



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>FL/A-22:164</b>	<b>SUBJECT PROPERTY:</b>	667 HARVEST RD., FLAMBOROUGH
<b>ZONE:</b>	S1 (Settlement Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law City of Hamilton 05-200, as Amended

**APPLICANTS:** Owner L. Vansickle  
Agent Park Eight – B. Wybenga

The following variances are requested:

**Building Containing Four (4) Dwelling Units:**

1. The construction of a new 64.0 square metre deck shall be permitted whereas the by-law prohibits the expansion of a legally established non-conforming use.
2. The construction of a new 33.5 square metre balcony with associated exterior staircase shall be permitted whereas the by-law prohibits the expansion of a legally established non-conforming use.

**Building Containing One (1) Dwelling Unit (Coach House):**

1. The construction of a new 14 square metre roofed over porch shall be permitted whereas the by-law prohibits the expansion of a legally established non-conforming use.
2. The construction of a new 9.5 square metre deck/porch shall be permitted whereas the by-law prohibits the expansion of a legally established non-conforming use.

**PURPOSE & EFFECT:** To facilitate the expansion of a legally established non-conforming four (4) unit dwelling and a detached building containing one (1) dwelling unit, per Section 45(2)(a)(i) of the *Planning Act*.

**Notes:**

- i. A portion of the proposed 64.0 square metre deck is intended to be roofed-over by way of the proposed balcony above.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, June 23, 2022
TIME:	3:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed (viewing only) at <a href="http://www.hamilton.ca/committeefadjustment">www.hamilton.ca/committeefadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeefadjustment](http://www.hamilton.ca/committeefadjustment)
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.



DATED: June 7, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

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E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

Comments are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions During the Virtual Meeting

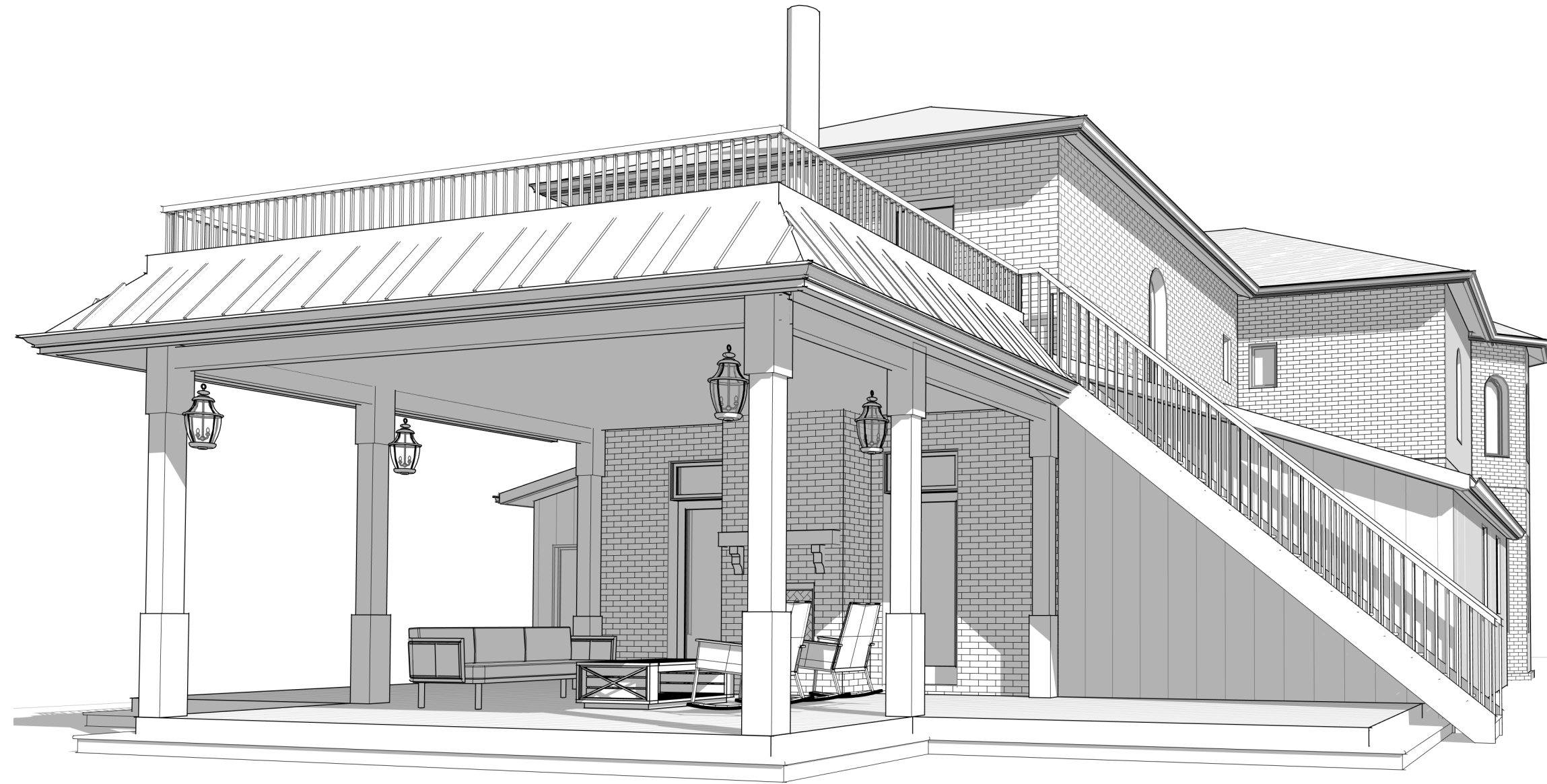
Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, the hearing date, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



**PARK  
EIGHT**  
ENG // ARCH

# PROPOSED REAR YARD

## PORCH

667 HARVEST ROAD  
GREENSVILLE, ON.

Project No. 21022

Revisions

Scale

**COVER**

# A0.00

Sheet No. ©2021

1. UNDER NO CIRCUMSTANCES ARE THESE DRAWINGS TO BE SCALED.
2. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE (OBC) INCLUDING ALL THE LATEST STANDARDS REFERENCED WITHIN.
3. ALL DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.
4. CONTRACTOR/STEEL FABRICATOR IS REQUIRED TO FIELD MEASURE THE STRUCTURE PRIOR TO FABRICATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
5. CONTRACTOR TO CHECK AND VERIFY ALL STRUCTURAL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
6. PROVIDE ADEQUATE TEMPORARY SHORING AS REQUIRED DURING DEMOLITION OF STRUCTURAL WALLS AND COMPONENTS. ANY AND ALL RESULTING DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
7. PROVIDE LINTELS OVER ALL OPENINGS, INCLUDING THOSE FROM MECHANICAL AND ELECTRICAL.
8. CARBON MONOXIDE DETECTORS ARE REQUIRED ADJACENT TO EACH SLEEPING AREA, AS PER O.B.C. 9.33.4.
9. SMOKE ALARMS SHALL BE LOCATED AS PER O.B.C. 9.10.19.2. SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND AS PER O.B.C. 9.10.19.4.
10. WHERE DOWNSPOUTS ARE PROVIDED AND NOT CONNECTED TO A SEWER, DOWNSPOUT EXTENSIONS SHALL BE PROVIDED TO CARRY RAINWATER AWAY FROM THE BUILDING IN A MANNER THAT WILL PREVENT SOIL EROSION AS PER O.B.C. 9.26.18.2.
11. THE UNOBSTRUCTED ATTIC VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. O.B.C. 9.26.5.1.

## DESIGN LOADS

- |  |               |
|--|---------------|
| 1. GROUND SNOW (S <sub>s</sub> ) / RAIN (S <sub>r</sub> ): | 1.5 / 0.4 kPa |
| 2. MAXIMUM ROOF SNOW (S):                                  | 1.6 kPa       |
| 3. ROOF DEAD LOAD (D):                                     | 1.0 kPa       |
| 4. WIND (q <sub>50</sub> ):                                | 0.46 kPa      |
| 5. GROUND FLOOR LIVE (L):                                  | 1.9 kPa       |
| 6. SECOND STOREY LIVE (L):                                 | 1.9 kPa       |
| 7. GROUND/2ND STOREY FLOOR DEAD (D):                       | 1.0 kPa       |

## STRUCTURAL SCHEDULE

- WOOD LINTELS:
- L1 2 PLY - 2X8  
L2 2 PLY - 2X10  
L3 2 PLY - 2X12  
L4 3 PLY - 2X8
- BEAMS:
- B1 4-PLY 2.0E LVL 1 3/4" x 16", PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O.C  
B2 W8X48 FLUSH BEAM - SEE DETAIL  
B3 3-PLY 2.0E LVL 1 3/4" x 11 7/8", PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O.C  
B4 4-PLY 2X12 P.T. B.U. WOOD BEAM  
B5 3-PLY 2X10 P.T. B.U. WOOD BEAM
- LEDGER BOARD / JOISTS / RAFTERS:
- LED.1 2X12 P.T. LEDGER BOARD c/w 1/2" DIA. HILTI HIT HY20 EPOXY ANCHORS @ 12" O/C STAG.  
J1 2X10 ROOF RAFTERS @ 16" O/C W/ 3/4" SPF T&G (GLUED AND SCREWED)  
J2 LVL 2.0E 1 3/4" x 11 7/8" ROOF RAFTERS @ 16" O/C c/w 3/4" SPF T&G (GLUED AND SCREWED)  
J3 P.T. 2X10 BU WOOD JOISTS @ 16" O/C C/W 5/4 P.T WOOD DECK - 1 ROW OF SOLID BLOCKING
- WOOD BUILT UP POSTS / COLUMNS:
- P2 2 PLY - 2"X6"  
P3 3 PLY - 2"X6"  
P4 4 PLY - 2"X6"  
P5 5 PLY - 2"X6"  
P6 6 PLY - 2"X6"  
COL.1 HSS 4"x4"x1/4" C/W 5.5"x9"x3/8" thk. CAP PLATE & (4) 1/2" DIA. BOLTS W/ 5.5"x9"x3/8" BASEPLATE (SEE TYP. BASEPLATE DETAILS) W/ (2) 5/8" DIA. BOLTS  
COL.2 6"X6" P.T. WOOD COLUMN (CLAD W/ WOOD AND PAINTED), FASTEN TO BEAM (TOP) W/ GLAV. POST CAP AND HELICAL PIER W/ POST BASE
- PAD FOOTINGS:
- FTG.1 HELICAL PIER AS PER MANUFACTURER'S DETAILS (SUBMIT DESIGN LOADS BY P.ENG)  
DESIGN LOADS: 62 kN (14,000 LBS)  
FTG.2 WALL BRACKET - SEE DETAIL  
FTG.3 HELICAL PIER AS PER MANUFACTURER'S DETAILS (SUBMIT DESIGN LOADS BY P.ENG)  
DESIGN LOADS: 30 kN (6,745 LBS)
- LOOSE BRICK LINTELS:
- LLV1 L4x3.5x5/16" - 5'-0" & UNDER (8" BEARING ON E/S)  
LLV2 L5x3.5x3/8" - 5'-0" TO 7'-0" SPAN (8" BEARING ON E/S)  
LLV3 L6x4x3/8" - 7'-0" TO 9'-0" SPAN (8" BEARING ON E/S)

- ## FOUNDATION NOTES
1. ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 3000 P.S.F.
  2. PROVIDE 4'-0" MINIMUM OF FROST COVER FOR ALL EXTERIOR FOOTINGS.
  3. ALL REINFORCING STEEL TO BE 400W AND SHALL CONFORM TO CSA-G30.18-M92.
  4. ALL PIERS TO BE POURED INTEGRALLY WITH FOUNDATION WALLS.
  5. PROVIDE 8" DEEP DOOR BUCKS AT ALL EXTERIOR DOOR LOCATIONS.
  6. CONTRACTOR TO NOTIFY ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE FOR:
    - A. VERIFICATION OF SOIL BEARING CAPACITY
    - B. INSPECTION OF REINFORCING

## LUMBER NOTES

1. ALL SAWN LUMBER TO BE S.P.F. No. 2 GRADE or BETTER AND CONFORM TO CSA-0141.
2. ALL ENGINEERED BUILT UP BEAMS ARE TO BE LVL'S (GRADE 2.0x10<sup>6</sup> PSI). REPLACEMENT WITH A HIGHER GRADE IS NOT ALWAYS A SUITABLE EQUIVALENT. CONTACT ENGINEER FOR EQUIVALENT.
3. ALL LUMBER EXPOSED TO THE EXTERIOR IS TO BE PRESSURE TREATED U.O.N.
4. CONNECT 2"X6" WOOD PLATE TO TOP OF ALL STEEL BEAMS AS PER THE TYPICAL DETAILS.
5. TRUSS DESIGN TO BE IN ACCORDANCE WITH PART 4 OF THE O.B.C. PROVIDE HOLD DOWN CLIPS AT ALL TRUSSES, WHICH ARE TO BE DESIGNED BY THE ROOF TRUSS ENGINEERS.
6. ROOF SHEATHING TO BE 12 mm (1/2") PLYWOOD (MINIMUM) T&G, NAILED W/ 10D NAILS AT 6" C/C ALONG EDGES.
7. FLOOR SHEATHING TO BE 19 mm (3/4") PLYWOOD (MINIMUM) T&G, GLUED AND SCREWED.
8. WALL SHEATHING TO BE 12 mm (1/2") ORIENTED STRAND BOARD (OSB) (MINIMUM), NAILED W/ 10D NAILS AT 6" C/C ALONG EDGES.
9. PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL BEARING WALLS WHICH ARE PERPENDICULAR TO THE JOISTS.
10. PROVIDE APPROVED BLOCKING OR BRIDGING AT 2000 mm (7'-0") O/C MAX. FOR FLOOR JOISTS.
11. TYPICAL BEARING WALL IS 2"X6" @ 16" O/C MIN. U.O.N.
12. ALL LUMBER BEAMS ARE TO BE SUPPORTED ON LUMBER POSTS (U.N.O) WITH EQUAL NUMBER OF LAMINATIONS.
13. ALL BUILT-UP POSTS ARE TO BE CONSTRUCTED CONTINUOUSLY TO THE FOUNDATION WITH SOLID TRANSFER BLOCKING AT EACH FLOOR.
14. WOOD IS NOT TO BEAR DIRECTLY ON CONCRETE/MASONRY, PROVIDE PRESSURE TREATED, POLY, OR SILL GASKET BETWEEN CONCRETE/MASONRY AND WOOD SILL PLATE.
15. ALL JOISTS SHOULD HAVE A MINIMUM OF 40 mm (1 1/2") OF BEARING U.O.N. BY MANUFACTURER.
16. ALL LUMBER BEAMS SHOULD HAVE A MINIMUM OF 75 mm (3") BEARING.
17. BUILT UP POSTS SHALL BE NAILED TOGETHER @ 150 mm (6") O/C STAGGERED U.O.N.
18. PROVIDE TIMBER BUILT-UP LINTELS OVER DOOR AND WINDOW OPENINGS IF NOT INDICATED ON DRAWING:

OPENING < 7'-0" - (2-PLY) 2"X10"  
OPENING < 10'-0" - (3-PLY) 2"X10"

PARK  
EIGHT  
ENG // ARCH

PROPOSED REAR YARD

PORCH

667 HARVEST ROAD  
GREENSVILLE, ON.

Project No. 21022

Revisions

Scale

PROJECT NOTES

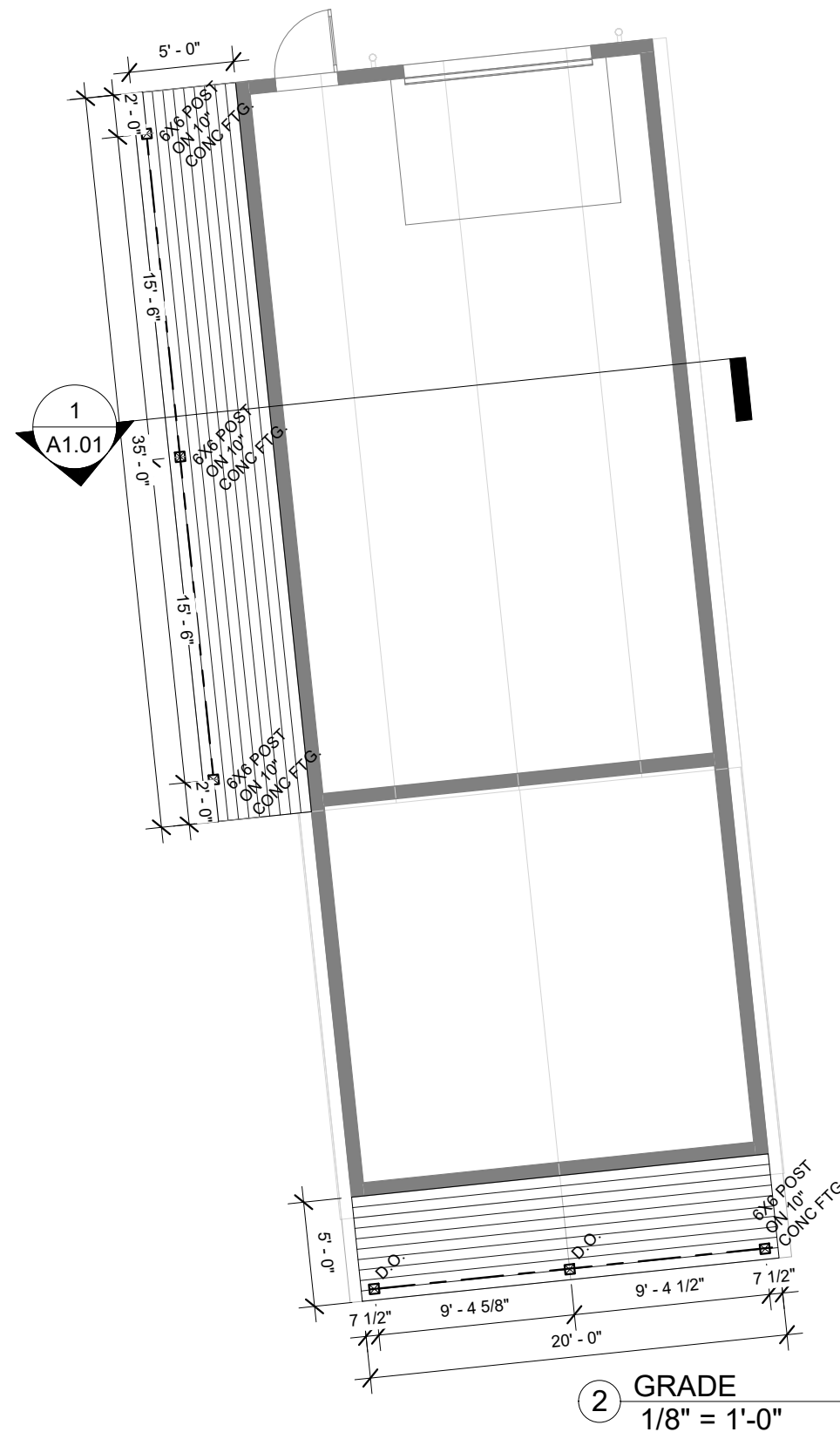
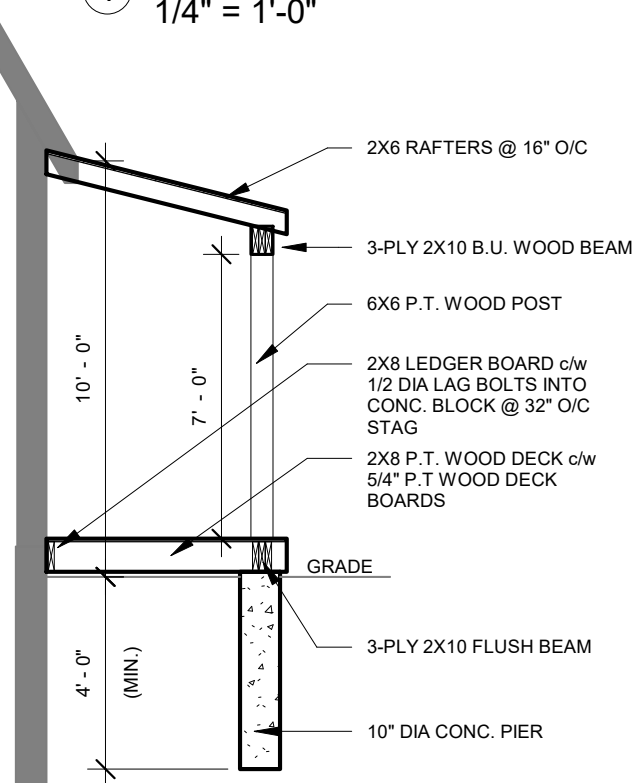
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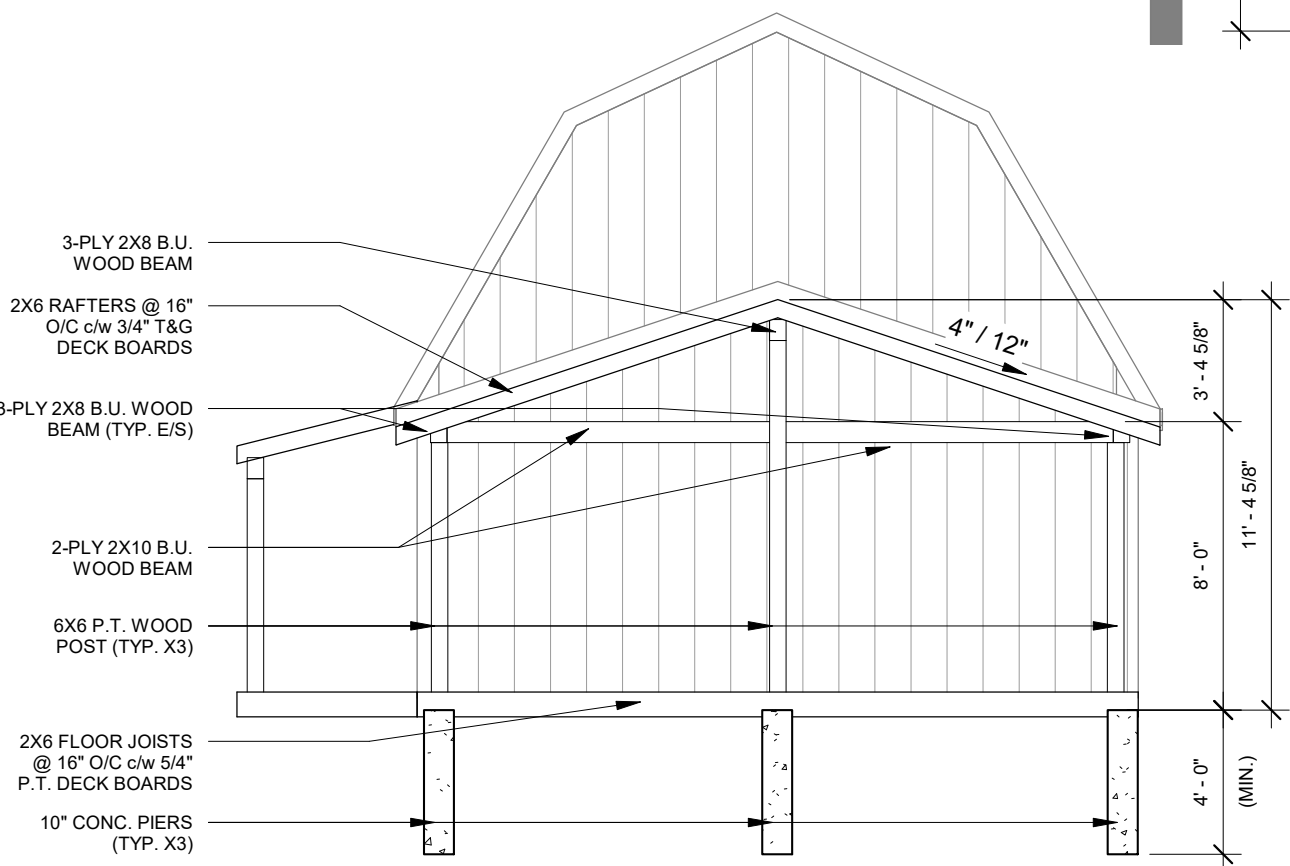
©2021

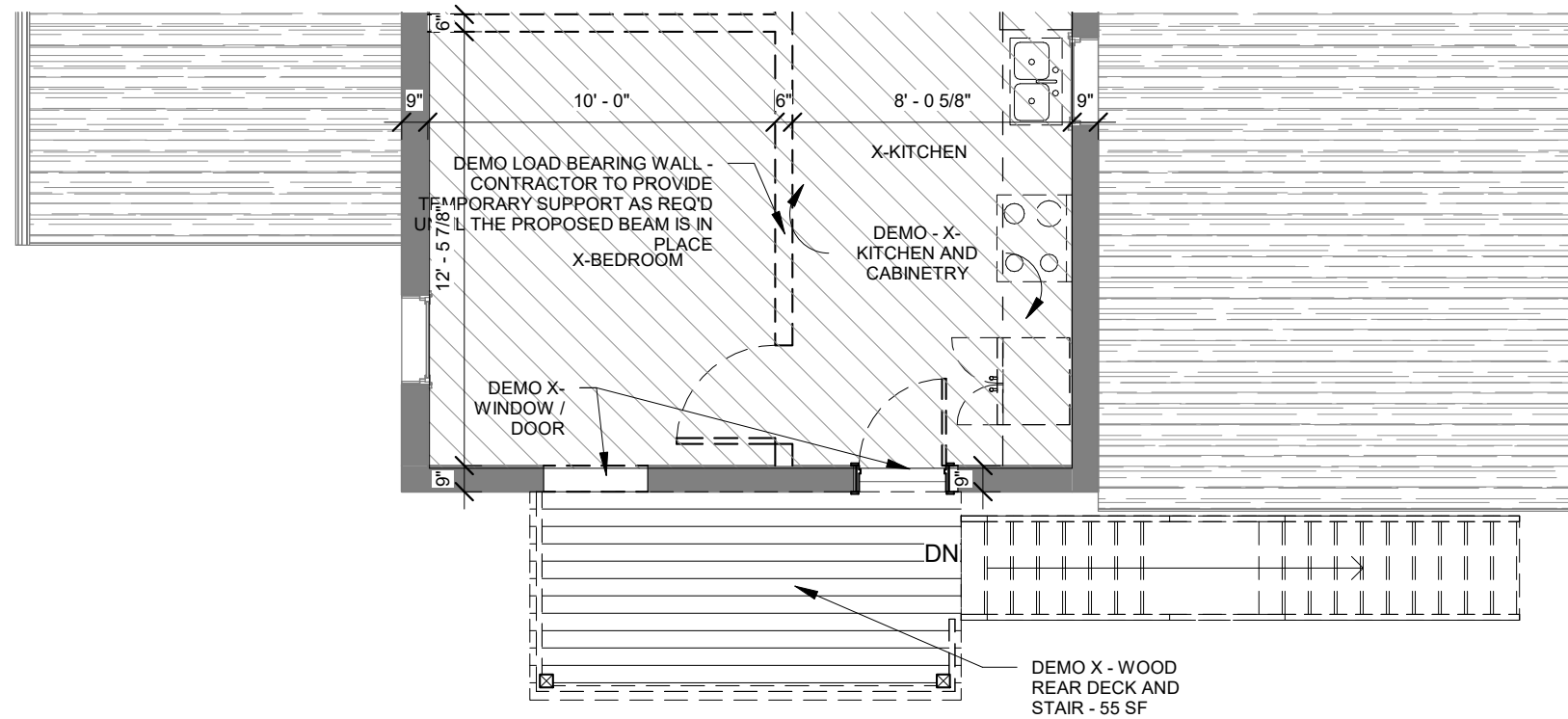


1 PORCH X SECTION  
1/4" = 1'-0"



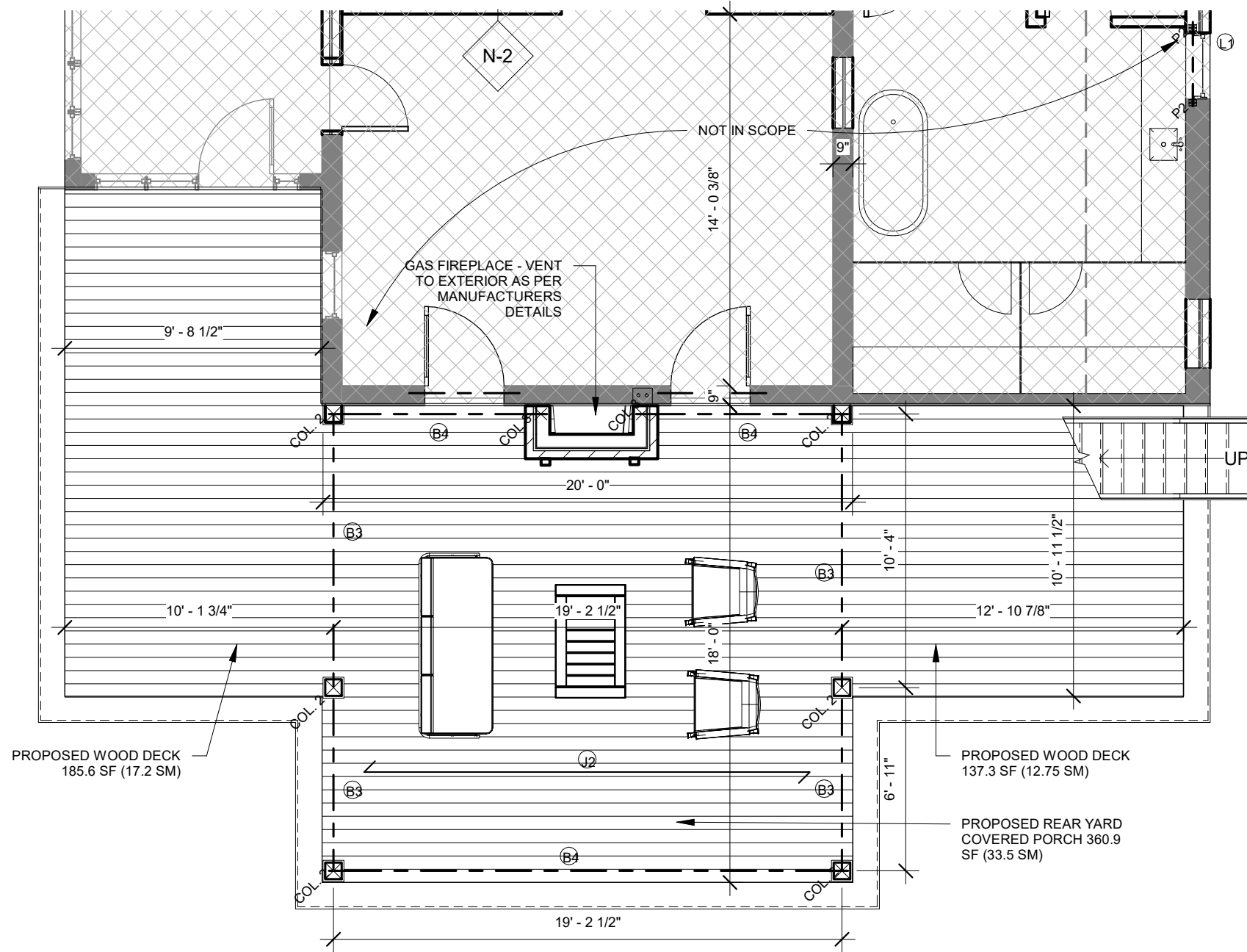
3 REAR PORCH ELEV.  
3/16" = 1'-0"



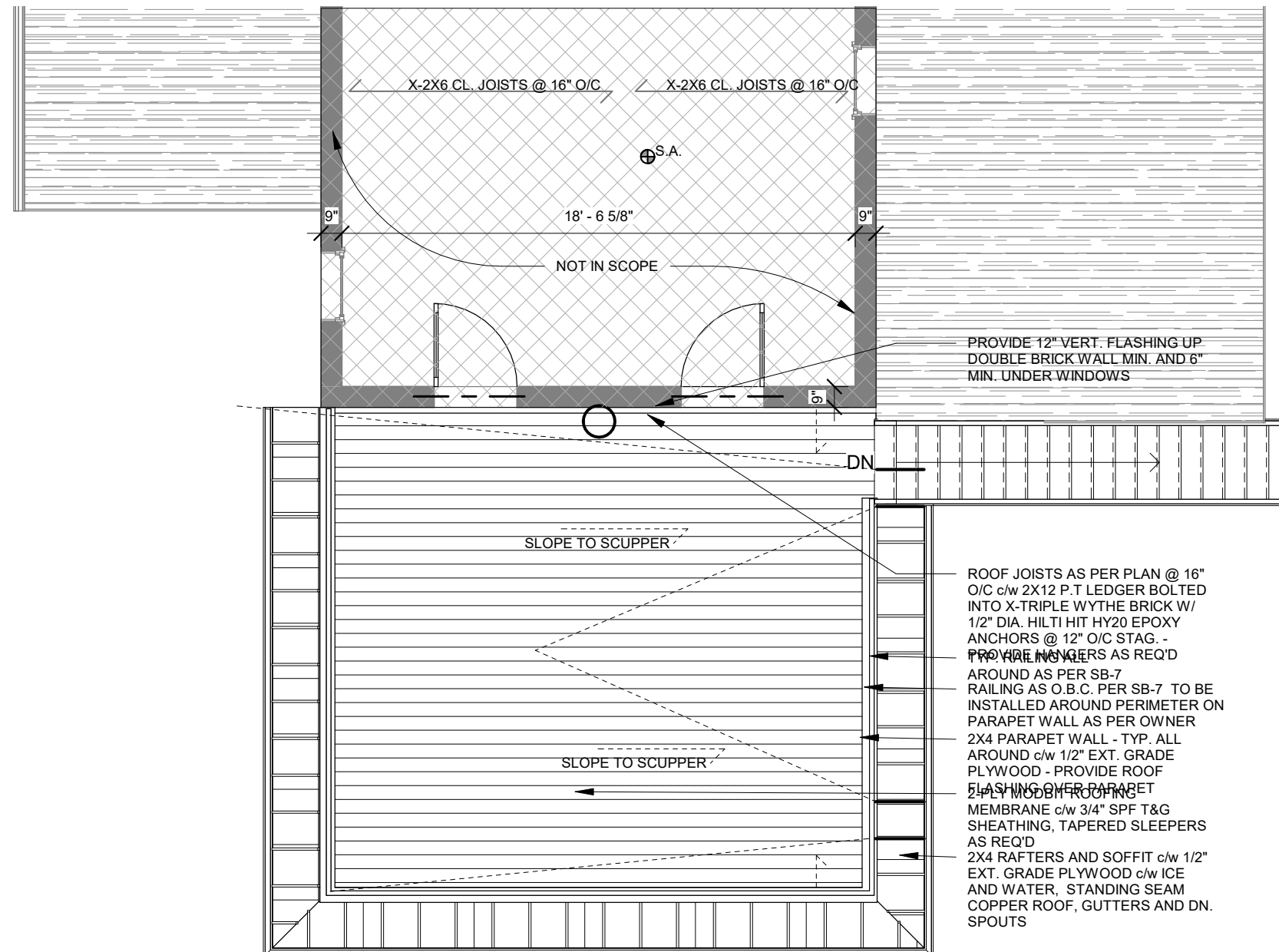


① DEMO SECOND  
3/16" = 1'-0"

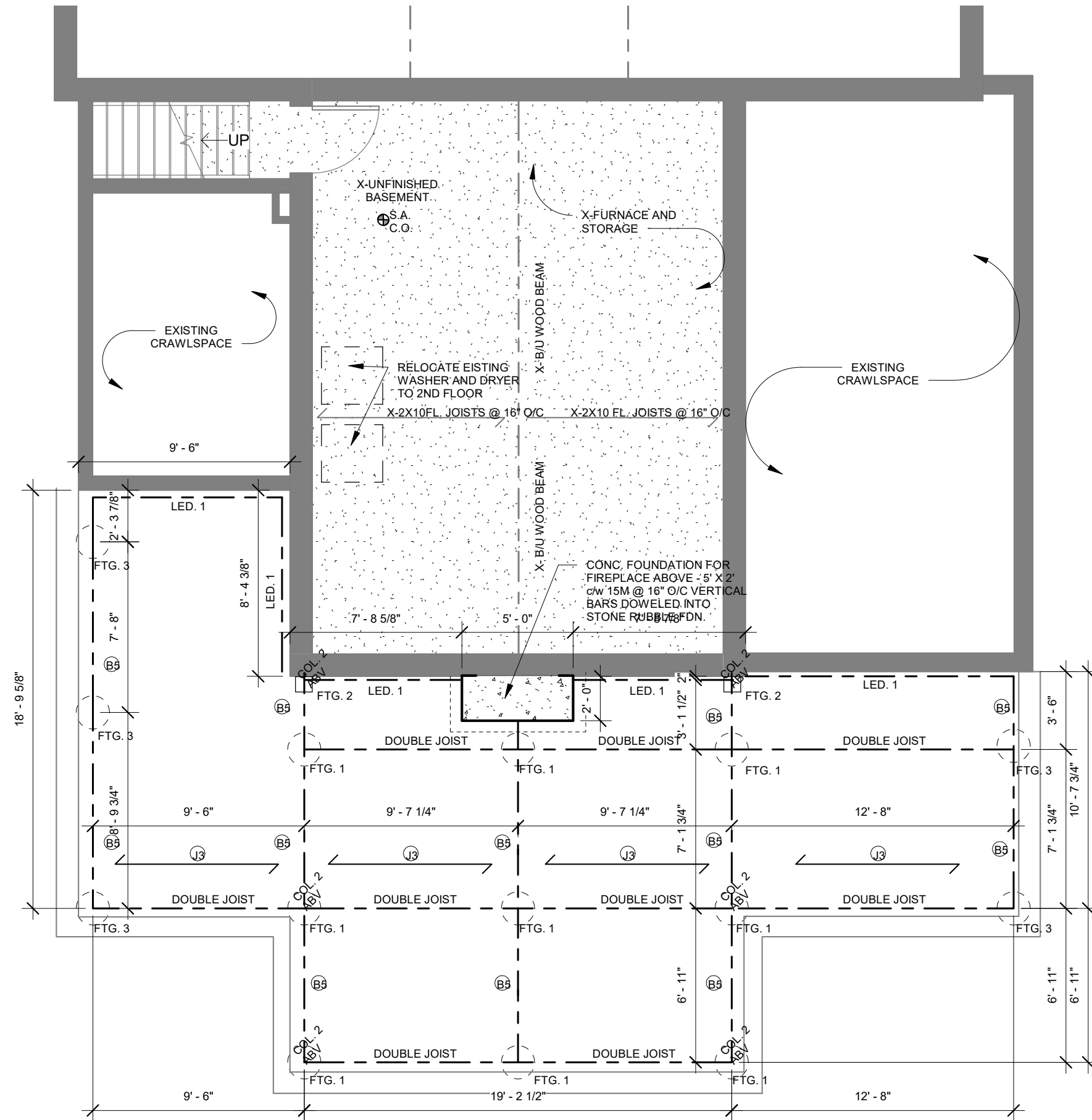




① PROP. GROUND  
3/16" = 1'-0"



1 PROP. SECOND  
3/16" = 1'-0"



1 X-BASEMENT  
3/16" = 1'-0"

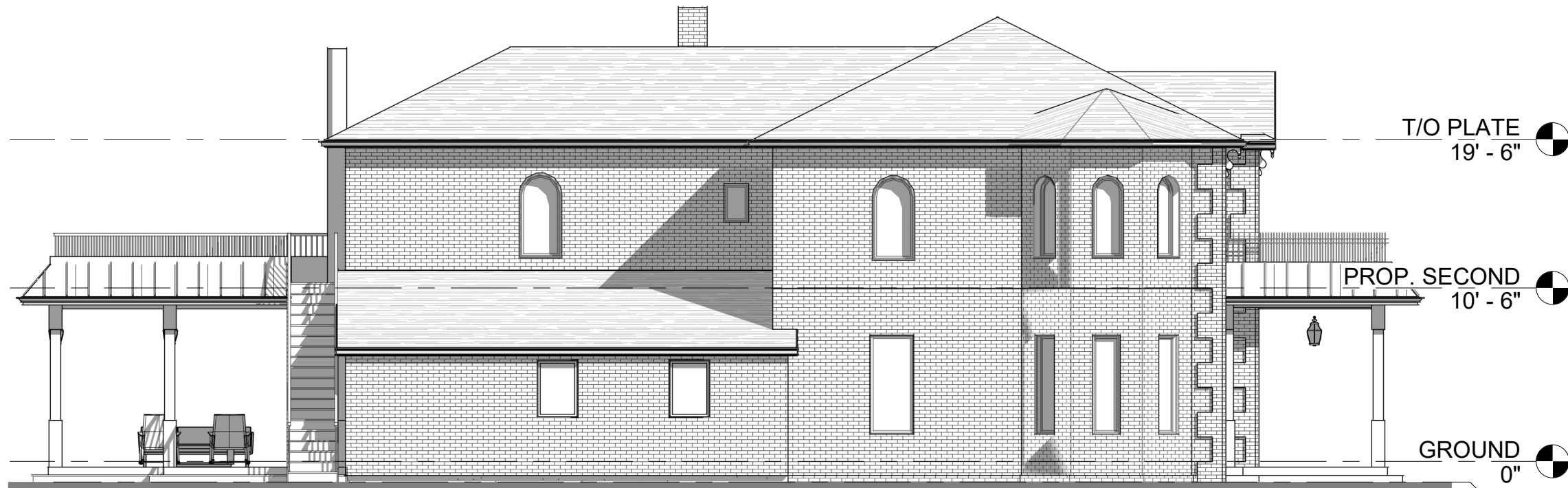
T/O PLATE  
19' - 6"

PROP. SECOND  
10' - 6"

GROUND  
0"

GRADE  
-1' - 3"

3 BACK  
3/16" = 1'-0"



T/O PLATE  
19' - 6"

PROP. SECOND  
10' - 6"

GROUND  
0"

GRADE  
-1' - 3"

1 SIDE (DRIVEWAY)  
1/8" = 1'-0"

PARK  
EIGHT  
ENG // ARCH

PROPOSED REAR YARD  
PORCH

667 HARVEST ROAD  
GREENSVILLE, ON.

Project No. 21022

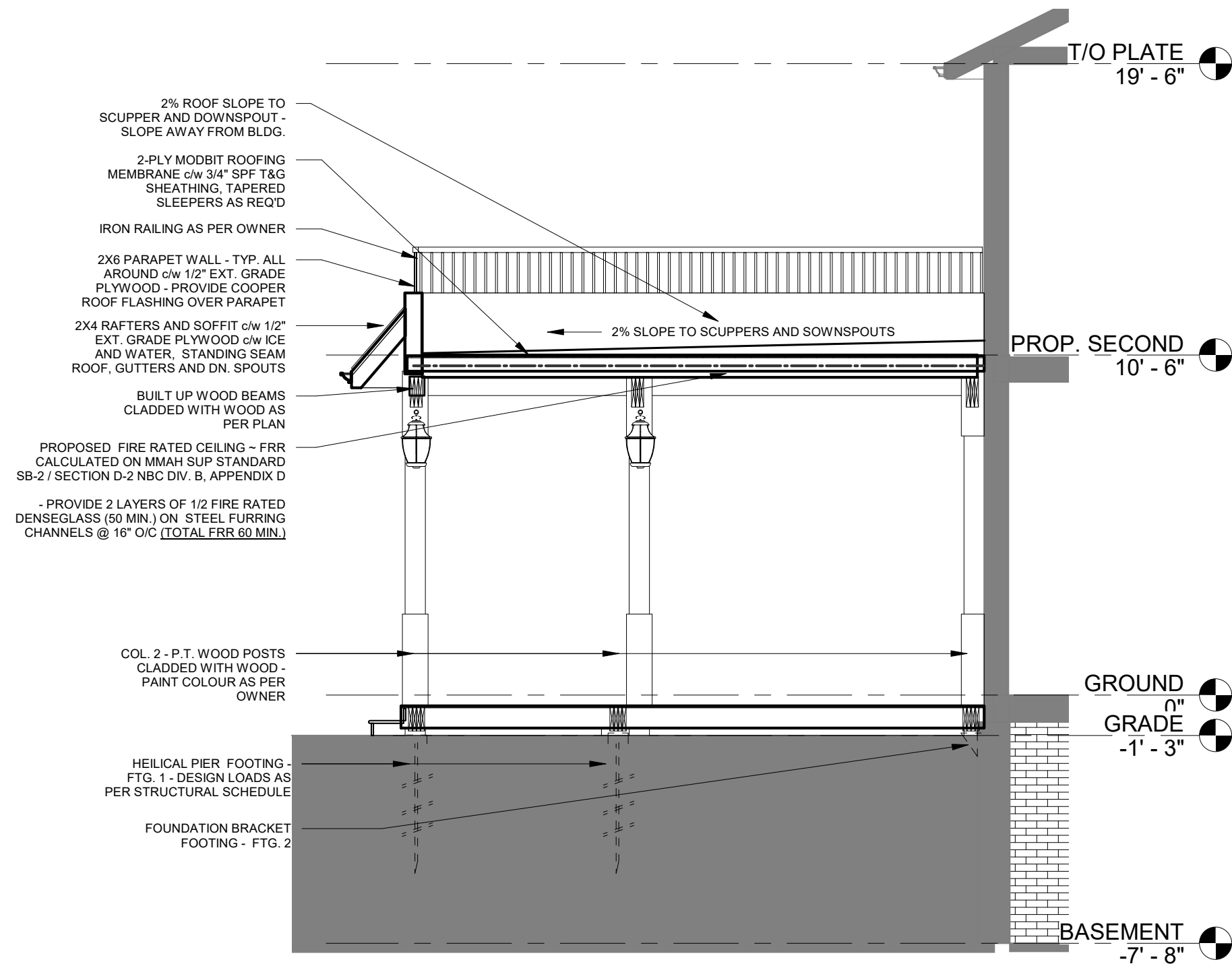
Revisions

Scale As indicated

ELEVATIONS

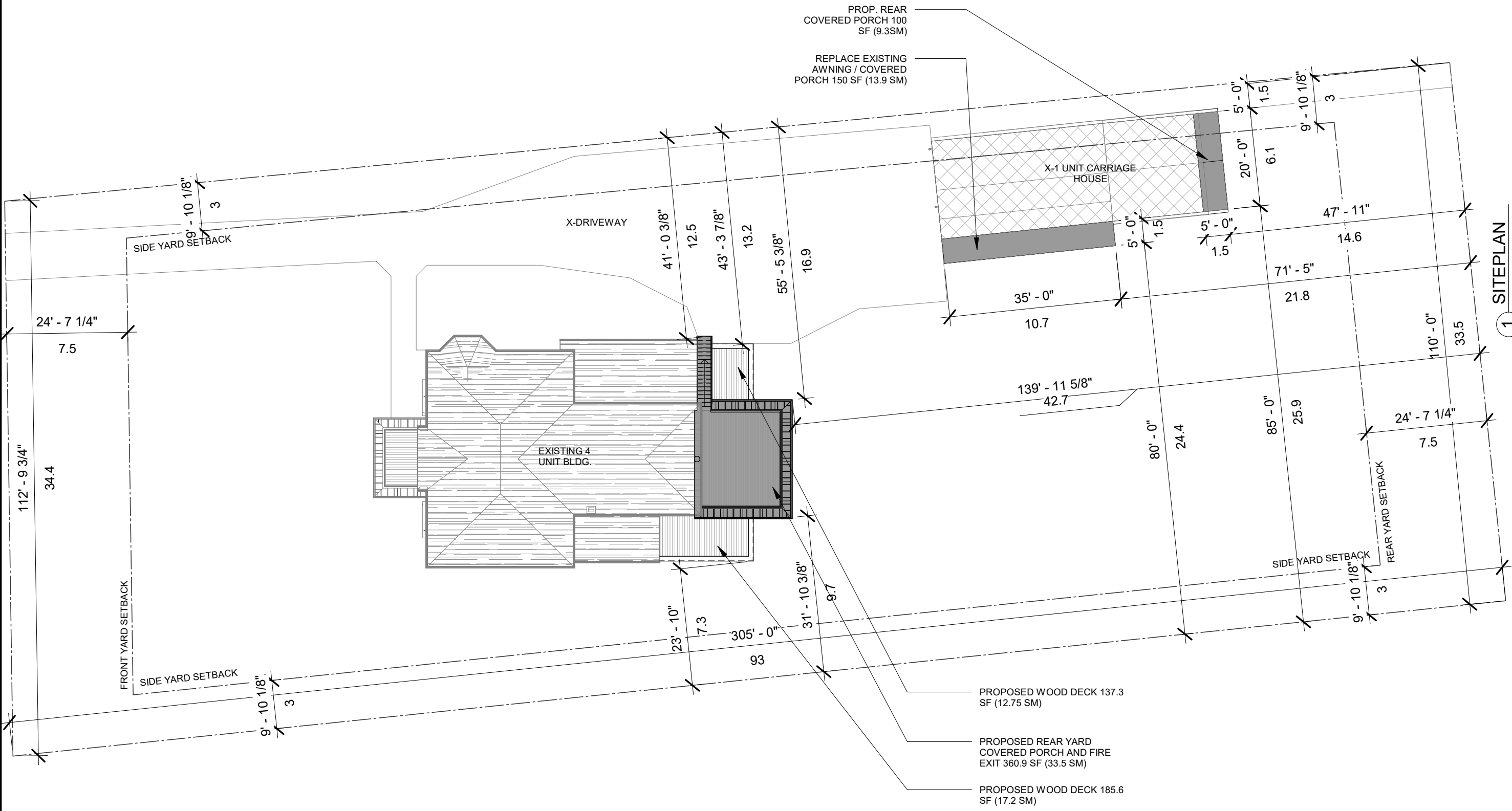
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Sheet No. ©2021



9 X-SECTION 2  
1/4" = 1'-0"





PROP. REAR COVERED PORCH 100 SF (9.3SM)

REPLACE EXISTING AWNING / COVERED PORCH 150 SF (13.9 SM)

X-1 UNIT CARRIAGE HOUSE

EXISTING 4 UNIT BLDG.

PROPOSED WOOD DECK 137.3 SF (12.75 SM)

PROPOSED REAR YARD COVERED PORCH AND FIRE EXIT 360.9 SF (33.5 SM)

PROPOSED WOOD DECK 185.6 SF (17.2 SM)



# PROPOSED REAR YARD PORCH

667 HARVEST ROAD  
GREENSVILLE, ON.

Project No. 21022  
Revisions

Scale 1" = 20'-0"

SITE PLAN

# SP1.01

Sheet No. ©2021

**Particulars of all buildings and structures** on or proposed for the subject lands: CONT. (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

EXISTING		PROPOSED	
<i>Ex 4 Unit Building</i>		<i>Ex 4 Unit Building</i>	
<i>X-Rear yard covered unenclosed porch &amp; fire exit</i>		<i>Prop. Rear yard covered unenclosed porch &amp; fire exit</i>	
<b>Building Particulars</b>		<b>Building Particulars</b>	
Ground floor area:	6.7m <sup>2</sup>	Ground floor area:	33.5 m <sup>2</sup>
Gross floor area:	6.7m <sup>2</sup>	Gross floor area:	33.5 m <sup>2</sup>
Number of Stories:	2	Number of Stories:	2
Width:	1.8m	Width:	6.1m
Length:	3.7m	Length:	7.3m
Height:	±6.1m	Height:	±4.5m
<b>Location Particulars</b>		<b>Location Particulars</b>	
Front:	Ex unchanged	Front:	Ex unchanged
Rear:	47.1m	Rear:	42.7m
Side / Street Side	18.4m	Side / Street Side	16.9m
Side / Other Side	8.9m	Side / Other Side	9.7m

<i>Carriage House – X-covered unenclosed awning</i>		<i>Prop. Carriage House – covered unenclosed awning</i>	
<b>Building Particulars</b>		<b>Building Particulars</b>	
Ground floor area:	13.9m <sup>2</sup>	Ground floor area:	Ex unchanged
Gross floor area:	13.9m <sup>2</sup>	Gross floor area:	Ex unchanged
Number of Stories:	1	Number of Stories:	Ex unchanged
Width:	1.5m	Width:	Ex unchanged
Length:	10.7m	Length:	Ex unchanged
Height:	±3.05m	Height:	Ex unchanged
<b>Location Particulars</b>		<b>Location Particulars</b>	
Front:	Ex unchanged	Front:	Ex unchanged
Rear:	21.8m	Rear:	Ex unchanged
Side / Street Side	7.62m	Side / Street Side	Ex unchanged
Side / Other Side	24.4m	Side / Other Side	Ex unchanged

<i>Prop. Carriage House -Rear covered unenclosed porch</i>	
<b>Building Particulars</b>	
Ground floor area:	9.3m <sup>2</sup>
Gross floor area:	9.3m <sup>2</sup>
Number of Stories:	1
Width:	1.5m
Length:	6.1m
Height:	±3.5m
<b>Location Particulars</b>	
Front:	Ex unchanged
Rear:	42.7m
Side / Street Side	16.9m
Side / Other Side	9.7m



Hamilton

April 19, 2018

FILE: DETERMINATION OF USE  
FOLDER: 18-108598-00 ALR  
ATTENTION OF: Cam Thomas  
TELEPHONE NO: (905) 546-2424  
EXTENSION: 4229

Linda Vansickle  
[REDACTED]

**Attention:**

**Re: APPLICABLE LAW REVIEW – DETERMINATION OF LEGALLY ESTABLISHED NON-CONFORMING USE**  
**Present Zoning: S1**  
**Address: 667 HARVEST RD FLAMBOROUGH, ON**

The Building Division has received and reviewed the submitted request for Determination of a Legally Established Non-Conforming Status Review for the use of one residential unit within a coach house and four (4) dwelling units within an existing detached dwelling within the Settlement Residential (S1) Zone and advises as follows:

**COMMENTS:**

Based on submitted supporting evidence which includes a signed and notarized affidavit to identify that the property contained a coach house which was used for residential purposes and the detached dwelling which contains four (4) dwelling units which were all established prior to Zoning By-law No. 2287 for West Flamborough coming into force and effect on November 23, 1964. In addition, a Real Estate Purchase and Sale Agreement from 1984 has documented that the 5 residential units were in existence at the time of purchase in 1965 and that they were known to have existed since 1951.

It was further noted that tax roll information from the former Township of West Flamborough was unavailable prior to 1973 based on current City records. It was determined that there were no Vernon Directory records available for Greensville for 1963, however this information was also looked into.

Therefore, we have deemed that one residential unit within a coach house and four (4) dwelling units within an existing detached dwelling on one lot to be legally established non-conforming as this use was established since prior to November 23, 1964 and has been continuous since.

For further information please contact Cam Thomas at 905-546-2424 Extension 4229.



Hamilton

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor	same as applicant	

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

Proposed Rear Yard Covered Porch and Fire Exit (33.5 sm), 2 at grade decks (12.75 sm and 17.2sm), replace existing porch / awning (13.9 sm) and rear porch on coach house (9.3 sm)

Second Dwelling Unit                       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Existing 4 unit + 1 Unit Coach house, Existing non conforming use prior to the zoning bylaw no. 2287

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

667 Harvest Road, Hamilton Ontario L9H 5K3

7. PREVIOUS USE OF PROPERTY

Residential                       Industrial                       Commercial

Agricultural                       Vacant

Other Existing 4 Unit + 1 Coach house unit

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes                       No                       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes                       No                       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes                       No                       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes                       No                       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes                       No                       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes                       No                       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes                       No                       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes                       No                       Unknown



8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

existing property and use since 1951

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

22/04/25  
Date

Signature Property Owner(s)

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 34.4 m  
Depth 93 m  
Area 3099.34 sm  
Width of street 6.2 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:  
[Empty box for existing buildings]

Proposed  
[Empty box for proposed buildings]

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:  
[Empty box for existing building locations]

Proposed:  
[Empty box for proposed building locations]

13. Date of acquisition of subject lands:  
\_\_\_\_\_
14. Date of construction of all buildings and structures on subject lands:  
1880-1900  
\_\_\_\_\_
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
4 dwelling units + 1 dwelling unit in Coach House  
\_\_\_\_\_
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
4 dwelling units + 1 dwelling unit in Coach House  
\_\_\_\_\_
17. Length of time the existing uses of the subject property have continued:  
Since 1951  
\_\_\_\_\_
18. Municipal services available: (check the appropriate space or spaces)  
Water \_\_\_\_\_ Connected \_\_\_\_\_  
Sanitary Sewer \_\_\_\_\_ Connected \_\_\_\_\_  
Storm Sewers \_\_\_\_\_
19. Present Official Plan/Secondary Plan provisions applying to the land:  
\_\_\_\_\_
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
\_\_\_\_\_
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)  
 Yes  No  
If yes, please provide the file number:  
\_\_\_\_\_
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
 Yes  No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information (please include separate sheet if needed)  
\_\_\_\_\_
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.