



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

<b>APPLICATION NO.:</b>	<b>DN/A-22:171</b>	<b>SUBJECT PROPERTY:</b>	92 MELVILLE STREET DUNDAS
<b>ZONE:</b>	"R4" (Low Density Residential Zone)	<b>ZONING BY-LAW:</b>	Zoning By-law 3581-86, as Amended

**APPLICANTS:** Agent J. Williams  
Owner **A. DiCenso**

The following variances are requested:

1. A minimum front yard of 3.0m shall be permitted instead of the minimum required front yard of 6.0m.
2. A minimum rear yard of 2.7m shall be permitted instead of the minimum required rear yard of 7.5m.
3. No onsite manoeuvring shall be provided for the parking space located in the carport instead of the minimum required 6.0m manoeuvring aisle width and the requirement parking spaces shall be manoeuvred entirely within the bounds of the parking areas within which such spaces are located.
4. A minimum rear yard of 1.8m shall be permitted for the detached carport instead of the required rear yard of 2.0m for an accessory building or structure.

**PURPOSE & EFFECT:** To permit construction of a rear (southerly) addition and re-construction of a roofed-over unenclosed one-storey front porch at the first storey onto an existing single detached dwelling and construction of a detached carport.

**Notes:**

- i. This is a corner lot. As the lot line along Melville Street is the shorter street line, this is deemed to be the front lot line. As such, the southerly side lot line is the rear lot line and the easterly lot line (abutting Albert Street) and westerly lot line are side lot lines.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, June 23, 2022</b>
<b>TIME:</b>	<b>3:35 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.



DATED: June 7, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

## **PARTICIPATION PROCEDURES**

### **Written Submissions**

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

Comments are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### **Oral Submissions During the Virtual Meeting**

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, the hearing date, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

(LOCATION NOT TO SCALE)  
SAN-MH  
○ TOP=100.51  
INVERT  
N=98.11, Ø0.3  
E=98.09, Ø0.3  
W=98.11, Ø0.3



MELVILLE STREET  
(BY REGISTERED PLAN 1446)  
PIN 17483--0398

SAN-MH  
INVERT  
N=96.67, Ø0.3  
E=96.64, Ø0.3  
W=96.65, Ø0.3  
STM-MH  
○ TOP=99.03

## SURVEYOR'S REAL PROPERTY REPORT

PART 1 — PLAN OF SURVEY SHOWING TOPOGRAPHY OF  
PART OF

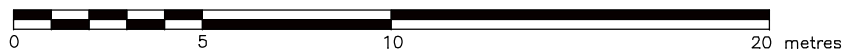
LOT 19

REGISTERED PLAN 1446

IN THE

CITY OF HAMILTON

SCALE 1 : 200



THE INTENDED PLOT SIZE OF THIS PLAN IS 510mm IN WIDTH BY 380mm IN HEIGHT  
WHEN PLOTTED AT A SCALE OF 1:200 (INCLUDING 15mm BEYOND EACH BORDER)

MackKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS

© 2021

KNOWN AS MUNICIPAL No. 92 MELVILLE STREET

### PART 2 - REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PART 1)

LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING  
BOUNDARIES, EASEMENTS AND RIGHT OF WAYS — JULY 15, 2021

#### REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:

— NONE

#### ADDITIONAL REMARKS:

— REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES & UTILITIES

MackKAY, MacKAY & PETERS LIMITED grants ALBINA DICENSO ("The Client"), their solicitor  
and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report  
in transactions involving "The Client"

**METRIC** DISTANCES SHOWN HEREON ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

#### LEGEND

- DENOTES A SURVEY MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- P1 DENOTES PLAN BY MMP LIMITED  
DATED JUNE 18, 1992 (92-1125-1(H))
- P2 DENOTES REGISTERED PLAN 1446
- P3 DENOTES PLAN 62R-3105
- D1 DENOTES INST. No. CD318518
- C1 DENOTES CALCULATED FROM D1, P2 & P3
- PIN DENOTES PROPERTY IDENTIFICATION NUMBER
- C DENOTES CENTRELINE
- OHW DENOTES OVERHEAD WIRE
- WHP DENOTES WOOD HYDRO POLE
- ULS DENOTES UTILITY LIGHT STANDARD
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- CW DENOTES CONCRETE WALKWAY
- TRW DENOTES TIMBER RETAINING WALL
- WV DENOTES WATER VALVE
- AC DENOTES AIR CONDITIONER
- DENOTES DECIDUOUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES
- ★ DENOTES CONIFEROUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES

ALL TIES ARE TO FOUNDATION UNLESS OTHERWISE NOTED

#### BENCHMARK NOTE

BENCHMARK No. 0011974U002  
ELEVATION = 97.742 METRES (CGVD28:78 ADJUSTMENT)

HAMILTON-WENTWORTH POST OFFICE AT INTERSECTION OF KING STREET AND MCMURRAY  
STREET TABLET IN NORTH OR FRONT STONE WALL, 0.70 METRES FROM NORTHWEST CORNER,  
1.18 METRES BELOW BRICKWORK

#### BEARING REFERENCE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH LIMIT OF MELVILLE STREET  
AS SHOWN ON REGISTERED PLAN 1446 HAVING A BEARING OF N79°10'00"W

#### SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,  
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 22nd DAY OF JULY, 2021.

OCTOBER 29, 2021  
DATE

ROY J. MAY  
ONTARIO LAND SURVEYOR  
FOR MACKAY, MACKAY & PETERS LIMITED

E:\(62) Hamilton-Wentworth\Registered Plans\RP1446\LOT 19\21-255\21-255.dwg



MackKAY, MacKAY & Peters Limited  
LAND SURVEYORS & MAPPERS  
SINCE 1906

3380 South Service Road  
Unit 101  
Burlington, ON  
L7N 3J5  
(905) 639-1375  
halton@mmplimited.com  
mmplimited.com

DRAWN BY: G.S.  
PARTY CHIEF: J.M.  
CHECKED BY:   
PROJECT No.:  
21-255

(LOCATION NOT TO SCALE)  
STM-MH  
○ TOP=97.62

PART 2 PLAN 62R--3105

LOT 7

PARK STREET

ALBERT STREET  
(BY REGISTERED PLAN 1446)  
PIN 17483--0394

PIN 17483--0335  
LOT 18

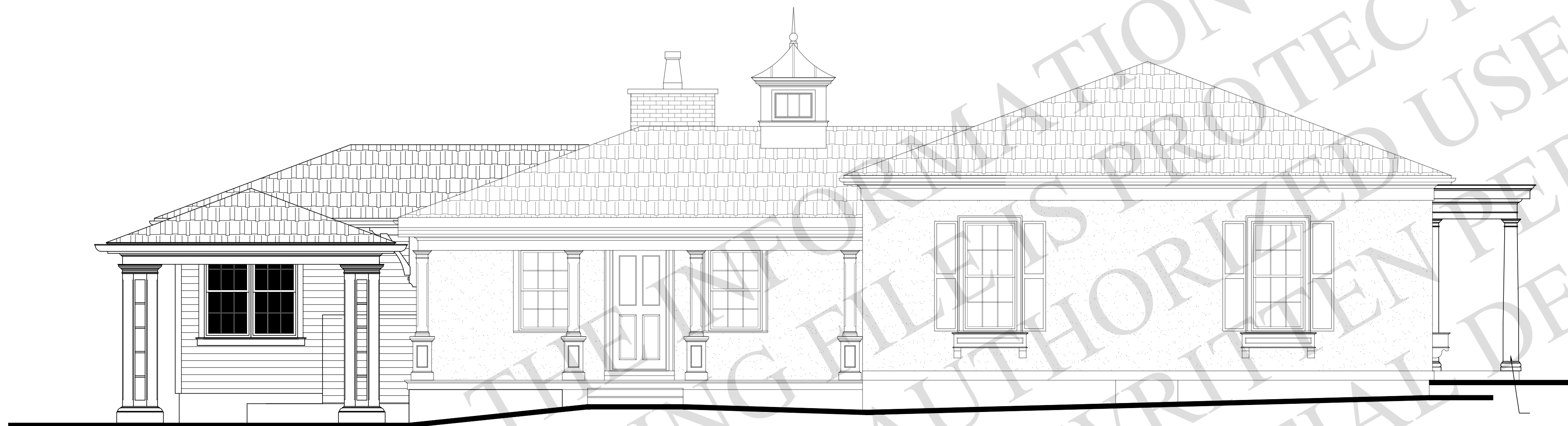
LOT 19

REGISTERED



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NO AUTOCAD FILES WILL BE PROVIDED OR TRANSMITTED.  
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RESIDENTIAL DESIGN.



## CONTACT INFORMATION

AARON STRICK, AARON@SBMLTD.CA, 519.471.6667

*A0.01 - TITLE PAGE*  
*A0.02 - GENERAL NOTES*  
*A1.01 - EXISTING BASEMENT FLOOR PLAN*  
*A1.02 - EXIST./DEMO. MAIN FLOOR PLAN*  
*A1.03 - PROPOSED MAIN FLOOR PLAN*  
*A1.04 - PROPOSED ROOF PLAN*  
*A2.01 - LEFT & RIGHT SIDE ELEVATIONS*  
*A2.02 - FRONT & REAR ELEVATIONS*  
*A3.01 - DETAILS*  
*A4.01 - CROSS-SECTION*  
*E1.01 - ELECTRICAL - MAIN FLOOR PLAN*  
*SP1.01 - ARCHITECTURAL SITE PLAN*

THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THESE DESIGN PLANS ARE PROTECTED BY COPYRIGHT AND ALL DESIGN RIGHTS ARE RESERVED BY JOHN WILLIAMS, ARCHITECTURAL DESIGNER. YOU HAVE PURCHASED THE RIGHTS TO THESE DESIGN PLANS FOR ONE INDIVIDUAL RESIDENCE. NO PART OF THIS DESIGN PLAN MAY BE REPRODUCED, DISTRIBUTED, TRANSMITTED OR SOLD IN ANY FORM OR BY ANY MEANS, INCLUDING PHOTOCOPYING, SCANNING, BY ELECTRONIC OR MECHANICAL METHODS, WITHOUT THE PRIOR WRITTEN PERMISSION OF THE DESIGNER.

2015 © JOHN WILLIAMS, ARCHITECTURAL DESIGNER OF WILLIAMS RESIDENTIAL DESIGN

[illegible]

SIGNATURE REQUIRED \_\_\_\_\_ May 27, 2022

JOHN WILLIAMS REVIEWS AND  
TAKES RESPONSIBILITY FOR  
THE DESIGN WORK DESCRIBED  
IN THIS DOCUMENT

DESIGN COMPANY BCIN 31437  
INDIVIDUAL BCIN 23472

**WILLIAMS**  
RESIDENTIAL DESIGN

---

#906-2025 Maria Street  
Burlington, Ontario  
L7R 0E9  
905-630-9694  
williamsresidentialdesign@bellnet

TITLE PAGE

Date 27-May-22

As Noted  
scale

DICENSO  
RESIDENCE  
92 Melville Street  
Dundas, Ontario  
L9H 2A3

Drawn By CB	Sheet
Approved By JW	A0.01
Job Number DICENSO	OF 7



## GENERAL STRUCTURAL NOTES:

### GENERAL

- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, 2012 EDITION, INCLUDING ALL CURRENT AMENDMENTS, 1993-1974 OR APPROVED EQUALS, AND WITH GOOD CONSTRUCTION PRACTICE.
- CHECK ALL DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND REPORT ANY INCONSISTENCIES TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- DESIGN LIVE LOADS FOR EACH PORTION OF THE STRUCTURE ARE INDICATED ON THE DRAWINGS. DO NOT EXCEED THESE LOADS DURING CONSTRUCTION.
- STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS.
- STRUCTURES SHALL CONFORM TO O.B.C. PART 9, OF MOST RECENT VERSION, UNLESS OTHERWISE NOTED.

### FOUNDATIONS AND FORMED CONCRETE

- ALL CONCRETE CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH SECTION 9 OF CSA STANDARD A23.1-14.
- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS NOTED BELOW:  
FOOTINGS - 20 MPa  
PILERS AND WALLS - 25 MPa  
INTERIOR SLABS - 25 MPa  
BEARING SLABS EXPOSED TO WEATHERING SHALL HAVE 5% TO 7% ENTRAINED AIR.  
CONCRETE EXPOSED TO WEATHERING SHALL BE 3" FOR CONCRETE PLACED AGAINST EARTH  
2" FOR CONCRETE EXPOSED TO EARTH AND WEATHER  
(AND AS OTHERWISE NOTED IN A23.1-14)
- PROVIDE DEFORMED REINFORCING STEEL CONFORMING TO CSA STANDARD G30.18M USE GRADE 308B BARS FOR STRIPS AND TIES, AND GRADE 408B BARS FOR ALL OTHER REINFORCING.
- ALL FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL, OR ENGINEERED FILL CAPABLE OF SUPPORTING 2000 PSF (SL).
- CONTRACTOR IS TO VERIFY THIS PRIOR TO PLACING CONCRETE.
- FILL DIRECTLY UNDER FLOOR SLAB SHALL BE MECHANICALLY COMPACTED TO 99% OF THE STANDARD PROCTOR MAXIMUM DENSITY.
- DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT EXCAVATIONS OR ALONG STEEPED FOOTINGS. FOR STEEPED SLOPES, USE STEPS NOT EXCEEDING 2'-0" IN HEIGHT.
- PROVIDE A MINIMUM 4'-0" OF EARTH COVER TO THE UNDERSIDE OF ALL CONCRETE WALLS AND FOOTINGS FOR FROST PROTECTION. PROTECT SOIL FROM FREEZING TO AND BELOW ALL FOOTINGS.
- FOOTING ELEVATIONS CONFORMING TO NOTES 8, 8, AND 9 ABOVE AND BASED ON THE INFORMATION AVAILABLE AT THE TIME OF TENDER HAVE BEEN SHOWN ON THE DRAWINGS. IF ANY CHANGES TO THE LEVELS IS SHOWN, THESE CONDITIONS ARE NOT FULFILLED AT HIGHER ELEVATIONS THAN INDICATED. FOOTINGS MAY BE RAISED OR LOWERED, BUT ONLY WITH THE PERMISSION OF THE ENGINEER.
- PROVIDE 3" SKIN COAT UNDER ALL FOOTINGS BELOW THE WATER TABLE.
- PAINT AGAINST WALLS BEARING SLABS RETAINING EARTH OTHER THAN CANTILEVERED WALLS UNTIL THE FLOORS CONSTRUCTED AT THE TOP AND BOTTOM OF WALL ARE IN PLACE AND HAVE BEEN TENDED UNDER DESIGN STRENGTH.
- BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 1'-0" DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY SUPPORT IS PROVIDED.

### UNIT MASONRY

- ALL MASONRY CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A317-04, ALL MASONRY REINFORCING AND TYING SHALL BE IN ACCORDANCE WITH CSA STANDARDS A23.1-14 AND A317-04. ALL MASONRY AND GROUT SHALL BE IN ACCORDANCE WITH CSA STANDARDS A17.
- CONCRETE MASONRY UNITS SHALL BE TYPE H15 AM NORMAL WEIGHT BLOCKS UNLESS OTHERWISE NOTED.
- MORTAR FOR EXTERIOR MASONRY SHALL BE TYPE S - LOAD BEARING ABOVE GRADE.
- MORTAR FOR INTERIOR MASONRY SHALL BE TYPE S - LOAD BEARING AND TYPICALLY N - NON-LOAD BEARING.
- CONCRETE GROUT FOR REINFORCED MASONRY SHALL CONSIST OF ONE PART PORTLAND CEMENT AND THREE PARTS SAND WITH WATER TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 10 MPa AT 28 DAYS. MAXIMUM AGGREGATE SIZE SHALL BE 3/8" SLUMP FOR THE GROUT SHALL BE 10" TO 12".
- CONSTRUCT MASONRY EVENLY IN MAXIMUM LAYS OF 4 PER WORKING DAY. RAKE BACK ENDS OF UNFINISHED WALLS. DO NOT TOOTH AND BOND NEW MASONRY WALLS. BUILD SOLD MASONRY TIGHT AROUND MEMBERS AT THEIR POINT OF BEARING. INSTALL STEEL BEARING PLATES COMPLETE WITH ANCHORS INTO THE MASONRY WALL. THE SPECIFIED ELEVATION, FINISHES IN MASONRY UNITS BELOW THE PLATES WITH CONCRETE GROUT AND 1-10M BAR IN EACH CELL (MIN. 2 CELLS) TO FULL HEIGHT OF THE WALL BELOW THE BEARING LEVEL.
- VERTICAL CONTROL JOINTS SHALL BE LOCATED AT MAXIMUM SPACING OF 16' TO 20' AS NOTED ON THE DRAWINGS.
- OVER ALL OPENINGS OR RECESSES IN THE MASONRY WALLS, INCLUDING THOSE REQUIRED FOR MECHANICAL OR ELECTRICAL EQUIPMENT, PROVIDE AND INSTALL STEEL LINTELS AS ON TYPICAL DETAILS. EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS, FOR OPENINGS LESS THAN 18", PROVIDE 1/4" THICK MILD STEEL PLATE LINTEL.
- TRIM ALL OPENINGS IN MASONRY WALLS WITH 2-16M BARS GROUTED VERTICALLY INTO THE BLOCK JOINTS. TYPICAL UNLESS OTHERWISE NOTED.
- PROVIDE VERTICAL AND HORIZONTAL REINFORCING AS FOLLOWS UNLESS OTHERWISE SHOWN ON THE DRAWINGS:  
8" CONCRETE BLOCK  
VERTICAL REINFORCING - 15M @ 30" O.C.  
HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE  
EVERY SECOND BLOCK COURSE  
10" CONCRETE BLOCK  
VERTICAL REINFORCING - 20M @ 24" O.C.  
HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE  
EVERY SECOND BLOCK COURSE

### STRUCTURAL STEEL

- ALL STRUCTURAL STEEL WORK, INCLUDING DESIGN OF ALL COMPONENTS, SHALL BE CARRIED OUT IN ACCORDANCE WITH CANCSA-S16-01 EXCEPT WHERE OTHERWISE NOTED.
- PROVIDE NEW STRUCTURAL STEEL CONFORMING WITH CSA STANDARD G40.21-04. PROVIDE GRADE 50W FOR ROLLED SHAPES AND GRADE 50W FOR PLATE AND STRUCTURAL SECTIONS. ALL STRUCTURAL STEEL SHALL BE PAINTED CONFORMING TO DISCIPMA STANDARD 17-03.
- ALL BOLTS SHALL BE ASTM A325 OR BETTER HIGH STRENGTH BOLTS. ANCHOR BOLTS MAY BE ASTM A307.
- ALL BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE DOUBLE ANGLE UNLESS OTHERWISE NOTED.
- WELD ALL JOISTS AND BEAMS TO BEARING PLATES OR SUPPORTING MEMBERS UNLESS OTHERWISE NOTED.
- ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD W59-03. THE FABRICATOR SHALL BE FULLY APPROVED BY THE CANADIAN WELDING BUREAU IN ACCORDANCE WITH THE CSA STANDARD W59-03.
- HOT DIP GALVANIZE ALL STEEL LINTELS AND SHELF ANGLES IN EXTERIOR WALLS AND ALL BASE PLATES TO BE 1/2" THICK, UNLESS OTHERWISE NOTED.
- FOR FLUSH STEEL BEAMS, PACK WEBS) SOLD WITH 2x LUMBER & PLWOOD FLUSH WITH OUTSIDE OF FLANGE. BOLT TACKING TO STEEL BEAM WITH 1/2" THROUGH-BOLTS @ 16" O.C. STAGGERED TOP & BOTTOM. USE APPROVED FACE MOUNT HANGERS.

### WOOD FRAMING

- WOOD STRUCTURAL ELEMENTS SHALL COMPLY WITH CSA STANDARD 96-01.
- WOOD SHALL BE GRADE MARKED TO CONFORM TO CSA STANDARD G40.21-04. SAWN LUMBER SHALL BE SPF NO. 1 AND NO. 2. THE RATIO OF 67% (MINIMUM) AND 31% (MAXIMUM) RESPECTIVELY.
- ENGINEERED WOOD BEAM MEMBERS SHALL BE 1-7E GRADE LVL BY TRUSS JOIST OR APPROVED EQUAL OR BETTER. LVL MEMBERS SHALL BE INTERCONNECTED WITH MULTIPLE BEAMS SHALL BE INTERCONNECTED WITH 2 ROWS OF 1/2" DIAMETER THRU-BOLTS @ 12" O.C.
- ALL BOLTS SHALL BE A307 GRADE OR BETTER.
- ENGINEERED WOOD JOISTS MEMBERS SHALL BE T.J. JOISTS BY TRUSS JOIST OR APPROVED EQUAL OR BETTER.
- PROVIDE 2-2"x4" OR 2-2"x6" (TO MATCH THICKNESS OF STUDS) SOLID SUPPORT POST UNDER EACH END OF ALL TIMBER BEAMS, UNLESS OTHERWISE NOTED.
- TRUSS FLOORING DESIGNER SHALL PROVIDE A SITE MEASURE OF EXISTING AND NEW FOUNDATION OR FRAMING STRUCTURE PRIOR TO THE ORDERING OF ANY ENGINEERED PRODUCTS.

### DESIGN LOADING (SERVICE LOADS)

- ROOF STRUCTURE  
DEAD LOAD = 18.0 PSF  
LIVE LOAD = 24.0 PSF
- FLOOR STRUCTURE  
DEAD LOAD = 25.0 PSF  
LIVE LOAD = 40.0 PSF

## GENERAL WORK NOTES:

- ALL WORK ON THE DRAWINGS, INCLUDING EXCAVATION IS TO NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR TO INSPECT SITE PRIOR TO BID SUBMISSION AND REPORT ANY DISCREPANCIES TO WILLIAMS RESIDENTIAL DESIGN.
- ENSURE THAT ALL CONSTRUCTION MATERIALS, METHODS OR CONSTRUCTION AND TEMPORARY BRACING COMPLY WITH REQUIREMENTS OF JURISDICTIONAL AUTHORITY.
- MADE GOOD ALL AREAS OF WORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.
- CONTRACTOR SHALL COORDINATE STRUCTURAL, MECHANICAL AND ELECTRICAL WORK IN ORDER TO ENSURE THAT THE PARTS OF THE WORK CAN BE TOGETHER PROPERLY.
- VERIFY ALL DIMENSIONS AND MAKE MODIFICATIONS TO SUIT EXISTING CONDITIONS AT THE DIRECTION OF WILLIAMS RESIDENTIAL DESIGN.
- CABINET FABRICATOR TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL RELATED WORK.
- WINDOW SUPPLIER TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL PROPOSED WINDOWS AND DOORS TO BE INSTALLED.
- OWNER WILL PAY THE COST OF BUILDING PERMITS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS, AND FEES REQUIRED FOR CONSTRUCTION AND INSTALLATION OF SERVICES, EQUIPMENT, SIGNAGE, TEMPORARY HYDRO, AND OCCUPANCY.
- PLANS SHOWN HERE DO NOT REPRESENT THE FULL LIMIT OF THE SCOPE OF THE WORK. PROVIDE BLOCKING CUTTING, PATCHING, AND ALL REMEDIAL WORK IN ORDER TO ENSURE ALL PARTS OF THE WORK PERFORMED INTERFERE PROPERLY AND CONFORM TO CODE.
- ALL FINISHES TO BE MADE GOOD IN ALL AREAS DAMAGED BY NEW OR RENOVATED CONSTRUCTION TO MATCH EXISTING OR PROVIDE RECOMMENDATIONS TO OWNER AND WILLIAMS RESIDENTIAL DESIGN FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ELECTRICAL CONTRACTOR TO ASSESS EXISTING INCOMING SERVICE AND MAKE RECOMMENDATION TO OWNER.
- ELECTRICAL AND GENERAL CONTRACTOR TO CONDUCT WALL THROUGH WITH OWNER AFTER FRAMING IS COMPLETE TO DETERMINE EXACT LOCATION OF ALL ELECTRICAL OUTLETS ON SITE.
- ALL EXISTING STRUCTURE, HVAC, & ELECTRICAL HAS BEEN ASSUMED TO BE ADEQUATE TO CARRY ALL LOADING, OR ITS PURPOSE ALONE SHOWN ON THE DRAWINGS. IF HOWEVER, SINCE CERTAIN STRUCTURAL MEMBERS, HVAC, ELECTRICAL CANNOT BE INSPECTED PRIOR TO EXPOSURE OF THE SUBSTRATE, IT IS FOUND THAT EXISTING STRUCTURAL MEMBERS, HVAC, ELECTRICAL ARE NOT ADEQUATE TO CARRY THE LOADING OR B.C. REQUIREMENTS OR ITS PURPOSE ON THE DRAWINGS, THEN THE CONTRACTOR IS TO NOTIFY WILLIAMS RESIDENTIAL DESIGN IMMEDIATELY FOR ENGINEERING EXAMINATION & REDESIGN OF, OR REMEDIAL ACTION TO BRING THE ADEQUATE STRUCTURE UP TO CODE BEFORE PROCEEDING WITH FURTHER WORK ON THE AREA IN QUESTION, AT THE OWNER'S EXPENSE.

## GENERAL WINDOW & DOOR NOTES:

- ALL WINDOWS AND DOORS TO BE KOLBE & KOLBE AS SUPPLIED BY INFUSION WINDOWS AND DOORS, BURLINGTON, ONTARIO. 1993-1974 OR APPROVED EQUALS.
- CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR REVIEW TO WILLIAMS RESIDENTIAL DESIGN PRIOR TO ORDERING.

## GENERAL STAIR NOTES:

- INTERIOR AND EXTERIOR STAIRS SHALL BE CONSTRUCTED AS FOLLOWS  
MIN. RISE = 4+2/32"  
MAX. RISE = 7+1/8"  
MIN. RUN = 10+3/4"  
MIN. HEADROOM INTERIOR = 6'-0"  
MIN. HEADROOM EXTERIOR = 6'-6"  
HANDRAIL HEIGHT AT STAIR = 34"  
HANDRAIL HEIGHT AT INTERMEDIATE LANDING = 34"  
HANDRAIL HEIGHT AT MAIN LANDING = 36"  
MIN. STAIR WIDTH = 2'-0" CW/LANDING THE SAME WIDTH AS THE STAIR
- GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER 2'-0" ABOVE FINISHED GRADE. MIN. GUARD HEIGHT = 36"
- GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER 5'-11" ABOVE FINISHED GRADE. MIN. GUARD HEIGHT = 42"
- AND AS OTHERWISE NOTED IN A23.1-14
- PROVIDE DEFORMED REINFORCING STEEL CONFORMING TO CSA STANDARD G30.18M USE GRADE 308B BARS FOR STRIPS AND TIES, AND GRADE 408B BARS FOR ALL OTHER REINFORCING.
- ALL FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL, OR ENGINEERED FILL CAPABLE OF SUPPORTING 2000 PSF (SL).
- CONTRACTOR IS TO VERIFY THIS PRIOR TO PLACING CONCRETE.
- FILL DIRECTLY UNDER FLOOR SLAB SHALL BE MECHANICALLY COMPACTED TO 99% OF THE STANDARD PROCTOR MAXIMUM DENSITY.
- DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT EXCAVATIONS OR ALONG STEEPED FOOTINGS. FOR STEEPED SLOPES, USE STEPS NOT EXCEEDING 2'-0" IN HEIGHT.
- PROVIDE A MINIMUM 4'-0" OF EARTH COVER TO THE UNDERSIDE OF ALL CONCRETE WALLS AND FOOTINGS FOR FROST PROTECTION. PROTECT SOIL FROM FREEZING TO AND BELOW ALL FOOTINGS.
- FOOTING ELEVATIONS CONFORMING TO NOTES 8, 8, AND 9 ABOVE AND BASED ON THE INFORMATION AVAILABLE AT THE TIME OF TENDER HAVE BEEN SHOWN ON THE DRAWINGS. IF ANY CHANGES TO THE LEVELS IS SHOWN, THESE CONDITIONS ARE NOT FULFILLED AT HIGHER ELEVATIONS THAN INDICATED. FOOTINGS MAY BE RAISED OR LOWERED, BUT ONLY WITH THE PERMISSION OF THE ENGINEER.
- PROVIDE 3" SKIN COAT UNDER ALL FOOTINGS BELOW THE WATER TABLE.
- PAINT AGAINST WALLS BEARING SLABS RETAINING EARTH OTHER THAN CANTILEVERED WALLS UNTIL THE FLOORS CONSTRUCTED AT THE TOP AND BOTTOM OF WALL ARE IN PLACE AND HAVE BEEN TENDED UNDER DESIGN STRENGTH.
- BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 1'-0" DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY SUPPORT IS PROVIDED.

## GENERAL BATHROOM NOTES:

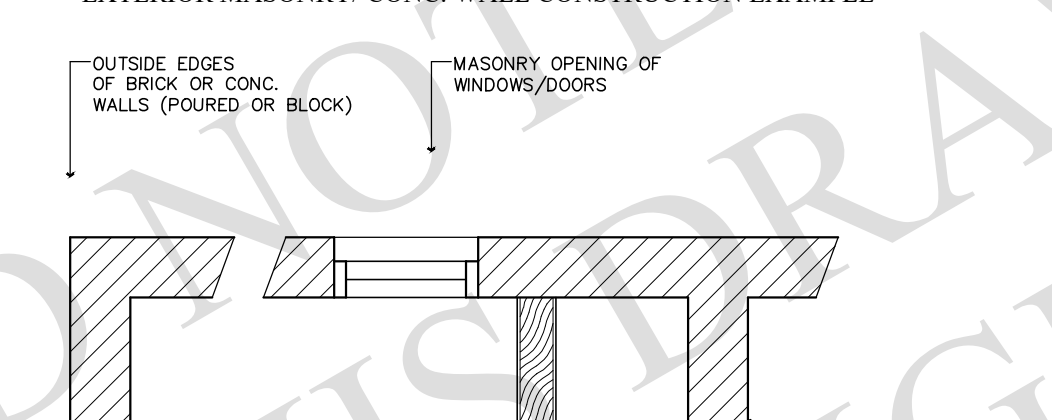
- ALL PLUMBING LINES TO BE "PEX".
- IN FLOOR ELECTRICAL RADIANT HEATING TO BE "NUHEAT" DIRECTLY WIRED TO ELECTRICAL PANEL. CHECK THE REQUIRED SECTION OF THE FOUNDATION WALL IS TO BE TIED TO SCAFFOLD WITH RADIANT HEATING TUBES. PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS.
- TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UN-DAMAGED WIDTH TO LESS THAN 2" UNLESS THE WEAKENED PLATES ARE SUITABLY RE-INFORCED.
- INTERIOR FLOOR BEARING WALLS 2"x6" WOOD STUDS @ 16" O.C. WITH 1/2" MILD STEEL PLATE LINTEL. RAKE BACK ENDS OF UNFINISHED WALLS. BUILD SOLD MASONRY TIGHT AROUND MEMBERS AT THEIR POINT OF BEARING. INSTALL STEEL BEARING PLATES COMPLETE WITH ANCHORS INTO THE MASONRY WALL. THE SPECIFIED ELEVATION, FINISHES IN MASONRY UNITS BELOW THE PLATES WITH CONCRETE GROUT AND 1-10M BAR IN EACH CELL (MIN. 2 CELLS) TO FULL HEIGHT OF THE WALL BELOW THE BEARING LEVEL.
- VERTICAL CONTROL JOINTS SHALL BE LOCATED AT MAXIMUM SPACING OF 16' TO 20' AS NOTED ON THE DRAWINGS.
- OVER ALL OPENINGS OR RECESSES IN THE MASONRY WALLS, INCLUDING THOSE REQUIRED FOR MECHANICAL OR ELECTRICAL EQUIPMENT, PROVIDE AND INSTALL STEEL LINTELS AS ON TYPICAL DETAILS. EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS, FOR OPENINGS LESS THAN 18", PROVIDE 1/4" THICK MILD STEEL PLATE LINTEL.
- TRIM ALL OPENINGS IN MASONRY WALLS WITH 2-16M BARS GROUTED VERTICALLY INTO THE BLOCK JOINTS. TYPICAL UNLESS OTHERWISE NOTED.
- PROVIDE VERTICAL AND HORIZONTAL REINFORCING AS FOLLOWS UNLESS OTHERWISE SHOWN ON THE DRAWINGS:  
8" CONCRETE BLOCK  
VERTICAL REINFORCING - 15M @ 30" O.C.  
HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE  
EVERY SECOND BLOCK COURSE  
10" CONCRETE BLOCK  
VERTICAL REINFORCING - 20M @ 24" O.C.  
HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE  
EVERY SECOND BLOCK COURSE

## GENERAL GAS PROOFING NOTES:

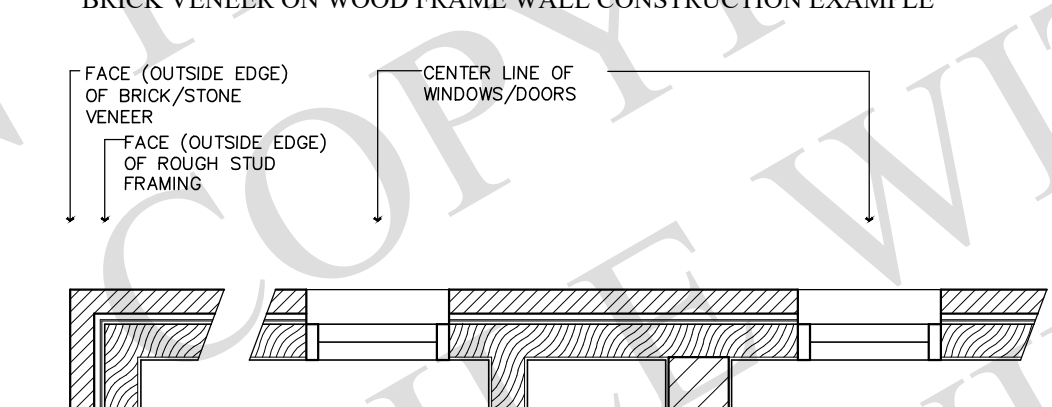
- ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF HAZARDOUS MONOXIDE AND GASOLINE FUMES INTO THE DWELLING.
- PROVIDE 1/2" DRYWALL WITH MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
- CAULK BETWEEN GYP. BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT.
- OVER ALL OPENINGS OR RECESSES IN THE MASONRY WALLS, INCLUDING THOSE REQUIRED FOR MECHANICAL OR ELECTRICAL EQUIPMENT, PROVIDE AND INSTALL STEEL LINTELS AS ON TYPICAL DETAILS. EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS, FOR OPENINGS LESS THAN 18", PROVIDE 1/4" THICK MILD STEEL PLATE LINTEL.
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VERTICAL REINFORCING - 20M @ 24" O.C.  
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## DIMENSIONING STANDARDS

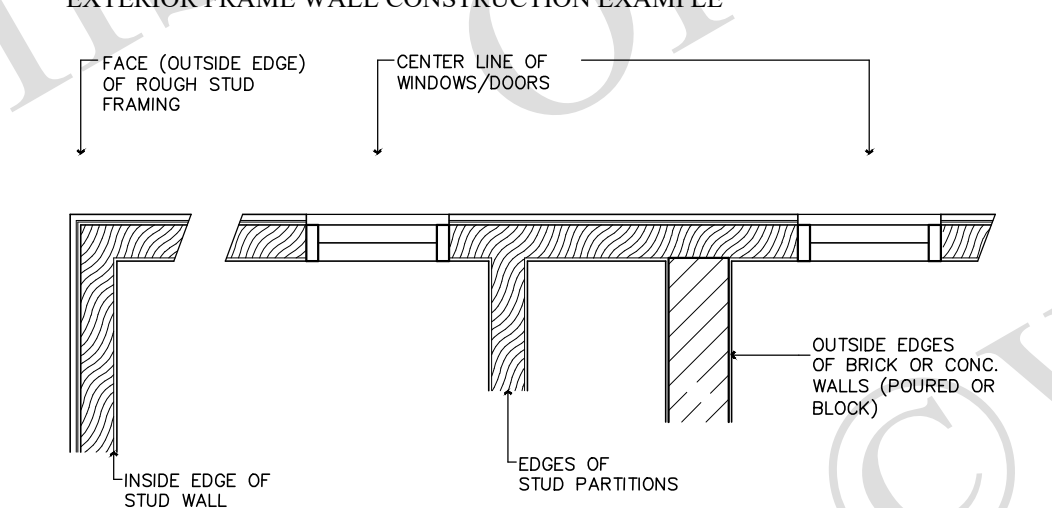
### EXTERIOR MASONRY/ CONC. WALL CONSTRUCTION EXAMPLE



### BRICK VENEER ON WOOD FRAME WALL CONSTRUCTION EXAMPLE



### EXTERIOR FRAME WALL CONSTRUCTION EXAMPLE



## GENERAL CONSTRUCTION NOTES:

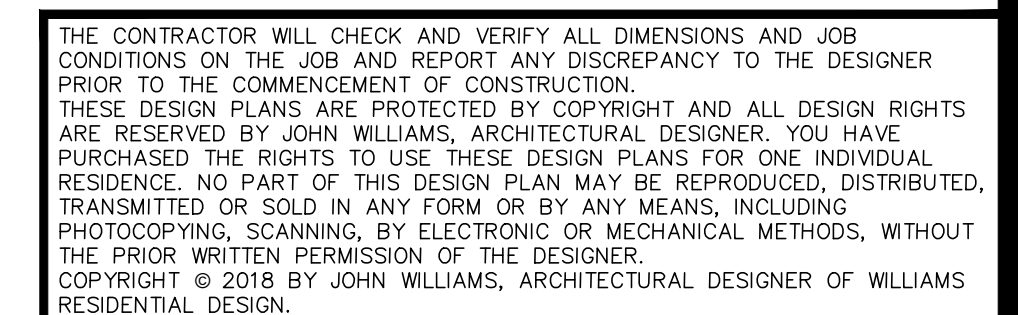
### REFER TO FLOOR PLANS AND ELEVATIONS FOR DETAILS THAT APPLY

### FOOTINGS, FOUNDATIONS & SLABS

- POURED CONCRETE STRIP FOOTINGS OR PIER FOOTING (TO WIDTH AND DEPTH AS INDICATED ON PLANS) CW 3-15m CONTINUOUS REBAR
- 14" WIDE X 8" DEEP POURED CONCRETE STRIP FOOTINGS FOR INTERIOR WALLS BEARING WOOD STUD WALLS
- CONCRETE STEP FOOTINGS: VERTICAL RISE BETWEEN HORIZONTAL PORTIONS MAXIMUM 23-5/8" MINIMUM 23-5/8" BETWEEN RISERS MINIMUM 23-5/8"
- CONCRETE BENCH FOOTING ON UNDERSIDE OF EXTERIOR WALLS WITH MAXIMUM 710 BOTTOM SLOPE FROM UNDERSIDE: EXISTING FOOTINGS TO REMAIN
- MIN. 4" DIA. WEEPING TILE CW MIN. 12" CLEAR GRADIENT FOR HOUSING AND SMALL BUILT-UP FABRIC FOR DRAINAGE CONNECTION TO RAIN WATER LEADERS UNLESS OTHERWISE NOTED
- POURED CONCRETE FOUNDATION WALLS TO THICKNESS AS INDICATED ON PLANS
- CONCRETE BLOCK FOUNDATION WALLS TO THICKNESS AS INDICATED ON PLANS
- 4" SOLID MASONRY ON CONCRETE FOUNDATION WALLS TO THICKNESS AS INDICATED ON PLANS. FOR EXTERIOR WALLS, PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS.
- TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UN-DAMAGED WIDTH TO LESS THAN 2" UNLESS THE WEAKENED PLATES ARE SUITABLY RE-INFORCED.
- "HYDROSHIELD" OR APPROVAL EQUAL FOUNDATION COATING ON FOUNDATION WALL AND CONTIGUOUS EXTERIOR LEDGE: "MARRADIAN" FOUNDATION MEMBRANE OR APPROVED EQUAL.
- 15m DOWELS DRILLED AND GROUTED INTO EXISTING FOUNDATION WALLS. 16" O.C. VERTICAL AT INTERSECTION OF NEW AND EXISTING FOUNDATION WALLS.
- FINISHED FLOOR TO OWNERS SELECTION
- POURED CONCRETE SLAB: SLAB MACHINE TROWELLED FINISH CW 6-6 W/M AND SAW CUT CONTROL JOINTS. CONC. 32 MPa WITH 50L-7% AIR. ENTRAINMENT FOR SLABS EXPOSED TO WEATHER: 6" CLEAN GRAVEL BASE LAYER MIN. R. 1/2" LAYER 5/8" MILD STEEL REBAR. PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS.
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Drawn By CB	Sheet
Approved By JW	A1.01
Job Number DICENSO	
	OF 7

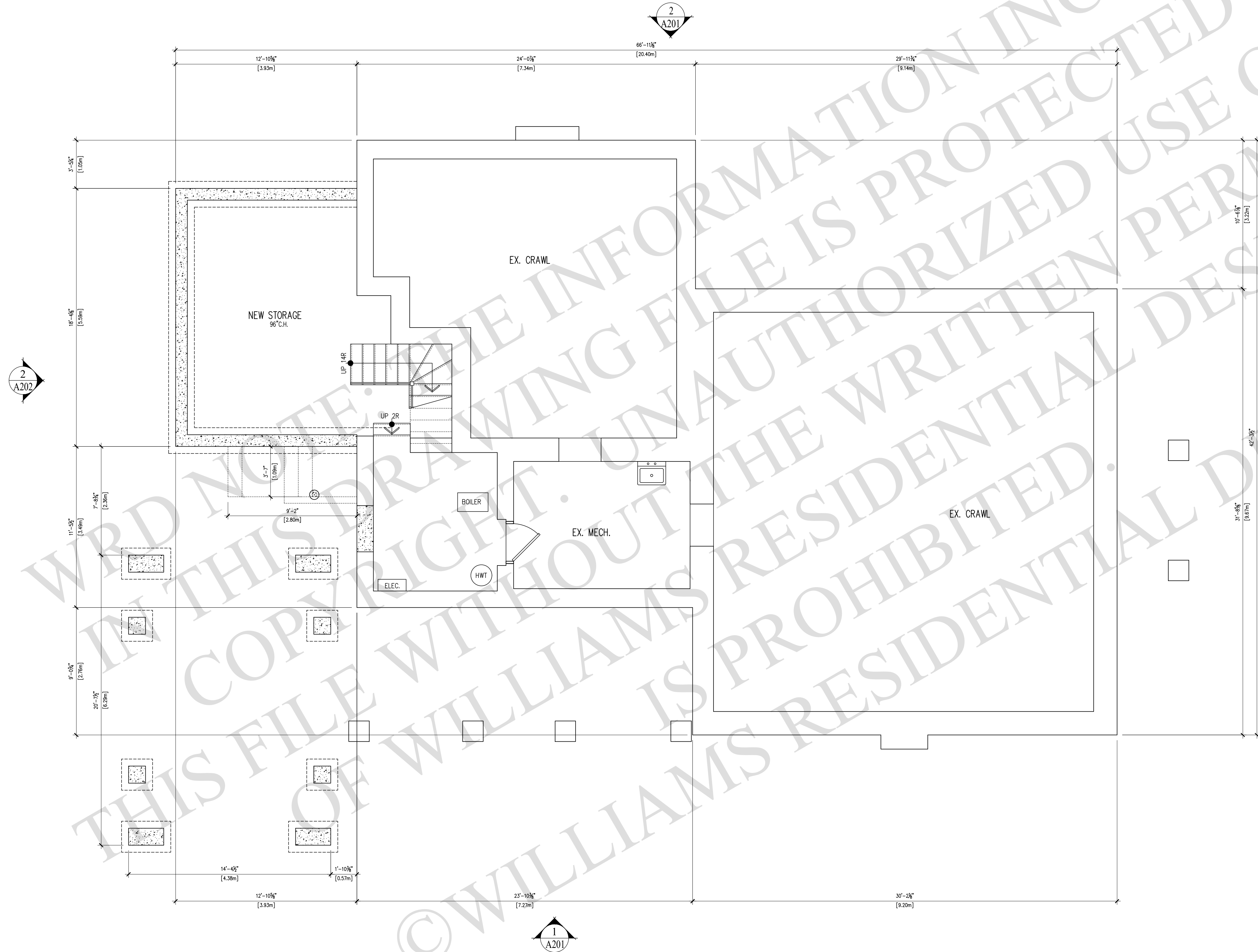
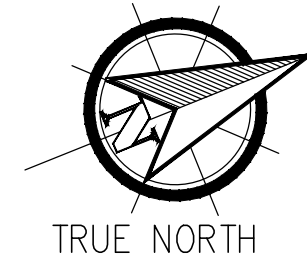


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1 PROP. BASEMENT PLAN  
A1.02 1/4" = 1'-0"

THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.  
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No.	DATE	DESCRIPTION
1	08/07/22	ISSUED FOR PHASE 2 DESIGNS
2	08/07/22	FOR REVIEW AND APPROVAL
3	08/07/22	FOR REVIEW AND APPROVAL

SIGNATURE REQUIRED  
JOHN WILLIAMS REVIEWS AND  
TAKES RESPONSIBILITY FOR  
THE DESIGN WORK DESCRIBED  
IN THIS DOCUMENT  
DESIGN COMPANY BCIN 31437  
INDIVIDUAL BCIN 2472

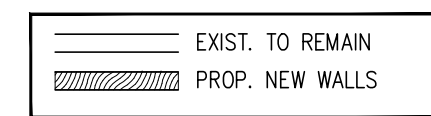
**WILLIAMS**  
RESIDENTIAL DESIGN  
#906-2025 Maria Street  
Burlington, Ontario  
L7R 0E9  
905-630-9694  
williamsresidentialdesign@bellnet.ca

**PROPOSED  
BASEMENT PLAN**  
Scale: As Noted  
Date: 27-May-22

**DICENSO  
RESIDENCE**  
92 Melville Street  
Dundas, Ontario  
L9H 2A3

Drawn By  
CB  
Approved By  
JW  
Job Number  
DICENSO  
Sheet  
A1.02  
OF  
7

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PROPOSED NEW CARPORT AREA:  
275.0ft<sup>2</sup> (25.5m<sup>2</sup>)

$$1/4'' = 1'-0''$$

Drawn By CB	Sheet
Approved By JW	A1.03
Job Number DICENSO	OF 7

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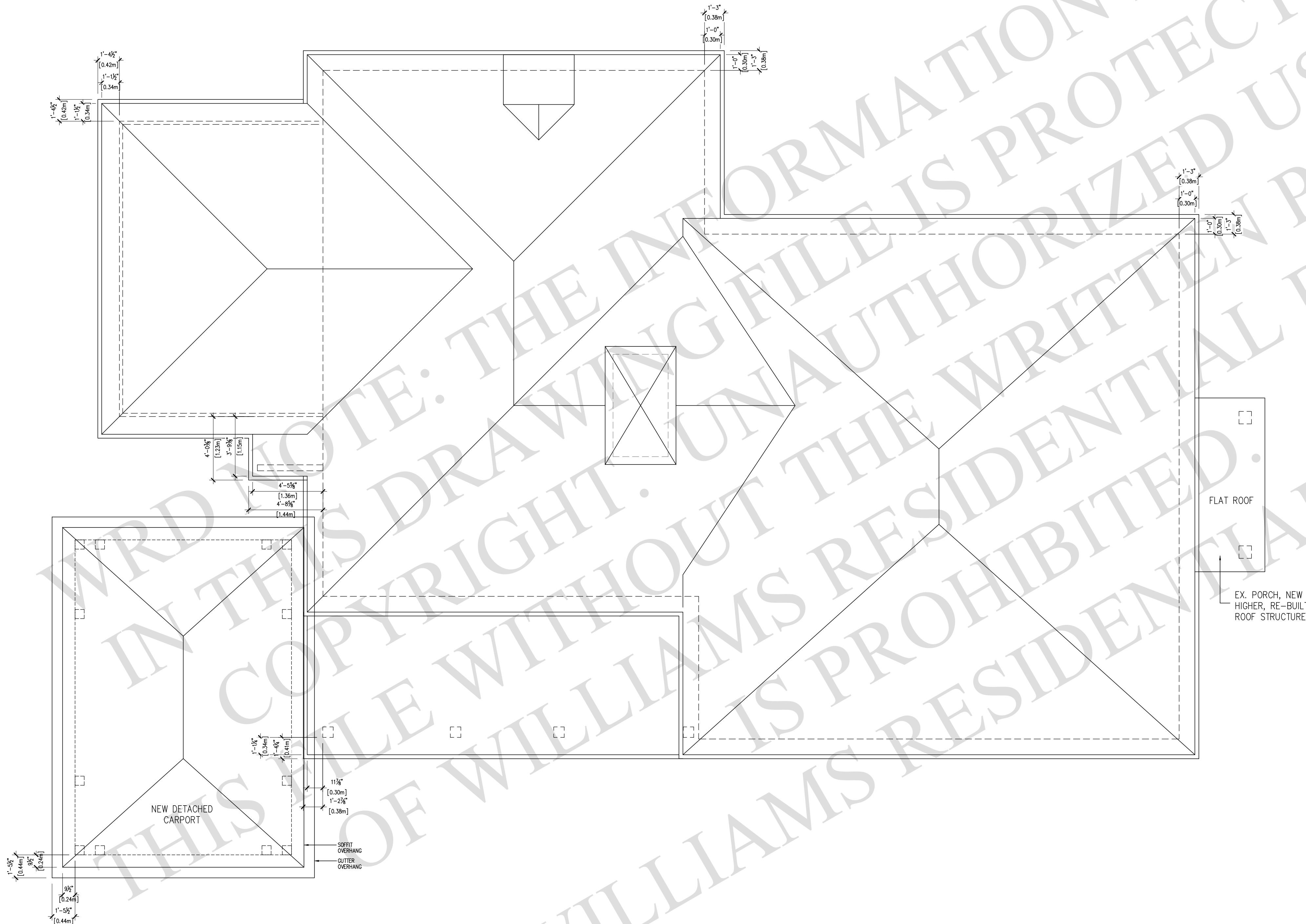
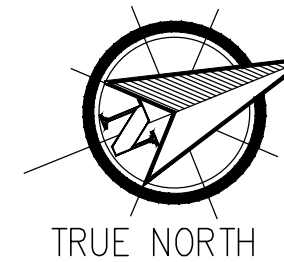
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1 PROPOSED ROOF PLAN  
A1.04 1/4" = 1'-0"

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No.	DATE	DESCRIPTION
1	05.07.22	ISSUED FOR PHASE 2 DESIGNS
2	05.07.22	REVISED FOR PHASE 2 DESIGNS
3	05.08.22	REVISED FOR PHASE 2 DESIGNS

SIGNATURE REQUIRED	May 27, 2022
JOHN WILLIAMS REVIEWS AND TAKES RESPONSIBILITY FOR THE DESIGN WORK DESCRIBED IN THIS DOCUMENT	
DESIGN COMPANY BCIN 31437	
INDIVIDUAL BCIN 2472	

PROPOSED ROOF PLAN	Date
	27-May-22

DICENSO RESIDENCE	92 Melville Street
	Dundas, Ontario
	L9H 2A3

Drawn By	Sheet
CB	
Approved By	A1.04
JW	
Job Number	OF
DICENSO	7

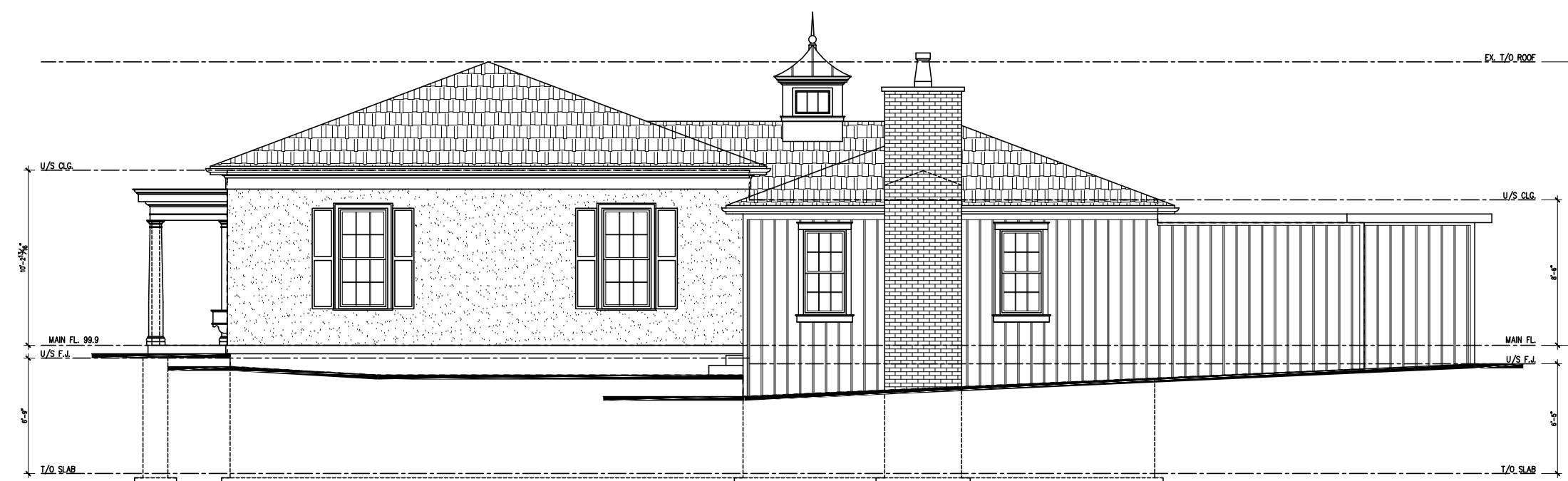
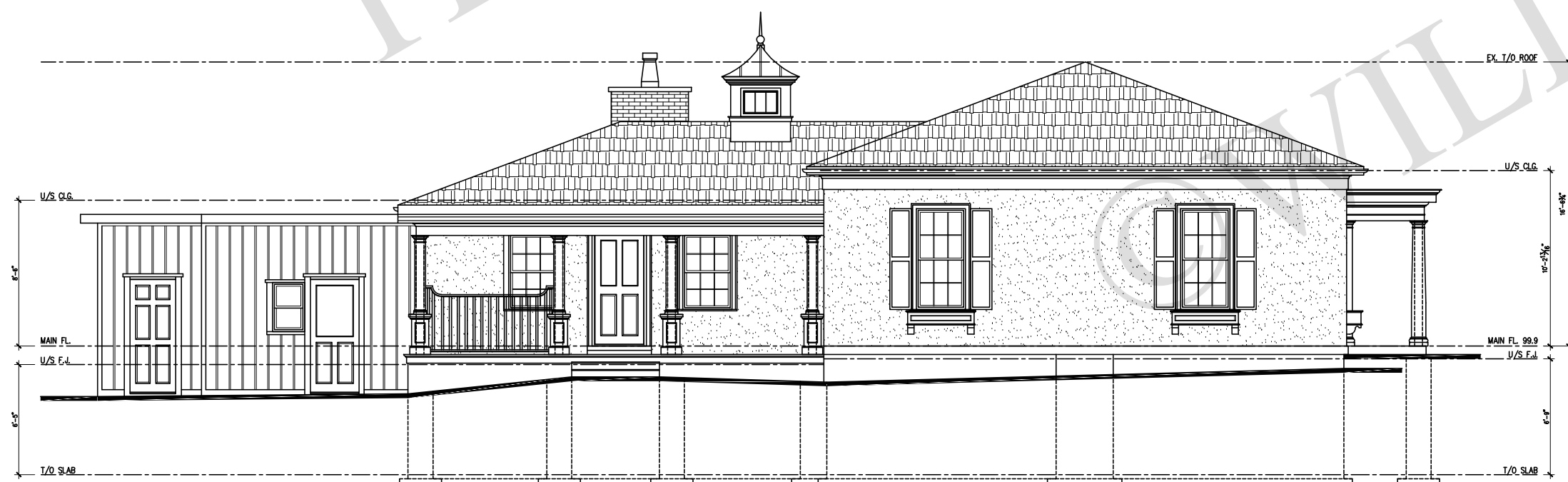
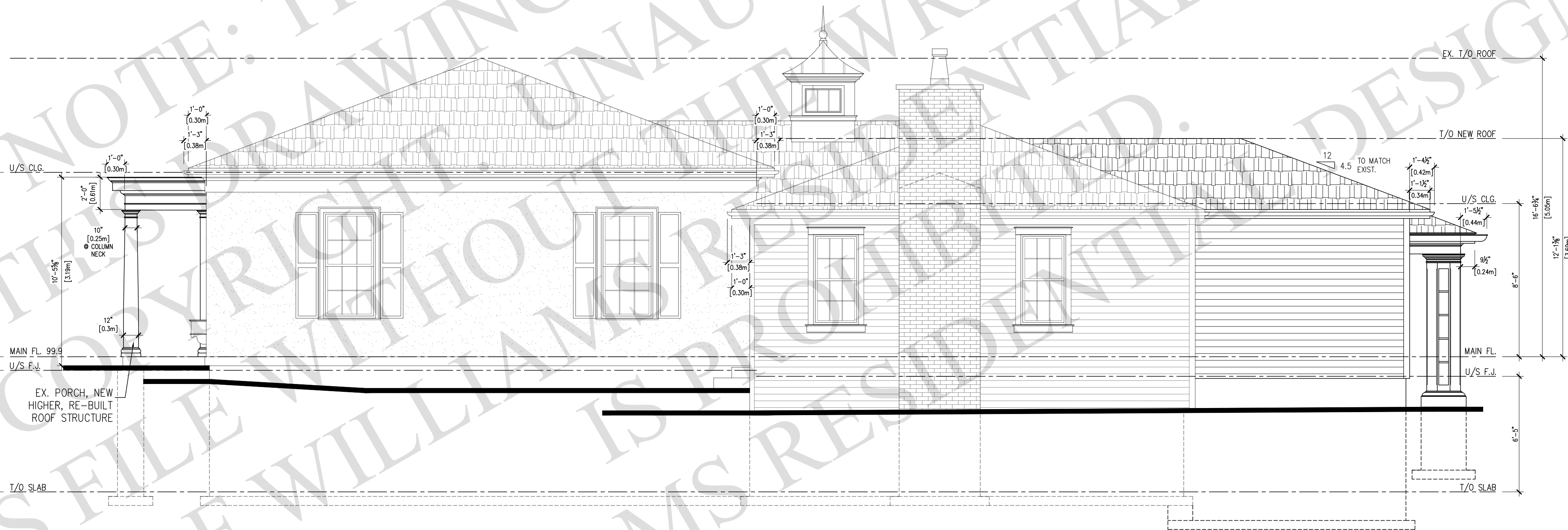
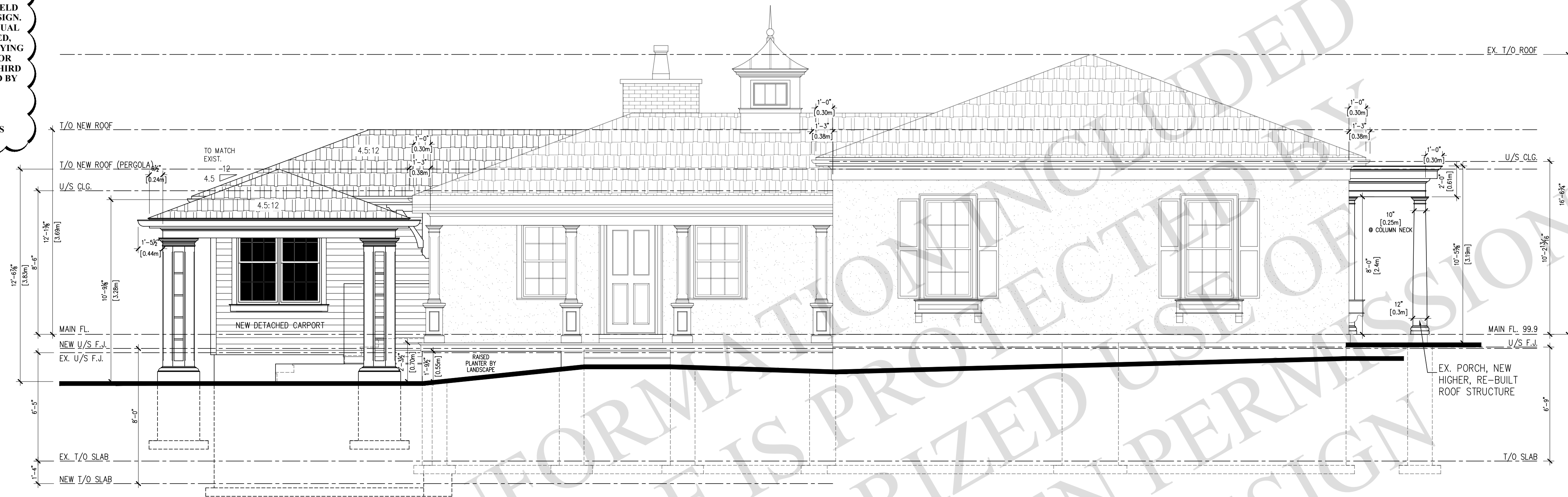


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No.	DATE	DESCRIPTION
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2	05.07.22	REVISED FOR PHASE 2 DESIGNS
3	05.08.22	REVISED FOR PHASE 2 DESIGNS

SIGNATURE REQUIRED  
JOHN WILLIAMS REVIEWS AND  
TAKES RESPONSIBILITY FOR  
THE DESIGN WORK DESCRIBED  
IN THIS DOCUMENT  
DESIGN COMPANY BCIN 11437  
INDIVIDUAL BCIN 2472

May 27, 2022

**WILLIAMS**  
RESIDENTIAL DESIGN  
#906-2025 Maria Street  
Burlington, Ontario  
L7R 0E9  
905-630-9694  
williamsresidentialdesign@bellnet.ca

EXIST. & PROP.  
LEFT & RIGHT ELEVATIONS

Scale: As Noted  
Date: 27-May-22

DICENSO  
RESIDENCE  
92 Melville Street  
Dundas, Ontario  
L9H 2A3

Drawn By: CB  
Sheet: A2.01  
Approved By: JW  
Job Number: DICENSO  
OF: 7

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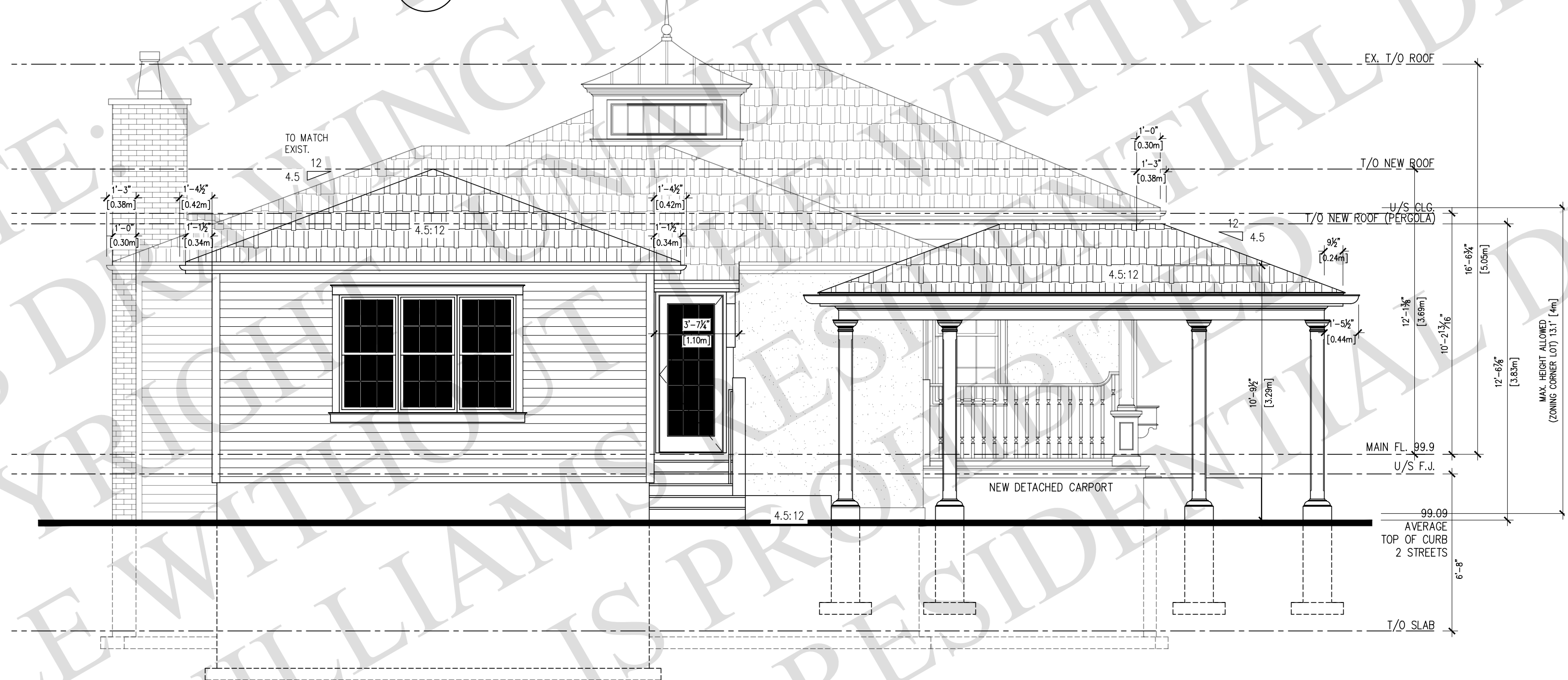
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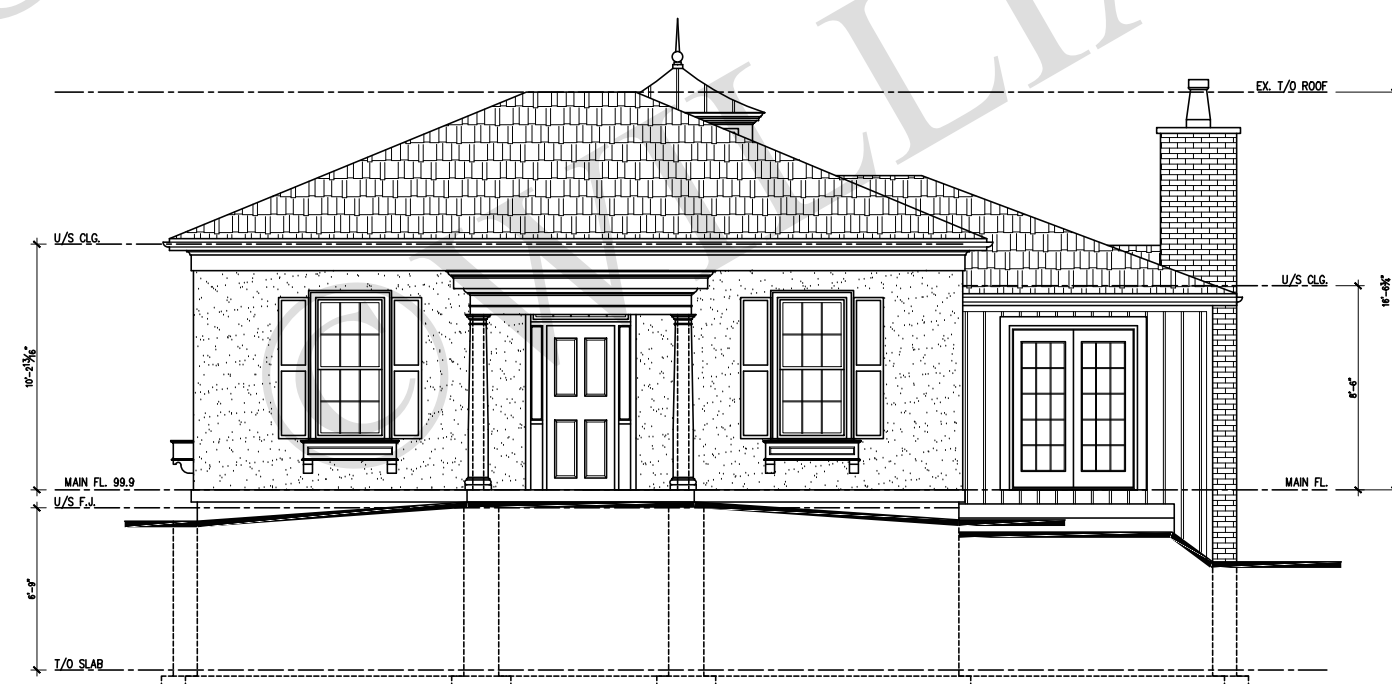
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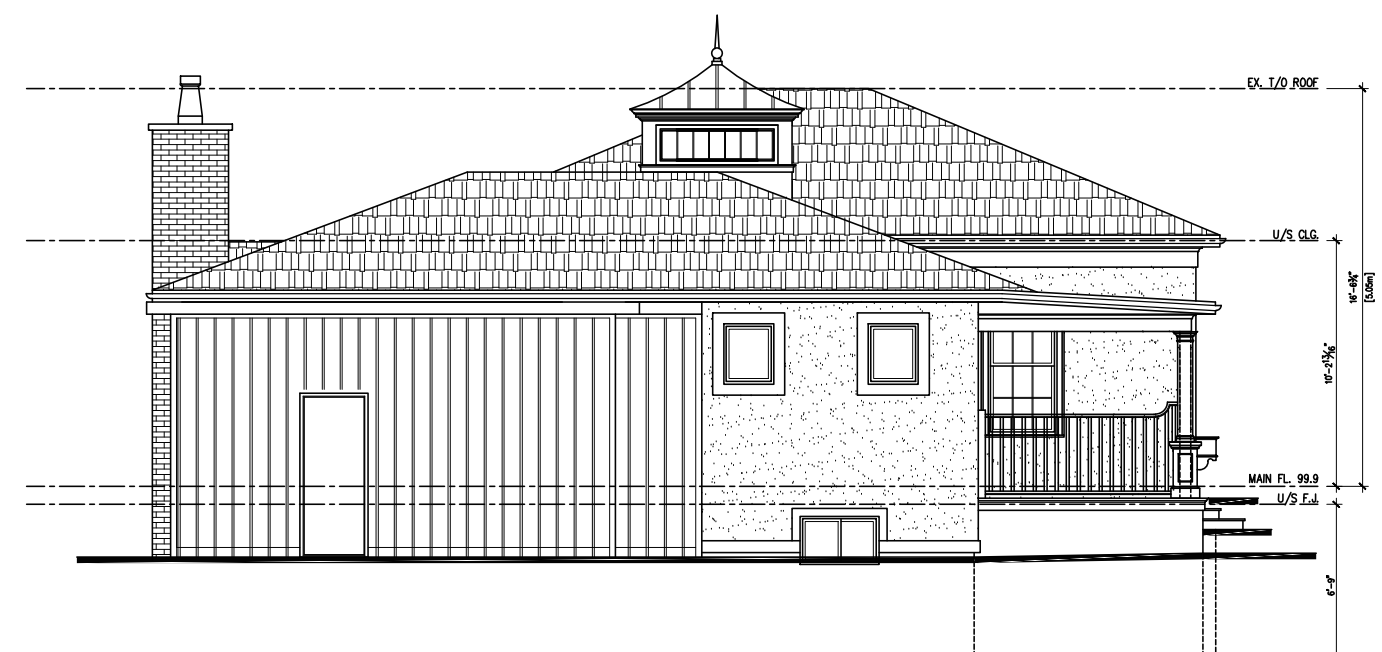
1 PROPOSED FRONT ELEVATION  
A2.02 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION  
A2.02 1/4" = 1'-0"



3 EXIST. FRONT ELEVATION  
A2.02 1/8" = 1'-0"



4 EXIST. REAR ELEVATION  
A2.02 1/8" = 1'-0"

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No.	DATE	DESCRIPTION
1	05.07.22	ISSUED FOR PHASE 2 PERMITS
2	05.07.22	ISSUED FOR PHASE 2 PERMITS
3	05.07.22	ISSUED FOR PHASE 2 PERMITS

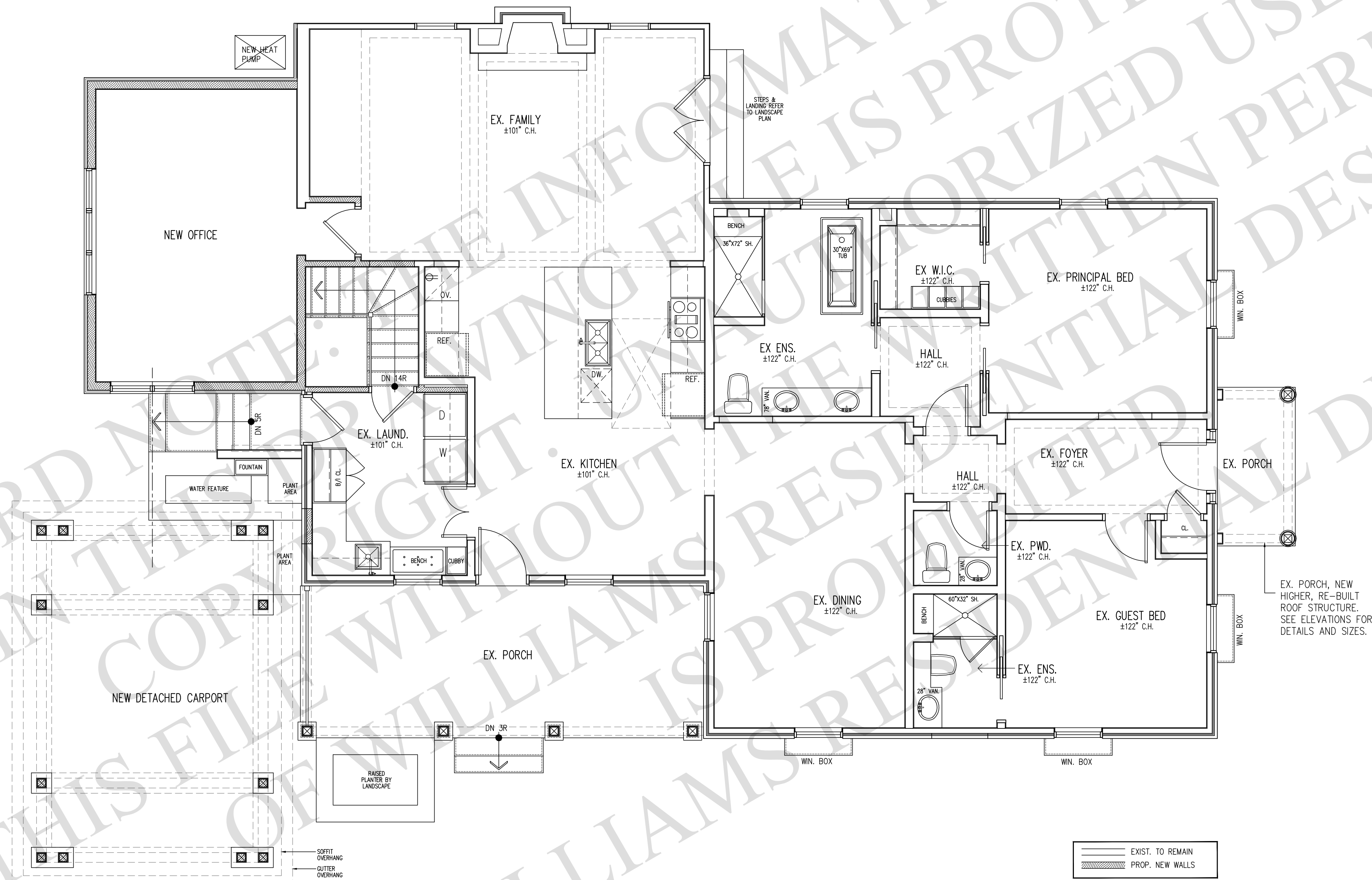
SIGNATURE REQUIRED	May 27, 2022
JOHN WILLIAMS REVIEWS AND TAKES RESPONSIBILITY FOR THE DESIGN WORK DESCRIBED IN THIS DOCUMENT	
DESIGN COMPANY: JOHN WILLIAMS RESIDENTIAL DESIGN	
INDIVIDUAL: JOHN WILLIAMS	

WILLIAMS RESIDENTIAL DESIGN	EXIST. & PROP. FRONT & REAR ELEVATIONS
#905-2025 Maria Street Burlington, Ontario L7R 0E9 905-630-9694 williamsresidentialdesign@bellnet.ca	Scale: As Noted Date: 27-May-22

DICENSO RESIDENCE	92 Melville Street Dundas, Ontario L9H 2A3
Drawn By: CB	Sheet: A2.02
Approved By: JW	
Job Number: DICENSO	OF 7

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RESIDENTIAL DESIGN.**



FY FIN FIRST FLOOR AREA: 2056 sq ft

(E1.01)  $1/4'' = 1'-0''$

SIGNATURE REQUIRED \_\_\_\_\_ May 27, 2022

JOHN WILLIAMS REVIEWS AND  
TAKES RESPONSIBILITY FOR  
THE DESIGN WORK DESCRIBED  
IN THIS DOCUMENT

DESIGN COMPANY BCIN 31437  
INDIVIDUAL BCIN 23472

Date 27-May-22

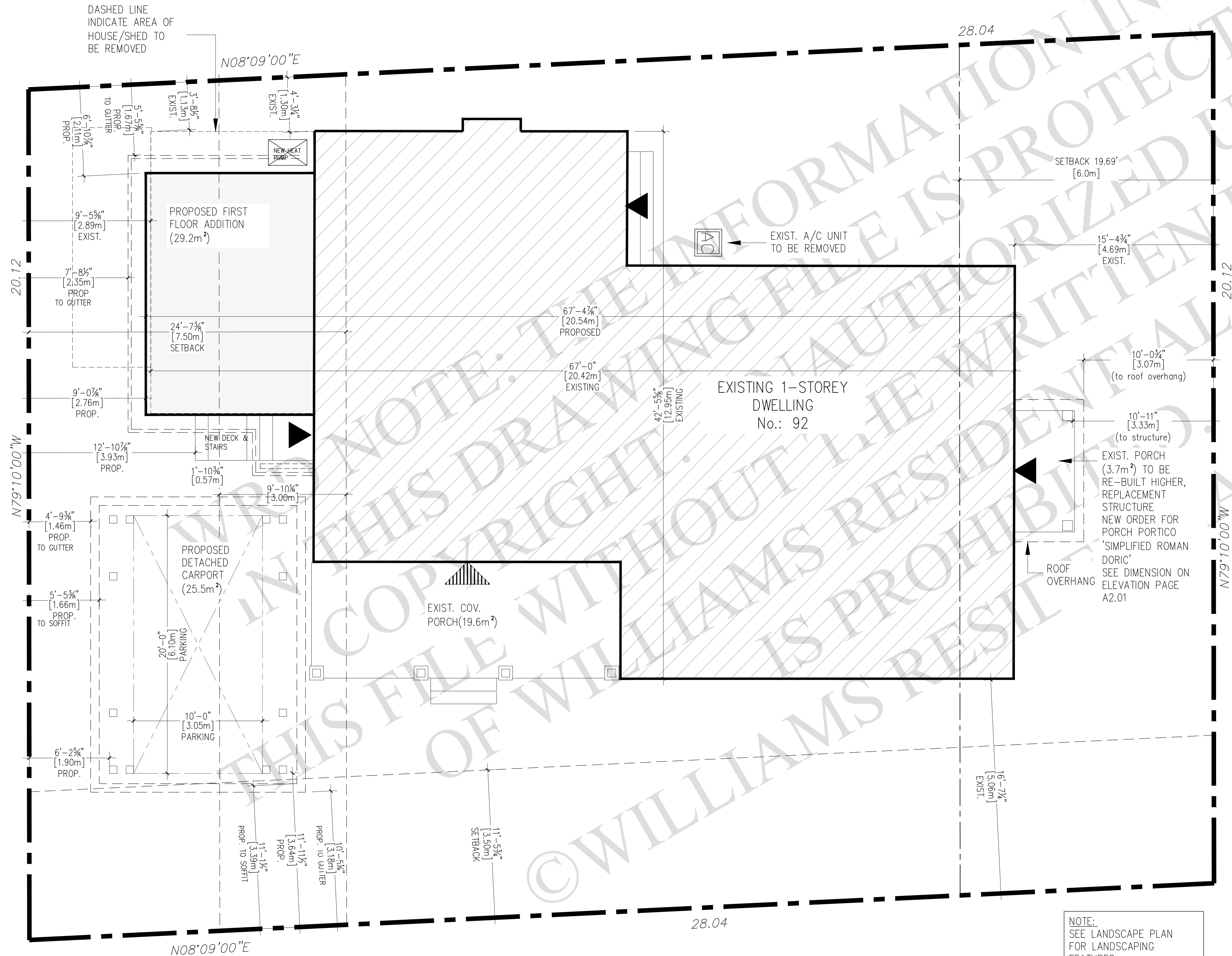
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Approved By JW	E1.01
Job Number DICENSO	OF 7

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DASHED LINE  
INDICATE AREA OF  
HOUSE/SHED TO  
BE REMOVED



NOTE:  
SEE LANDSCAPE PLAN  
FOR LANDSCAPING  
FEATURES

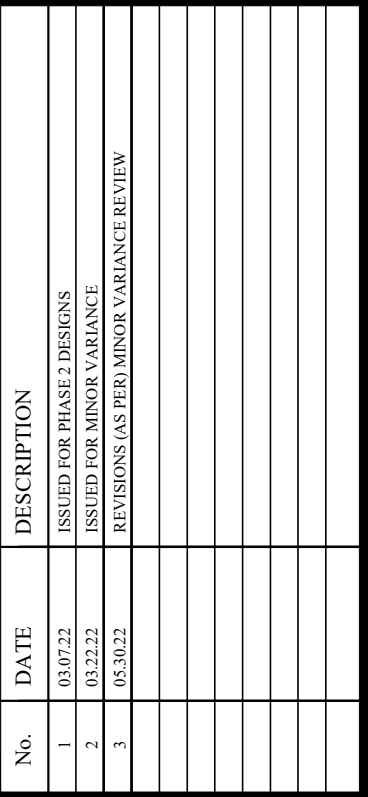
PROJECT ADDRESS/OWNER:		DESIGNER/APPLICANT:	
Alba and Brian Dicenso		John Williams	
92 Melville Street		Williams Residential Design	
Dundas, Ontario, L9H 2A3		906-2025 Maria Street	
		Burlington, Ontario, L7R 0E9	
SITE STATISTICS:			
ZONING (DUNDAS):		R4	
LOT INFORMATION:			
MIN. LOT AREA:		450.00	3874.98
ACTUAL LOT AREA:		563.40	5915.50
MIN. LOT FRONTAGE:		15.00	49.21
ACTUAL LOT FRONTAGE:		20.12	66.01
LOT DEPTH		28.04	91.99
SETBACK INFORMATION:			
MINIMUM FRONT YARD SETBACK:		6.00	19.69
EXISTING:		4.69	15.39
PROPOSED (TO REBUILT PORCH): EAVE AND GUTTER		*COA*	3.06
MINIMUM REAR YARD SETBACK:		7.50	24.61
EXISTING:		2.89	9.48
PROPOSED (TO HOUSE ADDITION):		*COA*	2.76
PROPOSED (TO DETACHED CARPORT):		*COA*	1.90
PROPOSED (TO DECK & STAIRS):		*COA*	3.93
MIN. R SIDE YARD SETBACK:		1.20	3.94
EXIST. R SIDE YARD SETBACK:		1.13	3.71
PROP. R SIDE YARD SETBACK:		2.11	6.92
MIN. L SIDE YARD SETBACK:		3.50	11.48
EXIST. L SIDE YARD SETBACK:		5.06	16.60
PROPOSED (TO CARPORT):		3.64	11.94
GROSS FLOOR AREA:			
		METRIC	IMPERIAL
EXISTING TOTAL 1st FLOOR AREA:		191.06	2056.60
EXISTING 1ST FLOOR AREA TO BE REMOVED:		25.33	272.70
PROPOSED 1ST FLOOR AREA TO BE ADDED:		22.68	244.10
PROPOSED NEW TOTAL 1ST FLOOR AREA:		188.41	2028.00
COVERAGE CALCULATIONS:			
		METRIC	IMPERIAL
EXISTING 1st FLOOR AREA:		191.06	2056.60
PROPOSED NEW 1ST FLOOR AREA:		188.41	2028.00
EXISTING SHED TO BE REMOVED:		10.49	112.90
EXISTING COVERED PORCHES:		23.36	251.40
NEW DETACHED CARPORT:		25.55	275.00
EXISTING COVERAGE:		39.93%	224.99
PROPOSED COVERAGE:		37.99%	214.03
HEIGHT CALCULATIONS			
		METRIC	IMPERIAL
MAX. ALLOWABLE HEIGHT		10.50	34.45
EXISTING HEIGHT:		5.05	16.57
PROPOSED HEIGHT (TO ADDITION):		3.69	12.11
MAX. ALLOWABLE HEIGHT		4.0	13.12
PROPOSED HEIGHT (TO DETACHED CARPORT): ACCESSORY STRUCTURE		*COA*	3.83

1 SITE STATS  
SP1.01 1:50

THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

THESE DESIGN PLANS ARE PROTECTED BY COPYRIGHT AND ALL DESIGN RIGHTS ARE RESERVED BY JOHN WILLIAMS, ARCHITECTURAL DESIGNER. YOU HAVE NO RIGHT TO REPRODUCE OR TRANSMIT THESE PLANS FOR ONE INDIVIDUAL RESIDENCE. NO PART OF THIS DESIGN PLAN MAY BE REPRODUCED, DISTRIBUTED, TRANSMITTED OR SOLD IN ANY FORM OR BY ANY MEANS, INCLUDING PHOTOCOPYING, SCANNING, BY ELECTRONIC OR MECHANICAL METHODS, WITHOUT THE PRIOR WRITTEN PERMISSION OF THE DESIGNER.

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SIGNATURE REQUIRED \_\_\_\_\_ May 29, 2022

JOHN WILLIAMS REVIEWS AND  
TAKES RESPONSIBILITY FOR  
THE DESIGN WORK DESCRIBED  
IN THIS DOCUMENT

DESIGN COMPANY BCIN 31437  
INDIVIDUAL BCIN 23472

**WILLIAMS**  
RESIDENTIAL DESIGN

---

#906-2025 Maria Street  
Burlington, Ontario  
L7R 0E9  
905-630-9694  
williamsresidentialdesign@bellline

ARCHITECTURAL  
SITE PLAN

Date  
29-May-22

As Noted

DICENSO  
RESIDENCE  
92 Melville Street  
Dundas, Ontario  
L9H 2A3

Drawn By  
CB

Sheet

Approved By  
JW

Job Number  
DICENSO

# SP 1.01

OF 7

## **Owner's Project Notes for the Committee of Adjustment – May 2022**

### **Albina DiCenso (owner of house at 92 Melville Street, Dundas ON)**

The owner, along with an award-winning team including Williams Residential Design, Thomas Cochren Homes and Virginia Burt Designs (landscape architect), is working to create a home that is environmentally friendly and sustainable. She and the contractor are working with an energy consultant (Building Knowledge Canada) to discontinue the use of natural gas, install a heat pump and heat recovery ventilator, and significantly improve insulation levels and air tightness. The owner has already been approved for a Canada Greener Homes Grant Program through Natural Resources Canada. It is her intention to remain in the house, if possible, for the rest of her life.

### **Benefits of Committee of Adjustment Approval:**

#### ***Healthy House***

- The current 'pine/hobby' room is built on the ground without a foundation and subject to ground moisture. The current basement is very small as most of it is an unusable crawl space. A proper basement area under the new addition is needed for mechanical equipment and storage.
- The owner has performed ongoing monitoring for radon (within safe limits), has had all the asbestos in the house removed and has tested the plaster and air for asbestos fibres (none found).

#### ***Age in Place/Accessibility***

- The carport will provide safer access to the car during the winter and during rain and will minimize the need to brush snow off the car.
- The existing basement steps are hazardous as they are narrow and steep and likened to a ladder.
- The current 'pine/hobby' room can only be accessed by descending three steps. The new room will become an office/extra bedroom and will no longer require stairs for access. This will make it safer for the owner as she ages because the entire house will be on one level.
- The new side entrance will be easily accessible from the carport.
- The front entry will be fully accessible for people in wheelchairs.

### ***Neighbourhood Enhancement***

- These renovations will preserve and enhance the historical character of the house.
- They will improve the appearance of the outside of the house.
- They will result in a smaller footprint.
- The current driveway will be replaced by a permeable driveway and may serve as a stimulus for neighbours to do the same to reduce rain water going into the sewers.
- The landscape architect plans safe outdoor surroundings, and gardens and features that will be appealing to the neighbourhood.

### ***Environmental Contribution***

- The house will have much more insulation and will be more energy efficient.
- The wiring in the house is being completely replaced with new wiring.
- The gardens will include native species and pollinators to stimulate sustainability in an urban environment.
- The downspouts will have infiltration trenches to intercept stormwater.
- Trees that are categorized as invasive species will be removed and replaced.

### ***Photos on Next Pages:***

- 1) staircase to basement
- 2) basement space
- 3) pine/hobby room – interior and exterior



**Current Staircase to Basement** (hazardous as the steps are narrow and steep):



**Current Basement Space** (very small as most of it is an unusable crawl space; very limited storage space):



**Hobby Room** (The current 'pine/hobby' room is built on the ground without a foundation and subject to ground moisture. From within the house, the room can only be accessed by descending three steps. The new room will become an office/extra bedroom and will no longer require stairs for access):





**Outdoor View of Hobby Room and Attached Shed:**



**Narrow Walkway Between Hobby Room and Property Line:**



84 Melville Street  
Dundas, ON  
L9H 2A1

29.April.2022

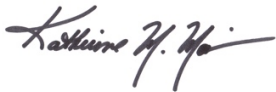
Attention: Committee of Adjustment, City of Hamilton

To Whom it may concern:

Re: 92 Melville Street, Dundas, ON  
Owner: Alba Dicenso

We are writing to express our full support of the proposed renovations and property enhancements on the property 92 Melville Street, Dundas, ON, owner Alba Dicenso as reflected in the drawings provided to us on April 23, 2022 (version 2, 11April2022). This property is across Albert Street from our home at 84 Melville Street, Dundas, ON.

Sincerely,



Katherine M. Morrison  
Owner, 84 Melville St., Dundas, ON  
289-238-8863



Bernd Gutgesell  
Owner, 84 Melville St., Dundas, ON  
289-238-8863

April 28, 2022

ATTENTION: Committee of Adjustment- City of Hamilton

RE: 92 Melville Street, Dundas Ontario  
Owner: Alba Dicenso

To Whom It May Concern:

We are writing this letter to declare our full support of the proposed renovations and property enhancements to the home at 92 Melville Street, Dundas, Ontario, owner Alba Dicenso.

This property is adjacent to the east side of our home at 96 Melville Street, Dundas. Alba has given us the opportunity to review the plans and ask questions before lending this support, and we expect that the completed project will greatly enhance our neighbourhood.

Best Regards



David Shupe  
Owner- 96 Melville St., Dundas, Ontario  
(905) 517-8000



Sheila Ashcroft-Shupe  
Owner- 96 Melville St., Dundas, Ontario  
(905) 536-5456



April 28, 2022

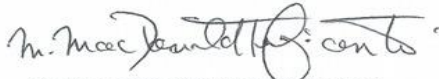
Attention: Committee of Adjustment, City of Hamilton

Re: 92 Melville St., Dundas Ontario  
Owner: Alba Dicenso

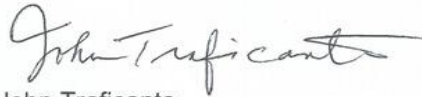
To whom it may concern:

We are writing to express our full support of the proposed renovations and property enhancements on the property, 92 Melville St., Dundas Ontario, owner Alba Dicenso. This property is adjacent to our home at 36 Albert St. Dundas. We had an opportunity to ask questions and review the plans before lending this support, and we expect that the completed project will greatly enhance our neighbourhood.

Sincerely,



Marlene Macdonald Traficante  
Owner, 36 Albert St., Dundas, ON  
289 237 9570



John Traficante  
Owner, 36 Albert St., Dundas ON  
905 628 2340

April 28, 2022

Attention: Committee of Adjustment, City of Hamilton

Re: 92 Melville St., Dundas Ontario

Owner: Alba Dicenzo

To whom it may concern:

Please be advised that we fully support the proposed renovations and property enhancements on the property, 92 Melville Street, owned by Alba Dicenzo. This property is directly across the street from our home at 93 Melville Street. We have discussed and reviewed the plans before lending our support, and are looking forward to this enhancement of our neighbourhood.

Sincerely,



Sandra Wade  
Owner, 93 Melville St.,  
Dundas Ont.



Christopher Wade  
Owner, 93 Melville St.,  
Dundas, Ont.  
905-627-7026



Hamilton

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	Albina DiCenso	
Applicant(s)*	JOHN WILLIAMS	
Agent or Solicitor	John Williams	

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

National Bank of Canada, 3315 Fairview St., Burlington, ON L7R 4A8

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

-to permit a frontyard setback of 3.33m to existing porch where a min. 6.0 req'd. porch to be rebuilt same size, same location but taller  
-to permit a rearyard setback of 2.76 to house addition where a min. 7.5m is req'd  
-to permit a rearyard setback of 1.9m to new carport where a min. 7.5m is req'd  
-to permit a cov. deck/porch to encroach into a required rear yard by 3.57m instead of the max. 3.0m  
-to permit 1 parking spot where a minimum 2 are required

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The current configuration of the house on the lot is such that it is existing legal non-conforming

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Part 1, Lot 19, Registered Plan 1446

7. PREVIOUS USE OF PROPERTY

Residential ☒

Industrial ☐

Commercial ☐

Agricultural ☐

Vacant ☐

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☒

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☐ Unknown ☒

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☒

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☐ Unknown ☒

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☐ Unknown ☒

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☐ Unknown ☒



8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☐ Unknown ☒

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

The answers to these questions is probably "NO" because the neighbourhood has existed the way it is for the better part of 160+ years. But without proof of these answers, we have indicated "unknown"

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

#### 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

April 25, 2022  
Date

A DiCenso  
Signature Property Owner(s)  
ALBINA DiCENSO  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>28.04m</u>
Depth	<u>20.12m</u>
Area	<u>563.4s.m.</u>
Width of street	<u>8.26m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

length: 20.42m, width: 12.95m, 1 storey  
ground floor area: 191.06s.m.  
height: 5.05m (HOUSE) FRONT PORCH: 2.94m.

Proposed

length: 20.54m, width: no change, 1 storey (no change)  
ground floor area: 188.4s.m.  
height: no change (HOUSE) PERGOLA CARPORT 3.83m.  
FRONT PORCH. 3.19m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

front yard setback: 4.69m  
rear yard setback: 2.89m  
left sideyard setback: 5.06m  
right sideyard setback: 1.13m

Proposed:

front yard setback: no change  
rear yard setback: to house: 2.76m, to carport: 1.90m, to deck: 3.93m  
left sideyard setback: to house: no change, to carport: 3.64m  
right sideyard setback: 2.11m

13. Date of acquisition of subject lands:  
April 2019
14. Date of construction of all buildings and structures on subject lands:  
1860
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Single Family Residential
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
Single Family Residential
17. Length of time the existing uses of the subject property have continued:  
over 160 years
18. Municipal services available: (check the appropriate space or spaces)  
Water Y Connected Y  
Sanitary Sewer Y Connected Y  
Storm Sewers Y
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  

dundas no. 3581-86 Zone R4
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)  
☐ Yes ☒ No  
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
☐ Yes ☒ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
☐ Yes ☒ No
23. Additional Information (please include separate sheet if needed)  

-Letters of support from 4 surrounding neighbours included with this application  
-arborist report, landscape plan and master plan included with this application  
-owners notes included with this application
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.