

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

| | | | |
|-------------------------|-----------------------------|--------------------------|---|
| APPLICATION NO.: | AN/A-22:232 | SUBJECT PROPERTY: | 60 ACADEMY STREET, ANCASTER |
| ZONE: | "ER" (Existing Residential) | ZONING BY-LAW: | Zoning By-law former Town of Ancaster 87-57, as Amended |

APPLICANTS: Owner – Sean & Nicole Todd
Agent – Benjamin McFadden

The following variances are requested:

1. A side yard setback of 1.2m shall be provided instead of the minimum required side yard setback of 2.0m.

PURPOSE & EFFECT: To permit the construction of a new two-storey addition to the existing Single Detached Dwelling:

Notes:

- i. Please be advised that the proposed development is subject to Site Plan Control. As such, a comprehensive zoning review has not been conducted at this time and the variance has been written as requested by the applicant.
- ii. The Ancaster Zoning By-law 87-57 requires properties within an 'ER' zone to provide a minimum 1.0m wide unobstructed sod area along the side lot lines.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

| | |
|---------------|---|
| DATE: | Thursday, August 11, 2022 |
| TIME: | 1:25 p.m. |
| PLACE: | Via video link or call in (see attached sheet for details) |
| | 2nd floor City Hall, room 222 (see attached sheet for |

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

[illegible]

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Page 2 of 2

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

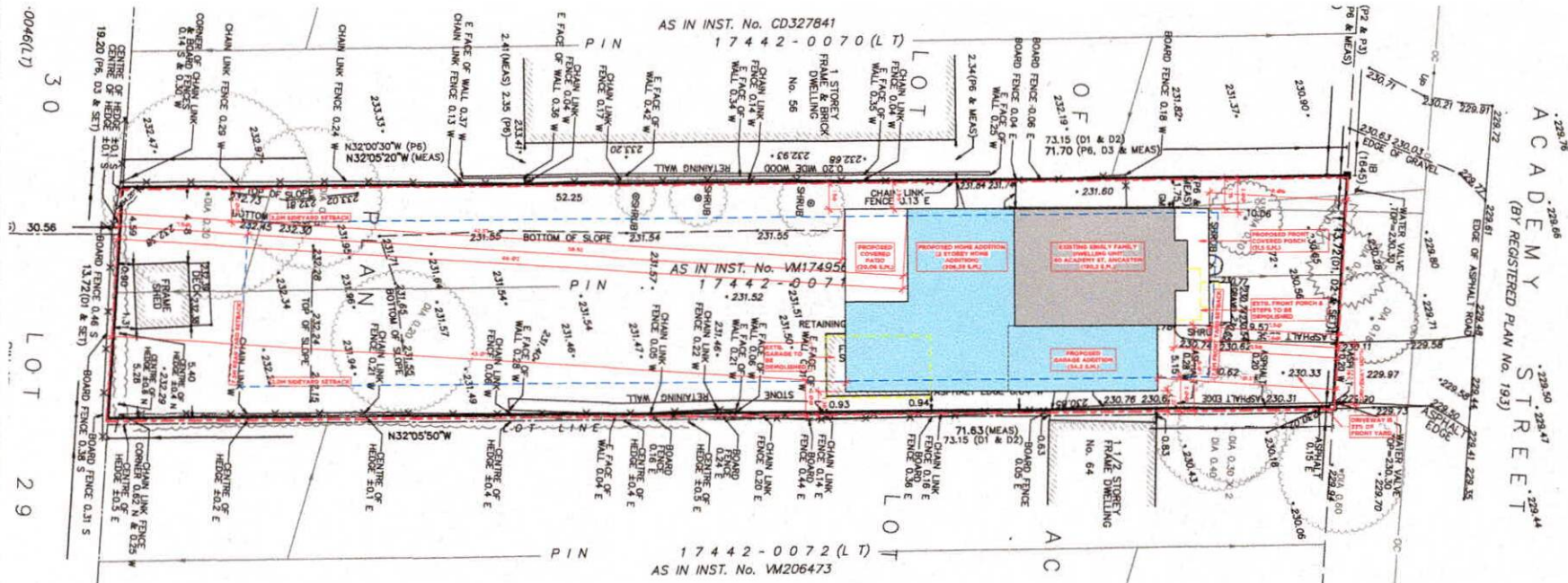
TODD RESIDENCE HOME ADDITION

SHEET LIST:

1. A001 - SITE PLAN
2. A101 - BASEMENT & MAIN FLOOR
3. A102 - 2ND FLOOR & ROOF PLAN
4. A201 - ELEVATIONS

SCOPE OF WORK:

CONSTRUCTION OF NEW HOME ADDITION
ON EXTG. PROPERTY NEW ADDITION TO
BE 206.35 SQUARE METERS (GROSS
FLOOR AREA) AND TWO STOREYS



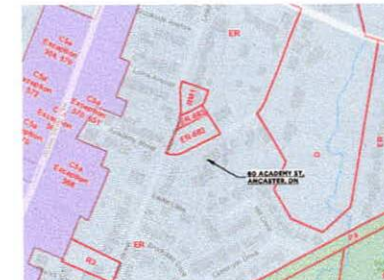
Site Plan
1" = 10'

Lot Coverage Stats.

| | SQUARE METERS | % |
|------------------------------------|---------------|--------|
| TOTAL LOT AREA (MIN REQ. 695 S.M.) | 988.34 | |
| ADDITION & EXTG. HOME | 185.97 | 18.82% |
| GARAGE (INCLUDED IN ABOVE) | | |
| TOTAL BUILDING COVERAGE | 185.97 | 18.82% |
| MAXIMUM LOT COVERAGE | 345.92 | 35.00% |

Zoning Requirements

| | MINIMUM | PROPOSED |
|--------------------|--------------------------------|-----------------------------|
| LOT FRONTAGE | 18M | 13.72 (EXTG.) |
| FRONT YARD SETBACK | 7.5M | 7.6M |
| REAR YARD SETBACK | 7.5M | 43.07M |
| SIDE YARD SETBACKS | 2M | 1.75 (EXTG.) & 1.22 (PROP.) |
| BUILDING HEIGHT | 9.5M | 8.4M (EXTG.) |
| ZONE | ZONE ER (EXISTING RESIDENTIAL) | |
| MINOR VARIANCE | SIDE YARD SETBACK | |



QUALIFICATION INFORMATION
I, BENJAMIN HODGSON, REVIEW & TAKE
RESPONSIBILITY FOR THE DESIGN WORK ON
BEHALF OF A PROFESSIONAL DESIGNER
REGISTERED IN THE PROVINCE OF ONTARIO
UNDER THE PROFESSIONAL DESIGN ACT.
THESE PLANS ARE PREPARED BY THE
DESIGNER OR UNDER HIS SUPERVISION
AND TO HIS EXCLUSIVE RESPONSIBILITY.

NAME: BENJAMIN HODGSON
FIRM: BHM DESIGN STUDIO INC.

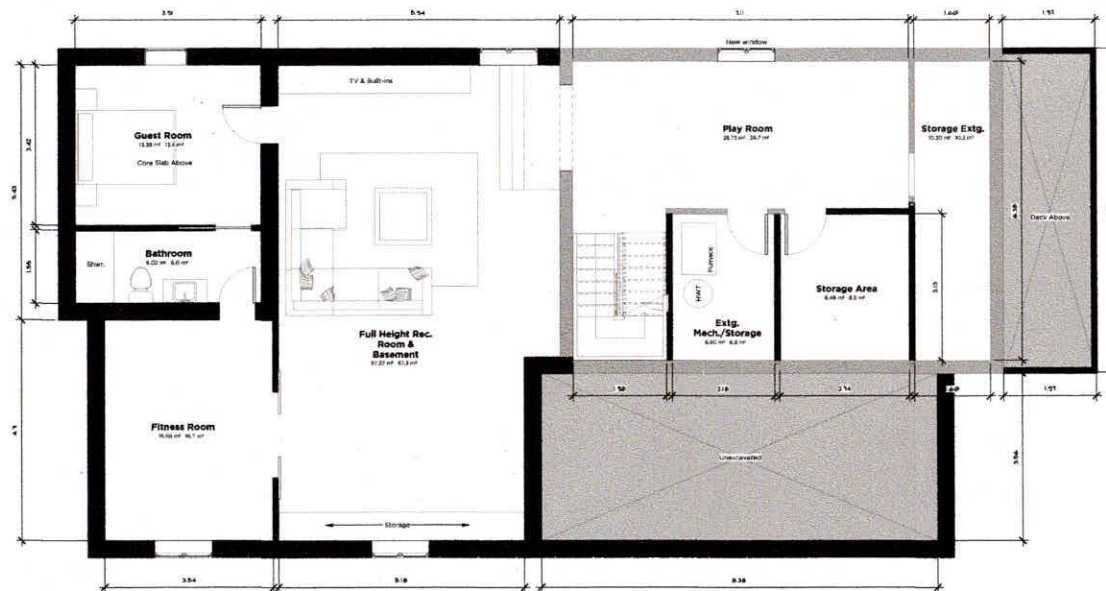
211 BHM ARCHITECTURAL
DESIGN

58 Hackney Ridge, Bradford, Ontario
benjamin@bhmarchitecturaldesign.com
519.721.4886

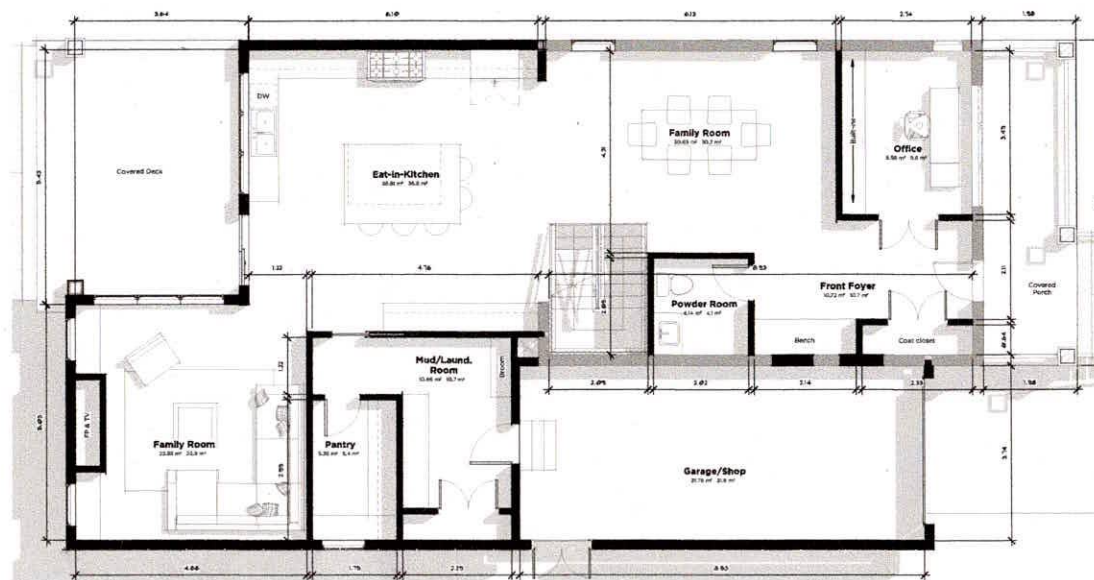
PROJECT:
Home Address:
Todd Residence

50 Academy Rd. Ancaster, ON

DRAWING NAME: Cover Page
DRAWING NO.: A001



1 Basement Floor Plan
1/4" = 1'-0"



2 Main Floor Plan
1/4" = 1'-0"



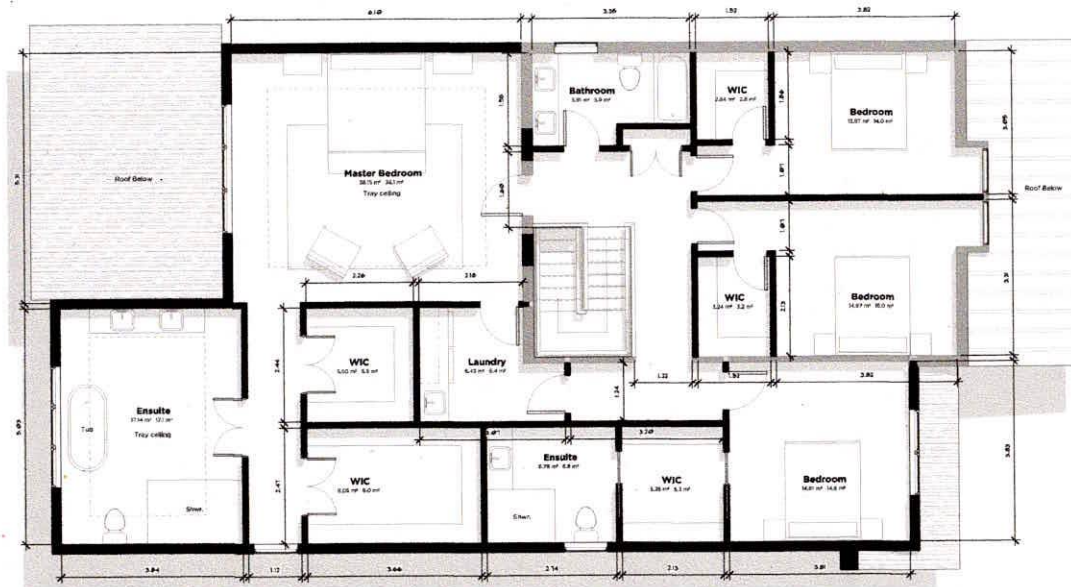
BK ARCHITECTURAL DESIGN
58 Hackney Ridge, Bradford, Ontario
benjamin@bkarchitecturaldesign.com
519.721.4886

PROJECT
Home Addition
Todd Residence

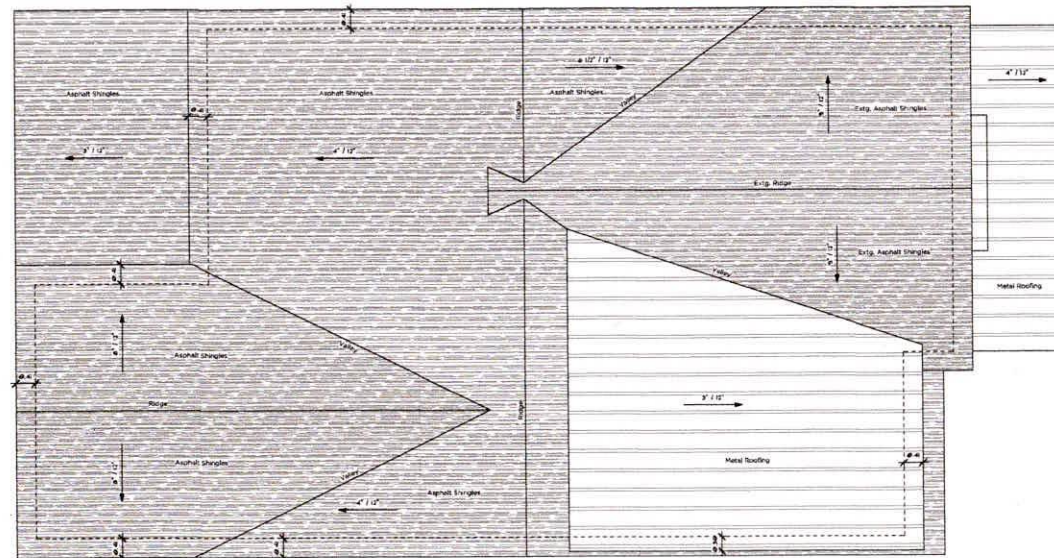
90 Academy Rd Ancaster, ON

DRAWING NAME
Basement & Main Floor Plan

DRAWING NO.
A101



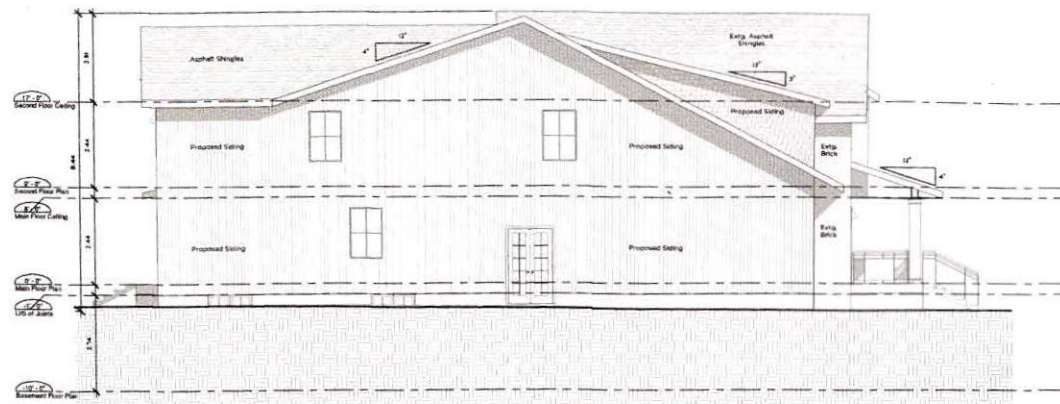
1 Second Floor Plan
1/4" = 1'-0"



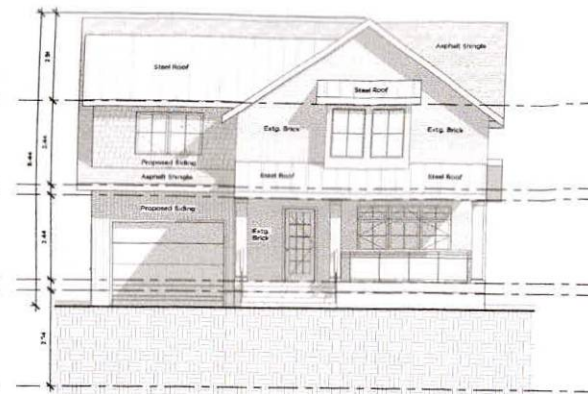
2 Roof Plan
1/4" = 1'-0"

BM ARCHITECTURAL DESIGN
58 Hackney Ridge, Bramford, Ontario
benjamin@bmararchitecturaldesign.com
519.721.4866

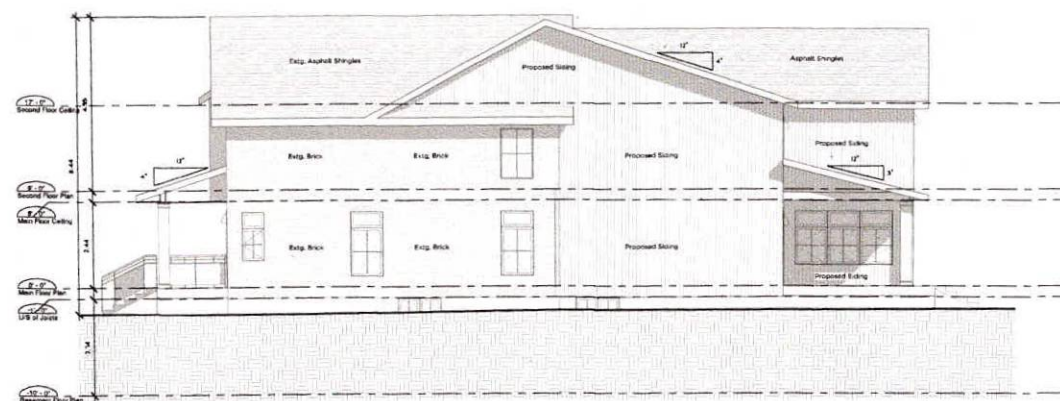
PROJECT
Home Addition
Todd Residence
100 Academy Rd. Ancaster, ON
DRAWING NAME
Second Floor Plan & Roof Plan
DRAWING NO.
A102



1 Proposed South Elevation
3/16" = 1'-0"



3 Proposed East Elevation
3/16" = 1'-0"



2 Proposed North Elevation
3/16" = 1'-0"



4 Proposed West Elevation
3/16" = 1'-0"

| | |
|---|---|
|  | |
| 55 Hackney Ridge, Bradford, Ontario benjamin@bhamarchitecturaldesign.com 519.721.4856 | |
| PROJECT: Home Addition Todd Residence | |
| 90 Academy Rd CHARTERED NAME: Elevations | Ancaster, ON DRAWING NO.: A201 |

**Committee of Adjustment**

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

| 1, 2 | NAME | MAILING ADDRESS |
|----------------------|--------------------------|-----------------|
| Registered Owners(s) | Sean Todd Nicole Todd | |
| Applicant(s)* | Sean Todd Nicole Todd | |
| Agent or Solicitor | Benjamin McFadden | |

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Sean Todd
Nicole Todd
60 Academy Street, Ancaster, ON L9G 2Y1

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Sidyard setback:
Required = 2 m
Proposed = 1.22 m

☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Garage addition & home addition would be too small to use if complied with the new ER zoning requirements

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

60 Academy St, Ancaster, ON

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Real estate records

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

June 30/22.
Date

[Signature]
Signature Property Owner(s)
Sean Todd. N. Todd
Print Name of Owner(s)

10. Dimensions of lands affected:

| | |
|-----------------|-----------------|
| Frontage | <u>13.72 m</u> |
| Depth | <u>72 m</u> |
| Area | <u>988 s.m.</u> |
| Width of street | <u>8 m</u> |

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Existing Home: 130.2 m, 6.9 m x 9.4 m, 2 storeys, 8.8 m height
Existing Detached Garage: 22 s.m., 3.5m x 6m, 3.4 m height

Proposed

Home Addition: 206.4 s.m., 2 storeys, under existing building height
Garage Addition: 34.2 s.m., under existing building height
Rear & Front Porches: 32 s.m. (combined)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Existing home:
Side yards = 1.75m & 5.1 m
Front yard = 10 m
Rear yard = 52 m

Proposed:

Proposed Addition:
Side yards = 1.22 m & 1.59 m (1.59 is following inline with existing home)
Front yard = 10.37 m
Rear yard = 43.07 m

13. Date of acquisition of subject lands:
Sept 21, 2012
14. Date of construction of all buildings and structures on subject lands:
approximately 1946
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family Dwelling Unit
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Dwelling Units
17. Length of time the existing uses of the subject property have continued:
NA
18. Municipal services available: (check the appropriate space or spaces)
Water Yes Connected Yes
Sanitary Sewer Yes Connected Yes
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
NA
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
NA
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
☐ Yes ☒ No
If yes, please provide the file number:

- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
☐ Yes ☒ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.