBOSA, PARK ST. NORTH HAMILTON, ON	

KEVIN WEBSTER
DESIGNS INC.

68 NORTH VALLEY DR.
WELLAND, ONT
L3C 7L6
905.639.2009
kevin@kwdesigns.ca

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DRAWING AND ASSURES THAT THE INFORMATION CONTAINED HEREIN IS SET OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE TO BE A RESIDENTIAL BUILDING PERMITTED BY THE LOCAL AUTHORITY.
 KEVIN WEBSTER
 NAME
 CIVIL ENGINEER
 REG. NO. OF THE PROVINCE OF ONTARIO
 25200
 REG. NO. OF THE PROVINCE OF ONTARIO
 1211
 KEVIN WEBSTER DESIGN INC.
 FIRM NAME

ZONING	D		
LOT AREA	1776 S.F. / 164.99 S.M.		
	EXISTING	PROPOSED	REQUIRED
GROSS FLOOR AREA	N/A	1682.8 S.F.	
BUILDING LENGTH	N/A	46'-2" / 12.95 M	
RIGHT SIDE SETBACK	N/A	2'-0" / 0.60 M	4'-0" / 1.2 M
LEFT SIDE SETBACK	N/A	3'-11" / 1.20 M	4'-0" / 1.2 M
FRONT SETBACK	N/A	6'-6" / 2.00 M	19'-8" / 6.0 M
REAR SETBACK	N/A	14'-9" / 4.5 M	24'-8" / 7.5 M
BUILDING HEIGHT	N/A	?	14.0 M MAX.
BUILDING COVERAGE	N/A	877 S.F. @ 49.38%	



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS PLAN AND THE INFORMATION CONTAINED THEREIN. THE UNDERSIGNED IS NOT PROVIDING ANY GUARANTEE OR WARRANTY AS TO THE ACCURACY OF THE INFORMATION SET OUT IN THE ATTACHED BUILDING CODE TO BE A RESIDENT. THE UNDERSIGNED IS NOT PROVIDING ANY GUARANTEE OR WARRANTY AS TO THE ACCURACY OF THE INFORMATION SET OUT IN THE ATTACHED BUILDING CODE TO BE A RESIDENT.

NAME: KEVIN WEBSTER
 SIGNATURE: [Signature]
 REG. NO.: 25000
 REG. DATE: 2009

NAME: KEVIN WEBSTER
 SIGNATURE: [Signature]
 REG. NO.: 25000
 REG. DATE: 2009

NAME: KEVIN WEBSTER
 SIGNATURE: [Signature]
 REG. NO.: 25000
 REG. DATE: 2009

68 NORTH VALLEY DR.
 WELLAND, ONT
 L3C 7L6
 905.639.2009
 kevin@kwdesigns.ca

KEVIN WEBSTER
 DESIGNS INC.

PROJECT NO. 00	DRAWN BY: JIM	CHECKED BY: KW
DATE: DEC/2021	PROJECT NAME: BARBOSA, PARK ST. NORTH	
FACE NO. SITE	HAMILTON, ON	



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	MARIA PIA ROCCA	[REDACTED]
Applicant(s)*		
Agent or Solicitor	KEVIN WEBSTER	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1. REQUIRE 6.0 m FRONT SETBACK - PROPOSED 0.00m
2. REQUIRE 1.2 m SIDE SETBACK - PROPOSED 0.60m EXT. SIDE
3. REQUIRE 7.5 m REAR SETBACK - PROPOSED 6.78 m

Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

THE PROPERTY IS VERY SMALL TO FIT AN ADEQUATE SIZED DWELLING. THE PROPERTY TO THE SOUTH HAS MINIMAL SET BACKS.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

PART OF LOT 1, BLOCK 29 - 185 PARK ST. NORTH
REGISTERED PLAN 127
IN THE CITY OF HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant Other

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

COMMON KNOWLEDGE

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

NOV. 5/21
Date

X Maria Barbosa
Signature Property Owner(s)

MARIO BARBOSA
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 8.419 m
Depth 19.355 m
Area 164.99 SQ.M
Width of street 20 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

EXISTING PROPERTY IS A VACANT LOT

Proposed

2 STOREY DWELLING.
611.4 SQ. FT. GROUND FLOOR
215.0 SQ. FT. CARPORT AREA
826.4 SQ. FT. SECOND FLOOR
GROSS AREA = 1682.8 SQ. FT.
HEIGHT = 9.2 m

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

N/A

Proposed:

FRONT 0.00 m
LEFT 1.20 m
RIGHT 0.60 m
REAR 6.78 m

13. Date of acquisition of subject lands:
FEB. 2021
14. Date of construction of all buildings and structures on subject lands:
VACANT PROPERTY
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
VACANT PROPERTY.
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SINGLE FAMILY
17. Length of time the existing uses of the subject property have continued:
SINCE EVER.
18. Municipal services available: (check the appropriate space or spaces)
- | | | | | |
|----------------|-------------------------------------|-----------|--------------------------|-----------|
| Water | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> | <u>NO</u> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> | <u>NO</u> |
| Storm Sewers | <input type="checkbox"/> | | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
SINGLE FAMILY
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
'D' ZONE
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
- If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.