

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	SC/A-22:231	SUBJECT PROPERTY:	35 UPPER LAKE AVENUE, STONEY CREEK
ZONE:	R2 and OS (Residential Two; Open Space)	ZONING BY-LAW:	Zoning By-law former City of Stoney Creek 3692-92, as Amended

APPLICANTS: Owner – William & Sharon Houston
Agent – Sean Lachepele

The following variances are requested:

1. One (1) parking space shall be provided instead of the minimum required two (2) parking spaces.

PURPOSE & EFFECT: To permit the construction of an addition in the Northerly and Southerly side yards and a front porch expansion in the front and Northerly side yard

Notes:

1. Insufficient information has been provided for parking within the proposed garage and the driveway within the front yard. Section 6.3.4 of Stoney Creek Zoning By- Law 3692-92 requires a minimum number of two (2) parking spaces per dwelling of which only one may be provided in the required front yard. Tandem parking is permitted. Parking spaces within the attached, private garage shall be 6.0 m x 3.0 m. The proposed garage does not appear to provide ample space for the required parking space. As such, a variance has be added to address this.
2. Be advised, as per Section 4.10.2 b) of Stoney Creek Zoning By-Law 3692-92, any parking space other than a 90 degree parking space shall have a width of 3.0 m and a length of 6.0 m. Insufficient information has been provided regarding parking spaces on the driveway. Should the parking space within the driveway not meet the required dimensions of a parking space, additional variances may be required.
3. Insufficient information has been provided for the front porch stairs. An unenclosed porch, including the stairs, may project into any required front yard 1.5 metres. It appears that the proposed front

porch stairs encroach beyond the maximum permitted 1.5 metres. Should the porch and stairs encroach further than the permitted 1.5 metres, additional variances may be required.

4. Be advised, a portion of the property is within the OS (Open Space) zone which does not permit a Single Family Dwelling or Uses, Buildings or Structures accessory to the Single Family Dwelling use. Insufficient information has been provided regarding the location of the proposed addition(s) to the Single Family Dwelling in relation to the Open Space zone. Should any portion of the proposed expansion to the Single Family Dwelling be within the Open Space zone, additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 11, 2022
TIME:	2:05 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

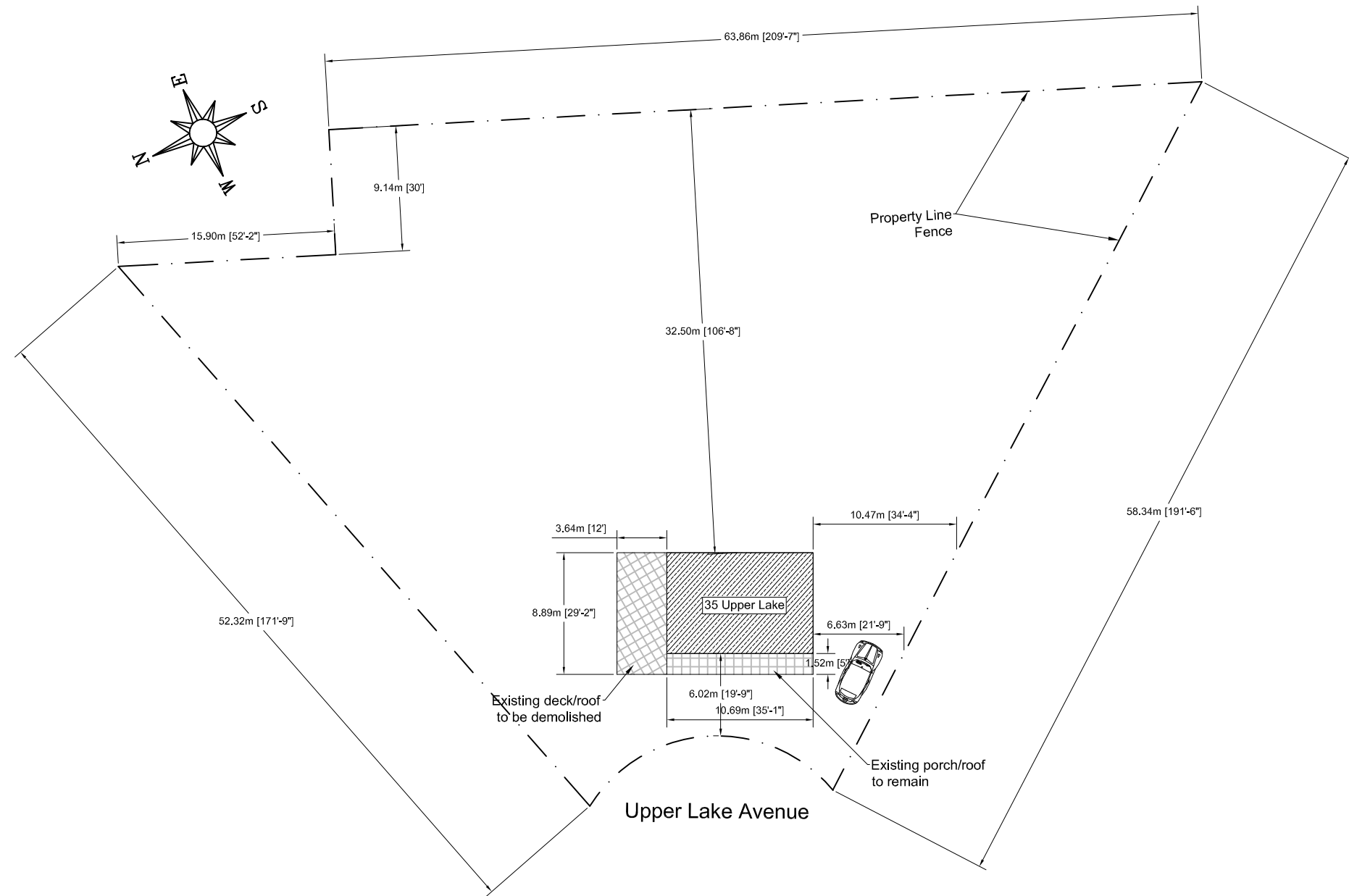


 **Subject Lands**

DATED: July 26, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Existing Site Plan
Scale 1:400

ENGINEER
SEAL:

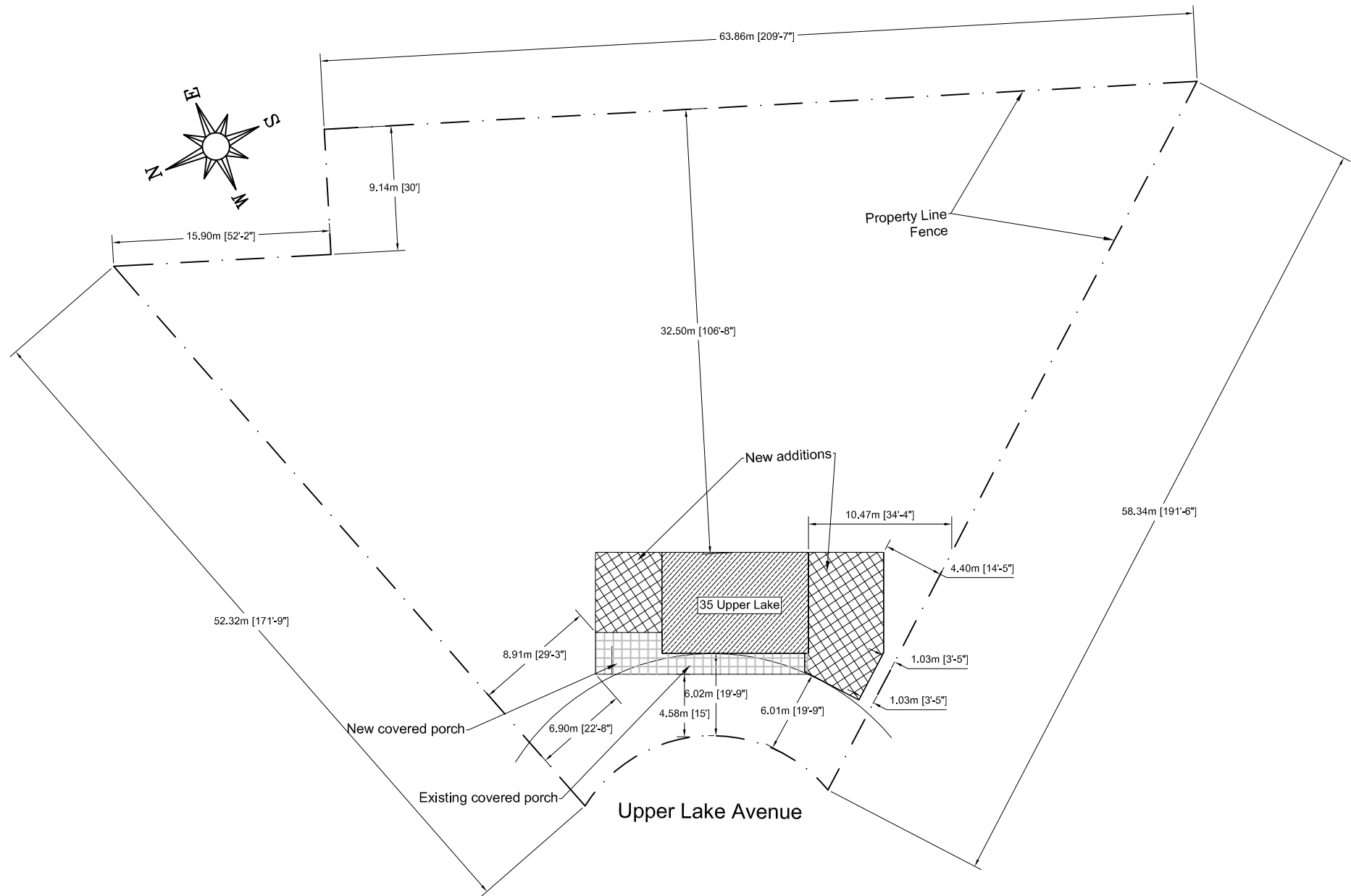
No.	Revision/Issue	Date
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PROJECT:
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:
Existing Site Plan

SauzTek Engineering Inc.
www.SauzTek.ca
Tel: 905-330-2431
Email: info@sauzTek.ca

SCALE:	DRAWING NO.
DESIGNED BY:	SP1.01
APPROVED BY:	



Proposed Site Plan
Scale 1:400

BUILDING AND SITE STATISTICS RESIDENTIAL BUILDING ZONE R2
LOT AREA = 2399 m² MAXIMUM LOT COVERAGE 40%
HEIGHT OF BUILDING = 7.42m MAXIMUM HEIGHT OF BUILDING = 11m

LOT COVERAGE (SQ.m)				
	EXISTING	PROPOSED	TOTAL	%
FIRST FLOOR	78.77	81.39	160.16	6.7
COVERED PORCH/DECK (SEE NOTE 1)	16.25+32.36	14.87	31.12	1.3
TOTAL			191.28	8

NOTE1-PART OF EXISTING COVERED PORCH/DECK WHICH IS 32.36m² TO BE DEMOLISHED

ENGINEER
SEAL:



No.	Revision/Issue	Date

PROJECT:

35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:

Proposed Site Plan

**SauzTek
Engineering Inc.**
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca


SCALE:	DRAWING NO. SP1.02
DESIGNED BY:	
APPROVED BY:	

PROJECT:

NEW ADDITION FOR THE EXISTING RESIDENTIAL
BUILDING LOCATED AT 35 UPPER LAKE AVENUE,
HAMILTON,ONTARIO

SHEET INDEX	
S0.01	COVER SHEET
SP1.01	EXISTING SITE PLAN
SP1.02	PROPOSED SITE PLAN
S1.01	EXISTING PLAN AT BASEMENT
S1.02	EXISTING PLAN AT FIRST FLOOR
S1.03	EXISTING PLAN AT SECOND FLOOR
S1.04	PROPOSED PLAN AT BASEMENT
S1.05	PROPOSED PLAN AT FIRST LEVEL
S1.06	PROPOSED PLAN AT SECOND LEVEL
S1.07	PROPOSED ROOF PLAN
S2.01	EAST VIEW
S2.02	WEST VIEW
S2.03	NORTH VIEW
S2.04	SOUTH VIEW
S2.05	SECTION A
S2.06	SECTION B
S5.01	SCHEDULES, GENERAL NOTES

ENGINEER
SEAL:



No.	Revision/Issue	Date

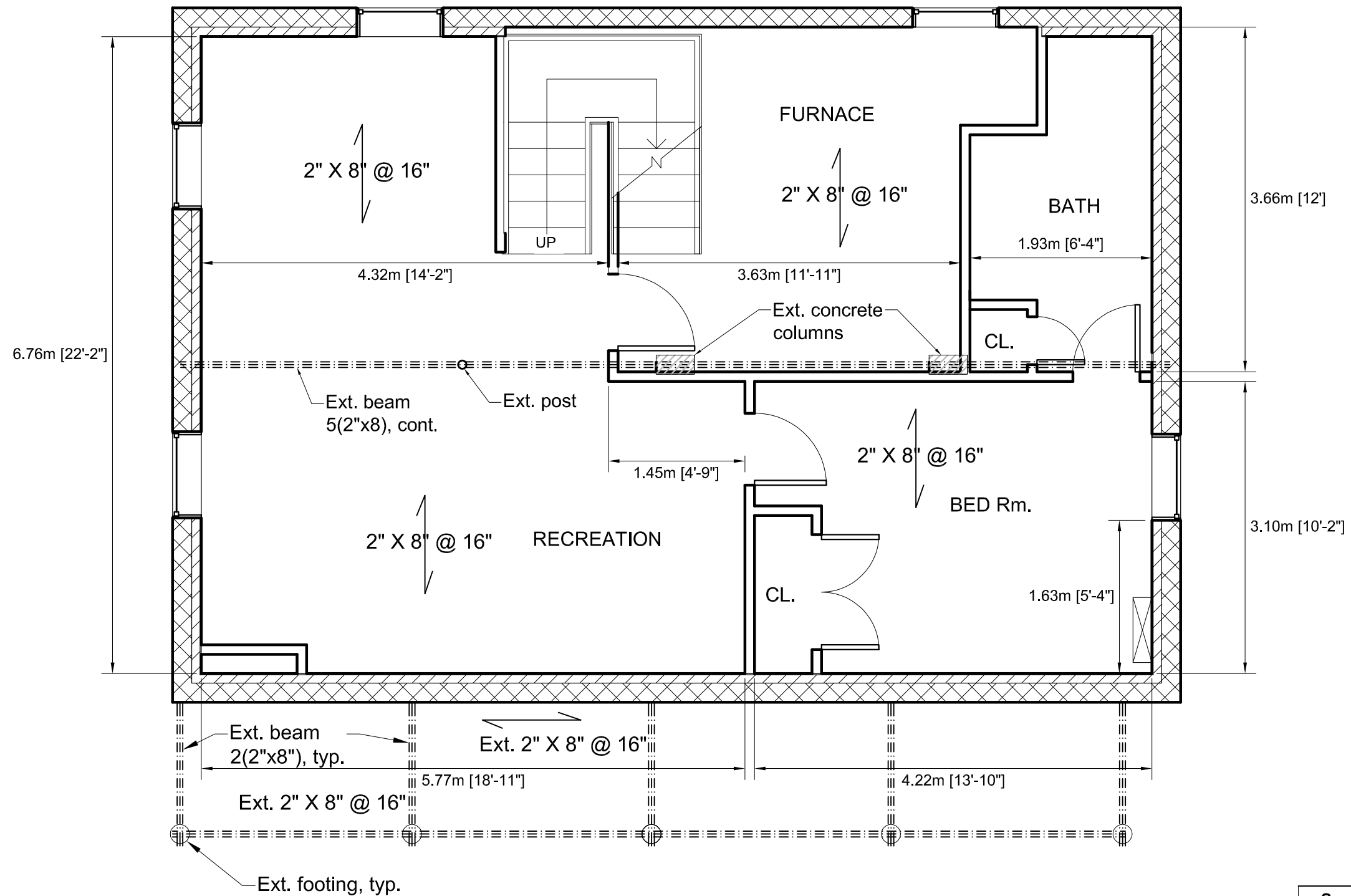
PROJECT:

35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:

Cover Page

SCALE:	DRAWING NO. S0.01
DESIGNED BY:	
APPROVED BY:	



Existing Basement Plan
Scale 1:50

ENGINEER
SEAL:



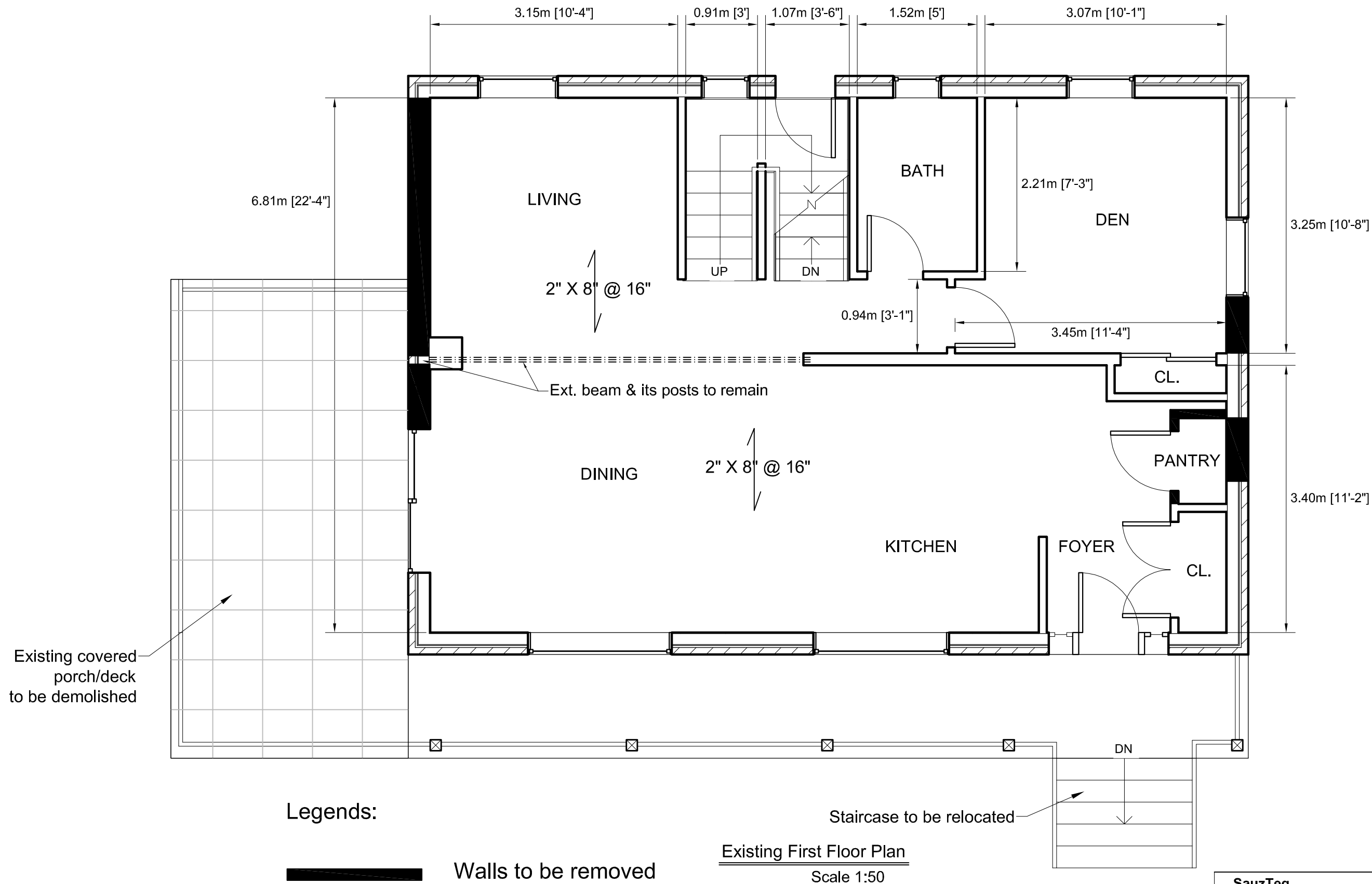
No.	Revision/Issue	Date

PROJECT:
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:
Existing Basement
Plan

**SauzTeq
Engineering Inc.**
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO. S1.01
DESIGNED BY:	
APPROVED BY:	



ENGINEER
SEAL:



No.	Revision/Issue	Date

PROJECT:

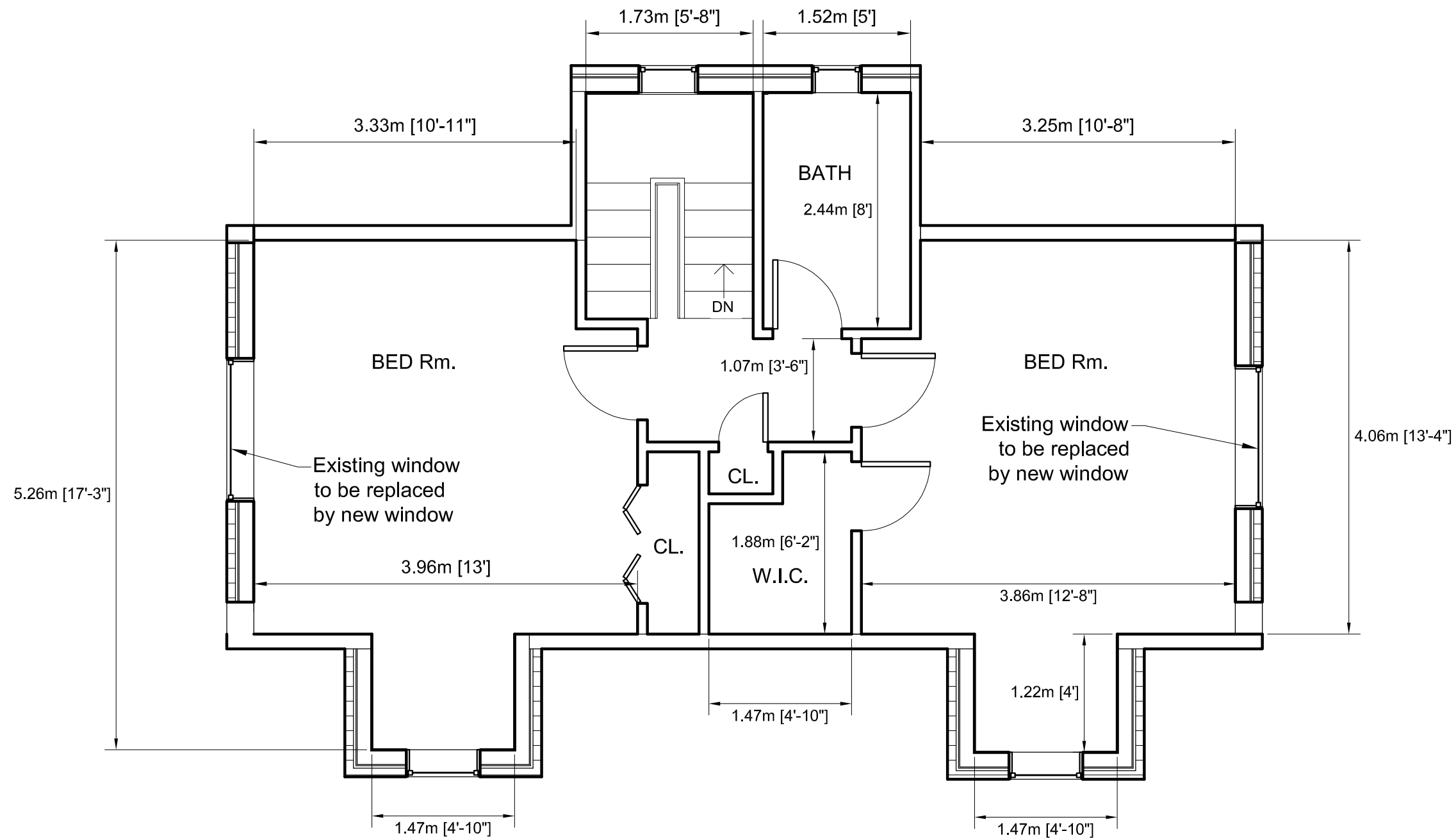
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:

Existing First Floor
Plan

**SauzTek
Engineering Inc.**
www.SauzTek.ca
Tel: 905-330-2431
Email: info@sauzTek.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S1.02
APPROVED BY:	



Existing Second Floor Plan
Scale 1:50

ENGINEER
SEAL:



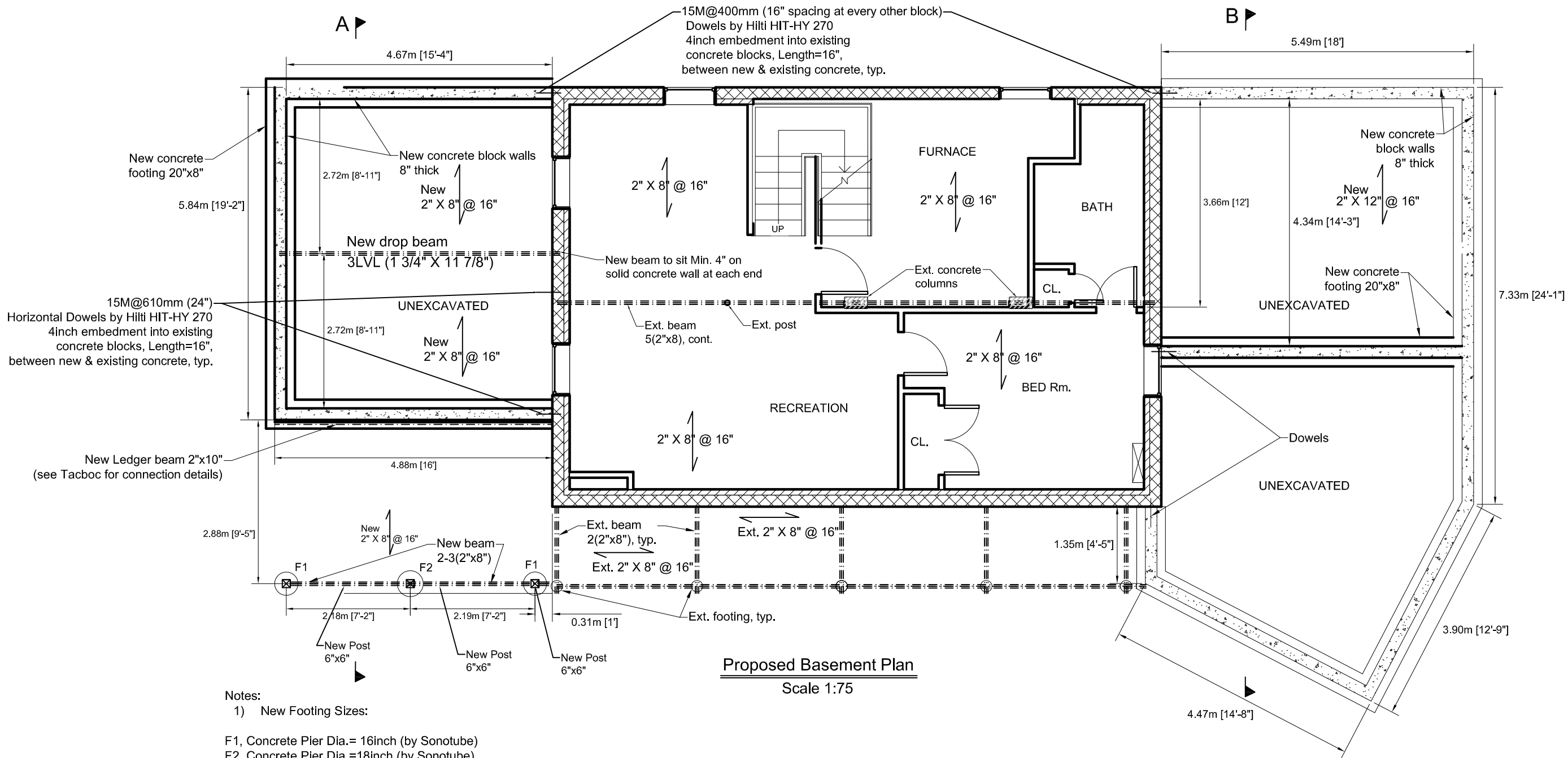
No.	Revision/Issue	Date

PROJECT:
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:
Existing Second
Floor Plan

**SauzTeq
Engineering Inc.**
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO. S1.03
DESIGNED BY:	
APPROVED BY:	



Notes:

1) New Footing Sizes:

F1, Concrete Pier Dia.= 16inch (by Sonotube)

F2, Concrete Pier Dia.=18inch (by Sonotube)

Compression strength of concrete 30MPa (Min.)

- 2) All footings to be embedded minimum 4ft below grade and sit on undisturbed soil.
- 3) Top of footing should be minimum 6inch above grade.
- 4) Attach all new posts (6"x6") to concrete footings by Simpson Column Base RCPS5.5HDG or Equivalent.
- 5) Lumbers exposed to exterior weather to be Spruce No. 1/No.2 grade pressure treated.
- 6) Refer to attached TACBOC drawings for details of guardrails, handrails, stairs and deck.
- 7) Do not damage or disturb soil under existing footings.

ENGINEER
SEAL:



No.	Revision/Issue	Date
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PROJECT:

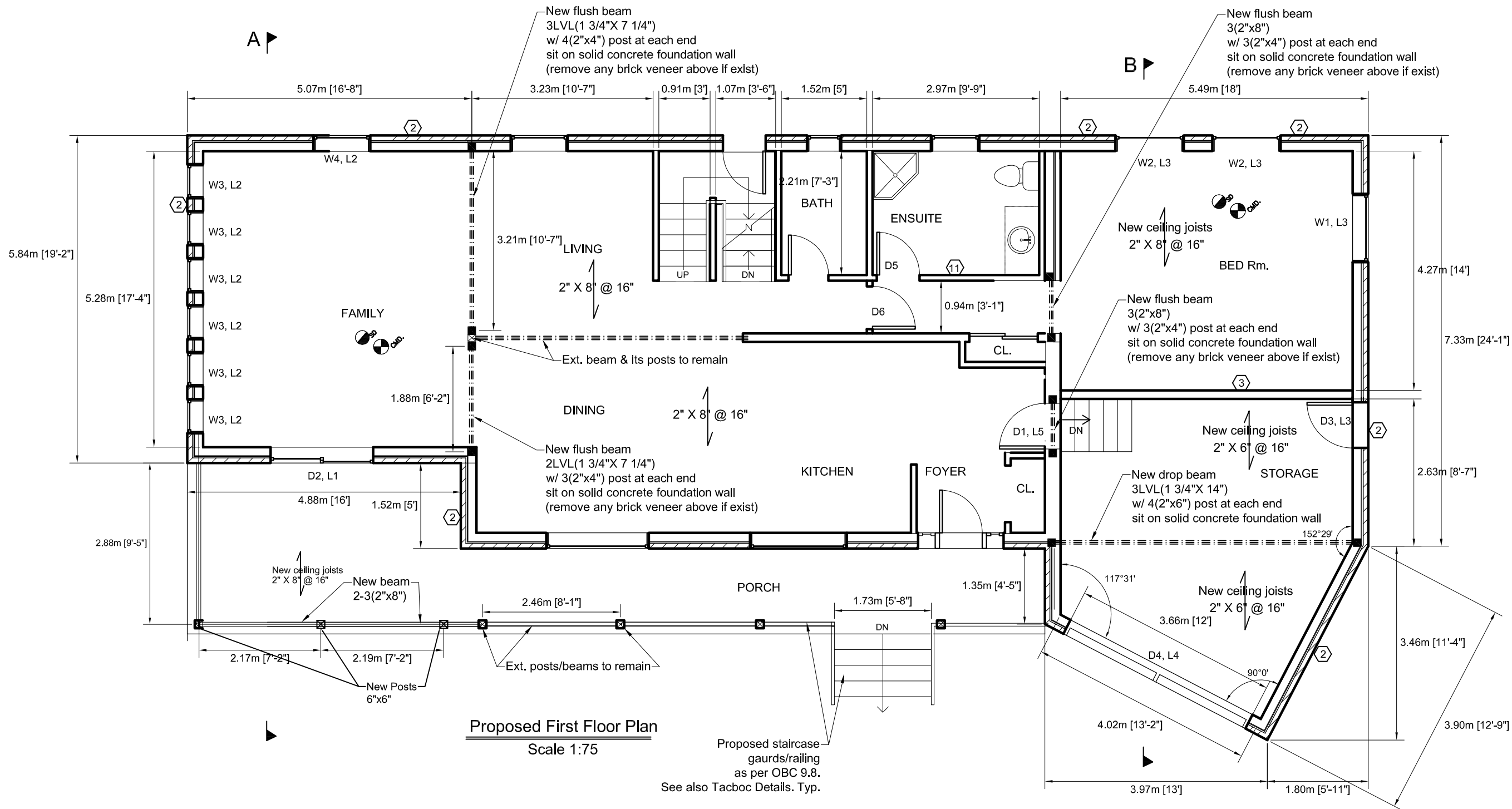
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:

Proposed Basement
Plan

**SauzTeq
Engineering Inc.**
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S1.04
APPROVED BY:	



ENGINEER
SEAL:



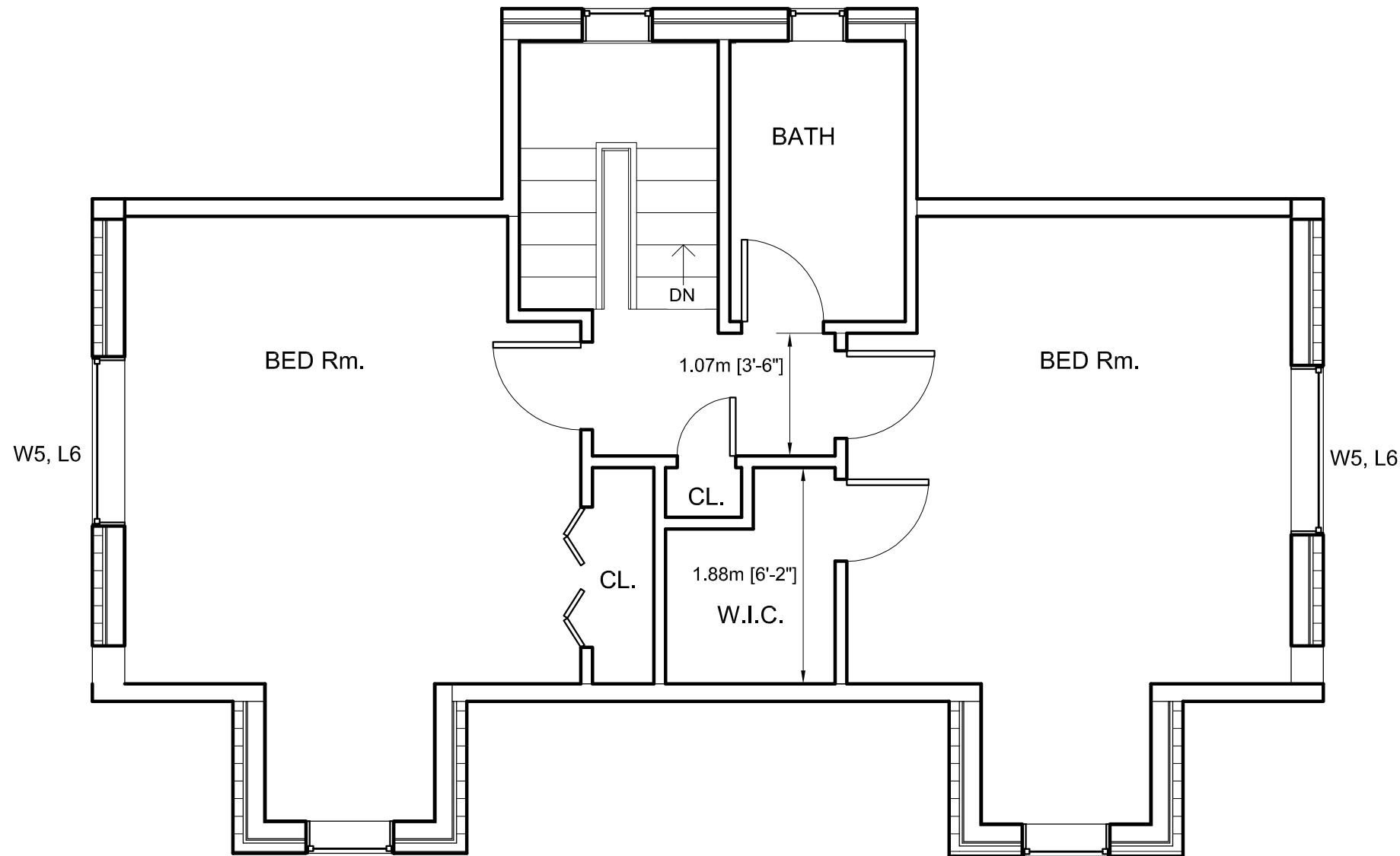
No.	Revision/Issue	Date

PROJECT:
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:
Proposed First Floor
Plan

**SauzTeq
Engineering Inc.**
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S1.05
APPROVED BY:	



Proposed Second Floor Plan
Scale 1:50

ENGINEER
SEAL:

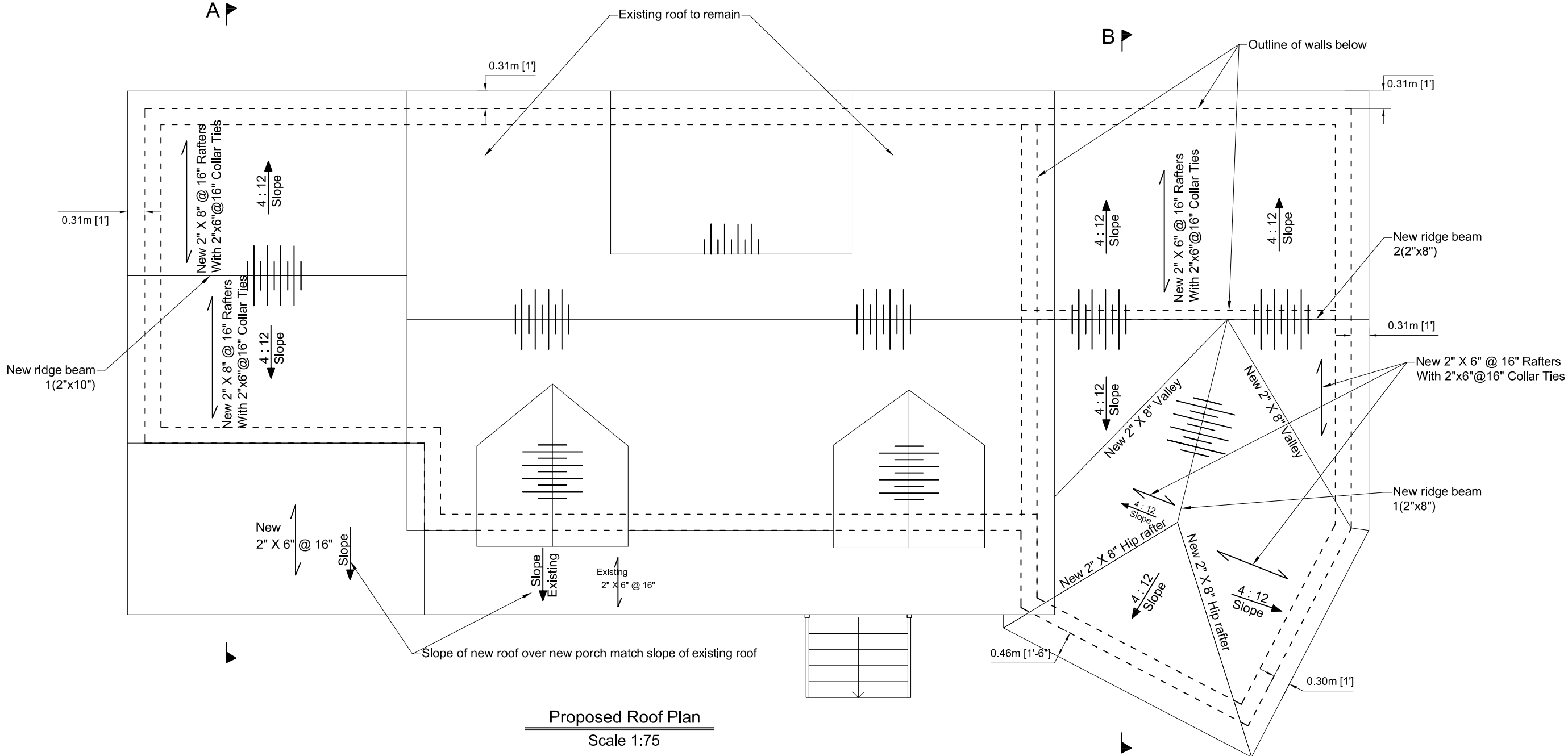
No.	Revision/Issue	Date

PROJECT:
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:
Proposed Second
Floor Plan

**SauzTek
Engineering Inc.**
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO. S1.06
DESIGNED BY:	
APPROVED BY:	



Proposed Roof Plan
Scale 1:75

ENGINEER SEAL:

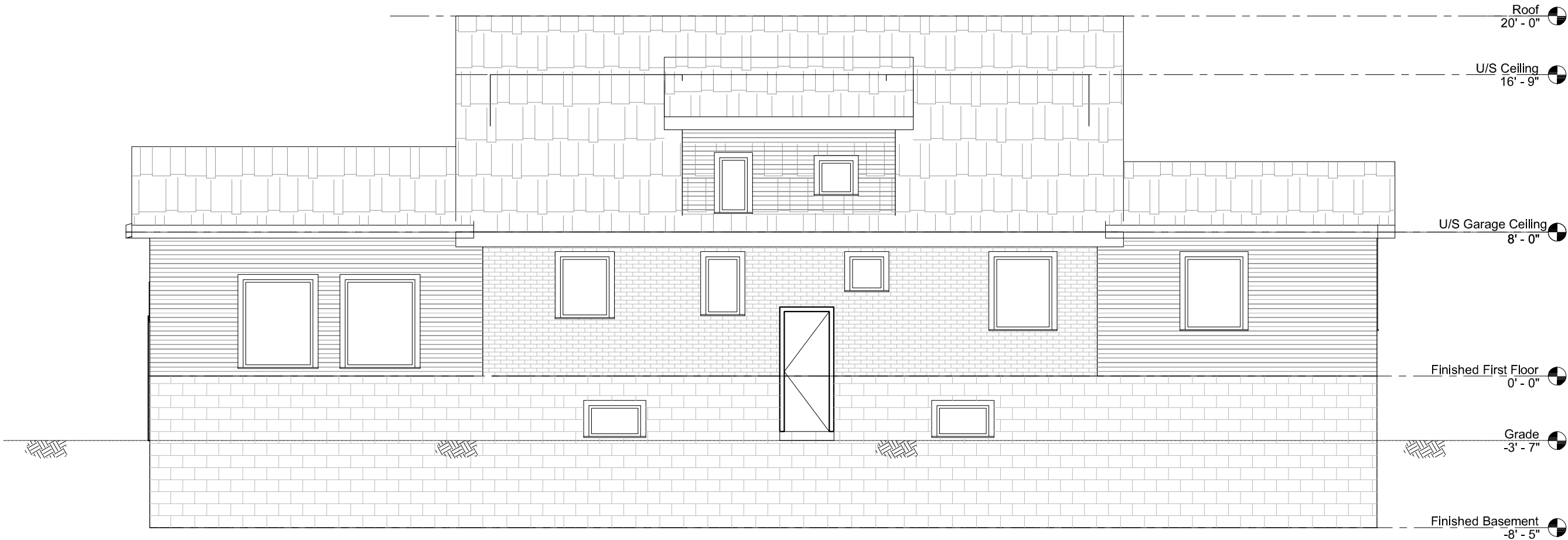
No.	Revision/Issue	Date

PROJECT:
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:
Proposed Roof Plan

SauzTek Engineering Inc.
www.Sauztek.ca
Tel: 905-330-2431
Email: info@sauztek.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S1.07
APPROVED BY:	



East View
Scale 1:75

ENGINEER
SEAL:



No.	Revision/Issue	Date

PROJECT:

35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:

East View

**SauzTeq
Engineering Inc.**
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.01
APPROVED BY:	



West View
Scale 1:75

ENGINEER
SEAL:



No.	Revision/Issue	Date

PROJECT:

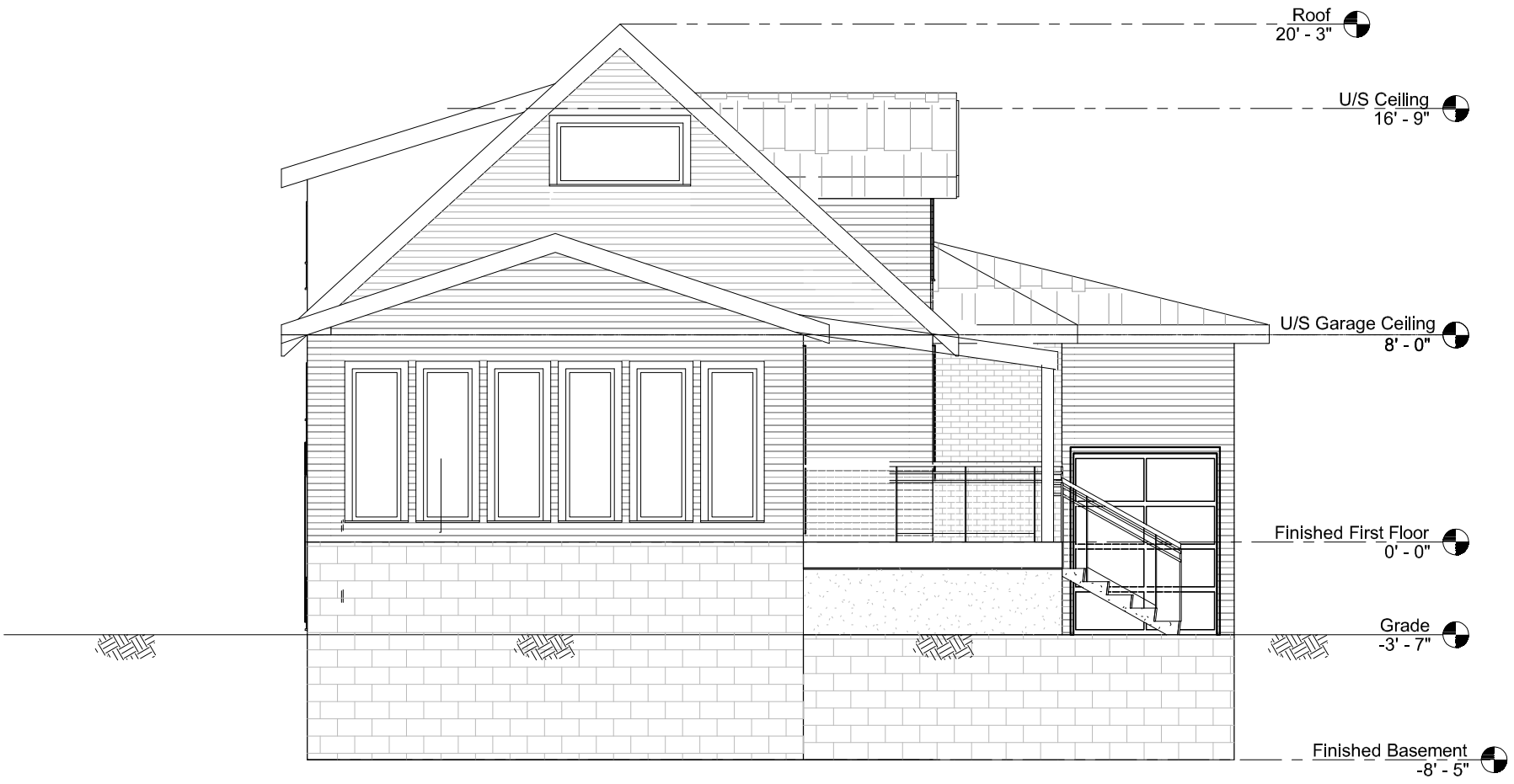
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:

West View

**SauzTeq
Engineering Inc.**
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.02
APPROVED BY:	



North View
Scale 1:75

ENGINEER
SEAL:



No.	Revision/Issue	Date

PROJECT:

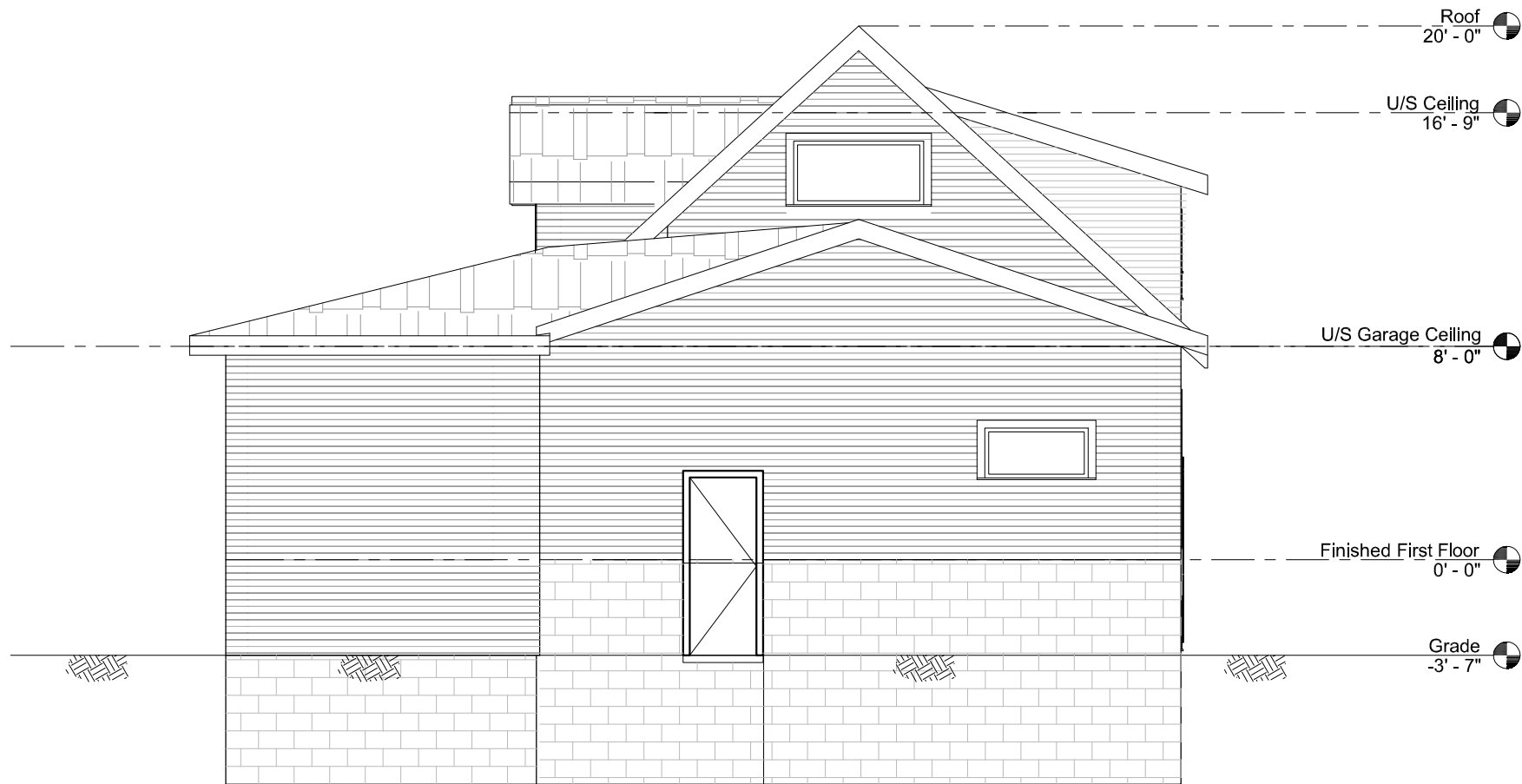
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:

North View

**SauzTeq
Engineering Inc.**
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.03
APPROVED BY:	



South View
Scale 1:75

ENGINEER
SEAL:

No.	Revision/Issue	Date

PROJECT:

35 Upper Lake Avenue
Stoney Creek Ontario

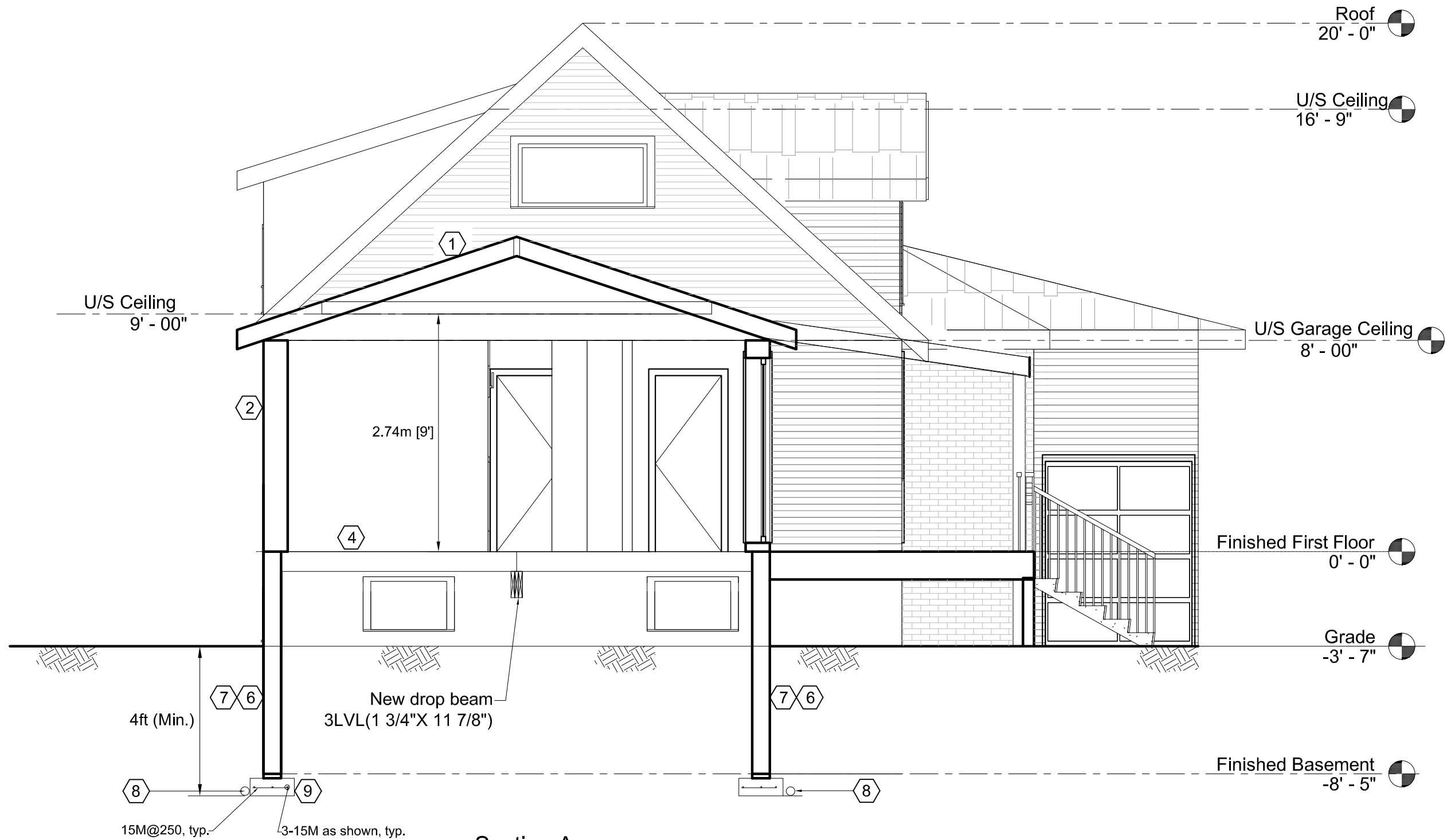
TITLE:

South View

SauzTek
Engineering Inc.

www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.04
APPROVED BY:	



Section A
Scale 1:50

ENGINEER
SEAL:

No.	Revision/Issue	Date

PROJECT:

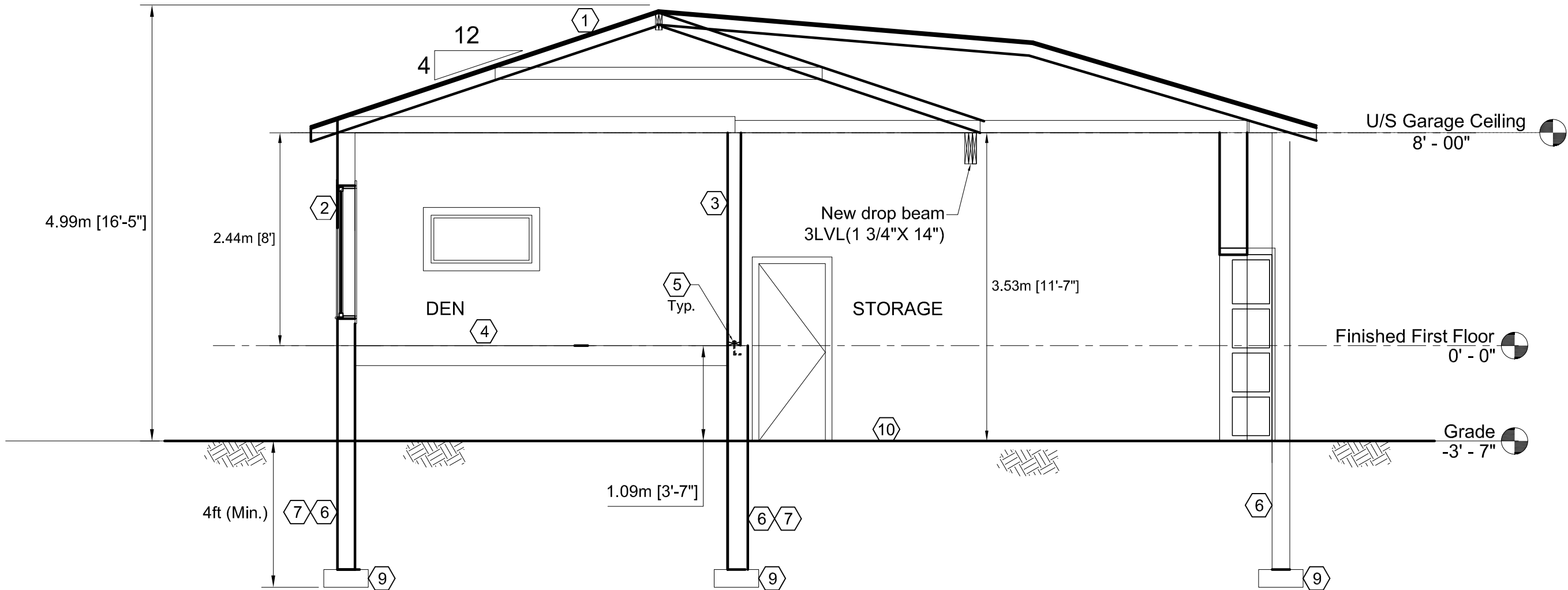
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:

Section A

SauzTeq Engineering Inc.
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.05
APPROVED BY:	



Section B
Scale 1:50

ENGINEER
SEAL:

No.	Revision/Issue	Date

PROJECT:
35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:
Section B

SauzTeq Engineering Inc.
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO. S2.06
DESIGNED BY:	
APPROVED BY:	

DOOR SCHEDULE	
D1	NEW EXTERIOR 32"(W)X80"(H), WITH SELF CLOSING DEVICE & AIR TIGHT/GAS PROOF
D2	NEW PATIO DOOR 72"(W)X80"(H)
D3	NEW EXTERIOR 32"(W)X80"(H)
D4	NEW GARAGE DOOR 144"(W)X84"(H)
D5	NEW INTERIOR 28"(W)X80"(H)
D6	NEW INTERIOR 30"(W)X80"(H)

	LINTEL SCHEDULE
L1	3(2"X10") W/ 3(2"X6") POST EACH SIDE
L2	2(2"X8") W/ 3(2"X6") POST EACH SIDE
L3	3(2"X8") W/ 3(2"X6") POST EACH SIDE
L4	3LVL(1 3/4"X9 1/2") W/ 4(2"X6") POST EACH SIDE
L5	2(2"X8") W/ 3(2"X4") POST EACH SIDE & STEEL ANGLE L 3.5"X3.5"X0.25" W/ 6INCH BEARING EACH SIDE,
L6	2(2"X8") W/ 3(2"X4") POST EACH SIDE

WINDOW SCHEDULE	
W1	NEW 48"(W)X24"(H)
W2	NEW 48"(W)X60"(H)
W3	NEW 24"(W)X72"(H)
W4	NEW 40"(W)X50"(H)
W5	NEW 60"(W)X36"(H)

LEGENDS:



SMOKE ALARM



CARBONMONOXIDE
DETECTOR

CONSTRUCTION NOTES:

- 1
- ROOF CONSTRUCTION WITH ATTIC SPACE

210 (9.5KG/M²) ASPHALT SHINGLES, 5/8" (16) PLYWOOD SHEATHING WITH "H" CLIPS ON RAFTERS, 3' (915) STRIP, AS PER O.B.C. 9.26.5.2 EAVE PROTECTION, METAL EAVE TROUGH ON ALUM. FASCIA AND VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES. WITH R60 INSULATION.
- 2
- SIDE WALL CONSTRUCTION W/CONTINUOUSE INSULATION

VINYL SIDING ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE 1" THICK RIGID INSULATION (JOINTS UNTAPED) MECHANICAL FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8"(9.5) EXT. GRADE SHEATHING ON 2"X6"(38X140) STUDS@16"(406) O.C., R19 INSULATION BETWEEN STUDS, APPROVED 6 MIL. POLYETHYLENE AIR/VAPOUR BARRIER ON 1/2"(12.7). (GYPSUM WALL BOARD INTERIOR FINISH (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1))
- 3
- FUME-PROOF INSULATED INTERIOR WALL IN GARAGE

1/2"(12.7) THICK G.W.B. ON HOUSE INTERIOR SIDE OF 6 MIL. POLY. AIR/VAPOUR BARRIER ON 2"X6"@16" (38X140 @406) O.C. 2 TOP PLATES & 1 BOTTOM PLATE, C/W. R-24 BATT INSULATION BETWEEN ON 2 LAYERS G.W.B. WITH STAGGERED JOINTS COVERED WITH F.P. TAPE AND COMPOUND FINISHED WITH PAINT AS SELECTED BY OWNER.
- 4
- EXPOSED FLOOR

FINISHED FLOOR ON 5/8"(16) T & G SUB FLOOR ON JOISTS AS SHOWN WITH R31 SPRAY FOAM INSULATION BETWEEN JOISTS AND 5/8" THICK CEMENT BOARD UNDERNEATH.
- 5
- SILL PLATE

2"x6" (38X140) SILL PLATE FASTENED TO FOUNDATION WALL WITH 1/2"(12.7) DIA. ANCHOR BOLTS SPACED 4'(1219) OCS. X 6"(150) LONG. ANCHOR BOLTS WITH NUTS AND WASHERS TO BE EMBEDDED NOT LESS THAN 4"(100) IN THE FOUNDATION. GROUT WITH 16.7MPA GROUT. SILL PLATE TO BE LEVELED ON A FULL BED OF MORTAR OR IF TOP OF FOUNDATION IS PERFECTLY LEVELED.AN APPROVED SILL PLATE GASKET OR LAYER OF MINERAL WOOL AT LAST 1"(25) THICK TO BE PROVIDED. ALL AS PER OBC.9.23.6.
- 6
- FOUNDATION WALL

8"(203) THICK CONCRETE BLOCK FOUNDATION WALL, COMPRESSION STRENGTH OF BLOCK 20MPa WITH TYPE "S" MORTAR AT JOINTS. WITH 2 COATS BITUMINOUS DAMP PROOFING & DRAINAGE LAYER FROM GRADE TO FOOTING ON.
- 7
- DAMP PROOFING MATERIAL: CONFORM TO 9.13.2.2(1)
- 8
- DRAIN TILE OR PIPE

DRAIN TILE AND PIPE TO BE 4"(100) MIN. DIA. AND INSTALLED ON UNDISTURBED SOIL AND CONNECT TO EXISTING DRAIN TILE. THE TOP AND SIDES OF DRAIN PIPE OR TILE TO BE COVERED WITH NOT LESS THAN 150MM OF CRUSHED STONE OR OTHER COARSE CLEAN GRANULAR MATERIAL. ALL AS PER OBC 9.14.3. SHALL NOT ACCUMULATE NEAR THE BUILDING OR AFFECT SURFACE DRAINAGE OF ADJACENT PROPERTIES.
- 9
- CONCRETE FOOTING

NEW CONCRETE FOOTING 20"x8" WITH REBARS AS SHOWN AT SAME LEVEL OF EXISTING FOOTINGS WITH COMPRESSION STRENGTH OF CONCRETE 30MPa To SIT ON UNDISTURBED SOIL. (MINIMUM FOOTING DEPTH 4FT BELOW GRADE).
- 10
- GARAGE SLAB

4" (102) MIN. 25MPa (3600psi) CONCRETE SLAB C/W 6X6 6/6 W.W.M. IN CENTER OF SLAB ON 4" (102) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN..
- 11
- INTERIOR PARTITION

(NON LOAD BEARING), 1/2"(12.7) THICK G.W.B. EACH SIDE OF 2"X4" (38X89) WOOD STUDS @16"(406) O.C. FINISHED WITH PAINT AS SELECTED BY OWNER.

GENERAL NOTES:

- 1-ALL INFORMATION IS SHOWN AS EXISTING SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. IF ANY DISCREPANCIES FOUND IN DRAWINGS, INFORM THE ENGINEER BEFORE PROCEEDING THE WORK.
- 2-CONTRACTOR TO CAREFULLY EXAMINE ALL EXISTING SITE CONDITIONS AND BUILDING COMPONENTS, SO THAT A CLEAR AND COMPREHENSIVE UNDERSTANDING OF THE SCOPE OF WORK IS ACHIEVED.
- 3-VERIFY DIRECTION OF EXISTING JOISTS AS SHOWN ON DRAWINGS. REPORT TO ENGINEER IF FOUND DISCREPANCIES BEFORE START OF CONSTRUCTION.
- 4-WHERE EXISTING CONSTRUCTION TO REMAIN IS DAMAGED BY CONTRACTOR'S DEMOLITION WORK, THE CONSTRUCTION MUST BE REPAIRED TO MATCH EXISTING.
- 5-THE EXISTING UTILITIES SHOULD BE PROTECTED AND RELOCATED IF REQUIRED.
- 6-IT IS THE CONTRACTOR'S RESPONSIBILITY WHEN DEMOLISHING THE EXISTING WALLS AND CEILINGS TO ENSURE THAT ELECTRICAL SERVICES WITHIN WALLS AND CEILING ARE NOT LIVE.
- 7-AT LOCATIONS WHERE EXISTING WALLS, PIPING, DUCTWORK, AND MILLWORK ARE TO BE REMOVED, CONTRACTOR SHALL REPAIR AND MAKE GOOD AFFECTED SURFACES TO MATCH EXISTING.
- 8-MATERIAL. ALL STEEL SECTIONS TO MEET CSA G40.20/G40.21, W SECTION GRADE 350W. STEEL PLATES AND ANGLES GRADE 300W, STEEL HOLLOW SECTIONS GRADE 350W. COMPRESSION STRENGTH OF CONCRETE 30MPA (MINIMUM).
- 9-MATERIAL FOR LUMBERS IS S-P-F, SELECT STRUCTURAL. LUMBERS EXPOSED TO EXTERIOR WEATHER TO BE PRESSURE TREATED.
- 10-MATERIAL FOR LVL BEAMS IS 2.0E (FROM WEST FRASER TIMBER), LVL SCREWS FROM FLATLOK
- 11- USE SIMPSON HANGERS TO ATTACH JOISTS TO NEW BEAMS. FOR NUMBER AND TYPE OF FASTENERS REFER TO SUPPLIER INSTRUCTION.
- 12-WELDING TO COMPLY WITH CSA W59 AND BE CARRIED OUT BY CERTIFIED WELDERS. WELDING ELECTRODES TO BE E480XX. BEFORE START OF WELDING, MAKE ALL WELDING SURFACES CLEAN FROM RUST.
- 13-DO SITE MEASUREMENTS FOR EXACT SIZES OF NEW BEAMS AND POST.
- 14-PROVIDE TEMPORARY SUPPORT FOR EXTERIOR WALLS BEFORE MAKING NEW OPENINGS.

ENGINEER
SEAL:



No.	Revision/Issue	Date

PROJECT:

35 Upper Lake Avenue
Stoney Creek Ontario

TITLE:

Schedules, Notes

SCALE:	DRAWING NO. S5.01
DESIGNED BY:	
APPROVED BY:	



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	William James Houston Sharon Lynn Houston	
Applicant(s)*	As Above	
Agent or Solicitor	Sean Lachapelle	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Royal Bank of Canada
917 Queenston Rd.
L8G-1B8

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

☐ Second Dwelling Unit ☒ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

FRONT SET BACK FOR REQUIRED PARKING SPACES

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

35 UPPERLAKE AVE STONEY CREEK

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐

No ☒

Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

House was built in 1952, prior to that this area was farm land

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached?

Yes

☐

No

☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

June, 22, 2022

Date



Signature Property Owner(s)

Bill Houston

Print Name of Owner(s)

Shanon Houston

Shanon Houston

10. Dimensions of lands affected:

Frontage

34.06 m

Depth

58.34 m

Area

1987.06 m²

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

STOREY & HALF
78.77 m²

Proposed

TWO SIDE ADDITIONS, ONE STOREY
81.39 m² TOTAL OF 160.16 m²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

8.91 m FROM LOT LINES @ SIDES
6.02 m FROM FRONT
32.50 m FROM REAR

Proposed:

8.91 m FROM RIGHT, 1.03 FROM LEFT
6.02 m FROM FRONT
32.50 m FROM REAR

13. Date of acquisition of subject lands:
April 1998

14. Date of construction of all buildings and structures on subject lands:
1955

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family

17. Length of time the existing uses of the subject property have continued:
70+ years

18. Municipal services available: (check the appropriate space or spaces)

Water _____ ✓	Connected _____ ✓
Sanitary Sewer _____ ✓	Connected _____ ✓
Storm Sewers _____	

19. Present Official Plan/Secondary Plan provisions applying to the land:
Z518003480205 000 NEIGHBOURHOODS

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
R2 + OS

21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number:

21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes ☒ No

21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes ☒ No

23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.