

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>SC/A-22:76</b>	<b>SUBJECT PROPERTY:</b>	91 CENTENNIAL PARKWAY S, STONE CREEK
<b>ZONE:</b>	"RM1" (Residential Multiple One)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Stoney Creek 3692-92, as Amended

**APPLICANTS:** Owner M. DelSordo

The following variances are requested:

1. The total lot coverage for accessory buildings shall be 10.6% of the lot area instead of the maximum lot coverage of 10% permitted for all accessory buildings on the lot.

**PURPOSE & EFFECT:** To permit the construction of a new accessory building in the rear yard.

**Notes:**

- i. Eaves and gutters associated with the proposed accessory building shall be at least 0.25m from a property line.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, July 28, 2022</b>
<b>TIME:</b>	<b>2:25 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: July 12, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

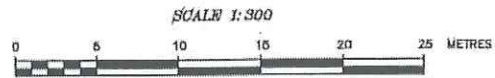
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

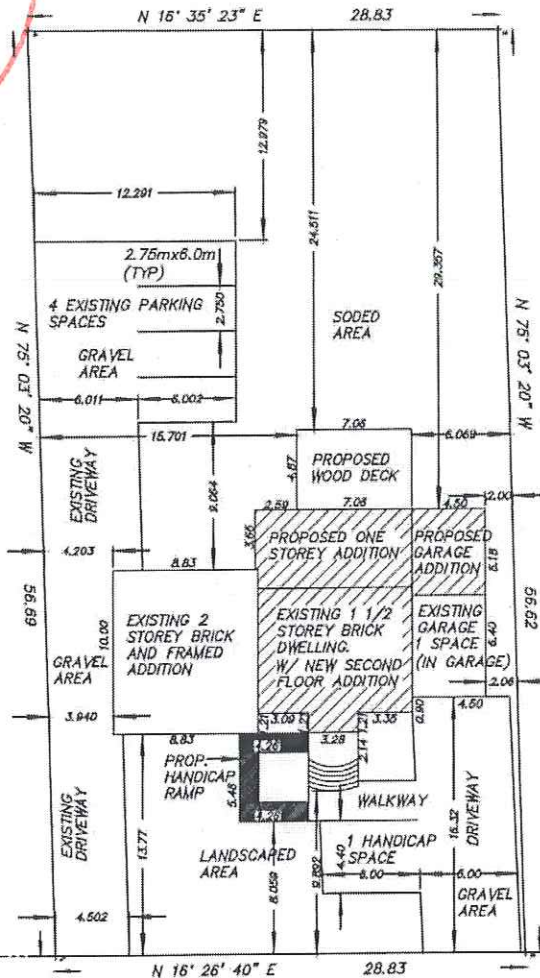
**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



**METRIC NOTE:**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



CENTENNIAL PARKWAY N.

PROPOSED FOUR PLEX: RM 1 ZONING

1. MIN LOT AREA REQUIRED 650 SQ.M. PROVIDED 1632.58 SQ.M.
2. MIN LOT FRONTAGE 20M PROVIDED 28.83M
3. MIN FRONT YARD 7.5M PROVIDED 13.77M
4. MIN SIDE YARD AT GARAGE 2.0M PROVIDED 2.0M
5. MIN REAR YARD 7.5M PROVIDED 24.51M
6. MAX BLDG HT. 11M PROVIDED 9M
7. MAX LOT COVERAGE 40% PERMITTED 653.03 SQ.M. PROVIDED 297.59 SQ.M.
8. MIN NUMBER OF PARKING SPACES 2 PER UNIT PROVIDED 6 TOTAL WITH 1 HANDICAP

6.1.B - PARKING RESTRICTIONS IN RESIDENTIAL ZONES:

(E) ONE-WAY DRIVEWAY OF AT LEAST 4.5M IN WIDTH REQUIRED.  
PROVIDED 3.94M - SUBJECT TO VARIANCE REQUIREMENTS.

**NOTE:**

SURVEY INFO TAKEN FROM ORIGINAL COMPLETED BY  
SIDNEY W. WOODS INC. SEPT 24, 1985.  
CITY OF STONEY CREEK (HAMILTON) ONT.

PROPOSED SITE PLAN		1&2 STOREY ADDITION		CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS BEFORE PROCEEDING WITH THE WORK.	
		91 Centennial Prkwy Hamilton, Ont..		SCALE: 1:300	
				DATE: OCT 3, 2011	PROJECT No: DEL50R03160311
				PL1	



June 15, 2022

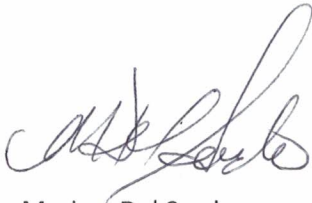
Marina Del Sordo  
91 Centennial Parkway South  
Stoney Creek, On. L8G 2C7  
905-512-3723

Attention: Committee of Adjustments

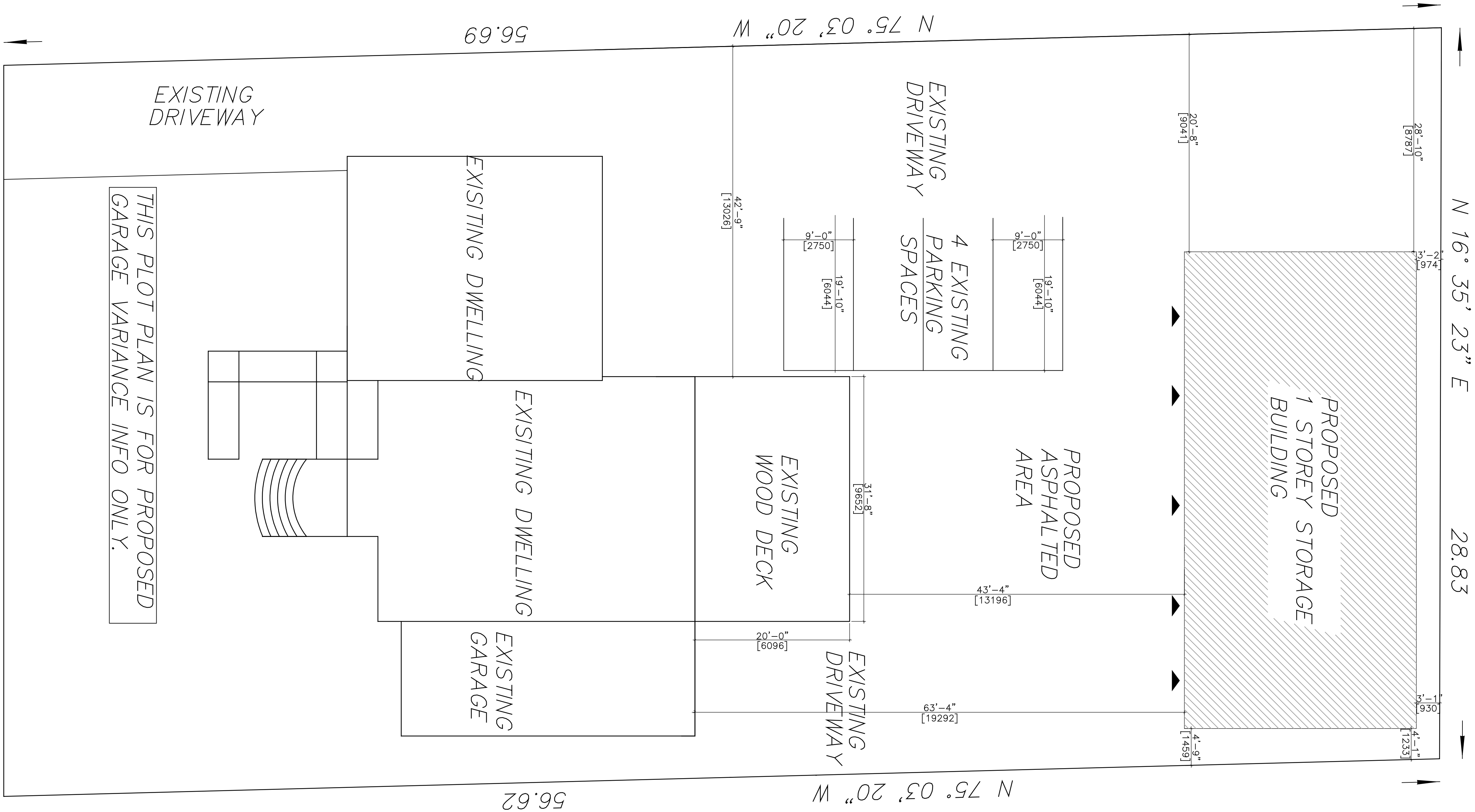
Re: Minor Variance for garage at 91 Centennial Parkway South

Please find attached the revised plans showing the reduction of the roof peak to 14'8" and the area reduced to 1,800 sq f (30' x 60')

If you require further information, please let me know, thanks Marina

A handwritten signature in black ink, appearing to read 'Marina Del Sordo', written in a cursive style.

Marina Del Sordo



THIS PLOT PLAN IS FOR PROPOSED GARAGE VARIANCE INFO ONLY.

EXISTING DRIVEWAY

EXISTING DWELLING

EXISTING DWELLING

EXISTING GARAGE

4 EXISTING PARKING SPACES

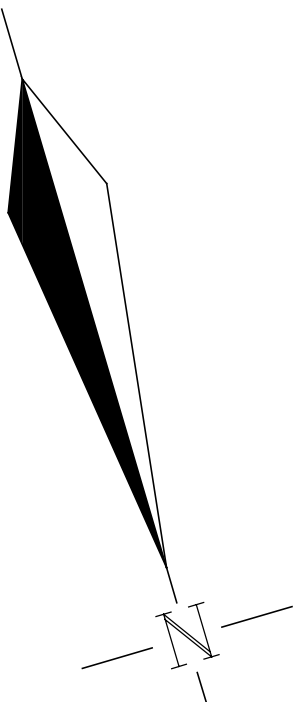
EXISTING WOOD DECK

PROPOSED ASPHALTED AREA

PROPOSED 1 STOREY STORAGE BUILDING

### SITE STATISTICS

EXISTING LOT AREA: 17571.54 SQ FT
EXISTING BLDGS: 2843.98 SQ FT
MAX PERMITTED BLDG HT: 4.5M = 14'-8"
ACCESSORY BLDG: MAX PERMITTED 10% LOT AREA = 1757.15 SQ FT
PROPOSED ACCESSORY BLDG: 1850 SQ FT
***VARIANCE REQUIRED***
***LOT AREA (MAX BLDG 1757.15 SQ FT)



NOTE: THIS PLOT PLAN IS NOT A SURVEY. UNIQUE DESIGNS INC. DOES NOT GUARANTEE THE ACCURACY OF THIS DOCUMENT NOR DOES UNIQUE DESIGN INC. CLAIM TO HAVE THE QUALIFICATION TO PRODUCE A GRADING PLAN. THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED AS A BASIS FOR CONSTRUCTION. THE DESIGNER HAS REVIEWED THE DISTANCES AND BUILDING HEIGHT AND THESE RELATIONSHIP WITH THE INTERIOR USE OF THE BUILDING. TRUE SITE SETBACKS MAY NEED TO BE PROVIDED BY A QUALIFIED LAND SURVEYOR.

NOTE: NOT PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

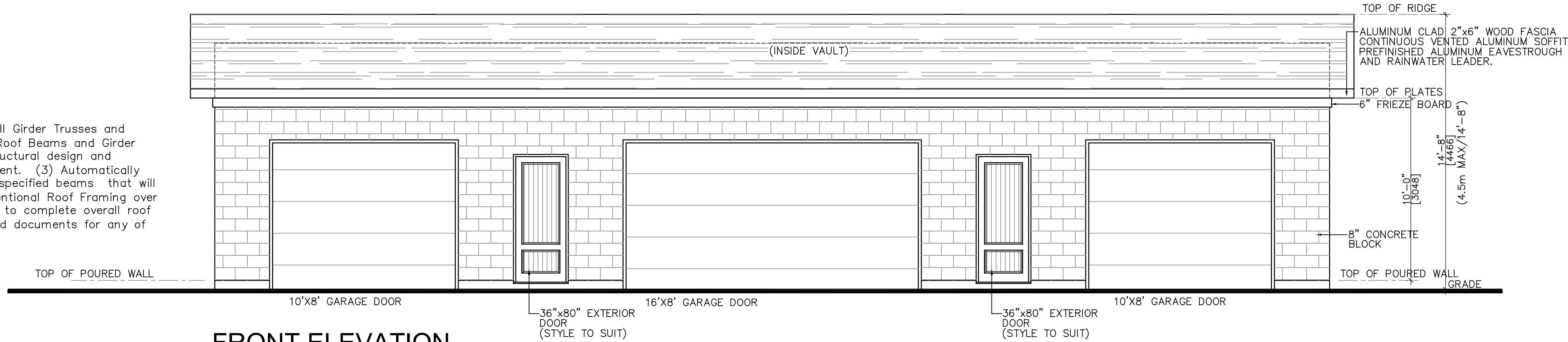
DO NOT SCALE DRAWINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
NAME	MAURO FORMINATO
SIGNATURE	
DATE	15084
REGISTRATION INFORMATION	REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV.C, ARTICLE 3.2.5.1 OF THE BUILDING CODE
UNIQUE DESIGNS INC.	31090
FIRM NAME	BOIN

011022	Job Number	06.13.22	Date	Drawn By	1/8"=1'-0"	Scale
<b>M. DELSORDO</b>						
<b>RESIDENCE</b>						
91 CENTENNIAL PKWY S.						
HAMILTON, ONT.						
<b>UNIQUE DESIGNS INC.</b>						
DRAWING DESIGN INC.						
STORAGE BUILDING						
PLOT PLAN						
No.	DATE	DESCRIPTION				
1.	01.31.22	ISSUED FOR PERMIT				
2.	03.04.22	RE-ISSUED FOR PERMIT				
3.						
4.						
5.						
6.						
7.						
8.						
THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND NO DIMENSIONS OR CONDITIONS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.						
THE USE OF THIS DRAWING OR PART THEREOF IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.						

NOTE:

Note to Truss Manufacture.  
The Truss Manufacture will; (1) Design and specify all Girder Trusses and Beams that only carry roof loads. (2) Ensure that all Roof Beams and Girder Trusses have been designed around the Architectural structural design and therefore have full bearing to the footings in the basement. (3) Automatically upgrade and provide calculations for any Architecturally specified beams that will carry roof point loads. (4) Design and specify all Conventional Roof Framing over and between manufactured roof trusses systems needed to complete overall roof shape. (5) Provide the Local Municipality with Engineered documents for any of the above mentioned items if required.

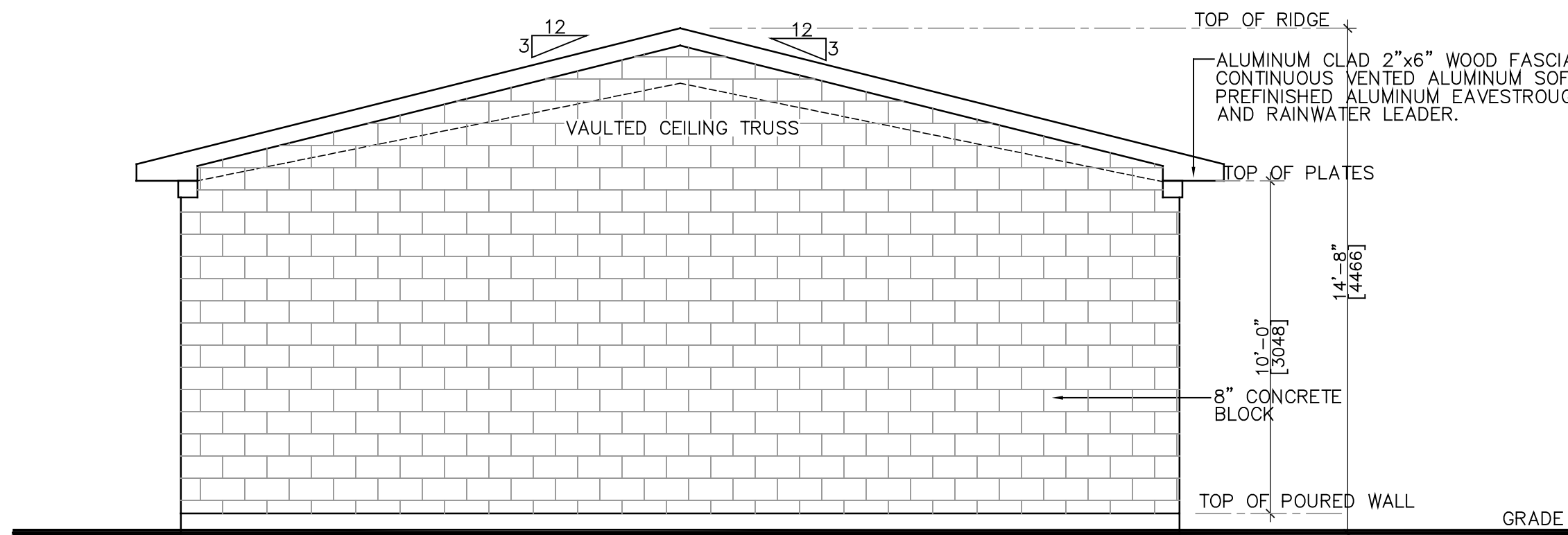


FRONT ELEVATION

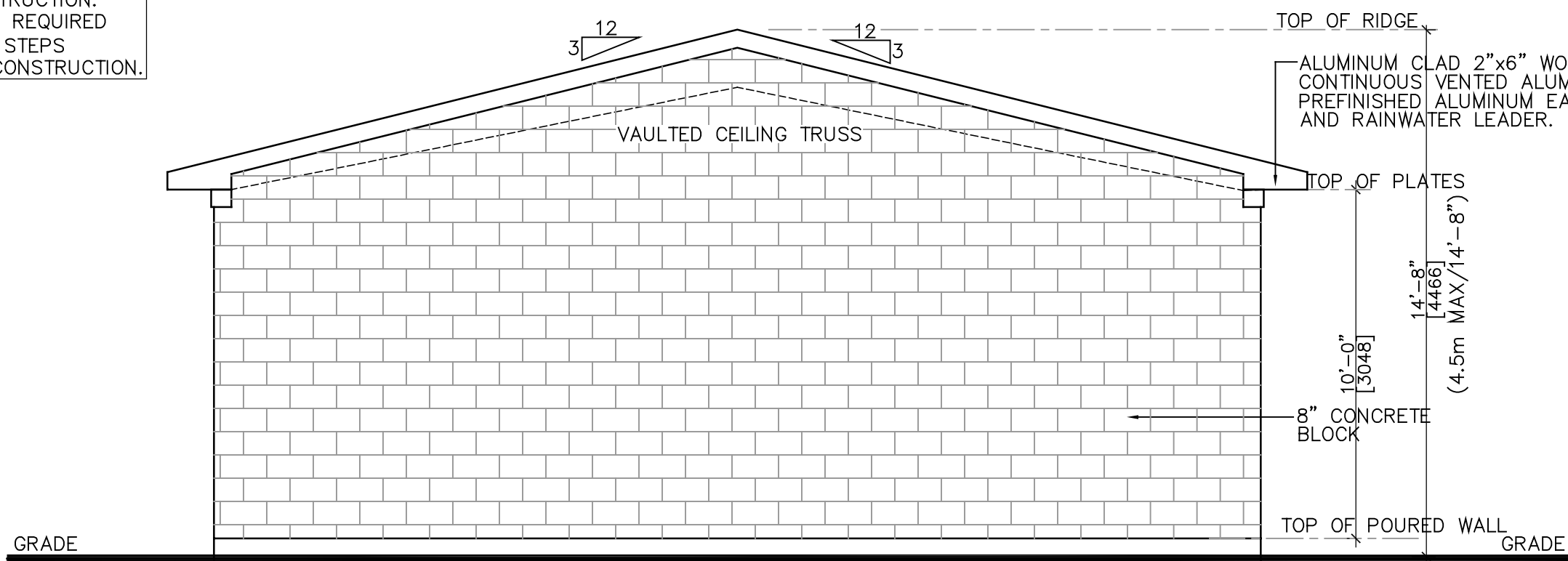
IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS

ALL OVERHANGS 16" UNLESS NOTED OTHERWISE

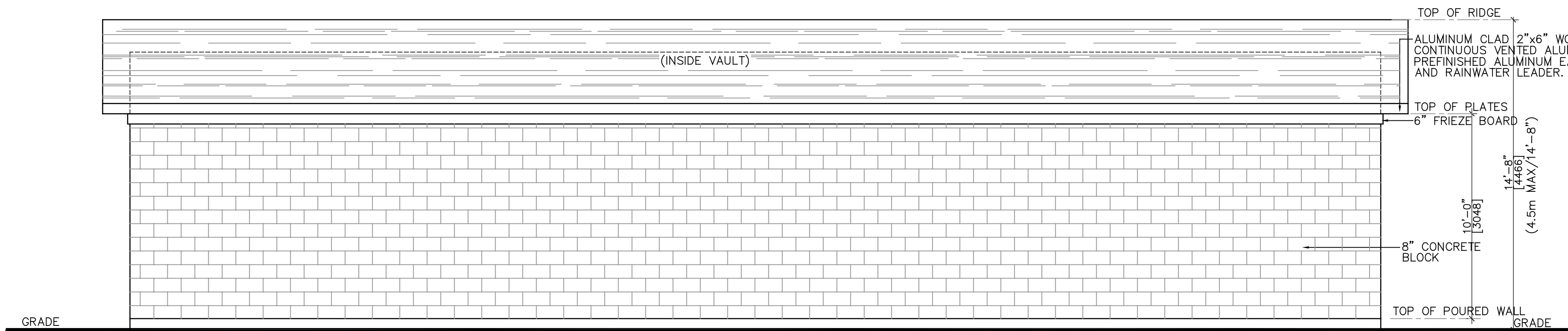
NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

SITE STATISTICS

EXISTING LOT AREA: 17571.54 SQ FT  
EXISTING BLDG: 2843.98 SQ FT  
MAX PERMITTED BLDG HT: 4.5M = 14'-8"  
ACCESSORY BLDG: MAX PERMITTED 10% LOT AREA  
10% = 1757.15 SQ FT  
PROPOSED BLDG: 1850 SQ FT  
\*\*\*VARIANCE REQUIRED\*\*\*  
\*\*\*LOT AREA (MAX 1757.15 SQ FT)

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO  
Name Signature 15084 BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC.  
Firm Name 31090 BCIN

DO NOT SCALE DRAWINGS

UNIQUE DESIGNS INC.

UNIQUE DESIGNS  
DRAFTING DESIGN INC.

ELEVATIONS

STORAGE  
BUILDING

M. DELSORDO  
RESIDENCE

91 CENTENNIAL PKWY S.  
HAMILTON, ONT.

Drawn By

Scale

1/4"=1'-0"

Date:

01.28.22

Job Number

011022

A1



STRUCTURAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF THE O.B.C. 2012.

2. DO NOT SCALE THESE DRAWINGS.

3. SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION.

4. THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY ON THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH.

5. ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 4 KSF.

6. SPECIFIED 28 DAY CONCRETE STRENGTH IS 20 MPA. ALL CONCRETE EXPOSED TO FREEZE-THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFICATION C-1 TO CSA-A23.1-M90

7. REINFORCING STEEL: G30.18M GRADE 400R.

8. STRUCTURAL STEEL CSA G40.21M :

HSS SECTIONS

ANCHOR BOLTS

PIPE MATERIAL

OTHER STEEL

GRADE 350W CLASS H

GRADE 260W

ASTM A53

GRADE 300W

9. LOAD BEARING MASONRY MATERIALS:

HOLLOW BLOCK

SOLID BLOCK

BELOW GRADE MORTAR

ABOVE GRADE MORTAR

GROUT FOR BLOCK CORES

CSA A165.1M-H/15/X/X

CSA A165.1M-S/15/X/X

CSA A179M-TYPE S

CSA A179M-TYPE N

CSA A179M 1:3:2 CEMENT: SAND PEA GRAVEL BY VOLUME, 8" SLUMP

10. STRUCTURAL LUMBER:

ALL LUMBER TO BE KILN-DRIED, GRADED TO CONFORM TO CSA 0141, SPF NO.2 UNLESS NOTED

11. SUPPLY JOIST HANGERS TO THE JOIST MANUFACTURES SPECIFICATIONS.

12. PROVIDE WEB STIFFENERS WHERE TJI JOISTS CONNECTED USING HANGERS

13. PROVIDE FIRE PROTECTION WHEN WELDING CLOSE TO COMBUSTIBLE MATERIALS.
- NOTES:
- THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.(REG. 2012) UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE

ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OFF TABLES OF THE BUILDING CODE,- ONTARIO REG. 413/97

ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPANE
- ALL WINDOW HEADS TO BE 6'-10"(OR 7'-10") ABOVE FIN. FLOOR OR TO MATCH DOOR HEAD FRAMING HIEGHTS
- ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.
- ALL TIMBER TO BE SUPPORTED MIN 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL
- LUMBER SUPPLIER TO PROVIDE TJ-EXPERT FRAMING LAYOUTS INCLUDING APPROPRIATE DETAILS/HANGER SPECS/ JOIST AND BEAM SIZING/ HOLE CHARTS FOR JOISTS/ RIM BOARD SPECS ETC. AND ARE TO SPECIFY FLOOR PERFORMANCE TJ PRO RATING FOR REVIEW AND APPROVAL BY DESIGNER IF REQUIRED
- IT SHALL BE THE RESPONSIBLTY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED
- FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES AT HOUSE
- PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT
- | DOOR LEGEND |             | GENERAL NOTES:                 |                               |
|-------------|-------------|--------------------------------|-------------------------------|
| 1           | 1'8" x 6'8" | SMOKE ALARMS :                 | FLOOR PLAN DIMENSIONS :       |
| 2           | 2'0" x 6'8" | NOTE ALL SMOKE ALARMS          | ALL DIMENSIONS ON FLOOR PLANS |
| 3           | 2'4" x 6'8" | WITH-IN A SINGLE DWELLING UNIT | ARE FROM NOMINAL STUD FACE TO |
| 4           | 2'6" x 6'8" | SHALL BE INTERCONNECTED.       | NOMINAL STUD FACE OR FACE OF  |
| 5           | 3'0" x 6'8" |                                | EXTERIOR FINISH MATERIAL.     |
- ROOF SHEATHING
- | ROOF FRAMING | ROOF SHEATHING UNSUPPORTED EDGES               | ROOF SHEATHING TONGUE & GROOVE, 'H'-CLIPS OR OTHER EDGE SUPPORT |
|--------------|--|---|
| 12" O.C.     | 3/8" PLYWOOD, WAFER BD. OR 11/16" LUMBER       | 5/16" PLYWOOD, 3/8" WAFER BD. OR 11/16" LUMBER                  |
| 16" O.C.     | 3/8" PLYWOOD, 7/16" WAFER BD. OR 11/16" LUMBER | 5/16" PLYWOOD, 3/8" WAFER BD. OR 11/16" LUMBER                  |
| 24" O.C.     | 1/2" PLYWOOD OR 3/4" LUMBER                    | 3/8" PLYWOOD, 7/16" WAFER BD. OR 3/4" LUMBER                    |
- 
- TYP. CONTROL JOINT DETAIL
- 
- TYP. EAVES DETAIL  
(SEE SECTION FOR ROOF TRUSS TYPE)
- 
- FOUNDATION PLAN
- NOTE: FOUNDATION WALLS TO BE 8" THICK POURED CONCRETE UNLESS NOTED OTHERWISE.

IT SHALL BE THE RESPONSIBLTY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES.
- FOR LATERALLY SUPPORTED / UNSUPPORTED FOUNDATION WALLS AT TOP - SEE TABLE 9.15.4.2.A. FOR MAX. HT. PERMITTED
- NOTE: NEW CONCRETE FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 Kpa OR GREATER.
- NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENING CONSTRUCTION.
- 
- FLOOR PLAN
- TOTAL: 1860 SQ FT

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS
- ALL OVERHANGS 16" UNLESS NOTED OTHERWISE
- NOTE: VERIFY ALL ELECTRICAL LIGHTING FIXTURES, OUTLET PLUGS ETC. WITH OWNER PRIOR TO INSTALLATION.
- | STEEL LINTEL SCHEDULE |                       |                   |
|-----------------------|-----------------------|-------------------|
| CLEAR SPAN            | LINTEL SIZE           |                   |
|                       | BRICK                 | STONE             |
| 2'-6"                 | L 3"x3"x1/4"          | L 4"x3"x1/4"      |
| 3'-11"                | L 3 1/2"x3 1/2"x1/4"  | L 5"x3 1/2"x5/16" |
| 4'-11"                | L 3 1/2"x3 1/2"x5/16" | L 5"x3 1/2"x5/16" |
| 5'-11"                | L 4"x3 1/2"x5/16"     | L 5"x5"x5/16"     |
| 6'-11"                | L 5"x3 1/2"x5/16"     | L 5"x5"x5/16"     |
| 7'-10"                | L 5"x3 1/2"x5/16"     | L 5"x5"x5/16"     |
| 8'-10"                | L 5"x3 1/2"x3/8"      | L 5"x5"x3/8"      |
| 9'-10"                | L 6"x4"x3/8"          | L 5"x5"x1/2"      |
- STEEL LINTELS SHOWN IN ABOVE CHART SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 6" LENGTH OF BEARING AT END SUPPORTS.
- DO NOT SCALE DRAWINGS
- UNIQUE DESIGNS INC.
- FOUNDATION PLAN
- STORAGE BUILDING
- M. DELSORDO  
RESIDENCE
- 91 CENTENNIAL PKWY S.  
HAMILTON, ONT.
- Drawn By
- Scale
- 1/4"=1'-0"
- Date:
- 01.28.22
- Job Number
- 011022
- A2
- |   |           |
|---|-----------|
| The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. |           |
| QUALIFICATION INFORMATION   |           |
| Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code  |           |
| MAURO FORTUNATO   | 15084     |
| Name  | Signature |
| REGISTRATION INFORMATION  |           |
| Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code  |           |
| UNIQUE DESIGNS INC.   |           |
| Firm Name   | BCIN      |



GENERAL NOTES

ALL CONSTRUCTION TO MEET OR EXCEED ONTARIO BUILDING CODE LATEST ADDITION (2012)

SITE VERIFY WHEN ADDING ON TO OR REMOVING FROM AN EXISTING BUILDING THAT ALL EXISTING OR NEW STRUCTURAL COMPONENTS ARE CAPABLE OF WITHSTANDING THE STRUCURAL LOADS IMPOSED, AND REPORT ANY DISCREPANCIES AND/OR DICIENCIES TO THE DESIGNER.

ENSURE THAT ALL CONSTRUCTION, MATERIALS, METHODS OF INSTALLATION, AND BRACING COMPLY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. MAKE GOOD ALL DISTURBED OR DAMAGED DURING CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT. REPORT ANY CONTEMPLATED DEVIATIONS FROM THE APPROVED DRAWINGS OR SPECIFICATIONS TO THE DESIGNER PRIOR TO MAKING ANY CHANGES. PROVIDE CUTTING, PATCHING AND REMEDIAL WORK IN ORDER TO ENSURE PARTS OF THE WORK COME TOGETHER PROPERLY. TEMPORARY BRACING TO BE USED WHEREVER NECESSARY TO WITHSTAND ALL LOADS DURING ERECTION AND SUBSEQUANT CONSTRUCTION.

CONCRETE FOOTINGS, FOUNDATION WALLS & SLABS

CONCRETE FOOTINGS TO REST ON UNDISTURBED SOIL CAPABLE OF SUSSTAINING A LOAD OF 2000 LBS. PER SQUARE FOOT MINIMUM 4'-0" BELOW GRADE. FOOTINGS TO CONFORM TO O.B.C. SECTION 9.15.

STEPPED FOOTINGS MAX. 2'-0" HORIZONTAL AND VERTICAL STEP 2/3 HORIZONTAL STEP TO MAX. 5'-0".

FOUNDATION WALLS TO BE MIN. 10" THICK UNLESS OTHERWISE NOTED.

ALL FOUNDATION WALLS TO EXTEND MIN. 6" ABOVE GRADE.

HABITABLE ROOMS ON CONCRETE SLABS TO BE DAMPROOFED WITH 6 MIL POLY VAPOUR BARRIER.

STEEL COLUMNS

STEEL COLUMN PLATES TO BE ANCHORED TO FOOTING WITH MIN. TWO 1/2" DIA. BOLTS MIN. 4" INTO FOOTING.

STEEL COLUMN PLATES TO BE CONECTED TO STEEL BEAMS WITH MIN. TWO 1/2" DIA. BOLTS, OR WELD PLATES TO BEAM FLANGES.

STEEL COLUMNS TO BE MINIMUM 3 1/2" OUTSIDE DIAMETER AND 3/16" WALL THICKNESS. STEEL COLUMNS SHALL BE TREATED WITH AT LEAST ONE COAT RUST INHIBITIVE PAINT.

WOOD FRAMING

ALL FRAMMING LUMBER TO O.B.C. STANDARDS. ALL FRAMING LUMBER INDICATED ON DRAWINGS TO BE S.P.F. No.2 UNLESS OTHERWISE SPECIFIED.

BEAMS TO HAVE MIN. BEARING OF 3 1/2". LATERAL SUPPORT - WALLS SUPPORTING JOISTS, ANCHOR SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS MAX. 7'-10" O.C. EMBEDDED 4" INTO MASONRY OR ANCHORED EVERY 4TH JOIST NOT RESTING ON A PLATE WITH 3/16"x 1 1/2" STEEL JOIST ANCHORS.

LATERAL SUPPORT - WALLS PARALLEL TO JOISTS, BEND 3/16"x1 1/2" STEEL STRAP 3" INTO MASONRY AND FIX TO 3 PARALLEL JOISTS OR FIX SILL PLATE TO 3 RIGIDLY CONNECTED FLOOR JOISTS AT 7'-10" MAX. ALL JOISTS TO HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS. MIN. SILL PLATE 2"x6".

SILL PLATES ANCHORS TO BE MIN. 1/2" DIA. BOLTS EMBEDDED 4' INTO FOUNDATION WALLS.

SPACE FLOOR JOISTS AT 12" O.C. FOR CANTILEVERS.

MIN. 1 1/2" END BEARING REQUIRED FOR FLOOR JOISTS, CEILING JOISTS, ROOF JOISTS AND RAFTERS.

PROVIDE METAL JOIST HANGERS FOR SUPPORT OF JOISTS FRAMING INTO SIDES OF WOOD BEAMS, HEADER AND TRIMMER JOISTS WHEN REQUIRED.

PRE-MANUFACTURED WOOD FRAMING

- ALL FRAMING MATERIALS AND METHODS FOR PRE-MANUFACTURED WOOD CONSTRUCTION (WOOD "I" FLOOR JOISTS) ARE TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECIFICATIONS.
- PRE-MANUFACTURED WOOD SUPPLIER SHALL SUBMIT SHOP DRAWINGS SHOWING LOCATION, LOADING, ALLOWABLE AND ACTUAL DESIGN STRESSES, DEFLECTION LIMITATIONS, TEMPORARY AND PERMANENT BRACINGS, CONNECTION AND BEARING DETAILS AND SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO.
- SHOP DRWINGS ARE TO BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

GLUE LAMINATED WOOD BEAMS

- ALL FRAMING MATERIALS AND METHODS FOR GLUE LAMINATED WOOD BEAMS TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECIFICATIONS.
- ALL BEAM TO BEAM, AND BEAM TO COLUMN CONNECTIONS SHALL BE MIN. 1/4" METAL PLATE CONNECTIONS C/W MIN. 2 - 5/8" DIA. THROUGH BOLTS AT EACH MEMBER BEING CONNECTED.
- ALL EXPOSED CONNECTIONS INCLUDING BOLTS MUST BE COATED TO RESIST CORROSION.
- SUBSTITUTION OF BEAMS FOR DIFFERENT SIZES OR MATERIALS MUST BE APPROVED BY THE DESIGNER PRIOR TO INSTALLATION.
- BEAM SUPPLIER SHALL SUBMIT SHOP DRAWINGS AND ENGINEERING CALCULATIONS FOR BEAMS SHOWN ON DRAWINGS OR FOR SUBSTITUTIONS BEING PROPOSED AND SHALL BEAR THE SEAL OF PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. SHOP DRAWING MUST BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

MASONRY VENEER WALLS

- MIN. 3 5/8" THICKNESS UP TO 24'-0" MAX. HEIGHT.
- MASONRY TIES TO BE GALVENIZED, CORROSION RESISTANT CORRUGATED 22ga., 7/8" WIDE SPACED 16" O.C. HORIZONTALLY, AND 24" O.C. VERTICALLY NAILED TO STUDS THROUGH THE SHEATHING.
- PROVIDE 1" AIR SPACE BETWEEN VENEER AND WALL SHEATHING.
- MAX. CORBEL OVER FOUNDATION WALL 1/2".

ROOF CONSTRUCTION

- ALL ROOF TRUSSES MUST BE DESIGNED AND FABRICATED IN ACCORDANCE WITH O.B.C./ N.B.C. PART 4.
- TRUSS SUPPLIER SHALL SUPPLY ALL NECESSARY PLANS INCLUDING PLACING DRAWING SHOWING LOCATION, LOADING, ALLOWABLE STRESSES, TEMPORARY AND PERMANENT BRACINGS AND SHALL BEAR THE SEAL OF PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. TRUSS DRAWINGS MUST BE SUBMITTED TO THE DESIGNER & THE CHIEF BUILDING OFFICIAL FOR APPROVAL AND TO VERIFY ALL BEAM AND LINTEL SIZES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- HIP AND VALLEY RAFTERS TO BE 2" DEEPER THAN COMMON RAFTERS.
- ROOF EDGE SUPPORTS TO BE MIN. 2"x2" BLOCKING.
- PROVIDE 1"x4" CONTINUOUS TRUSS BRIDGING AT 7'-0" O.C. MAXIMUM.
- PROVIDE 2"x4" WALL TIES ACROSS JOINTS OR BOTTOM TRUSS CORDS AT MIN. 4'-0" O.C. FOR ROOF SLOPES 4/12 OR GREATER.

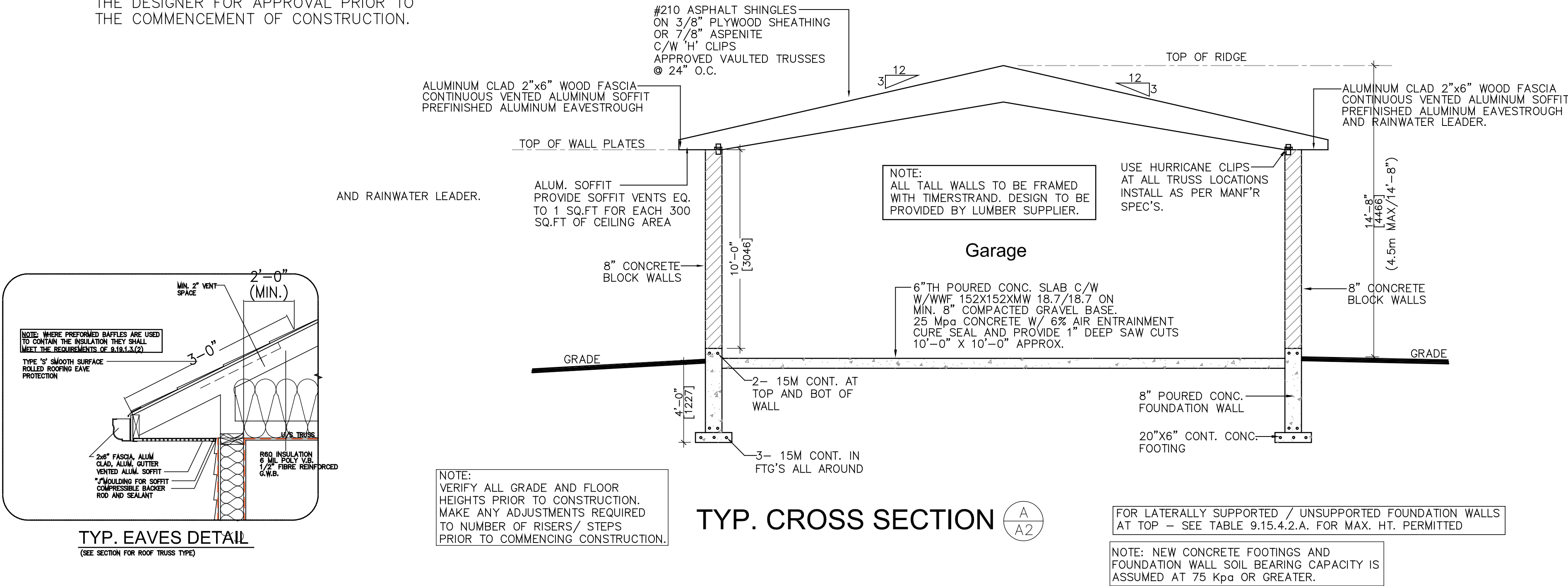
FLASHING

- FLASHING IS REQUIRED UNDER ALL JOINTED SILLS AND OVERHEADS OF WINDOWS AND DOORS IN EXTERIOR WALLS IF DISTANCE BELOW EAVE IS MORE THAN 1/4 OF THE ROOF OVERHANG.
- CHIMNEY FLASHING IS REQUIRED AT INTERSECTION WITH ROOF. FLASH OVER A CHIMNEY SADDLE WHEN WIDTH OF CHIMNEY EXCEEDS 1'-6".
- FLASHING REQUIRED AT INTERSECTION OF ROOFS AND WALL, VALLEYS, AND OVER PARAPET WALLS.
- FLASHING BETWEEN ROOF SHINGLES AND WALL SIDING TO BE 20ga. GALV. METAL AND TO EXTEND 3" VERTICALLY & HORIZONTALLY.

HEATING

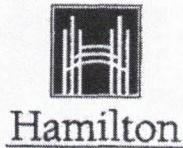
- HEATING DESIGN HAS BEEN LOCATED AS A SUGGESTED GUIDE ONLY. INSTALLATION AND DESIGN IS TO BE AS PER THE ONTARIO BUILDING CODE, PART 6. HEATING PLANS AND HEAT LOSS/HEAT GAIN CALCULATIONS ARE TO BE SUBMITTED TO THE LOCAL BUILDING OFFICIAL AND THE DESIGNER FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

9.19.1.2. Vent Requirements  
(1) Except as provided in Sentence (2), the unobstructed vent area shall be not less than 1/300 of the insulated ceiling area.  
(2) Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.









Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

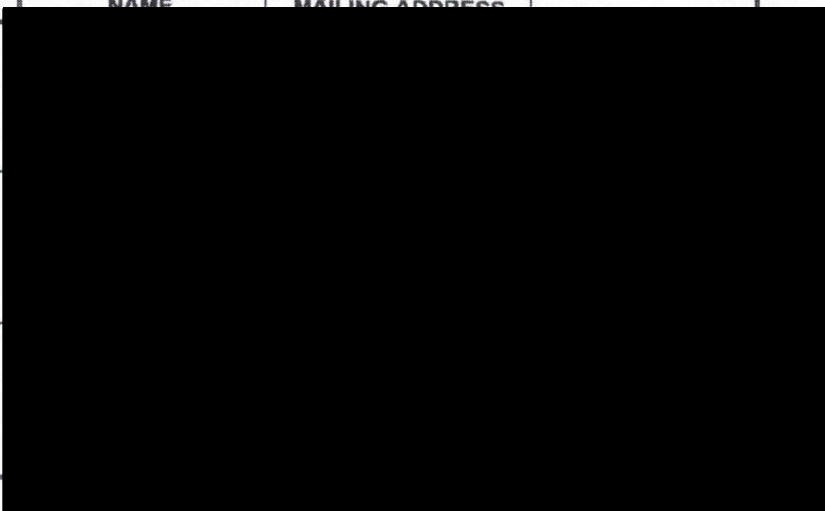
PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

	NAME	MAILING ADDRESS
1, 2 Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
TD Canada Trust, \$300,000 line of credit



Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:  
variance for height to build a 4 car garage with a motor home garage,

☒ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?  
height restrictions

*Height restrictions to 15'  
and I require 17'*

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):  
91 Centennial Parkway South, Stoney Creek, On. L8G 2C7

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☒

Other *existing triplex adding garage to vacant land at the rear of the property*

- 8.1 If Industrial or Commercial, specify use *N/A*
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes ☐ No ☒ Unknown ☐



8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐

No ☒

Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?  
spoke with city hall back in 2011 and 2012 when i purchased the property

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

FEB 15, 2020  
Date

[Signature]  
Signature, Property Owner(s)

Marina DeSordo  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 95'

Depth 189'

Area under 1/2 acre

Width of street 40'

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: vacant land

see sketch attached for proposed garage/storage shed.

Proposed

4 car garage - 30' deep and 69' wide - vaulted ceiling, 1 story 18' high, attached motor home garage is 20' wide and 40' deep - 1 story 24' high - flat ceiling

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: vacant land

see sketch attached.

Proposed:

3' on both sides and rear of new garage



13. Date of acquisition of subject lands:  
August 27, 2011
14. Date of construction of all buildings and structures on subject lands:  
original house built in 1945, in 1975 Ted Pauls purchased the lands and converted
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
triplex
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
retirement home on the southside, St David's school in the rear and residential ar
17. Length of time the existing uses of the subject property have continued:  
converted to triplex in 1975
18. Municipal services available: (check the appropriate space or spaces)  
Water yes Connected yes  
Sanitary Sewer yes Connected yes  
Storm Sewers yes
19. Present Official Plan/Secondary Plan provisions applying to the land:  
City of Stoney Creek
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
height restrictions
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)  
☒ Yes ☐ No  
If yes, please provide the file number:  
Application No SC/A-11:286
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
☐ Yes ☒ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
☐ Yes ☒ No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.