

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	HM/A-22:237	SUBJECT PROPERTY:	302 EAST 16TH STREET, HAMILTON
ZONE:	C (Urban Protected Residential, Etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: Owner – S. Brydges & L. Wright
Agent – Andrew Sieders

The following variances are requested:

1. A front yard depth of 2.9 metres shall be permitted instead of the required front yard depth of at least 6.0 metres.

PURPOSE & EFFECT: To permit an expansion of the existing Single Family Dwelling in the front yard and cold storage in the basement

Notes:

- i. Should the variance be approved to permit a reduced front yard, the porch as proposed shall comply with Section 18(3)(vi)(d) of Hamilton Zoning By-Law 6593.
- ii. Should the variance be approved to permit a reduced front yard, the eaves/gutter as proposed shall comply with Section 18(3)(vi)(b) of Hamilton Zoning By-Law 6593.
- iii. Insufficient information has been provided regarding the eaves/ gutter projection of the proposed front yard expansion. Should the eaves/ gutter project 0.465 m into the required side yard, additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 11, 2022
TIME:	2:00 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: July 26, 2022

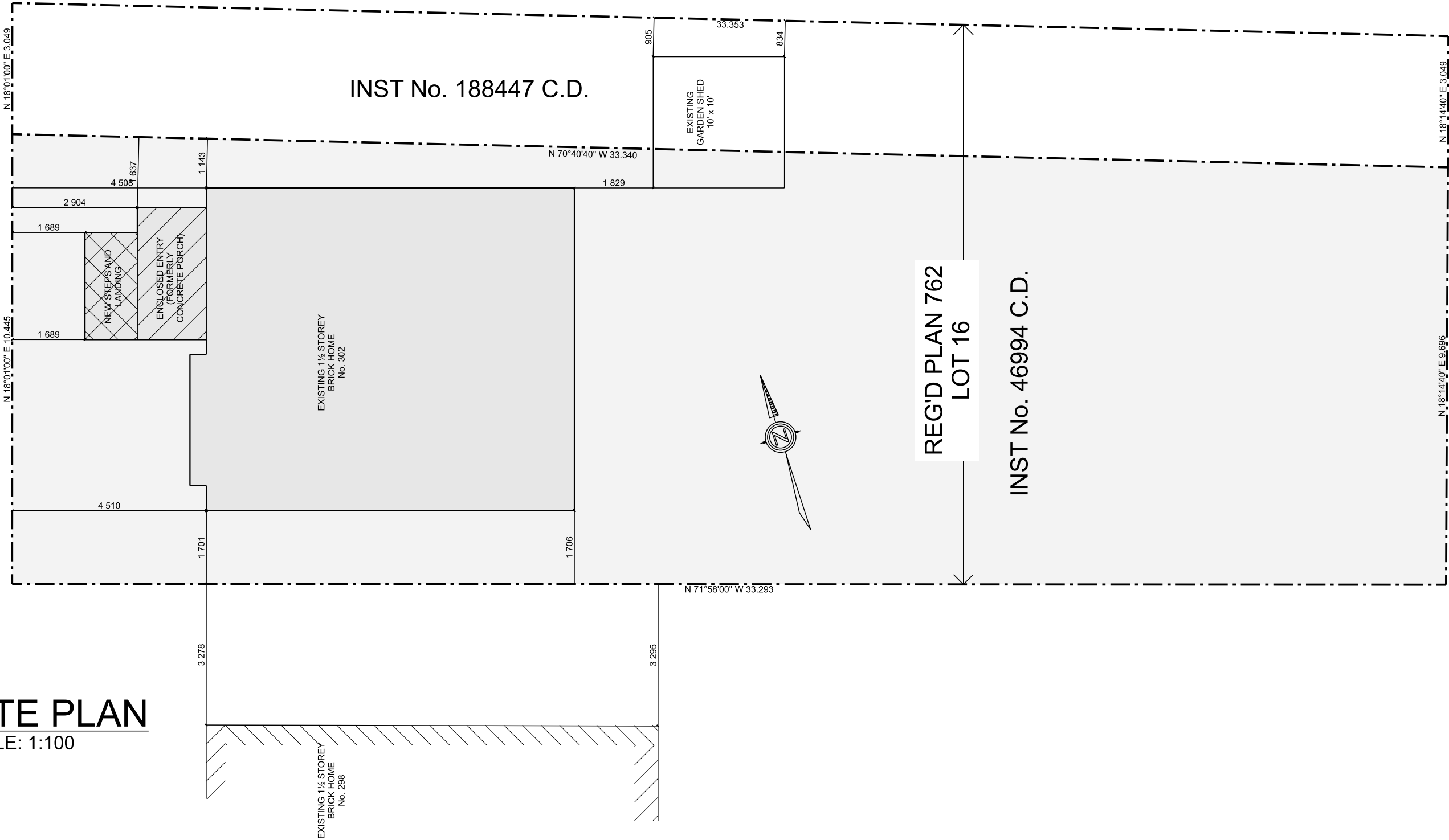
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

EAST 16th STREET

SITE PLAN

SCALE: 1:100



FENNEL AVENUE EAST

INST No. 188447 C.D.

REG'D PLAN 762
LOT 16

INST No. 46994 C.D.

NOTES:



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QUALIFICATION INFORMATION
Required unless design is exempt under
Division C-3.2.5.1 of the 2012 O.B.C.

[Signature]
John Vanderwoerd BCIN 21611
REGISTRATION INFORMATION
Required unless design is exempt under
Division C-3.2.4.1 of the 2012 O.B.C.
Firm Name: Vanderwoerd Drafting & Design
BCIN 38975



John Vanderwoerd, M.A.A.T.O.
34 Duke Street, Arthur, Ontario N0G 1A0
www.home-design-bcin.ca
519-848-2128

DRAWN BY:

JOHN VANDERWOERD,
M.A.A.T.O. BCIN: 21611

CONTRACTOR

Purecraft Renovations

STARTING DATE:

Jun 4, 2021

LAST REVISION DATE:

Jun 15, 2022

CUSTOMER:

Sarah Brydges
302 EAST 16th St.
Hamilton, ON

PROJECT:

Porch Renovation

DRAWING TITLE:

SITE PLAN

DRAWING #:

21-162

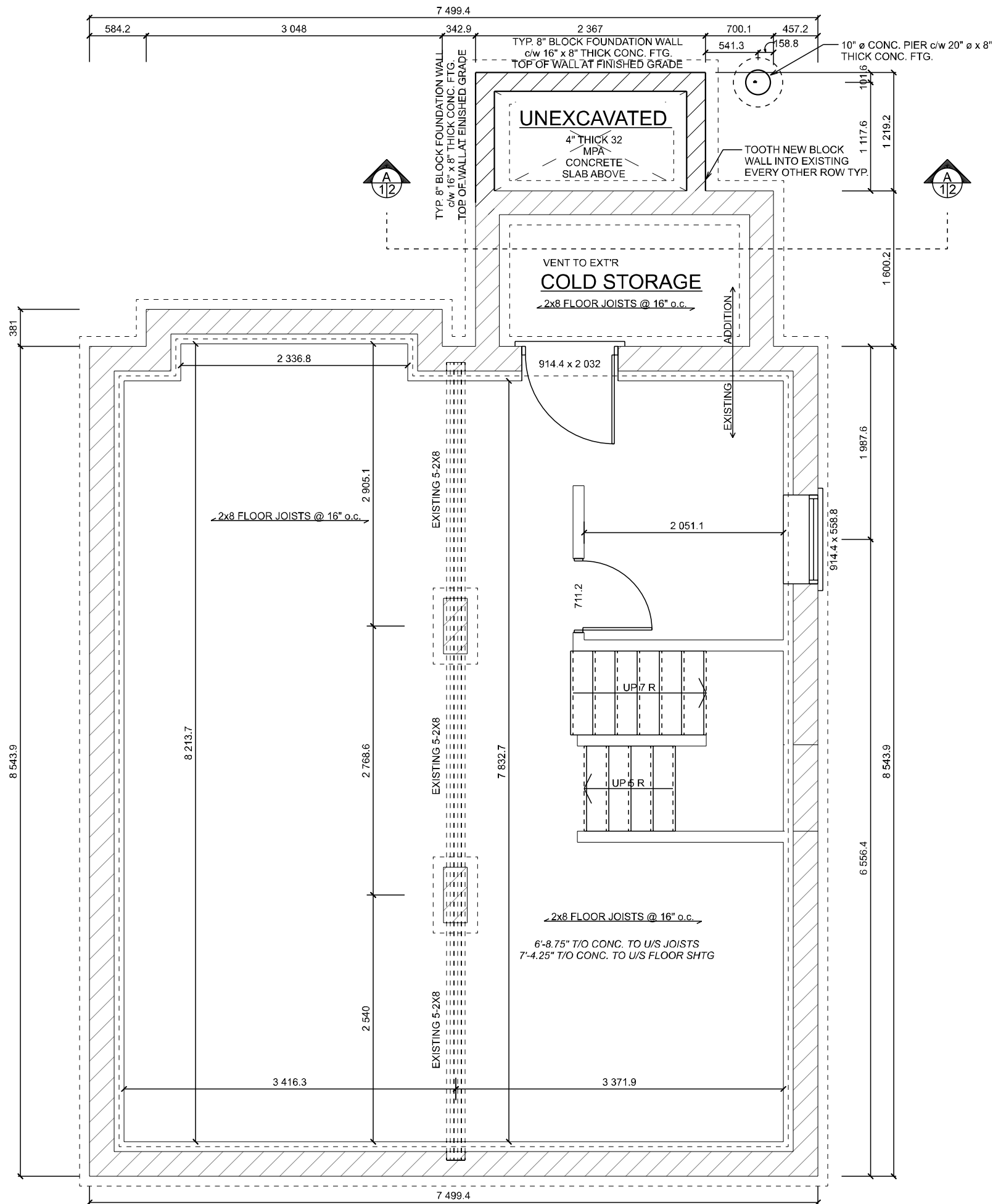
SCALE:

1:100

PAGE #:

1 of 1

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PROJECT:
Porch Renovation

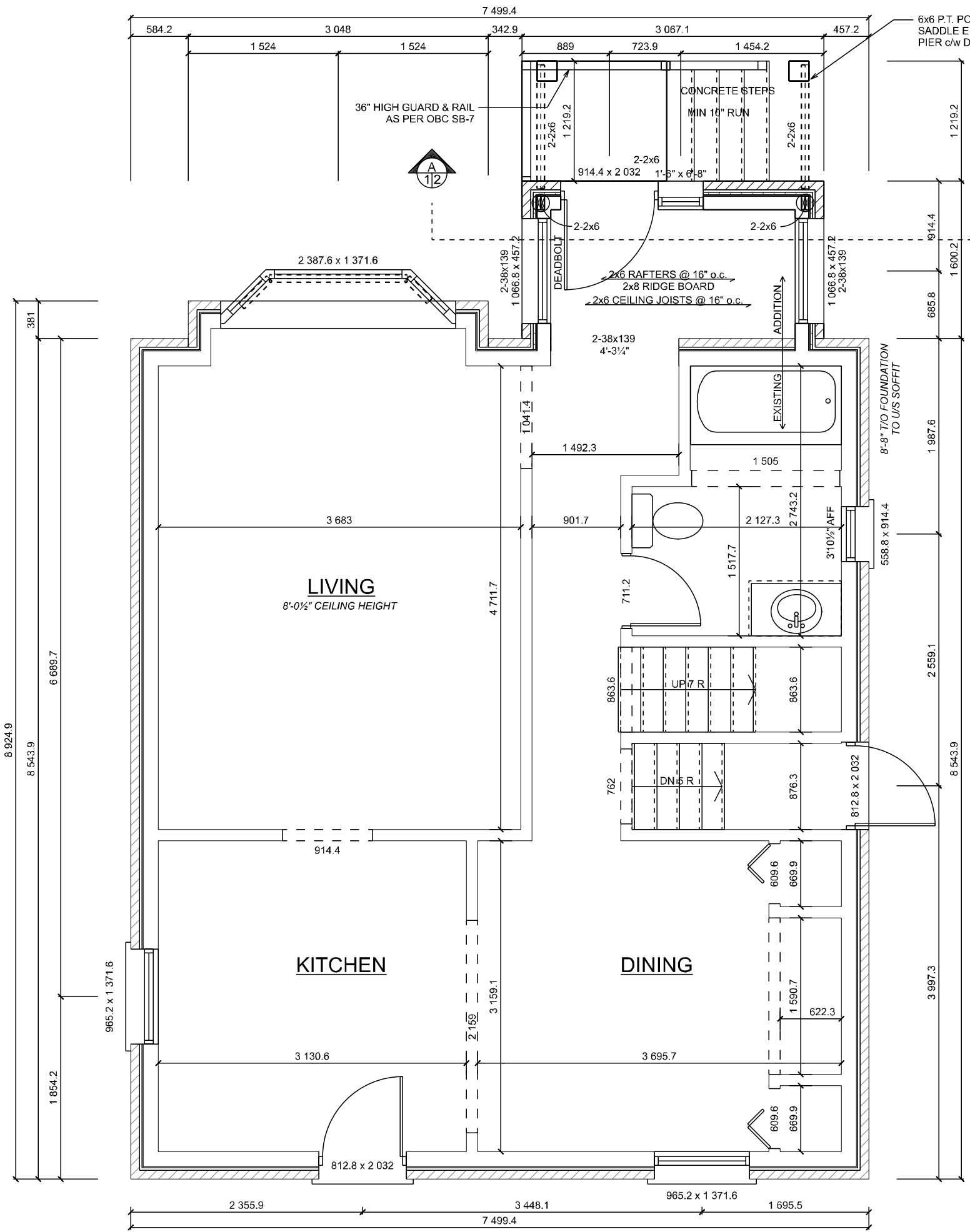
DRAWING TITLE:
Proposed Basement

DRAWING #:
21-162

SCALE:
1:48

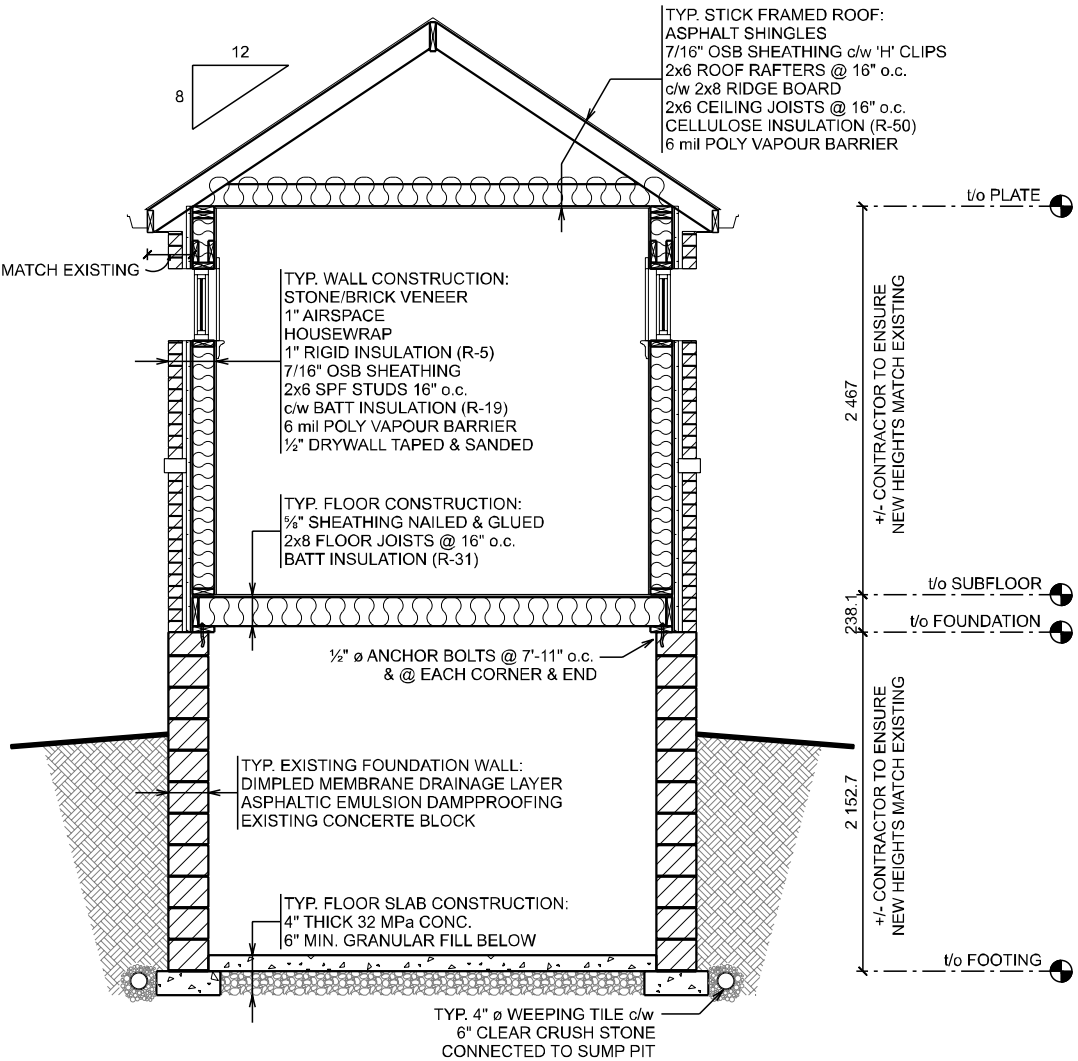
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SB-12 Compliance Package - Additions				
Table 3.1.1.11 [Zone 1]				
For Heating other than Electric Space Heating				
Component	Min. R-Value	Max. U-Value	Min.Effective R-Value	Energy Rating
Ceiling with Attic Space	60	0.017	59.22	
Ceiling without Attic Space	31	0.036	27.65	
Exposed Floor	31	0.034	29.8	
Walls Above Grade	19 + 5ci	0.049	20.32	
Basement Walls	20ci	0.047	21.12	
Heated Slab or Slab ≤ 24" Below Grade	10	0.090	11.13	
Edge of Below Grade Slab: ≤ 24" Below Grade	10			
Windows & Sliding Glass Doors:		1.6		25
Skylights		2.8		
Gross Building Face	22.67 m²		244.00 ft²	
Glazing Area	3.76 m²		40.50 ft²	
Ratio (%)	16.60			

- Notes:
- Where a minimum R Value, maximum U Value, or minimum Effective R Value are specified for a component,
 - ci means continuous insulation
 - Where a dwelling unit has a walkout basement, the thermal performance of the exterior basement wall shall be not less than
 - the basement wall containing the door opening and
 - any basement wall that has an exposed wall area above the ground level exceeding 50% of that basement wall area



CROSS SECTION 'A'
SCALE: 1:48

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JOHN VANDERWOERD,
M.A.A.T.O. BCIN: 21611

STARTING DATE:
Jun 4, 2021

LAST REVISION DATE:
Jun 23, 2022

CUSTOMER:
Sarah Brydges
302 EAST 16th St.
Hamilton, ON

PROJECT:
Porch Renovation

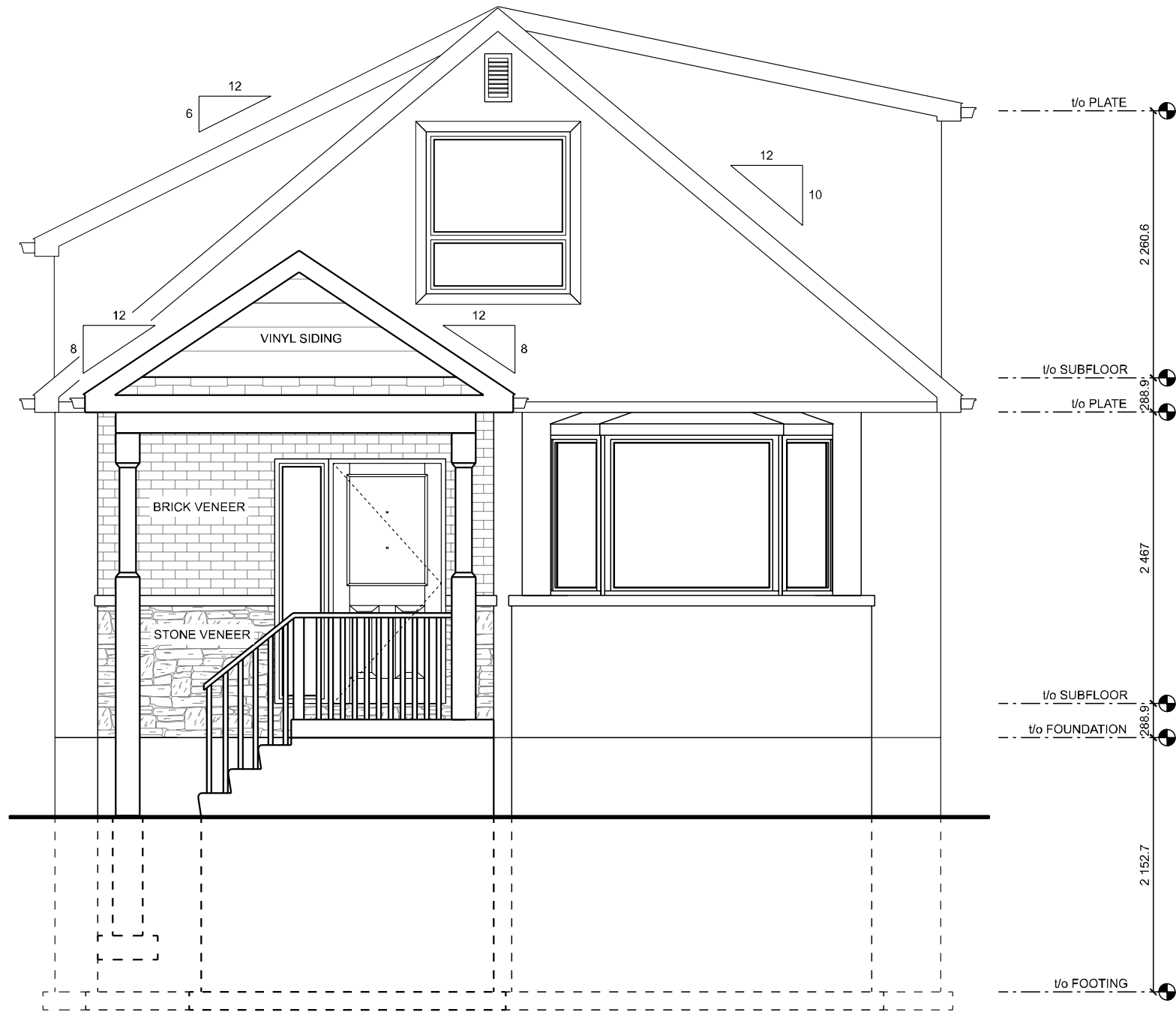
DRAWING TITLE:
Proposed Floor Plan

DRAWING #:
21-162

SCALE:
1:48

PAGE #:
2 of 10

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FRONT ELEVATION
SCALE: 1:48

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Sarah Brydges
302 EAST 16th St.
Hamilton, ON

PROJECT:

Porch Renovation

DRAWING TITLE:

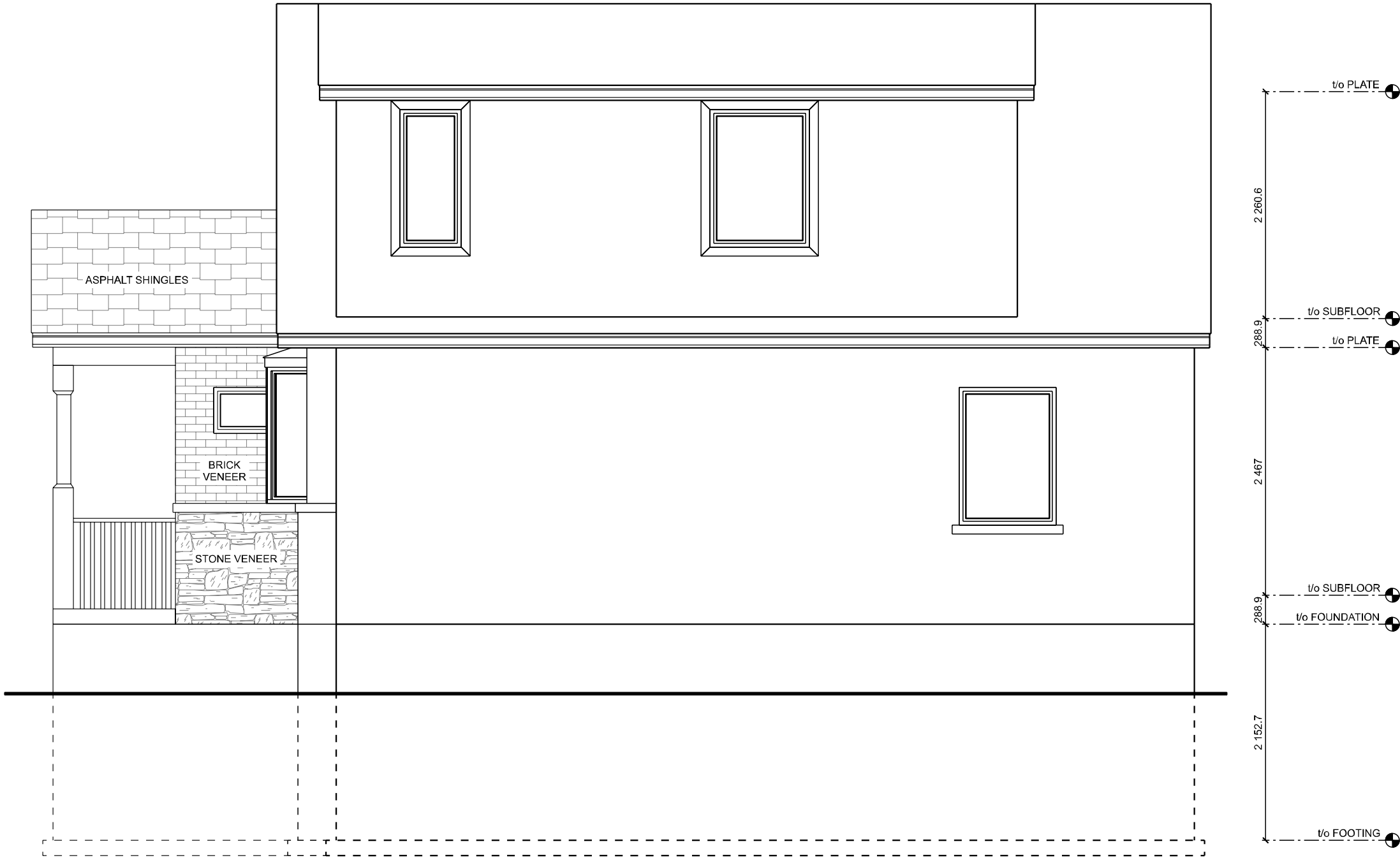
Front Elevation

DRAWING #:
21-162

SCALE:
1:48

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RIGHT ELEVATION
SCALE: 1:48

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PROJECT:

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DRAWING TITLE:

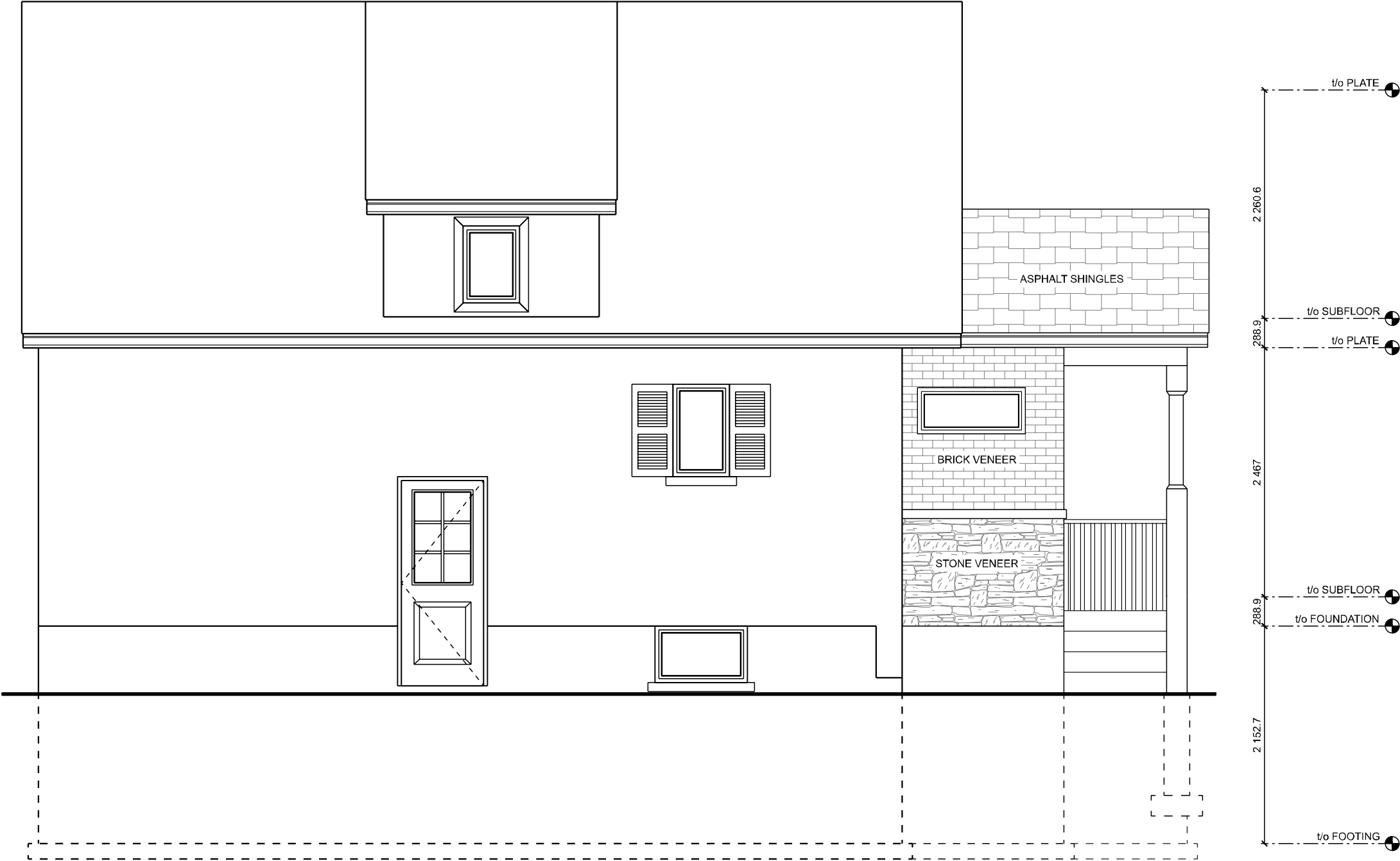
Right Elevation

DRAWING #:
21-162

SCALE:
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LEFT ELEVATION
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CUSTOMER:

Sarah Brydges
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Hamilton, ON

PROJECT:

Porch Renovation

DRAWING TITLE:

Left Elevation

DRAWING #:
21-162

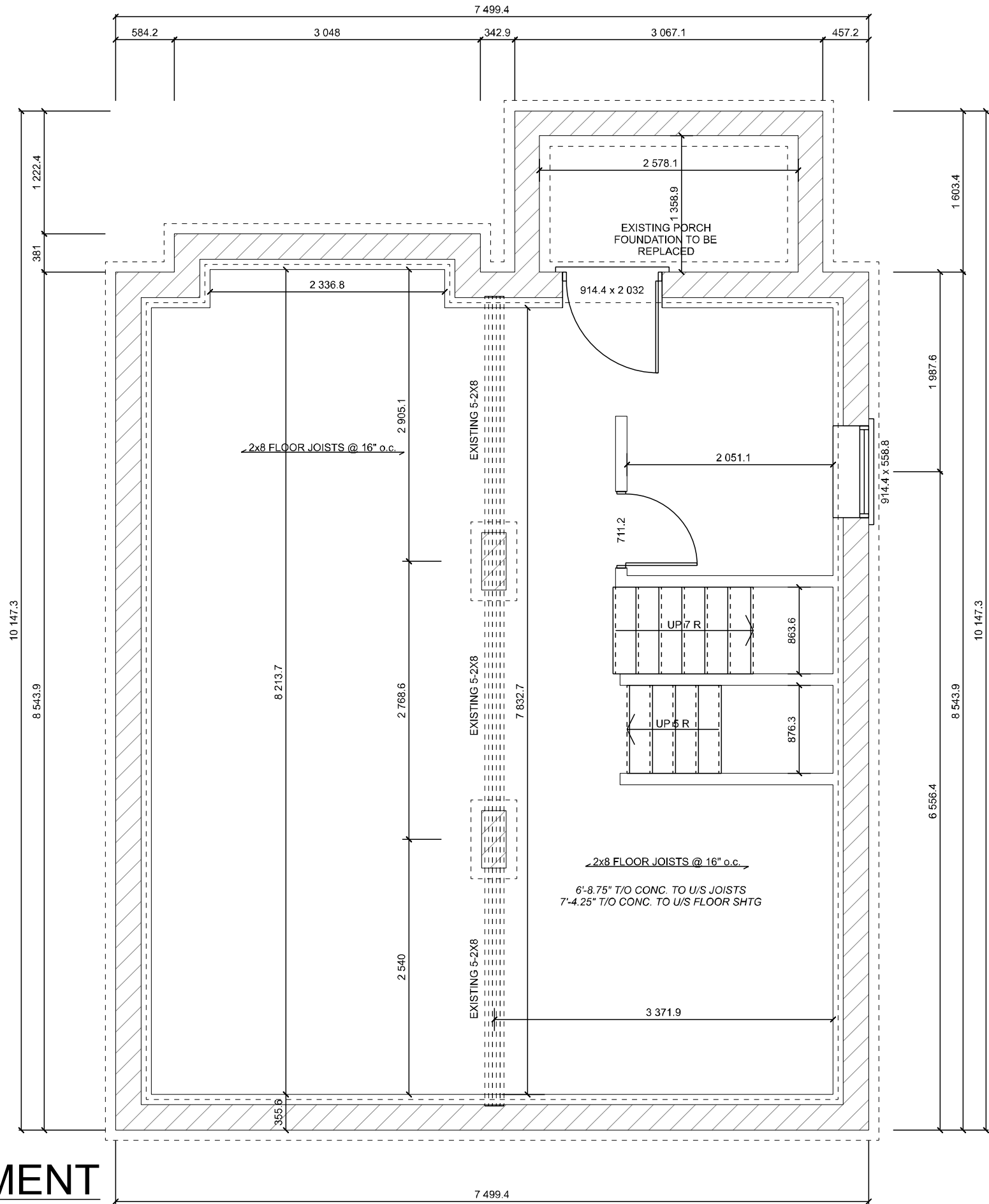
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BASEMENT

SCALE: 1:48



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LAST REVISION DATE:
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CUSTOMER:
Sarah Brydges
302 EAST 16th St.
Hamilton, ON

PROJECT:
Porch Renovation

DRAWING TITLE:
Existing Basement

DRAWING #:
21-162

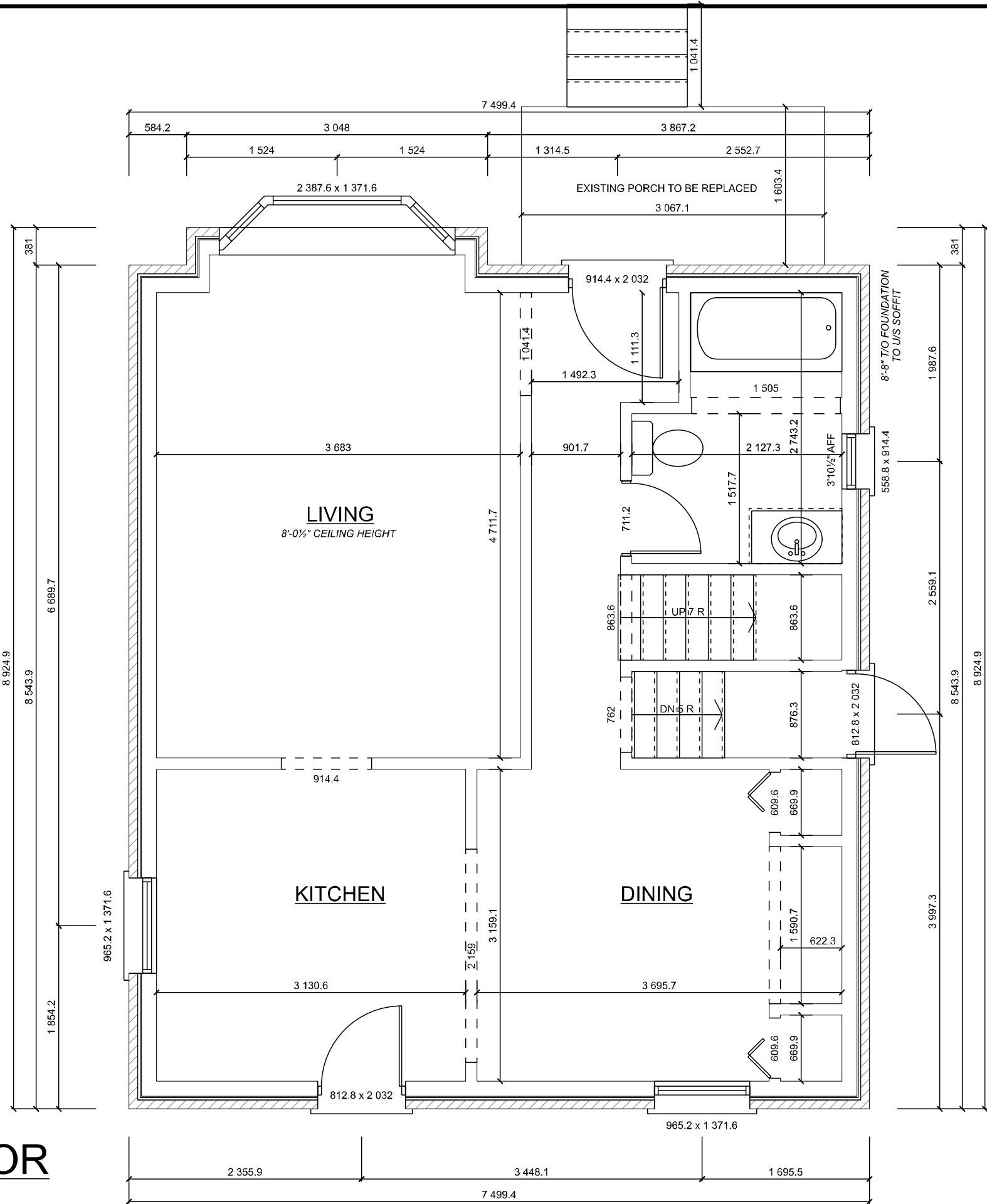
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MAIN FLOOR

SCALE: 1:48



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PROJECT:
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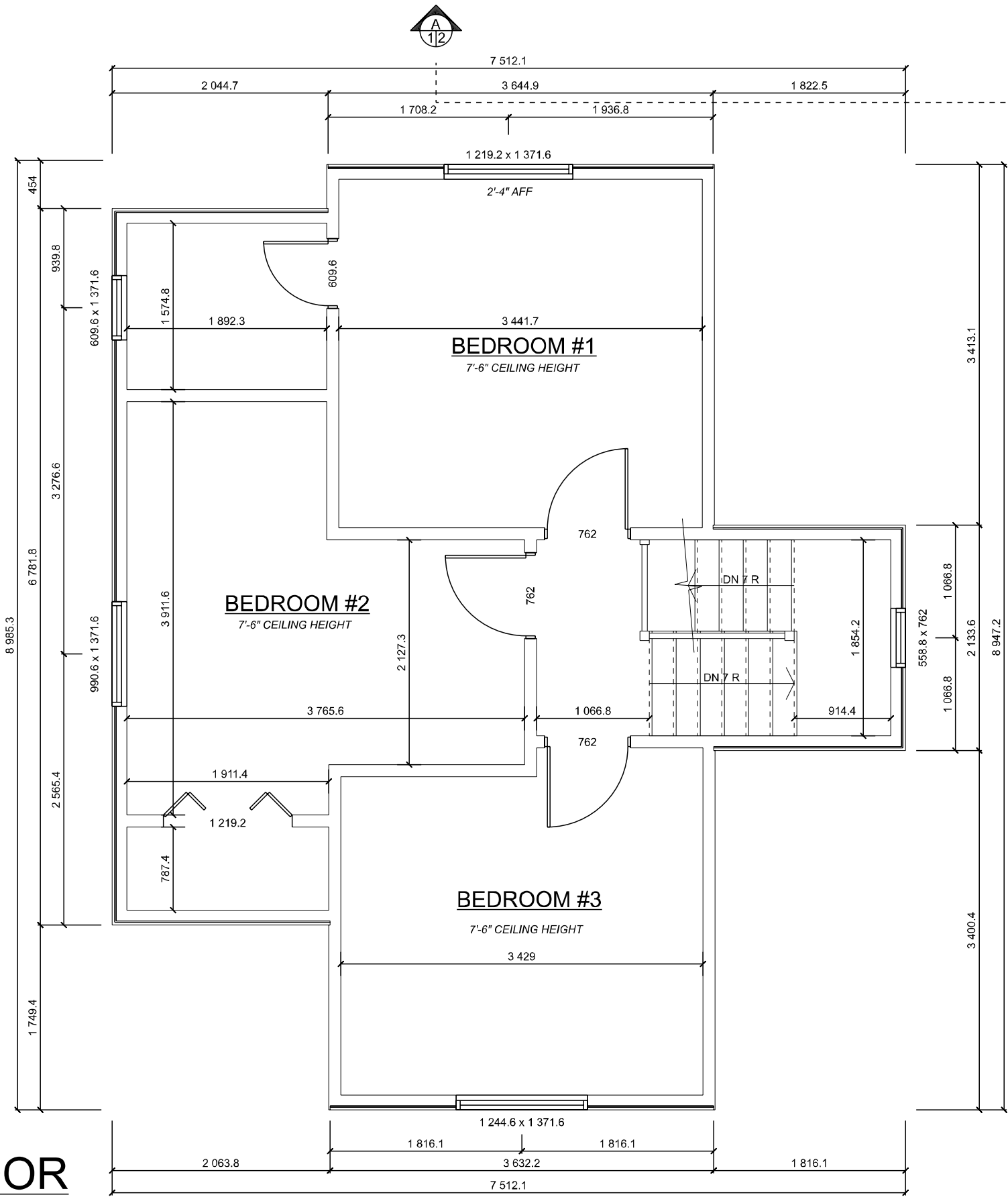
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Existing Main Floor

DRAWING #: 21-162
SCALE: 1:48
PAGE #: 7 of 10

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SECOND FLOOR

SCALE: 1:48



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PROJECT:

Porch Renovation

DRAWING TITLE:

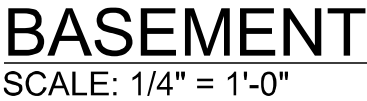
Existing Second Floor

DRAWING #:
21-162

SCALE:
1:48

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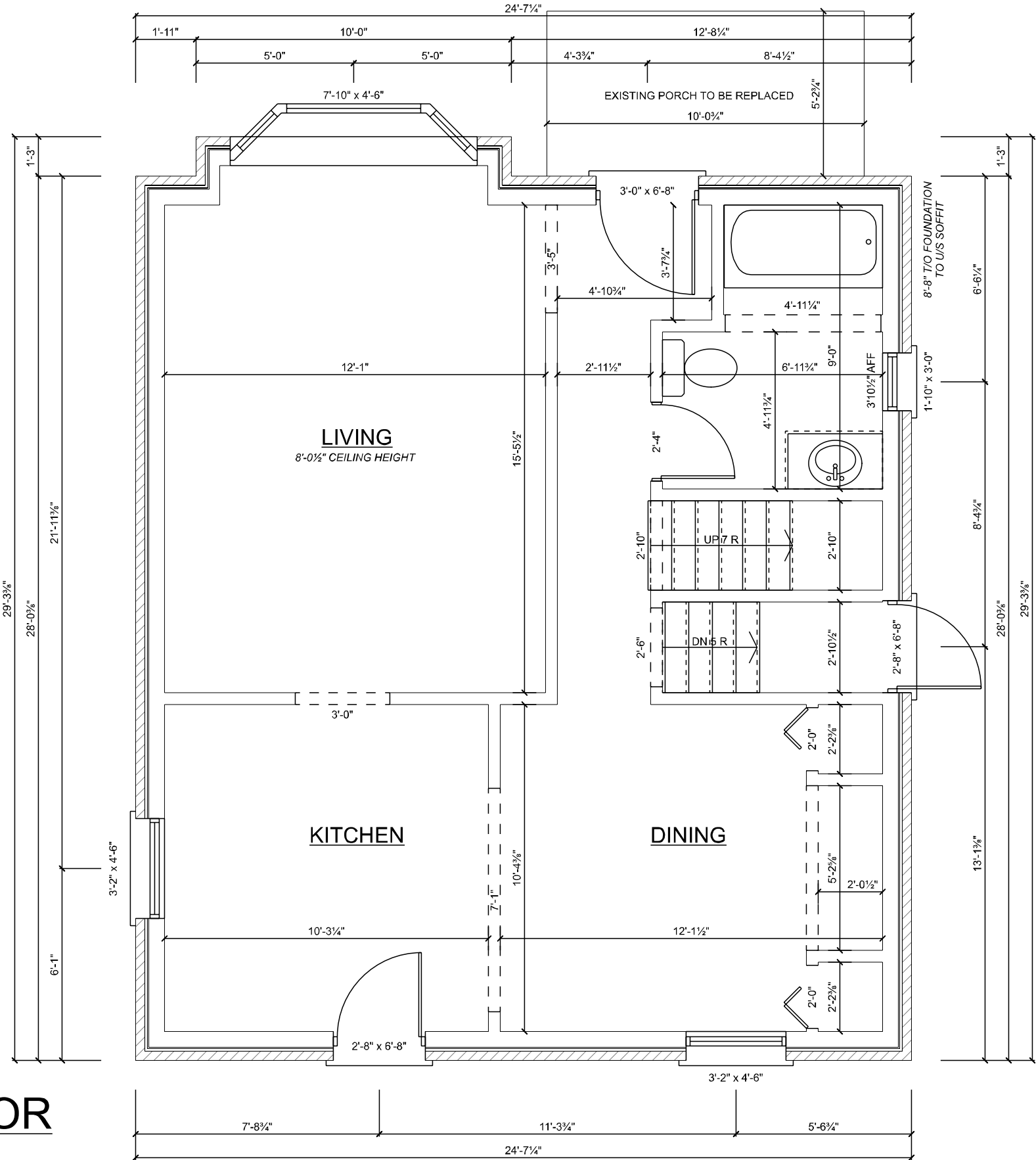


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MAIN FLOOR

SCALE: 1/4" = 1'-0"



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DRAWN BY:
JOHN VANDERWOERD,
M.A.A.T.O. BCIN: 21611

STARTING DATE:
Jun 4, 2021

LAST REVISION DATE:
Aug 31, 2021

CUSTOMER:
Sarah Brydges
302 E 16th St.
Hamilton, ON

PROJECT:
Porch Renovation

DRAWING TITLE:
Existing Main Floor

DRAWING #:
21-162

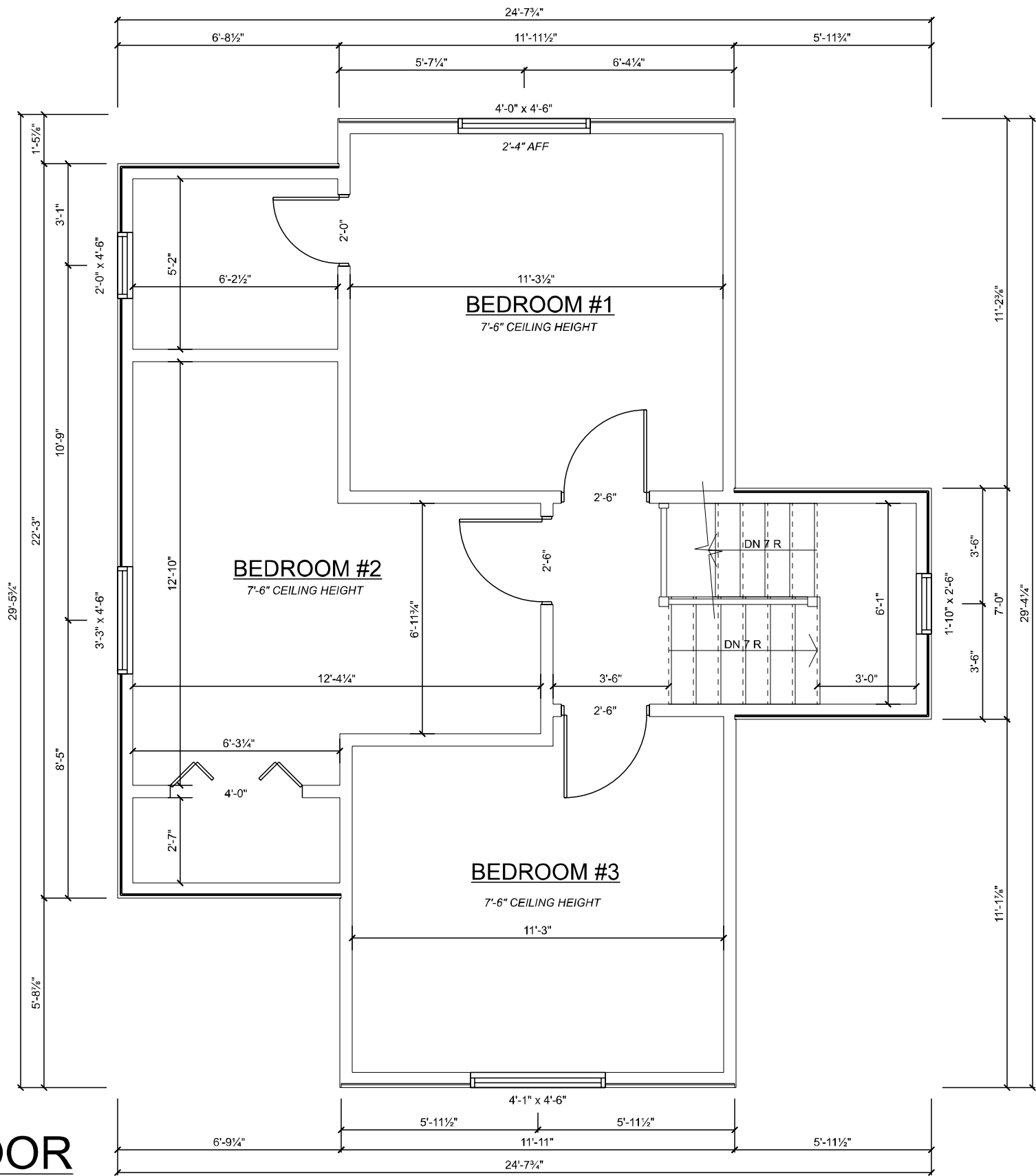
SCALE:
1/4" = 1'-0"

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SECOND FLOOR

SCALE: 1/4" = 1'-0"



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JOHN VANDERWOERD,
M.A.A.T.O. BCIN: 21611

STARTING DATE:

Jun 4, 2021

LAST REVISION DATE:

Aug 31, 2021

CUSTOMER:

Sarah Brydges
302 E 16th St.
Hamilton, ON

PROJECT:

Porch Renovation

DRAWING TITLE:

Existing Second Floor

DRAWING #:

21-162

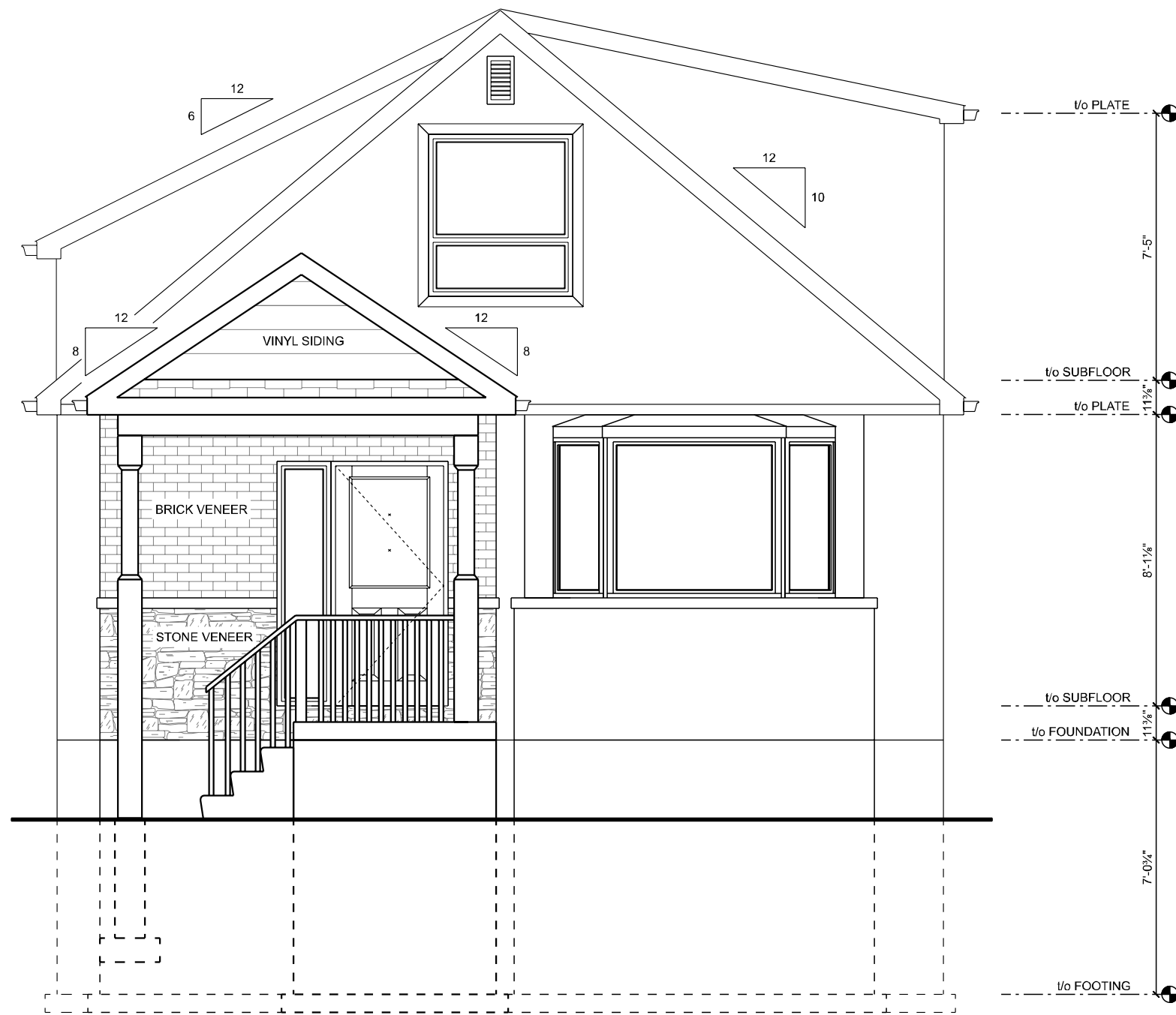
PAGE #:

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SCALE:

1/4" = 1'-0"

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FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:

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IN THE TITLE BLOCK

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under
Division C-3.2.5.1 of the 2012 O.B.C.

John Vanderwoerd
John Vanderwoerd BCIN 21611

REGISTRATION INFORMATION
Required unless design is exempt under
Division C-3.2.4.1 of the 2012 O.B.C.
Firm Name: Vanderwoerd Drafting & Design
BCIN 38975

VANDERWOERD
DRAFTING & DESIGN

John Vanderwoerd, M.A.A.T.O.
34 Duke Street, Arthur, Ontario N0G 1A0
www.home-design-bcin.ca
519-848-2128

DRAWN BY:

JOHN VANDERWOERD,
M.A.A.T.O. BCIN: 21611

STARTING DATE:
Jun 4, 2021

LAST REVISION DATE:
Aug 31, 2021

CUSTOMER:

Sarah Brydges
302 E 16th St.
Hamilton, ON

PROJECT:

Porch Renovation

DRAWING TITLE:

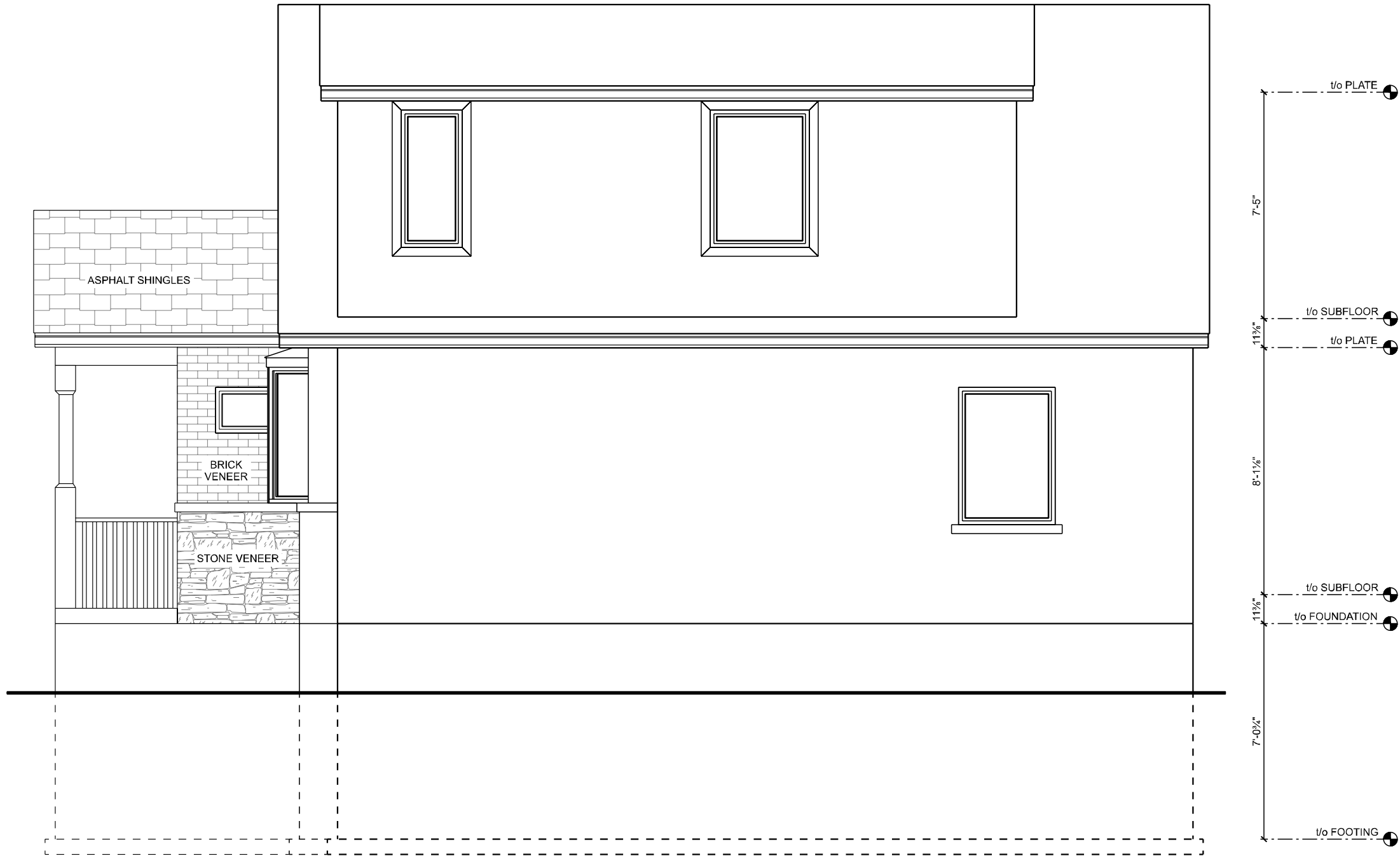
Front Elevation

DRAWING #:
21-162

SCALE:
1/4" = 1'-0"

PAGE #:
3 of 10

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RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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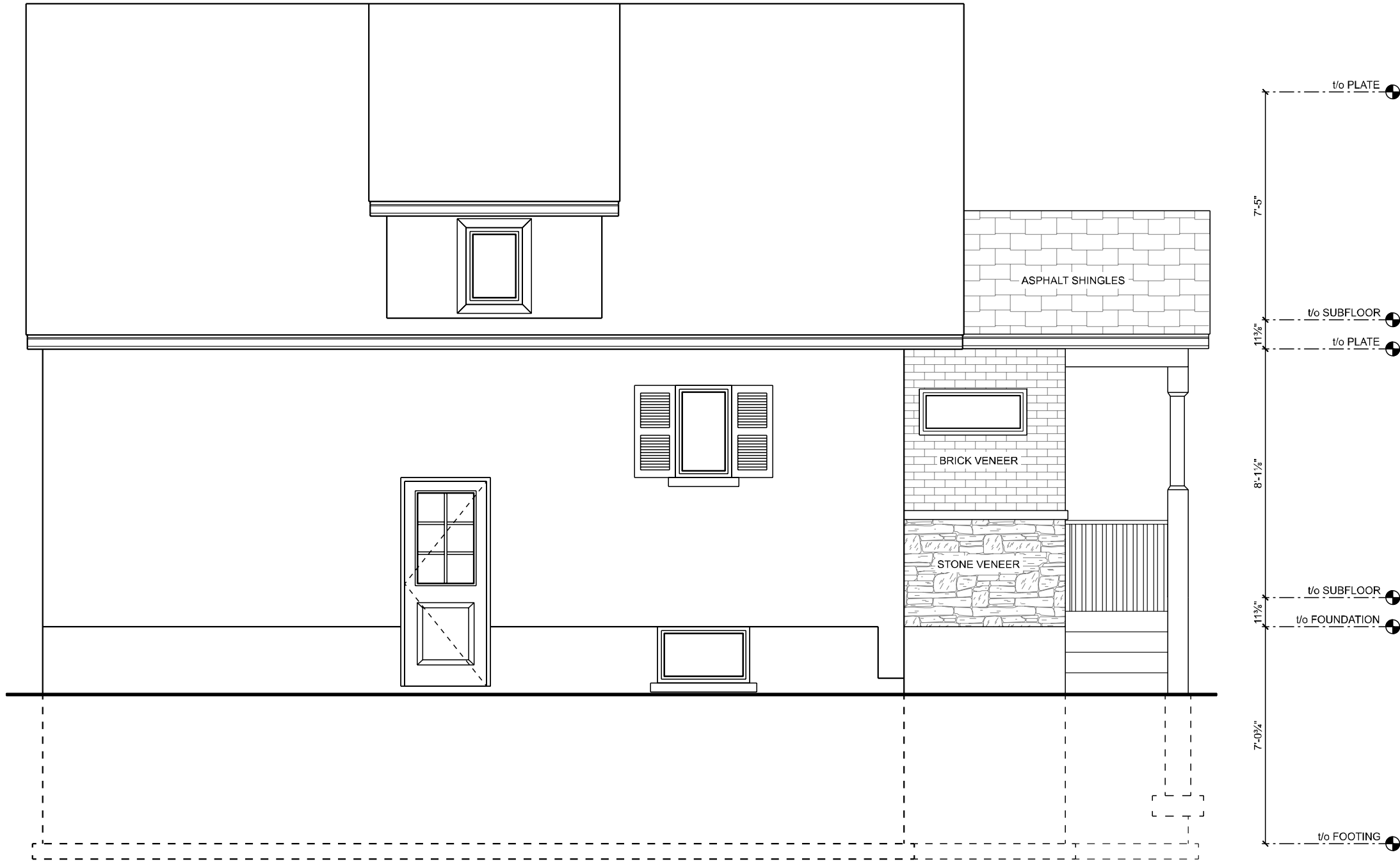
CUSTOMER:
Sarah Brydges
302 E 16th St.
Hamilton, ON

PROJECT:
Porch Renovation

DRAWING TITLE:
Right Elevation

DRAWING #: 21-162
SCALE: 1/4" = 1'-0"
PAGE #: 4 of 10

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LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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[Signature]
John Vanderwoerd BCIN 21611
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STARTING DATE:
Jun 4, 2021

LAST REVISION DATE:
Aug 31, 2021

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Hamilton, ON

PROJECT:
Porch Renovation

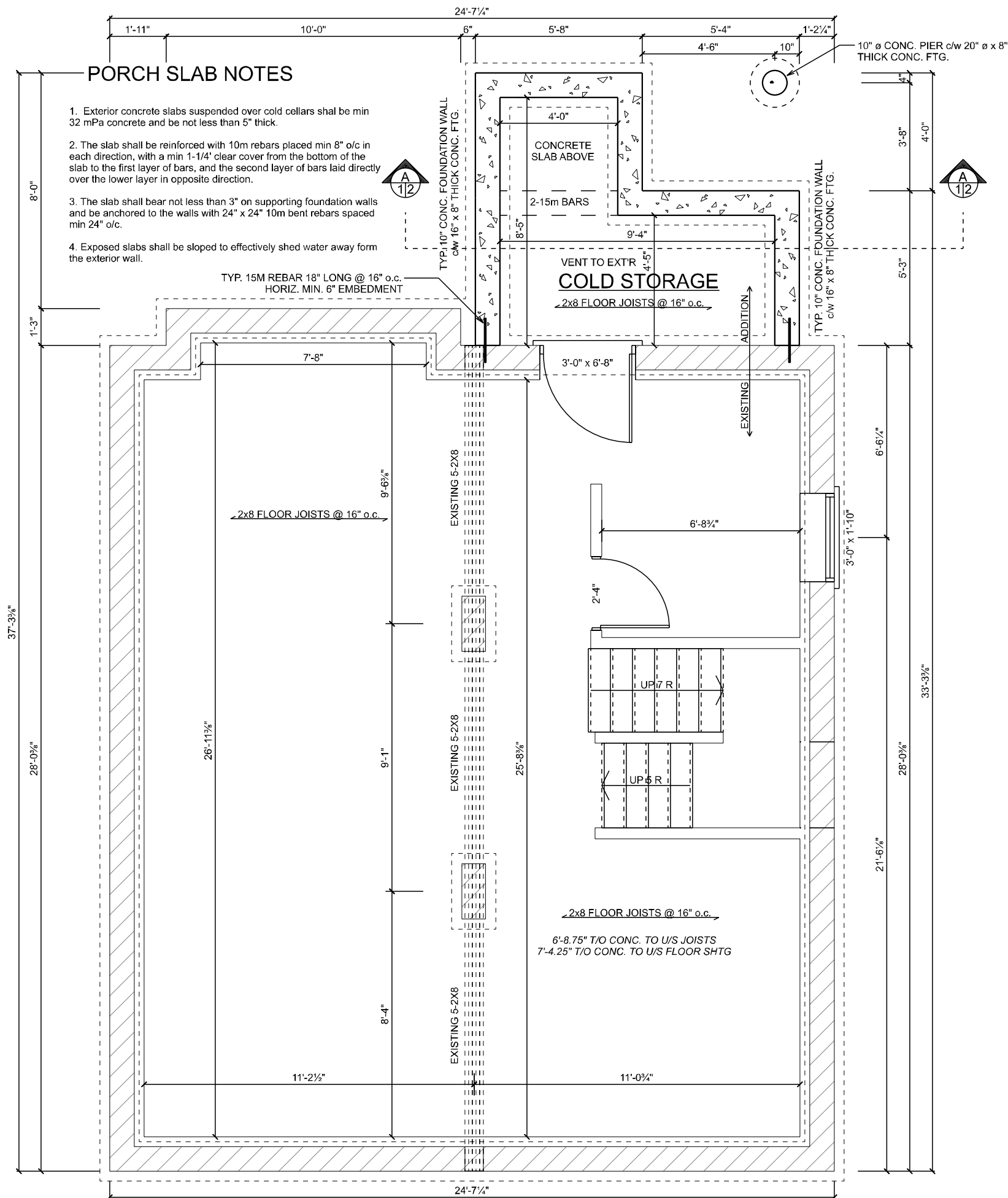
DRAWING TITLE:
Left Elevation

DRAWING #:
21-162

PAGE #:
5 of 10

SCALE:
1/4" = 1'-0"

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STARTING DATE:
Jun 4, 2021

LAST REVISION DATE:
Aug 31, 2021

CUSTOMER:

Sarah Brydges
302 E 16th St.
Hamilton, ON

PROJECT:

Porch Renovation

DRAWING TITLE:

Proposed Basement

DRAWING #:
21-162

PAGE #:
1 of 10

SCALE:
1/4" = 1'-0"

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**Committee of Adjustment**

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE**FOR OFFICE USE ONLY.**

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	Sarah Ashley Brydges + Lucas Wright	
Applicant(s)*		
Agent or Solicitor	Andrew Siders Purocraft Renovations Inc.	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

The Bank of Nova Scotia "Scotia bank"
44 King St. West
Toronto, ON
M5H 1H1

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Exemption to Section 18 (3)(vi)(D) of Zoning Bylaw 6593 to encroach upon the front yard setback by enclosing the existing porch

☐ Second Dwelling Unit

☒ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

By enclosing the existing porch and adding it to the living space, it encroaches on the required front yard setbacks

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Single Family Residential Dwelling Unit Reg'd plan 762
1301 302 East 16th St. Hamilton Lot 16

7. PREVIOUS USE OF PROPERTY

Residential ☒

Industrial ☐

Commercial ☐

Agricultural ☐

Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Owner's recollection
Age of the neighborhood

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

June 15 / 2022
Date

[Signature]
Signature Property Owner(s)

Lucas Wright
Print Name of Owner(s)

Sarah Brydges

Sarah Brydges

10. Dimensions of lands affected:

Frontage 31 ft.
Depth 113.5 ft.
Area 3,518.5 Sq. ft - .08 Acres
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

1.5 Story Home - 700 S.E. main floor, 500 S.E. on second floor
Ground floor is 24.5' wide x 29' deep approx 20' from grade to eaves. 10 x 10 shed located in the rear yard

Proposed:

To enclose the existing 5' x 10' front porch and construct a new 4' x 10' covered stair and landing in front.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

10 x 10 Shed located 14.86 m from front lot line, 17.9 m from the rear, .9 m from the ~~South~~ South side yard lot line, 9.23 m from the north side lot line

Proposed:

Enclose the existing
New porch and stair 4' x 10' with roof located 1.68 m from the front and 4.93 m from the South side lot line

13. Date of acquisition of subject lands:
June 20, 2014
14. Date of construction of all buildings and structures on subject lands:
1949
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family
17. Length of time the existing uses of the subject property have continued:
73 Years
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|----------|-----------|----------|
| Water | <u>✓</u> | Connected | <u>✓</u> |
| Sanitary Sewer | <u>✓</u> | Connected | <u>✓</u> |
| Storm Sewers | <u>✓</u> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
- ☐ Yes ☒ No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
- ☐ Yes ☐ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
- ☐ Yes ☒ No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.