

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	HM/A-22:205	SUBJECT PROPERTY:	95 CHEDOKE AVENUE, HAMILTON
ZONE:	"C" (Urban Protected Residential)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended Click or tap here to enter text.

APPLICANTS: Owners J. Hunter & B. Connolly
Agent Team Shane – L. Sayegh

The following variances are requested:

1. A northly side yard width of 0.4m shall be provided instead of the minimum required 1.2m side yard width.
2. One (1) parking space shall be provided instead of the minimum required two (2) parking spaces.

PURPOSE & EFFECT: To permit the construction of a two-storey addition in the rear yard of the existing single-family dwelling.

Notes:

- i. Please be advised the variance to permit a reduced side yard width of 0.4 metres has been written as requested by the applicant based on the drawings provided the proposed addition is 0.7 metres from the northly side lot line.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, July 28, 2022
TIME:	3:10 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Email Committee of Adjustment staff at cofa@hamilton.ca
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually.



 Subject Lands

DATED: July 12, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

RENOVATION TO: HUNTER

95 CHEDOKE AVENUE Hamilton ON L8P 4P2

GENERAL NOTES

1. O.B.C. TO BE UNDERSTOOD AS ONTARIO BUILDING CODE 2012 LATEST EDITION AND AMENDMENTS.
2. ALL STAGES OF CONSTRUCTION SHALL CONFORM WITH O.B.C.
3. DO NOT SCALE DRAWINGS.
4. CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER.
5. ALL WALL & CEILINGS BETWEEN DWELLING UNIT AND GARAGE ARE TO BE GAS PROOFED AND INSULATED TO ENERGY EFFICIENCY SUMMARY.
6. SEE ELEVATIONS AND FLOOR PLANS FOR WALL AND CEILING HEIGHTS. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER.
7. WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE SEPARATED WITH MINIMUM 2 MIL POLY UNLESS OTHERWISE NOTED ON DRAWINGS.
8. UNDERCUT ALL DOORS TO ROOMS WITHOUT RETURN AIR INLETS.
9. SMOKE AND CO DETECTORS TO BE LOCATED AT EACH LEVEL. SMOKE ALARMS LOCATED IN EACH BEDROOM AND ARE TO BE INTERCONNECTED.
10. ALL LIGHTING AND ELECTRICAL AS PER O.B.C. 9.34.
11. PROVIDE SUMP PIT AND SEALED PIT COVER FOR DRAINAGE AS PER O.B.C. 9.14.
12. ATTIC ACCESS TO BE INSULATED MIN. R20 AND WEATHER STRIPPED.
13. WHERE CERAMIC FLOORING IS INSTALLED THE SUB-FLOOR SHALL BE REINFORCED AS PER O.B.C. 9.30.6.3.
14. HVAC DRAWINGS TO BE DESIGNED BY OTHERS AS PER O.B.C. DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING PRIOR TO FINALIZED WORKING DRAWINGS. DRAWINGS NOT FOR APPROVAL, JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
15. HRV / ERV TO BE BALANCE POST CONSTRUCTION.
16. PROVIDE MIN. 6'-5" HEADROOM BELOW ALL BEAMS & DUCTWORK.
17. ALL EXHAUST FANS TO BE VENTED TO EXTERIOR.
18. VENTED RANGE HOODS TO BE VENTED TO EXTERIOR WITH NON-COMBUSTIBLE DUCTING.

MASONRY

1. ALL FLASHING TO CONFORM TO O.B.C. 9.20.13.
2. ALL BRICK OR STONE SILLS TO BE FLASHED IN ACCORDANCE WITH THE O.B.C.
3. ALL STEEL LINTELS FOR MASONRY TO HAVE MINIMUM 6" BEARING EACH END AND SUPPORTED BACK TO FOUNDATION.

DESIGNER

1. REGISTRATION: NAME OF REGISTRATION FIRM TBOUMA DESIGN INC. REGISTRATION NUMBER ASSIGNED BY DIRECTOR 104857.
2. CONTRACTOR IS TO OBTAIN QUALIFIED DESIGNERS FOR ALL ENGINEERED STRUCTURAL MEMBERS AND SYSTEMS WHERE INDICATED DESIGNED BY OTHERS ON DRAWINGS.
3. DESIGNER ASSUMES NO RESPONSIBILITY FOR FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DRAWINGS.
4. SINGLE PAGES OF THESE DRAWINGS NOT TO BE READ INDEPENDENTLY OF ALL PAGES OF THE WHOLE DRAWING SET.
5. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORKING DRAWING SET. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK.
6. ANY MODIFICATIONS TO THE DESIGN SHALL NOT BE MADE WITHOUT AGREEMENT BETWEEN DESIGNER AND CONTRACTOR. DOCUMENTATION SHALL BE THE ONLY FORM OF ACCEPTANCE.
7. WHEN DRAWINGS ARE TO BE MODIFIED OR CHANGES ARE TO BE MADE, THE BUILDING DEPARTMENT WILL BE NOTIFIED FOR PURPOSE OF REVIEW PRIOR TO CONSTRUCTION.
8. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR OR SUB-CONTRACTOR PROCEED IF THERE IS ANY UNCERTAINTY. DESIGNER SHALL BE CONTACTED.
9. THE DRAWINGS THAT ARE APPROVED AND STAMPED BY THE BUILDING DEPARTMENT ARE TO BE THE ONLY TRUE DRAWINGS AND ARE TO BE ACCESSIBLE TO ALL CONTRACTORS AND SUB-CONTRACTORS AT ALL TIMES WITHIN THE JOB SITE TILL ALL WORK IS COMPLETED.

STAIRS

1. ALL STAIR COMPONENTS TO CONFORM TO O.B.C. STANDARDS.
2. STAIRS:
 - MAX RISE = 7 7/8"
 - MIN RISE = 4 7/8"
 - MIN RUN = 8 1/4"
 - MIN TREAD = 9 1/4"
 - MIN NOSING = 1"
 - MIN HEADROOM = 6'-5"
 - MIN WIDTH = 2'-10"
 - UNIFORM RISE / RUN
3. HANDRAILS:
 - MIN HEIGHT = 34"
 - MAX HEIGHT = 38"
4. GUARDS:
 - MIN HEIGHT = 36"
 - 4" MAXIMUM OPENINGS
 - NON-CLIMBABLE
5. EXTERIOR GUARDS:
 - 2'-0" TO 5'-11" ABOVE FINISHED GRADE
 - MINIMUM HEIGHT = 36"
 - OVER 5'-11" ABOVE GRADE
 - MINIMUM HEIGHT = 42"
6. ALL GUARDS TO BE CONSTRUCTED TO O.B.C. 9.8.8.

DOORS AND WINDOWS

1. ALL EXTERIOR DOORS TO BE METAL INSULATED OR WOOD WITH STORM DOOR WITH WEATHER STRIPPING.
2. DOOR BETWEEN GARAGE AND DWELLING TO BE WEATHER STRIPPED AND GAS TIGHT EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE.
3. DOOR AT COLD STORAGE TO BE EXTERIOR TYPE DOOR.
4. ALL WINDOWS AND DOORS AS PER ENERGY EFFICIENCY DESIGN SUMMARY OR ATTACHED BOP BY OTHERS.
5. ALL EXTERIOR DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS. O.B.C. 9.7.5.2. AND 9.7.6.
6. FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPERABLE WINDOW WITH A MINIMUM UNOBSTRUCTED OPEN AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15".
7. MAIN ENTRANCE DOORS TO HAVE DOOR VIEWER UNLESS TRANSPARENT GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT.
8. UNDERCUT ALL DOORS TO ROOMS WITHOUT RETURN AIR INLET.
9. WINDOW VALUES REFER TO FLOOR PLAN EFFICIENCY SUMMARY.

STRUCTURAL

1. ALL LUMBER TO COMPLY WITH O.B.C. SPECIFICATIONS AND STANDARDS.
2. ALL STRUCTURAL LUMBER TO BE OF SPRUCE #2 OR BETTER.
3. ALL PRE-ENGINEERED FLOOR AND ROOF TRUSS DESIGN AND LAYOUT TO BE DESIGNED BY OTHERS AND CONFORM TO O.B.C. SPECIFICATIONS. ALL DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING, NOT FOR APPROVAL, JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
4. AS NOTED ON DRAWINGS STUDS TO BE USED AS BEARING POINTS WHERE IT IS APPLICABLE.
5. ALL BEAMS TO HAVE MINIMUM 3 1/2" BEARING AT BOTH ENDS BEARING TO BE CONTINUOUS TO FOUNDATION.
6. DOUBLE JOISTS AROUND STAIRWELL UNLESS OTHERWISE NOTED BY PRE-ENGINEERED FLOOR DESIGNER.

FOUNDATION

1. CONTRACTOR TO VERIFY SOIL CONDITIONS PRIOR TO PLACING OF FOOTINGS. ANY ABNORMALITIES TO BE REPORTED TO DESIGNER.
2. STEP FOOTINGS TO BE DESIGNED AS PER O.B.C. 9.15.3.9.
 - MAX RISE SHALL NOT EXCEED 23 5/8"
 - MIN RUN SHALL NOT BE LESS THAN 23 5/8"
3. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL MIN. 4'-0" BELOW FINISHED GRADE AND MIN. BEARING CAPACITY OF 75 KPa.
4. WALL HEIGHTS AND THICKNESS TO CONFORM TO O.B.C. 9.15.4.



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
6		
7		
8		
9		
10		

DRAWING:
TITLE SHEET / GENERAL
INFO

PROJECT:

HUNTER

PROJECT ADDRESS:

95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:
AS NOTED

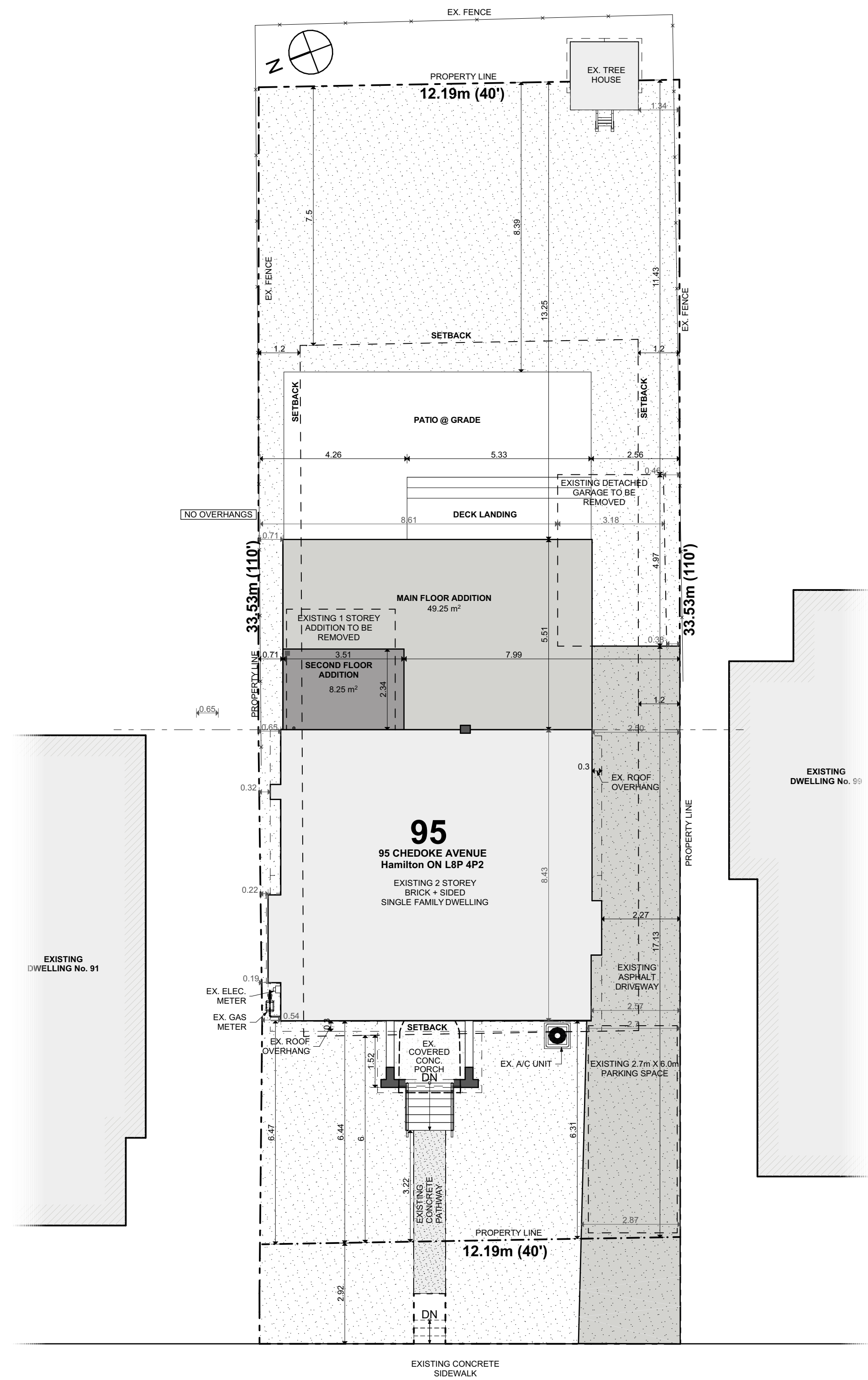
PROJECT NO:

DRAWING NO:

A0.01

1 SITE PLAN

SCALE: 1:100



C H E D O K E A V E N U E

SITE PLAN LEGEND	
	EXISTING DWELLING
	NEW ADDITIONS
	COVERED PORCHES
	DECK / PATIO
	LANDSCAPE AREA
	HARDSCAPE AREA
	DRIVEWAY
	MUNICIPAL SETBACKS
	PROPERTY LINE
	EXISTING TO BE REMOVED
	HOUSE FOOTPRINT

SITE INFORMATION		Zoning Information taken on: 2022.01.30		
ADDRESS: 95 CHEDOKE AVENUE		Postal Code: L8P 4P2		
MUNICIPALITY: HAMILTON		Bylaw #: --		
ZONING CODE: C		Site Specific Bylaw: --		
MINOR VARIANCE #: --				
LOT INFO		Allowable	Existing	Proposed
LOT AREA (m²)		360	408	SAME
LOT FRONTAGE		12	12.19	SAME
LOT WIDTH (m)		n/a	12.19	SAME
LOT DEPTH (m)		n/a	33.53	SAME
				296.91m²
HOUSE INFO		Allowable	Existing	Proposed
GROSS FLOOR AREA (m²)		n/a	228.6m²	
Gross floor area calculations:				
Basement area			816sf / 75.8m²	1079sf / 100.24m²
Main floor area			944sf / 87.7m²	1358sf / 126.16m²
Second floor area:			202sf / 18.7m²	228sf / 21.21m²
Total			2461sf / 228.6m²	3196sf / 296.91m²
Notes:				
Area of all floors excluding the following:				
1. 100sf for laundry if possible				
2. 70sf for mechanical if possible				
3. Attic spaces				
4. Any area that is uninhabitable				
GROUND FLOOR AREA (m²)		n/a	87.7	126.16
COVERAGE (%)		n/a	26.6%	31%
Includes:				
Accessory structures over 10m g/s, all buildings measured to the outside of the walls, including cardboard four space and window projections				
Excludes:				
Garages, porches, decks, accessory structure under 10m				
FLOOR AREA RATIO(%)		n/a	56%	72.69%
BUILDING HEIGHT (m)		11	7.5	6.9
Burlington ONLY		Sloped	n/a	n/a
		Flat	n/a	n/a
		Architectural Features	n/a	n/a
		Stones	2.5	2
		n/a	n/a	n/a
Max. hgt. from dig. to top of flat roof				
BUILDING DEPTH (m)		n/a	11.9	13.94
Definition: from building wall closest to front line to building wall closest to the rear lot line				
GARAGE PROJECTION (m)		n/a	n/a	n/a
Notes:				
As per by-law				
GARAGE WIDTH (m)		n/a	n/a	n/a
Notes:				
As per by-law				
LANDSCAPING		Allowable	Existing	Proposed
LANDSCAPE AREA (%)		50%	64.4%	SAME
STREET WIDTH (m)		n/a	7.6	SAME
DRIVEWAY WIDTH (m)		n/a	2.7	SAME
PARKING SPACES		1	1	2
Habitable Rooms:		8	6	9
Parking space sizing as follows: Hamilton: 2.7m x 6.0m, Burlington: 2.7m x 6.0m				
Parking Spaces Required is based on the amount of habitable rooms in Hamilton. (2) parking spaces are required for the first (8) habitable rooms. Every extra room requires an additional (0.5) parking space (rounding up always)				
SETBACKS		Allowable	Existing	Proposed
FRONT (m)		0	4.9	
REAR (m)		7.5	16.7	
RIGHT (m)		1.2	2.36	
LEFT (m)		1.2	0.54	0.6
CORNER (m)		4.5	n/a	
ENCROACHMENTS		Allowable	Existing	Proposed
ROOF PROJECTION (m)	Front & Rear	1.5	0.5	0
Overhang including gutter		1	0.5	0
ARCHITECTURAL FEATURES (m)	Side	n/a	n/a	n/a
BAY WINDOW (m)		n/a	n/a	n/a
PORCH - COVERED (m)		3	3	SAME
PORCH - OPEN (m)		0.5	n/a	n/a
DECK (m)		n/a	n/a	n/a
ACCESSORY BUILDINGS		Allowable	Existing	Proposed
SIZE (m²)		n/a	21m²	n/a
HEIGHT (m)		4	2.4	n/a
SIDE/REAR SETBACK (m)		0.45	0.15/12.81	n/a
COVERAGE (%)		n/a	5.1%	n/a
MAX # OF STRUCTURES		n/a	n/a	n/a
ZONING + PERMIT APPROVALS		Required?		
MINOR VARIANCE (Refer to above)		YES		
CONSERVATION AUTHORITY		NO		
Region: Hamilton		NO		
NIAGARA ESCARPMENT CONTROL		NO		
Notes:				
MINISTRY OF TRANSPORTATION ONTARIO		NO		
Proximity to major highways. Use online mapping to determine				
SITE PLAN CONTROL / EXEMPTION		NO		
Notes:				
ENVIRONMENTAL SITE ASSESSMENT		NO		
GREENBELT PROTECTED COUNTRYSIDE		NO		
HERITAGE		NO		
PARKWAY BELT		NO		
FEDERAL AIRPORT AUTHORITY		NO		
SEPTIC		NO		
SURVEY REQ'D?		NO		

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
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8		
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DRAWING:
SITE PLAN

PROJECT:
HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:

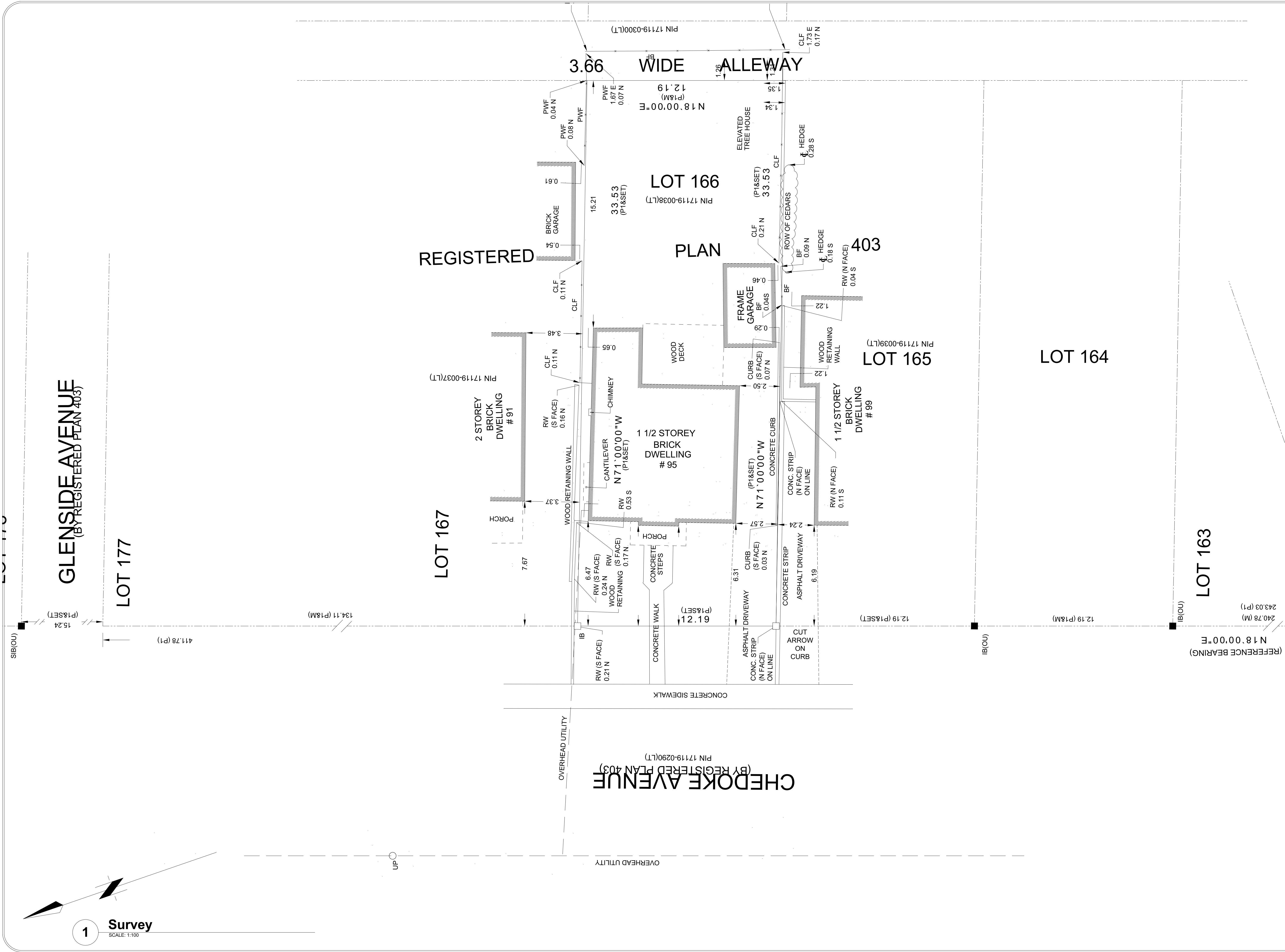
AS NOTED

PROJECT NO:

DRAWING NO:

SP0.01

Printed: 6/9/2022 @ 11:04 AM



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
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DRAWING:

SURVEY

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHODOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

SP0.02

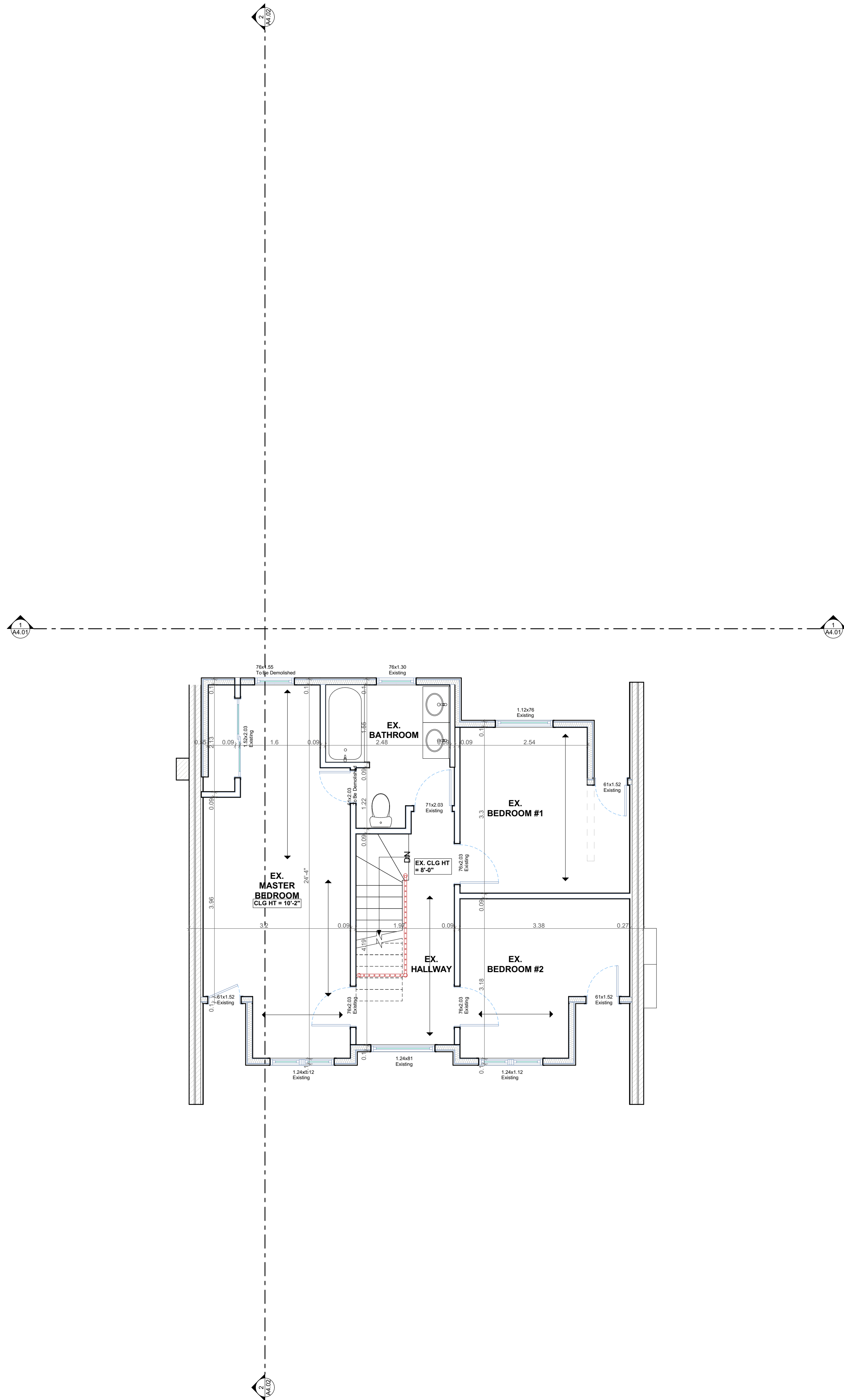
Printed: 6/9/2022 @ 11:04 AM



DATE: 6/9/2022		DRAWING NO: A1.01
SCALE: AS NOTED		
PROJECT NO: ----		

Printed: 6/8/2022 @ 11:04 AM





CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
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DRAWING:
EXISTING SECOND FLOOR
PLAN

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:

A1.03

Printed: 6/9/2022 @ 11:04 AM

ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE

GENERAL NOTES:

DESIGN AND LAYOUT OF ALL PRE-ENGINEERED STRUCTURAL MEMBERS FROM ROOF TRUSS SUPPLIER TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION

SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS (MIN. WIDTH EQUAL TO WIDTH OF BEARING POINT OVER) VERIFY WITH TRUSS DRAWINGS

TRUSS MEMBERS SHALL NEVER BE NOTCHED, DRILLED OR CUT UNLESS NOTCHING OR DRILLING HAS BEEN ACCOUNTED FOR IN THE DESIGN OF THE TRUSS

WHEN RENOVATING, INSULATION TO BE EQUAL TO OR GREATER THAN EXISTING

BEAM BEARING = MIN. 3-1/2"
LINTEL BEARING = MIN. 1-1/2"
RAFTER BEARING = MIN. 1-1/2"
JOISTS BEARING = MIN. 1-1/2"

CONTRACTOR TO CHECK AND VERIFY ALL SPECIFICATIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER (519) 339-1493

PROVIDE TEMPORARY BRACING/SHORING FOR ALL EXISTING FLOOR JOISTS & WALLS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS & FLOOR JOISTS AS REQ. (TYP.)

NOTE ABOUT MATCHING INSULATION IN OLDER HOMES

THE ENERGY EFFICIENCY OF EXISTING BUILDINGS SHALL COMPLY WITH PART 11 OF DIVISION B OF THE BUILDING CODE FOR RENOVATION, 95-12, 1.1.1.1. ENERGY EFFICIENCY

CONSTRUCTION MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF AN EXISTING BUILDING, BY THE REUSE, RELOCATION OR EXTENSION OF THE SAME OR SIMILAR MATERIALS OR COMPONENTS, TO RETAIN THE EXISTING CHARACTER, STRUCTURAL UNIQUENESS, HERITAGE VALUE, OR AESTHETIC APPEARANCE OF ALL OR PART OF THE BUILDING, IF THE CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING. 11.5.3.1. BASIC RENOVATION (SEE APPENDIX A)

WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIER IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)

SMOKE ALARMS

9.10.19
(1) Within dwelling units sufficient smoke alarms conforming to CANULS-531 shall be installed so that:

(a) There is at least one smoke alarm on each storey, including basements, and

(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed.

(i) in each sleeping room, and

(ii) in a location between the sleeping rooms and remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway

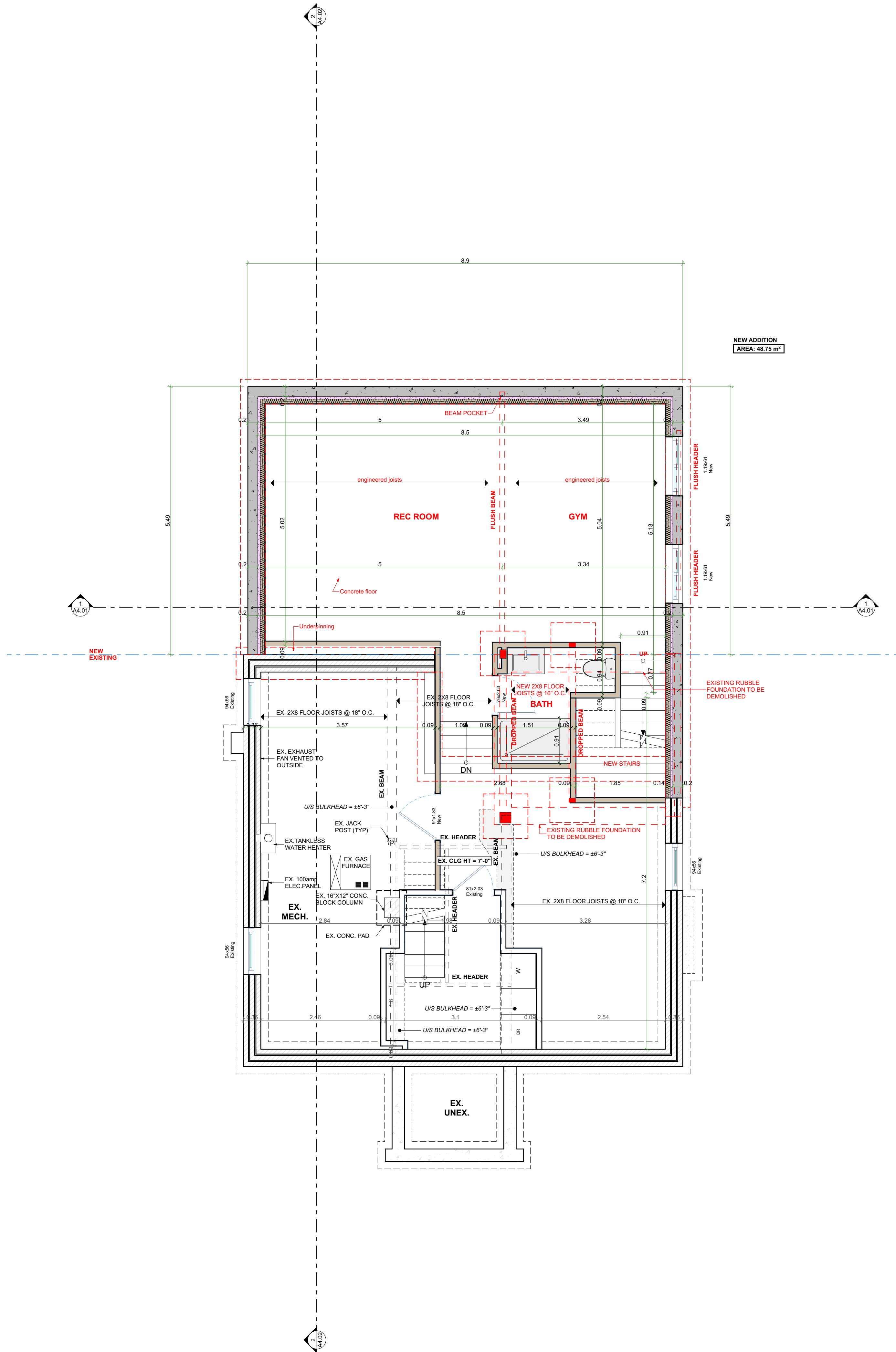
(2) Smoke alarms shall have a visual signalling component conforming to the requirements in 18.5.3. of NFPA 72. The visual signalling component need not be integrated with the smoke alarm provided it is interconnected to it.

Interconnect smoke alarms to be permanently connected and have a battery backup as per OBC 9.10.19.4

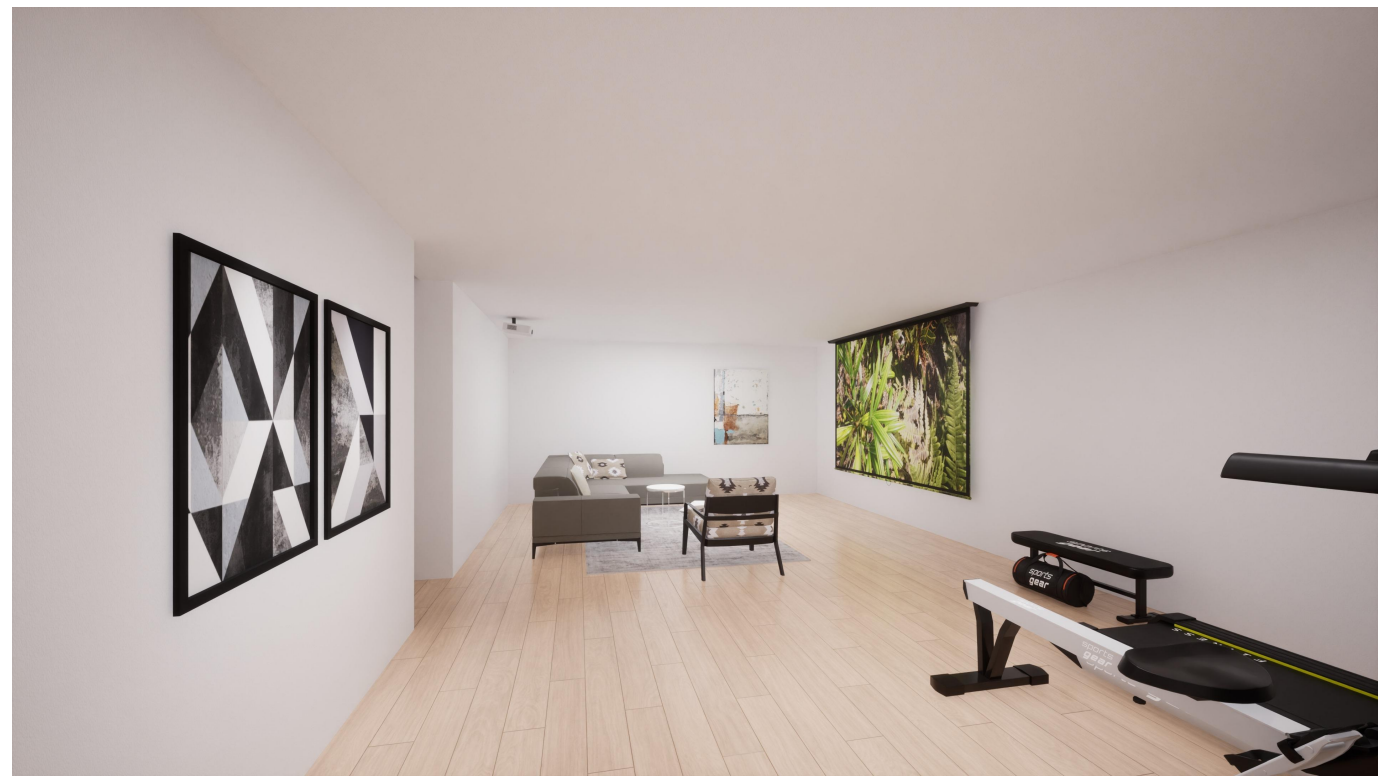
TABLE 3.1.1.21. (IP)

Thermal Performance Requirements for Additions to Existing Buildings	
ZONE 1	
CEILING WITH ATTIC SPACE	R50
CEILING WITHOUT ATTIC SPACE	R31
EXPOSED FLOOR	R19 + R5 c.i.
WALLS ABOVE GRADE	R20 c.i. or R12 + R10 c.i.
BASEMENT WALLS	R5
BELOW GRADE SLAB	R10
EDGE OF BELOW GRADE SLAB	R10
HEATED SLAB	0.28U
WINDOWS AND SLIDING GLASS DOORS	25
ENERGY RATING	

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34



Beam Schedule		
Size + Type	Length	General Description
DROPPED BEAM	124.00"	
DROPPED BEAM	116.50"	
DROPPED BEAM	116.50"	
DROPPED BEAM	121.50"	
DROPPED BEAM	128.50"	
FLUSH BEAM	210.78"	
FLUSH STEEL BEAM	211.50"	
FLUSH STEEL BEAM	133.25"	
FLUSH STEEL BEAM	144.25"	
FLUSH WOOD BEAM	81.25"	
FLUSH WOOD BEAM	198.87"	



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

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10		

DRAWING:
PROPOSED BASEMENT
PLAN

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A1.04

ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE

GENERAL NOTES:

DESIGN AND LAYOUT OF ALL PRE-ENGINEERED STRUCTURAL MEMBERS FROM ROOF TRUSS SUPPLIER TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION

SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS (MIN. WIDTH EQUAL TO WIDTH OF BEARING POINT OVER) VERIFY WITH TRUSS DRAWINGS

TRUSS MEMBERS SHALL NEVER BE NOTCHED, DRILLED OR CUT UNLESS NOTCHING OR DRILLING HAS BEEN ACCOUNTED FOR IN THE DESIGN OF THE TRUSS

WHEN RENOVATING, INSULATION TO BE EQUAL TO OR GREATER THAN EXISTING

BEAM BEARING = MIN. 3-1/2"
LINTEL BEARING = MIN. 1-1/2"
RAFTER BEARING = MIN. 1-1/2"
JOISTS BEARING = MIN. 1-1/2"

CONTRACTOR TO CHECK AND VERIFY ALL SPECIFICATIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER (519) 339-1493

PROVIDE TEMPORARY BRACING/SHORING FOR ALL EXISTING FLOOR JOISTS & WALLS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS & FLOOR JOISTS AS REQ. (TYP.)

NOTE ABOUT MATCHING INSULATION IN OLDER HOMES

THE ENERGY EFFICIENCY OF EXISTING BUILDINGS SHALL COMPLY WITH PART 11 OF DIVISION B OF THE BUILDING CODE FOR RENOVATION, SB-12, 1.1.1.1. ENERGY EFFICIENCY

CONSTRUCTION MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF AN EXISTING BUILDING, BY THE REUSE, RELOCATION OR EXTENSION OF THE SAME OR SIMILAR MATERIALS OR COMPONENTS, TO RETAIN THE EXISTING CHARACTER, STRUCTURAL UNIQUENESS, HERITAGE VALUE, OR AESTHETIC APPEARANCE OF ALL OR PART OF THE BUILDING, IF THE CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING. 11.5.3.1. BASIC RENOVATION (SEE APPENDIX A)

WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIER IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)

SMOKE ALARMS

9.10.19
(1) Within dwelling units sufficient smoke alarms conforming to CANULS-531 shall be installed so that:

(a) There is at least one smoke alarm on each storey, including basements, and

(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed.

(i) in each sleeping room, and

(ii) in a location between the sleeping rooms and remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway

(2) Smoke alarms shall have a visual signalling component conforming to the requirements in 18.5.3. of NFPA 72. The visual signalling component need not be integrated with the smoke alarm provided it is interconnected to it.

Interconnect smoke alarms to be permanently connected and have a battery backup as per OBC 9.10.19.4

TABLE 3.1.1.21. (IP)

Thermal Performance Requirements for Additions to Existing Buildings

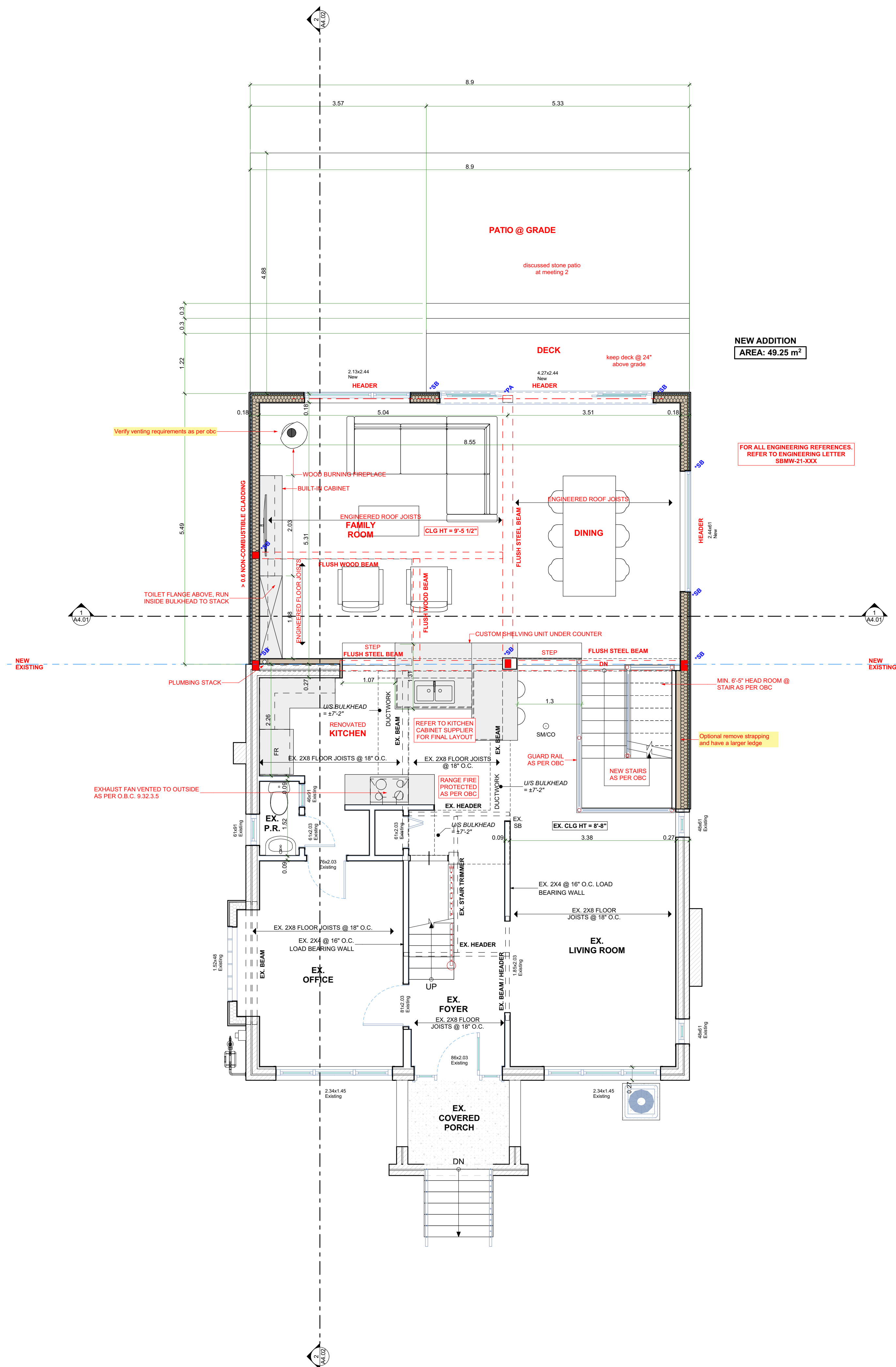
CEILING WITH ATTIC SPACE R50
CEILING WITHOUT ATTIC SPACE R31
EXPOSED FLOOR R19 + R5 c.i.
WALLS ABOVE GRADE R20 c.i. or R12 + R10 c.i.
BASEMENT WALLS R5
BELOW GRADE SLAB R10
EDGE OF BELOW GRADE SLAB R25U
HEATED SLAB R10
WINDOWS AND SLIDING GLASS DOORS 0.25U
ENERGY RATING 25

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34

1

PROPOSED MAIN FLOOR PLAN

SCALE: 1:50



Beam Schedule		
Size + Type	Length	General Description
DROPPED BEAM	124.00"	
DROPPED BEAM	116.50"	
DROPPED BEAM	116.50"	
DROPPED BEAM	121.50"	
DROPPED BEAM	128.50"	
FLUSH BEAM	210.78"	
FLUSH STEEL BEAM	211.50"	
FLUSH STEEL BEAM	133.25"	
FLUSH STEEL BEAM	144.25"	
FLUSH WOOD BEAM	81.25"	
FLUSH WOOD BEAM	198.87"	



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
6		
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8		
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10		

DRAWING:
PROPOSED MAIN FLOOR
PLAN

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A1.05

Printed: 6/9/2022 @ 11:04 AM

ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE

GENERAL NOTES:

DESIGN AND LAYOUT OF ALL PRE-ENGINEERED STRUCTURAL MEMBERS FROM ROOF TRUSS SUPPLIER TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION

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WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIER IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)

SMOKE ALARMS

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- (a) There is at least one smoke alarm on each storey, including basements, and
(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed.
(i) in each sleeping room, and
(ii) in a location between the sleeping rooms and remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway

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Interconnect smoke alarms to be permanently connected and have a battery backup as per OBC 9.10.19.4

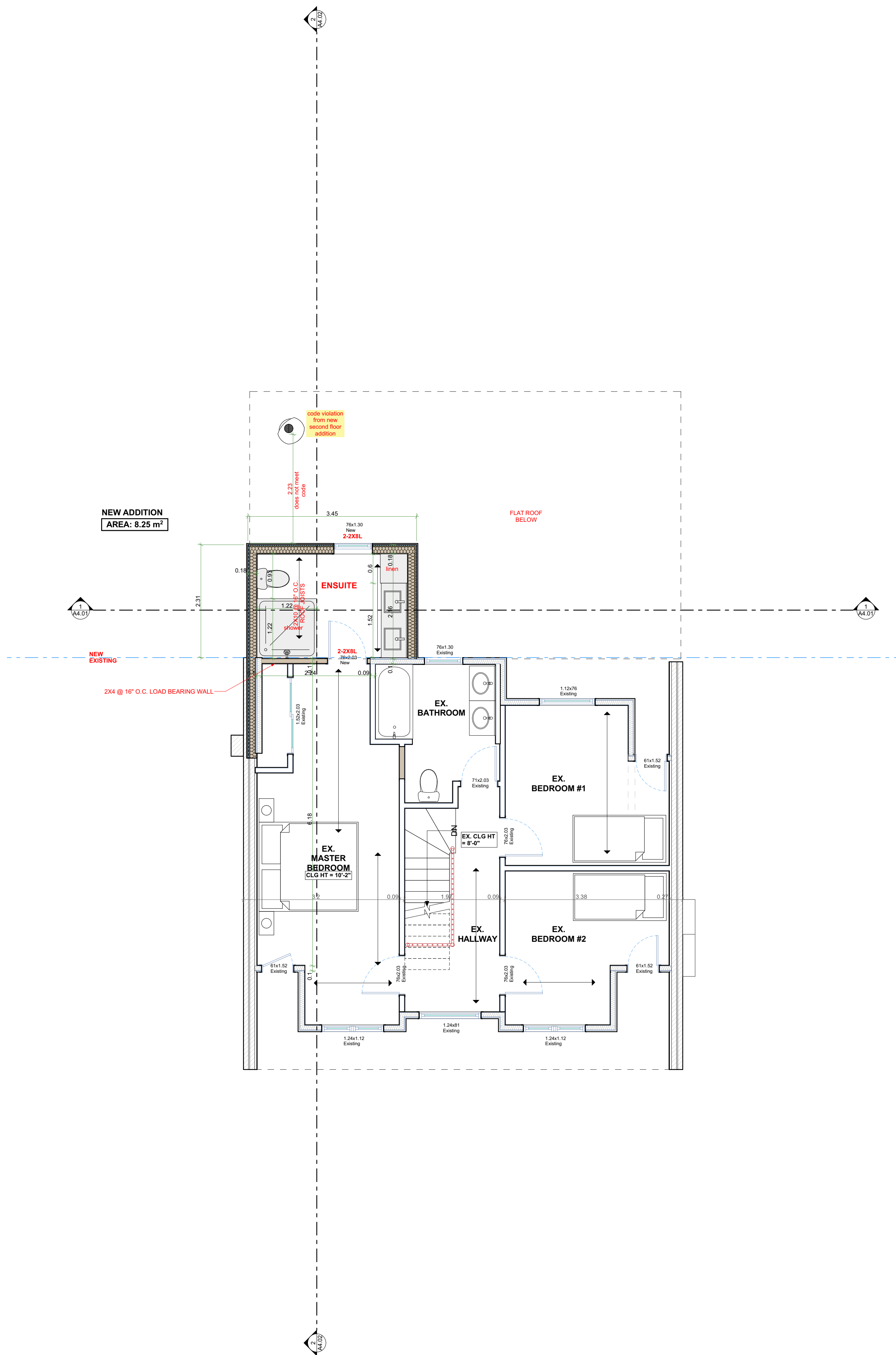
TABLE 3.1.1.21. (IP)

Thermal Performance Requirements for Additions to Existing Buildings

ZONE 1

CEILING WITH ATTIC SPACE	R50
CEILING WITHOUT ATTIC SPACE	R31
EXPOSED FLOOR	R19 + R5 c.i.
WALLS ABOVE GRADE	R20 c.i. or R12 + R10 c.i.
BASEMENT WALLS	R5
BELOW GRADE SLAB	R10
EDGE OF BELOW GRADE SLAB	R25U
HEATED SLAB	25
WINDOWS AND SLIDING GLASS DOORS	
ENERGY RATING	

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34



Beam Schedule		
Size x Type	Length	General Description
DROPPED BEAM	124.00"	
DROPPED BEAM	116.50"	
DROPPED BEAM	116.50"	
DROPPED BEAM	121.50"	
DROPPED BEAM	128.50"	
FLUSH BEAM	210.78"	
FLUSH STEEL BEAM	211.50"	
FLUSH STEEL BEAM	133.25"	
FLUSH STEEL BEAM	144.25"	
FLUSH WOOD BEAM	81.25"	
FLUSH WOOD BEAM	198.87"	

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
6		
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8		
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10		

DRAWING:
PROPOSED SECOND
FLOOR PLAN

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:

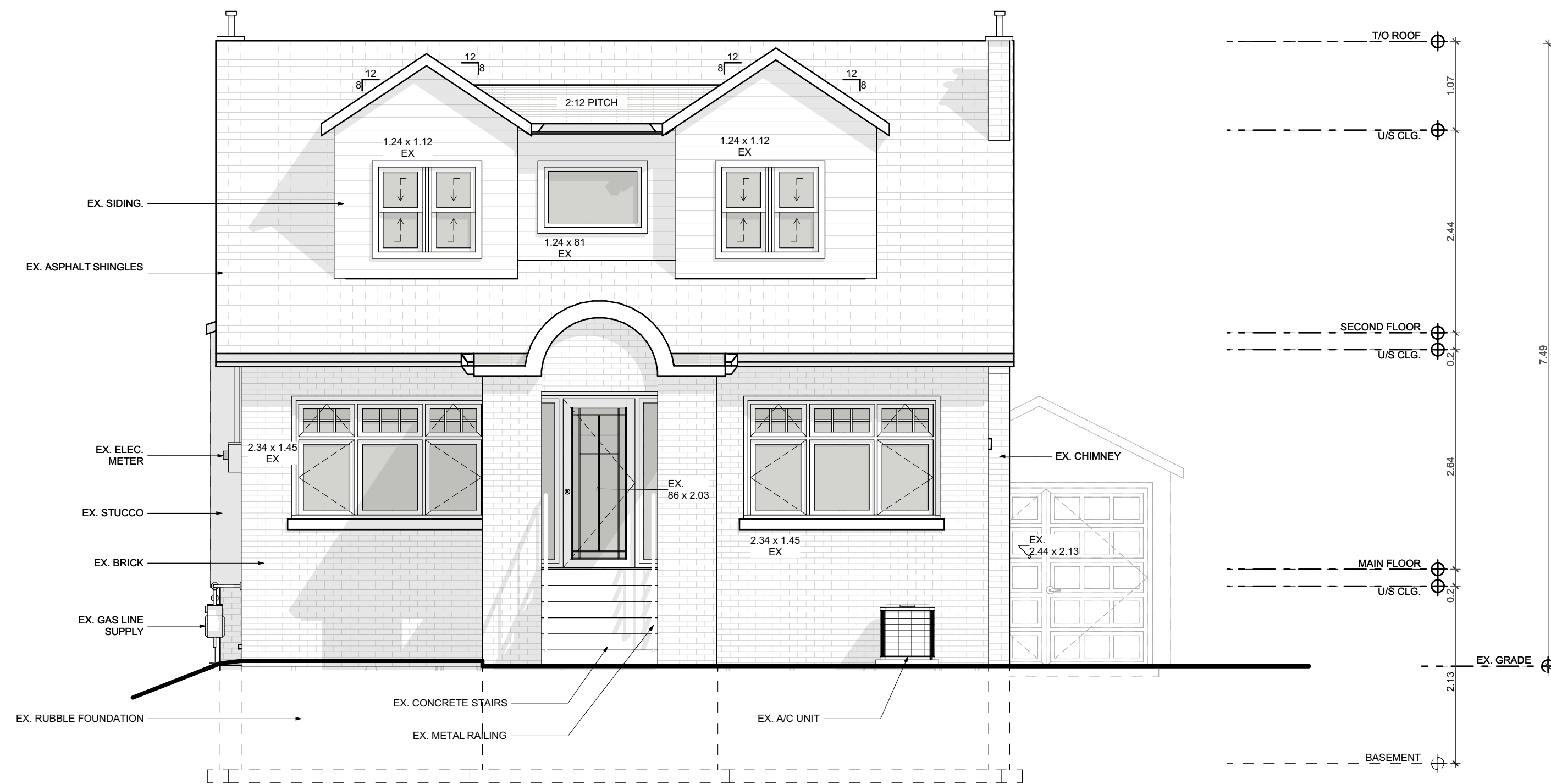
AS NOTED

PROJECT NO:

DRAWING NO:

A1.06

Printed: 6/9/2022 @ 11:04 AM



1

EXISTING FRONT ELEVATION

SCALE: 1/50

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
6		
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8		
9		
10		

DRAWING:
EXISTING FRONT
ELEVATION

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.01

Printed: 6/9/2022 @ 11:04 AM



**NOT FOR
CONSTRUCTION**

DRAWING:
EXISTING REAR ELEVATION

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

Printed: 6/8/2022 @ 11:04 AM

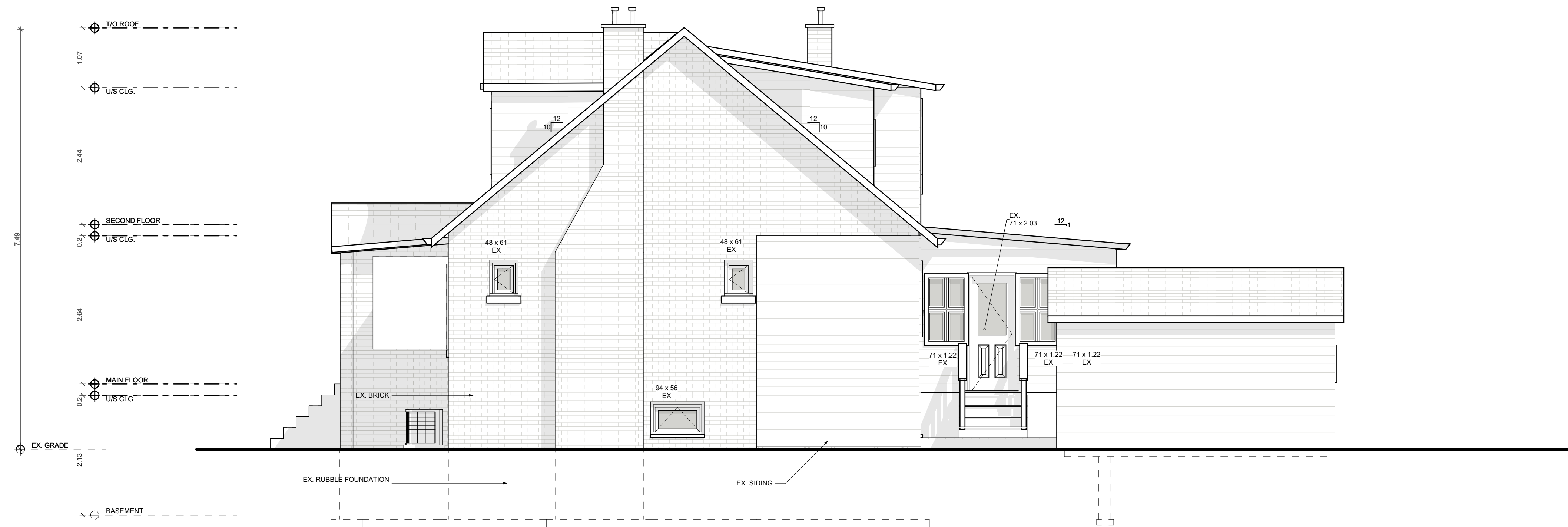


**NOT FOR
CONSTRUCTION**

DRAWING:
EXISTING LEFT ELEVATION

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

PROJECT NO: **A2.03**



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
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DRAWING:
EXISTING RIGHT
ELEVATION

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.04



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
6		
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8		
9		
10		

DRAWING:
PROPOSED FRONT
ELEVATION

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

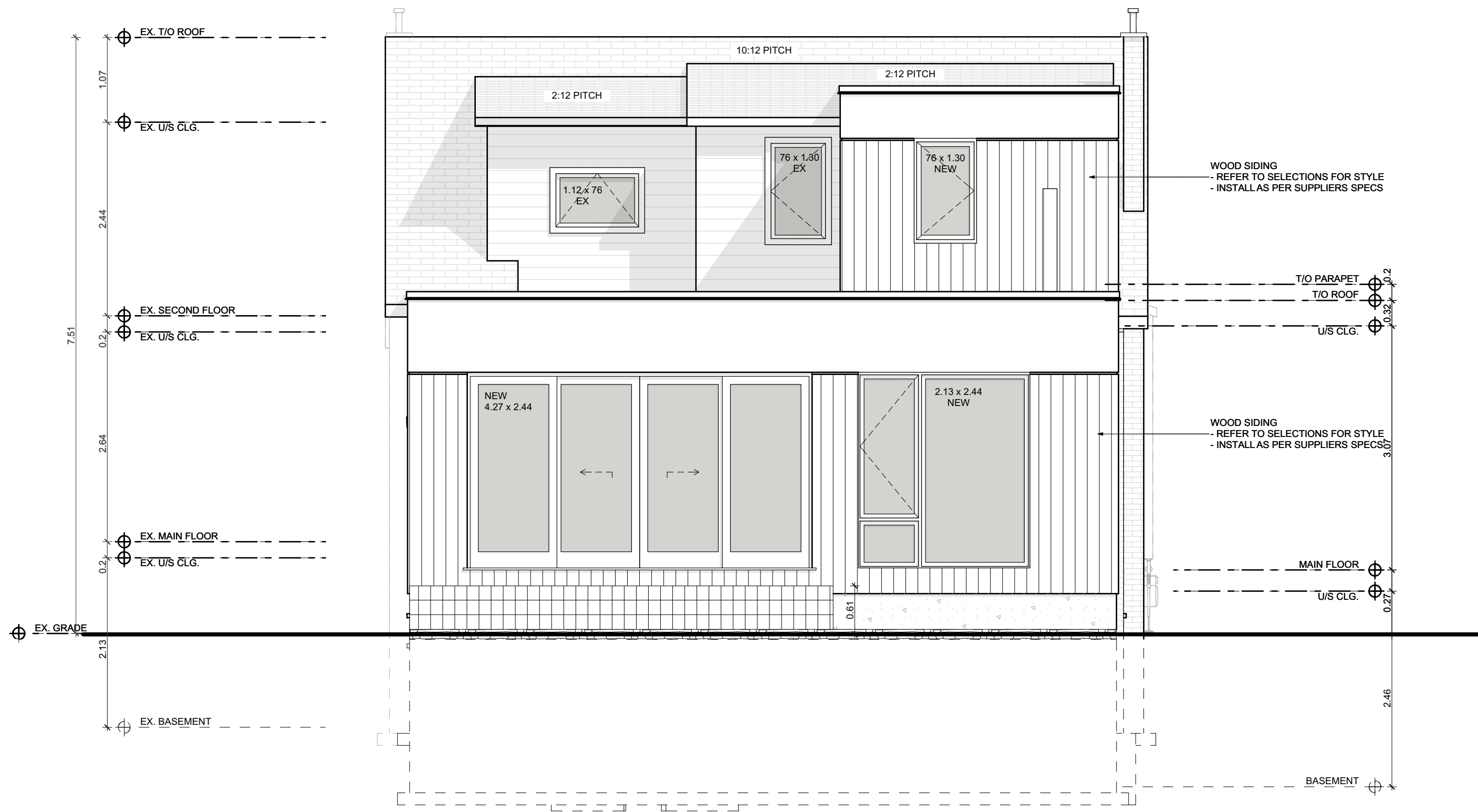
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.05



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
6		
7		
8		
9		
10		

DRAWING:
PROPOSED REAR
ELEVATION

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

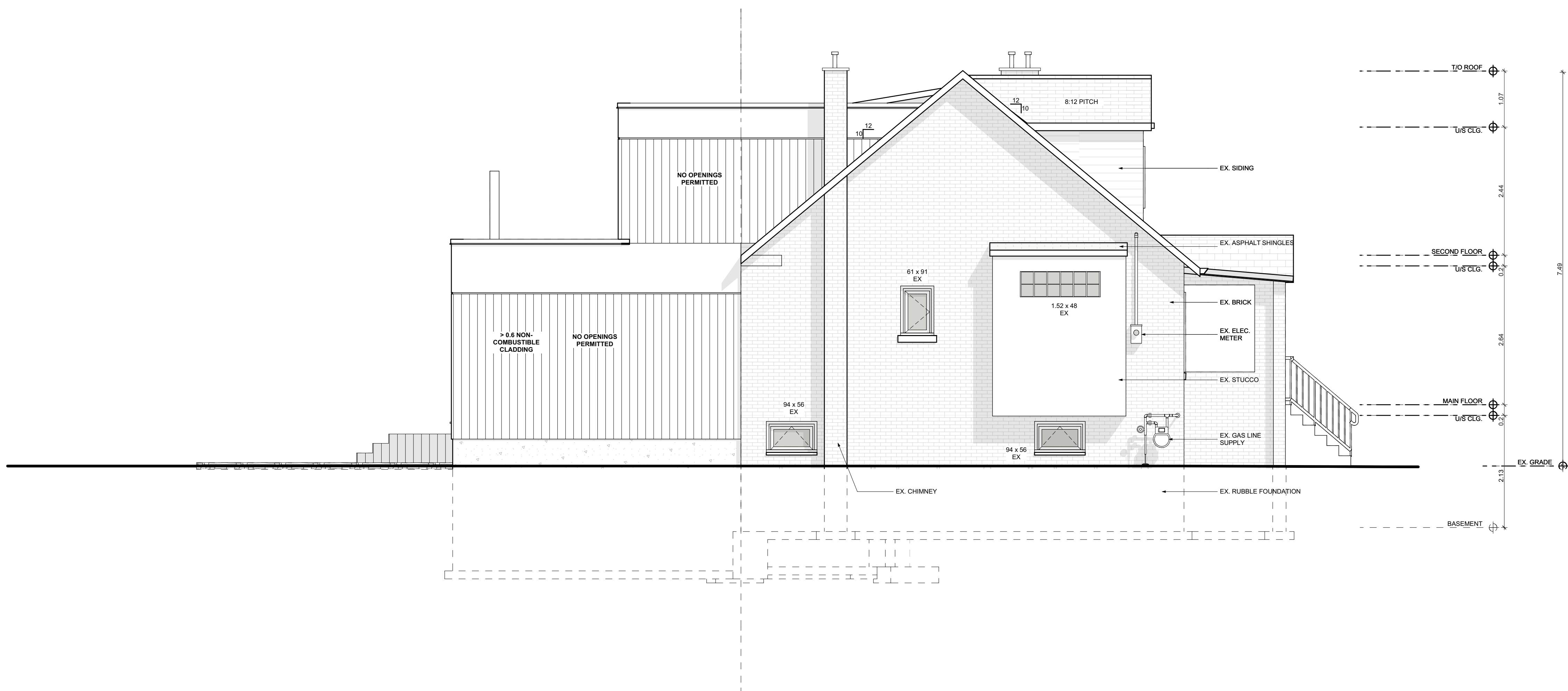
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.06



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
6		
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8		
9		
10		

**DRAWING:
PROPOSED LEFT
ELEVATION**

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:

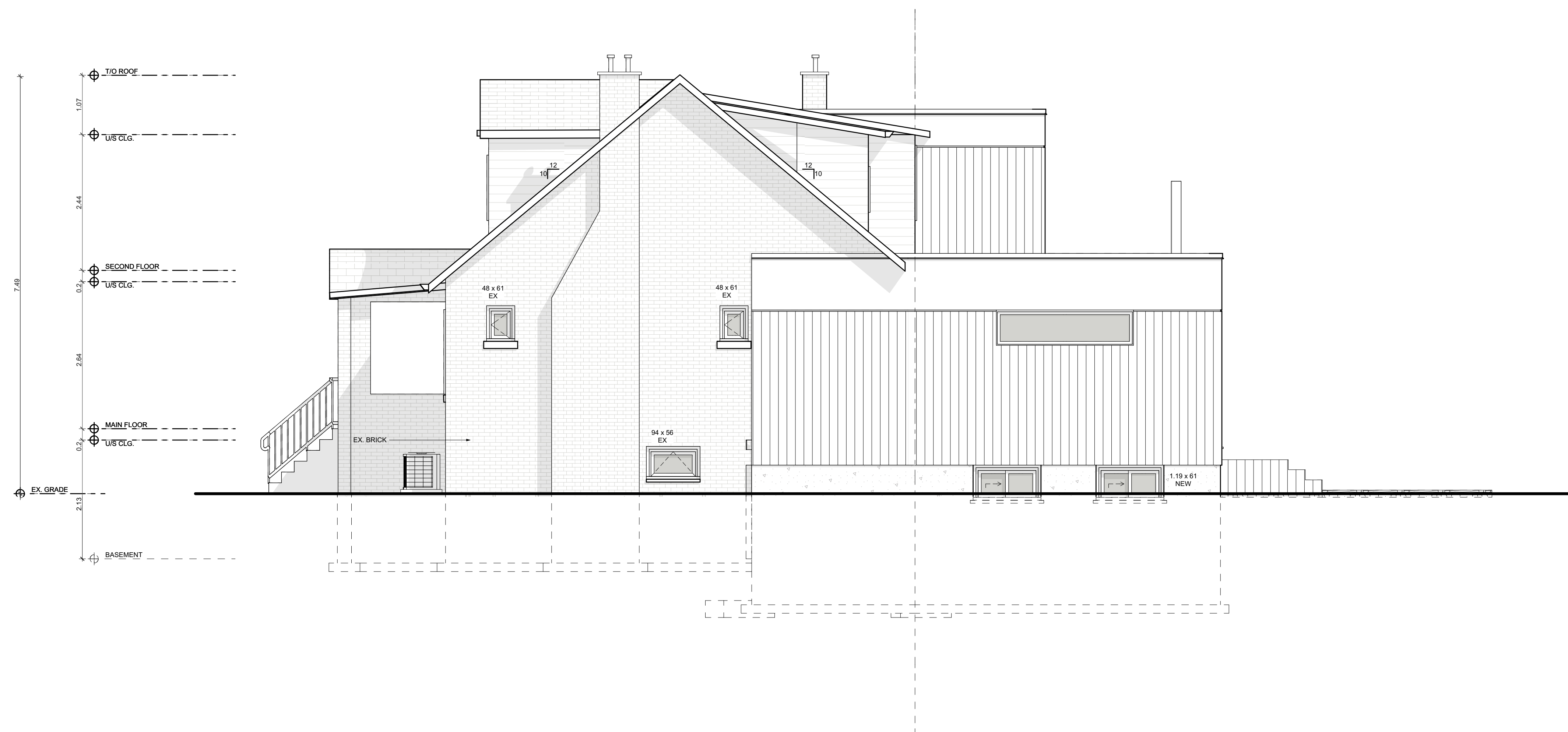
AS NOTED

PROJECT NO:

DRAWING NO:

A2.07

Printed: 6/9/2022 @ 11:05 AM



1

PROPOSED RIGHT ELEVATION

SCALE: 1/50

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.02.22
2	DESIGN 2.0	2022.03.22
3	DESIGN 3.0	2022.04.29
4	ISSUED FOR VARIANCE	2022.05.31
5		
6		
7		
8		
9		
10		

DRAWING:
PROPOSED RIGHT
ELEVATION

PROJECT:

HUNTER

PROJECT ADDRESS:
95 CHEDOKE AVENUE Hamilton ON L8P
4P2

DATE: 6/9/2022

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.08

Printed: 6/9/2022 @ 11:05 AM



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	James Hunter & Barbara Connolly	
Applicant(s)*	Louie Sayegh (TEAM SHANE)	
Agent or Solicitor	Louie Sayegh (TEAM SHANE)	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

TD Canada Trust
Hamilton Cline
938 King Street West, ON
L8S1K8

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1.To permit a left side yard side setback of 0.4m instead of the required side yard setback of 1.2m
2. Reduce required parking spaces from (2) to (1).

☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling
5. Why it is not possible to comply with the provisions of the By-law?

1.The proposed addition is within the required setback. The new proposed wall does not project past the existing building wall.
2. There is only space for (1) parking spot
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

95 Chedoke Avenue.
L8P 4P2
Lot # 166, Plot # 403
7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other N/A
- 8.1 If Industrial or Commercial, specify use N/A
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Previous uses of the subjected property.

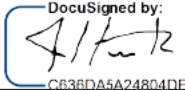

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐ (N/A)

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

6/2/2022 6/2/2022
Date

DocuSigned by:  DocuSigned by: 
Signature Property Owner(s)
James Hunter Barbara Connolly
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	12.19
Depth	33.53
Area	408
Width of street	7.6

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
See site plan

Proposed
See site plan

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
See site plan

Proposed:
See site plan

- | | |
|------|--|
| 13. | Date of acquisition of subject lands:
2012 |
| 14. | Date of construction of all buildings and structures on subject lands:
1920's |
| 15. | Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family |
| 16. | Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family |
| 17. | Length of time the existing uses of the subject property have continued:
Since built |
| 18. | Municipal services available: (check the appropriate space or spaces)
Water <u>YES</u> Connected <u>- yes</u>
Sanitary Sewer <u>YES</u> Connected <u>- yes</u>
Storm Sewers <u>YES</u> |
| 19. | Present Official Plan/Secondary Plan provisions applying to the land:
<div style="border: 1px solid black; padding: 2px;">N/A</div> |
| 20. | Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
<div style="border: 1px solid black; padding: 2px;">Bylaw #6593, Zone C</div> |
| 21. | Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
<div style="text-align: center;"> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </div> If yes, please provide the file number:
<div style="border: 1px solid black; padding: 2px;">N/A</div> |
| 21.1 | If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
<div style="text-align: center;"> <input type="checkbox"/> Yes <input type="checkbox"/> No </div> |
| 21.2 | If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing. |
| 22. | Is the subject property the subject of a current application for consent under Section 53 of the <i>Planning Act</i> ?
<div style="text-align: center;"> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </div> |
| 23. | Additional Information (please include separate sheet if needed)
<div style="border: 1px solid black; padding: 2px; min-height: 50px;">n/a</div> |
| 24. | The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor. |