



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-22:153	SUBJECT PROPERTY:	9 SOUTHVIEW PLACE, HAMILTON
ZONE:	C/S-1335 and C/S-1335a (Urban Protected Residential, etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended by By-law No. 95-02 and 05-033

APPLICANTS: Owner – S. Mohan & S. Mohan
Agent – Vivek Gupta

The following variances are requested:

1. Two (2) entrances shall be permitted on the front façade of the dwelling instead of the requirement that a maximum of one entrance shall be permitted on the front facade of a dwelling containing a Secondary Dwelling Unit.
2. A minimum parking space length of 5.9m shall be permitted instead of the minimum required parking space length of 6.0m.

PURPOSE & EFFECT: To establish a Secondary Dwelling Unit within an existing Single Family Dwelling.

Notes:

- i) Pursuant to the regulations contained in Section 19 of Hamilton Zoning By-law No. 6593, a Secondary Dwelling Unit shall contain a maximum of two (2) bedrooms. The Plans for a secondary dwelling unit in the basement show two (2) bedrooms. The Agent indicated that the “proposed rec room”, “proposed office” and “proposed storage” are not intended to be used as “bedrooms”. If these rooms are used as bedrooms, a further variance shall be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 11, 2022
TIME:	2:45 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

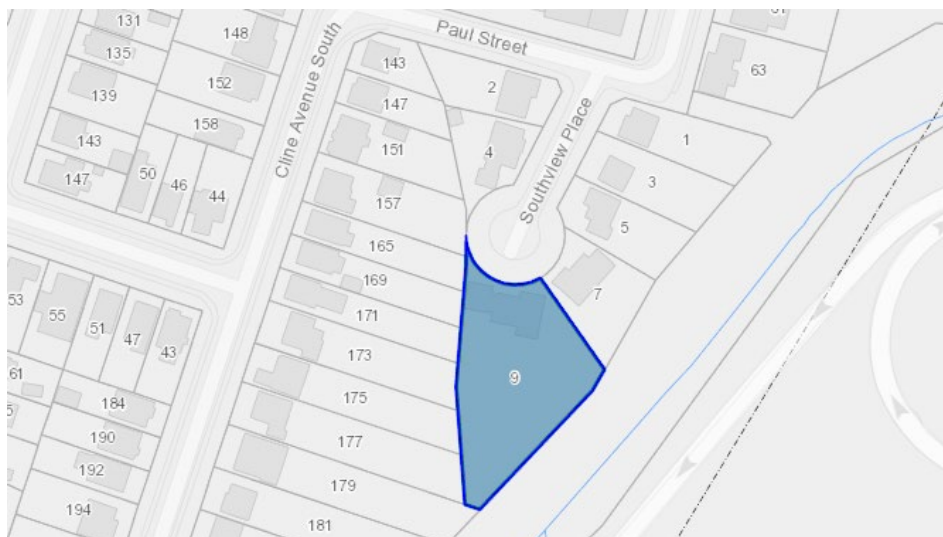
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



Subject Lands

DATED: July 26, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

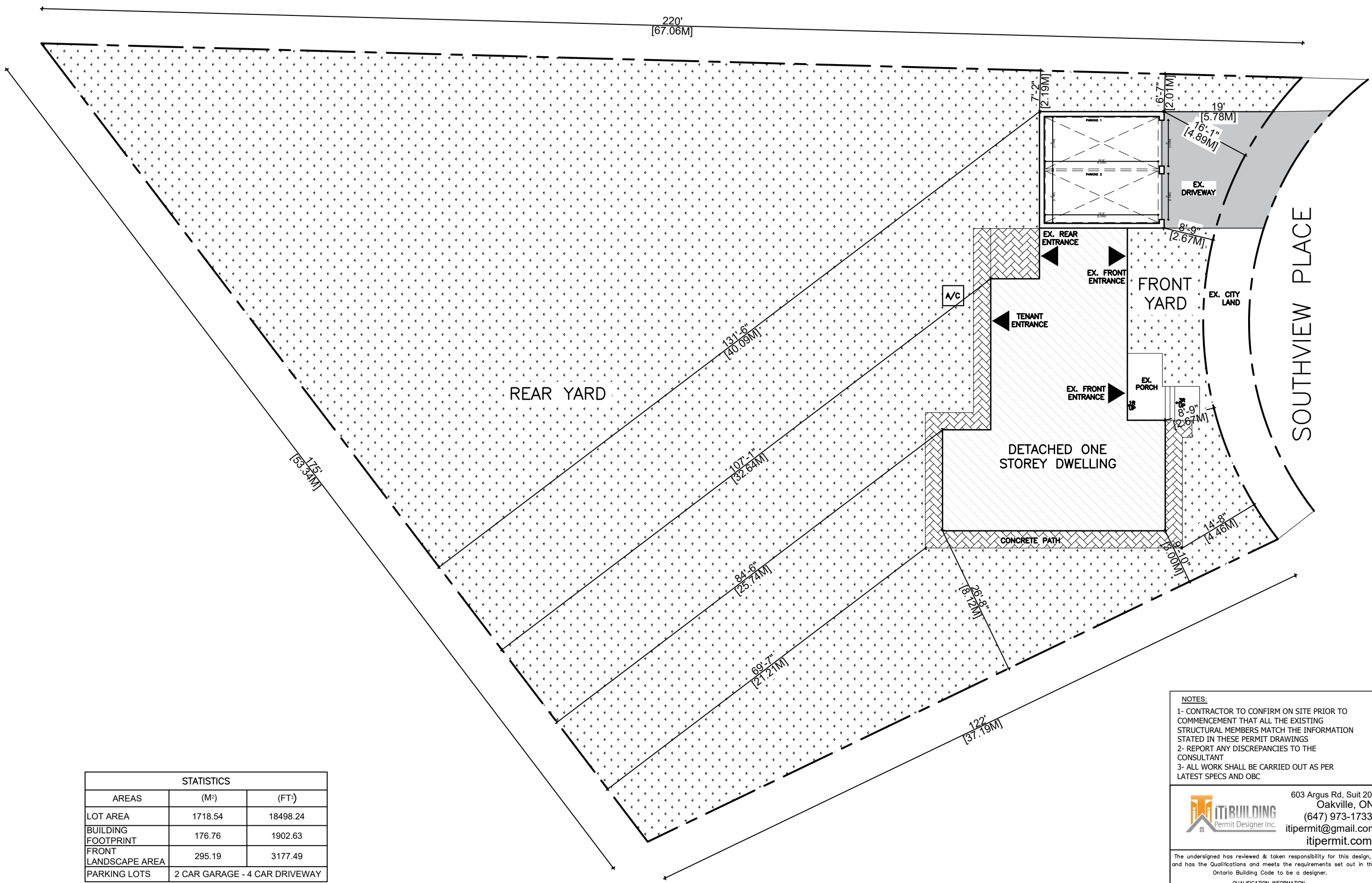
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



STATISTICS		
AREAS	(M²)	(FT²)
LOT AREA	1718.54	18498.24
BUILDING FOOTPRINT	176.76	1902.63
FRONT LANDSCAPE AREA	295.19	3177.49
PARKING LOTS	2 CAR GARAGE - 4 CAR DRIVEWAY	

- NOTES:**
- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN THESE PERMIT DRAWINGS
 - 2- REPORT ANY DISCREPANCIES TO THE CONSULTANT
 - 3- ALL WORK SHALL BE CARRIED OUT AS PER LATEST SPECS AND OBC



603 Argus Rd, Suit 201
Oakville, ON
(647) 973-1733
itipermits@gmail.com
itipermits.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5 of Div.C, of the building code

VIVEK GUPTA	39587
Name	BCIN
Signature	#CURDATE
Signature	Date

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.5. of Div. C, of the building code

ITI PERMIT DESIGNERS INC.	-
Firm Name	BCIN

DOOR SCHEDULE			
NO	TYPE	SIZE (DOOR LEAF)	REMARKS
D01	INTERIOR	30" X 80"	NEW INTERIOR DOOR
D02	INTERIOR	32" X 80"	NEW INTERIOR DOOR
D03	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE
D04	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE
ED	EXTERIOR	32" X 80"	EXISTING DOOR TO REMAIN
	INTERIOR	30" X 80"	

LEGEND:

SYMBOL	DESCRIPTION
	INTERCONNECTED SMOKE ALARM WITH A VISUAL SIGNAL
	WALL MOUNTED LIGHT SWITCH AND CEILING FIXTURE. MAX. 160cm2 PERMITTED OPENINGS IN FIRE SEPARATIONS.
	WARM-AIR SUPPLY OUTLET. MAX. PERMITTED OPENING IN CEILING FIRE SEPARATIONS: 0.025m2 (.277 s.f.)
	RETURN-AIR GRILLE. PROVIDED IN ALL FIRE COMPARTMENTS SHALL NOT BE INSTALLED WITHIN FIRE SEPARATIONS.
	EXHAUST FAN VENTED DIRECTLY TO EXTERIOR.
	EXISTING WALL TO REMAIN.
	PROPOSED WALL DESIGNER TO PROVIDE ALL REQUIRED DETAILS TO DEMONSTRATE CONSTRUCTION
	FIRE SEPARATION. PROVIDE CONSTRUCTION LABEL ALL REQUIRED SEPARATIONS WITH MINUTE RATINGS.
	CEILING HEIGHT TAG.
	WALL TYPE TAG. PROVIDE CONSTRUCTION DETAILS FOR ALL APPLICABLE WALLS.
	EMERGENCY LIGHTING PER OBC 2012 DIV.B 9.9.12.3
	CARBON MONOXIDE DETECTOR
	THREE WAY ELECTRIC OUTLET

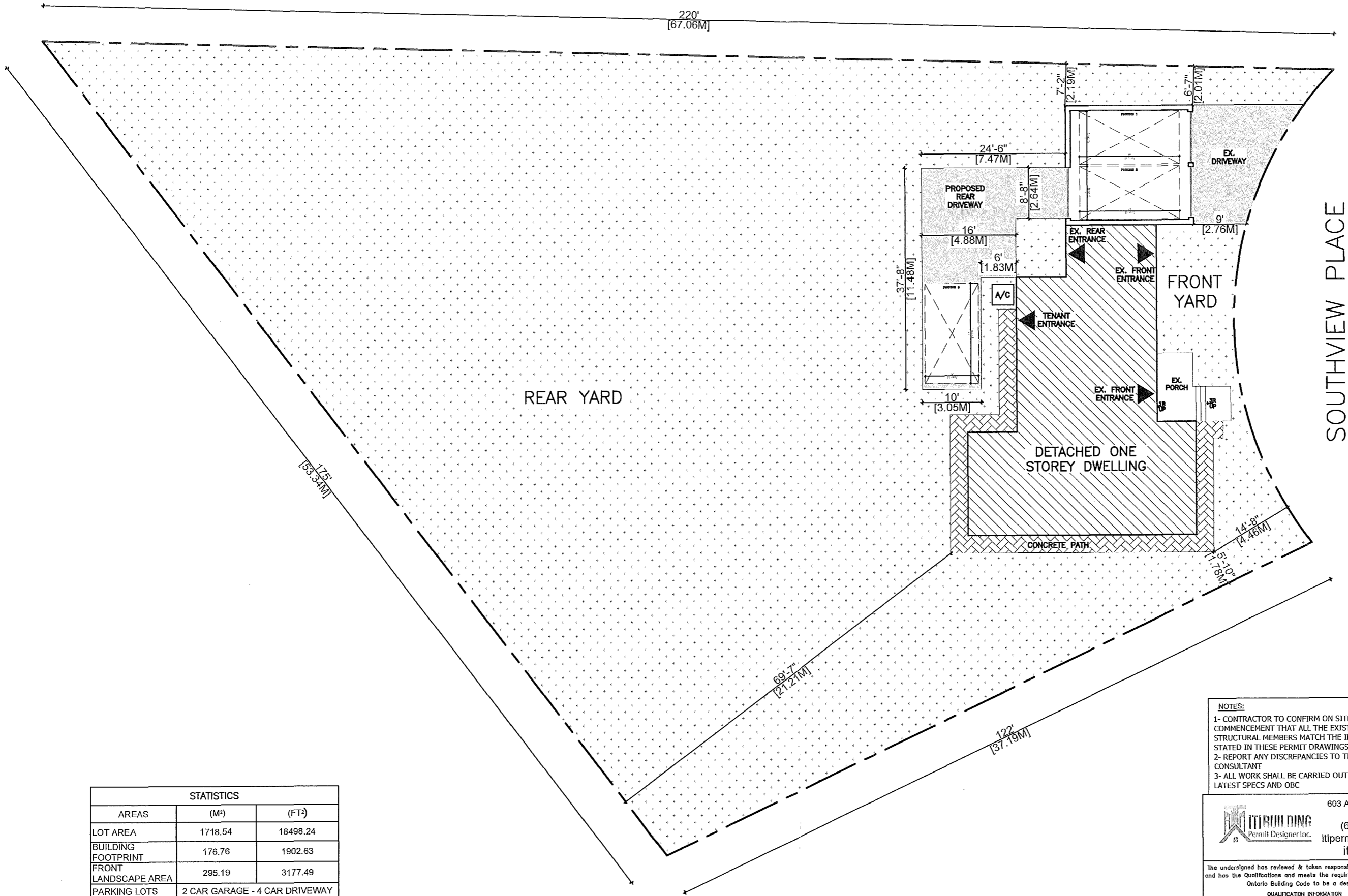
ADDRESS: 9 SOUTHVIEW PLACE, HAMILTON, ON

PROJECT NAME: SECOND UNIT BASEMENT APARTMENT

	CLIENT APPROVAL DATE: 21-07-30	ORIGINAL DATE: 21-07-09
	REV. 1 DATE: 21-07-30	REV. 2 DATE: 21-09-20
	REV. 3 DATE: 21-10-10	REV. 4 DATE: 21-11-18

DRAWN BY: JO		
CHECKED BY: VG		

DRAWING NAME:	DRG. SCALE: 1:200	DRAWING NO: SP1.02
SITE PLAN		SHEET SIZE: 17" x 11"



STATISTICS		
AREAS	(M²)	(FT²)
LOT AREA	1718.54	18498.24
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Name BCIN
Signature Date
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ITI PERMIT DESIGNERS INC.
Firm Name BCIN

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	INTERIOR	30" X 80"	

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	CARBON MONOXIDE DETECTOR
	THREE WAY ELECTRIC OUTLET

ADDRESS: 9 SOUTHVIEW PLACE, HAMILTON, ON

PROJECT NAME: SECOND UNIT BASEMENT APARTMENT

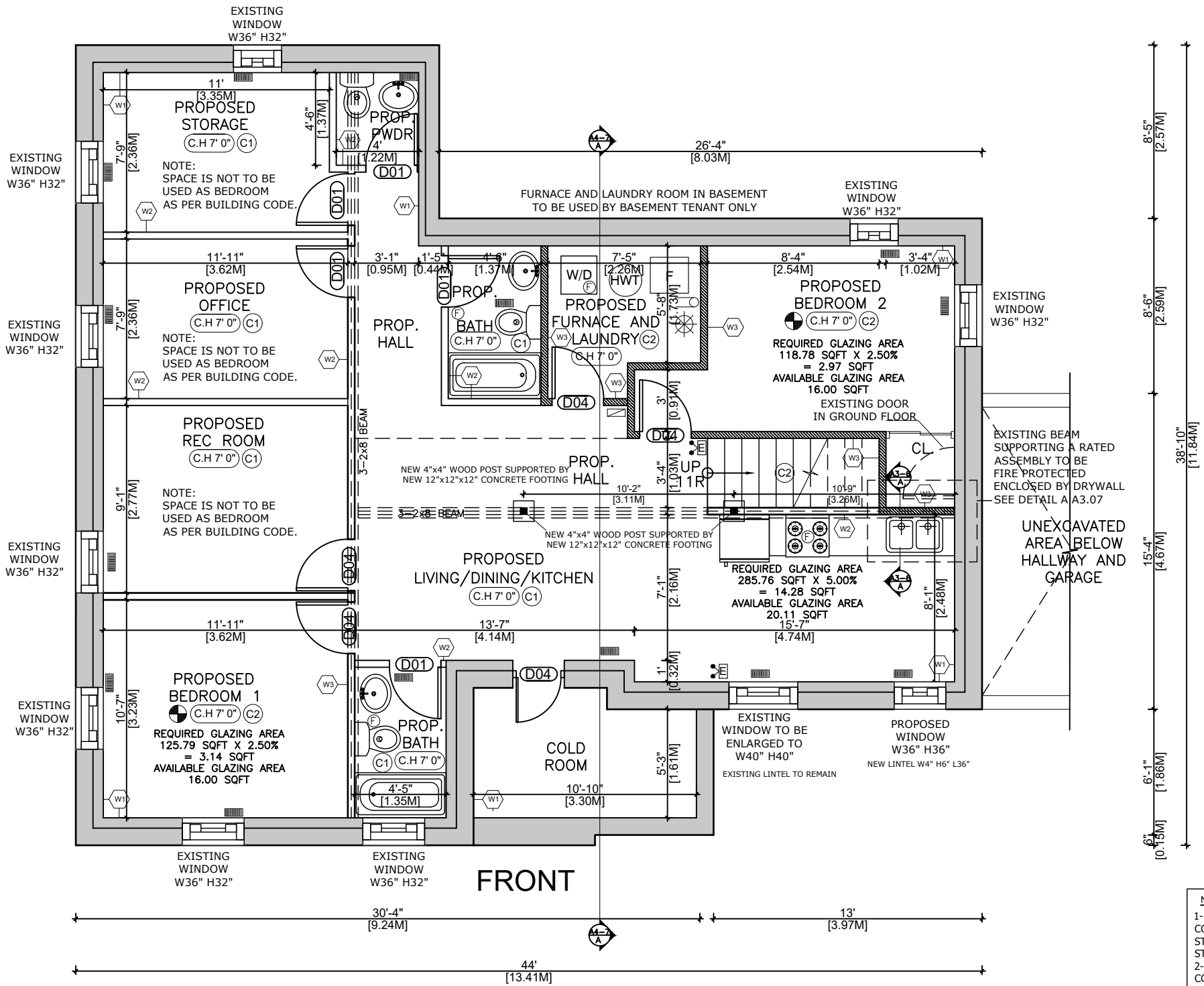
CLIENT APPROVAL DATE: 21-07-30	ORIGINAL DATE: 21-07-09
REV. 1 DATE: 21-07-30	REV. 2 DATE: 21-09-21
REV. 3 DATE: 21-10-10	REV. 4 DATE: 21-11-1

DRAWN BY: JO
CHECKED BY: VG

DRAWING NAME: DRG. SCALE: 1:200 DRAWING NO. SP1.02

SITE PLAN

SHEET SIZE: 17" x 11"



NOTES:
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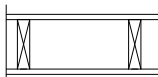
DOOR SCHEDULE			
NO	TYPE	SIZE (DOOR LEAF)	REMARKS
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D04	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE
ED	EXTERIOR 32" X 80" INTERIOR 30" X 80"		EXISTING DOOR TO REMAIN

LEGEND:

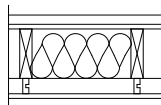
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	CARBON MONOXIDE DETECTOR
	THREE WAY ELECTRIC OUTLET

WALL LEGENDS

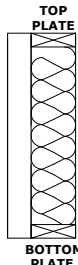
C1 FLOOR ASSEMBLY SB-3 (F8d)
FRR - 30 MIN. STC-50
1- 1/2" PLYWOOD SUBFLOOR
2- 2"x4" OR 2"x6" @16" O/C CEILING JOISTS
3- RESILIENT CHANNEL @ 24" O/C
4- 5/8" GYPSUM BOARD TYPE 'X'



C2 FLOOR ASSEMBLY SB-3 (F4c)
FRR - 45 MIN. STC-35
1- 1/2" PLYWOOD SUBFLOOR
2- 2"x4" OR 2"x6" @16" O/C CEILING JOISTS W/ 6" SOUND INSULATION (STC 35)
3- 2 x 5/8" GYPSUM BOARD TYPE 'X'



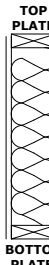
W1 SB-3 (ASSEMBLY EW1)
TYP. EXTERIOR WALL
1- EXTERIOR FOUNDATION WALL
2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS
3- MIN. R20 BATT INSULATION
4- 6 MIL. POLY VAPOUR BARRIER
5- 1/2" GYPSUM BOARD



W2 SB-3 (ASSEMBLY W1c)
TYP. INTERIOR WALL
1- 1/2" GYPSUM BOARD
2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS
3- 1/2" GYPSUM BOARD



W3 SB-3 (ASSEMBLY W4a)
FRR INTERIOR PARTITION WALL (1H FRR & 51 STC):
1- 5/8" GYPSUM BOARD TYPE 'X' ON BOTH SIDES
2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER PLATE
3- ENTIRE STUD CAVITY FILLED WITH SOUND INSULATION (STC51)
4- RESILIENT CHANNELS ON BOTH SIDE SPACED @16" O.C W/ 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD ON OTHER RESILIENT METAL CHANNEL SIDE



MAIN UNIT
2418.75 SQ F
224.71 SQ M

SECOND UNIT ARE
608.65 SQ F
56.54 SQ M



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VIVEK GUPTA 39587 BCIN
Name
Signature

REGISTRATION INFORMATION
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ITI PERMIT DESIGNERS INC. -
Firm Name BCIN

ADDRESS: 9 SOUTHVIEW PLACE,
HAMILTON, ON

PROJECT NAME: SECOND UNIT
BASEMENT APARTMENT



DRAWN BY: JO

CHECKED BY: VG

DRAWING NAME:

BASEMENT PLAN

CLIENT APPROVAL DATE: 21-07-30

REV. 1 DATE: 21-07-30

REV. 3 DATE: 21-12-15

ORIGINAL DATE: 21-07-09

REV. 2 DATE: 21-09-20

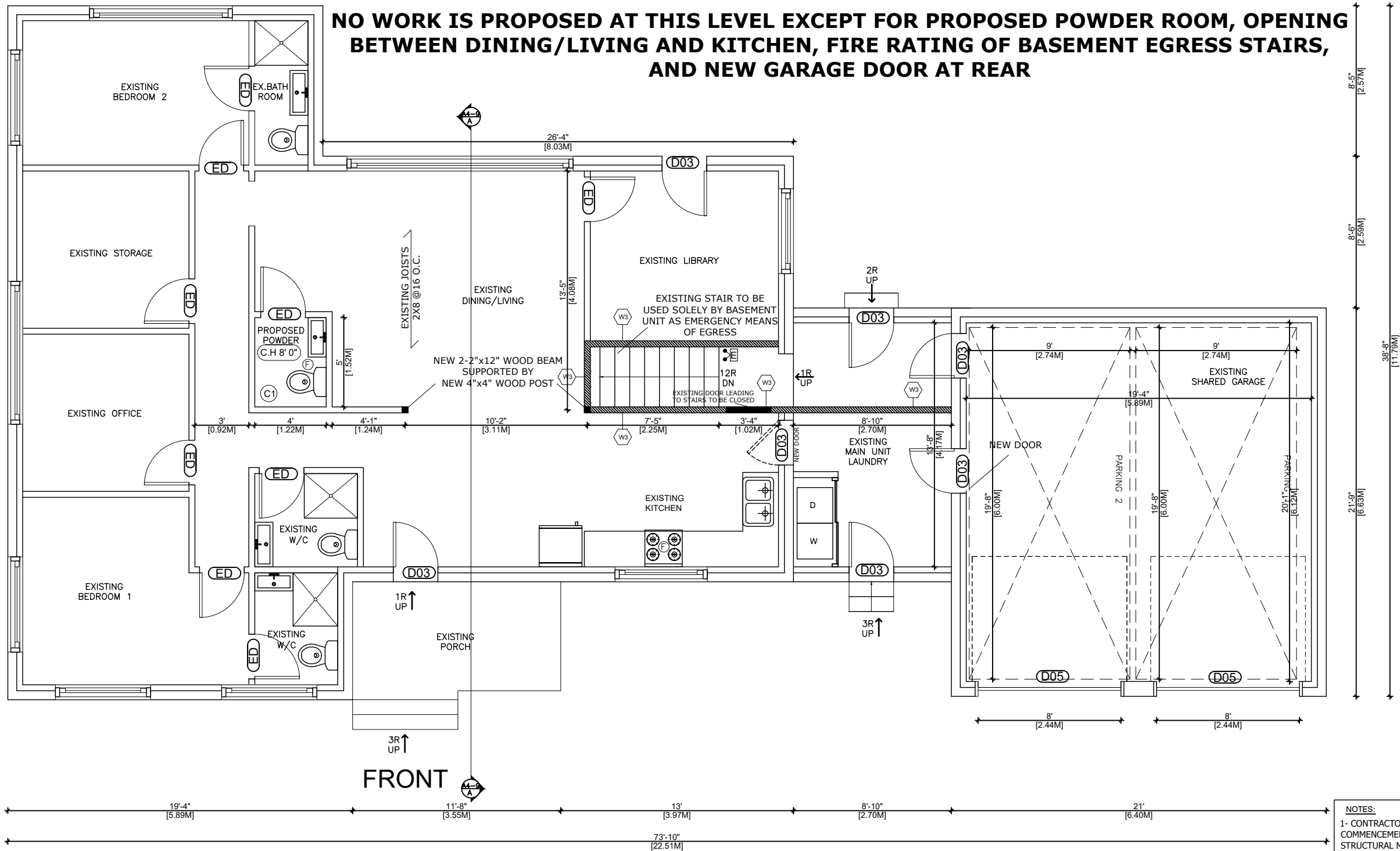
DWG. SCALE: 1:75

DRAWING NO.:

A1.03

SHEET SIZE: 17" x 11"

NO WORK IS PROPOSED AT THIS LEVEL EXCEPT FOR PROPOSED POWDER ROOM, OPENING BETWEEN DINING/LIVING AND KITCHEN, FIRE RATING OF BASEMENT EGRESS STAIRS, AND NEW GARAGE DOOR AT REAR



NOTES:
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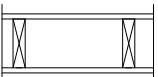
DOOR SCHEDULE			
NO.	TYPE	SIZE (DOOR LEAF)	REMARKS
D01	INTERIOR	30" X 80"	NEW INTERIOR DOOR
D02	INTERIOR	32" X 80"	NEW INTERIOR DOOR
D03	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE
D04	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE
D05	EXTERIOR	104" X 84"	EXISTING GARAGE DOOR WITH MECHANICAL AUTOMATIC OPENER
ED	INTERIOR	30" X 80"	EXISTING DOOR TO REMAIN

LEGEND:

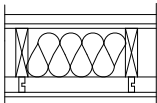
SYMBOL	DESCRIPTION
	INTERCONNECTED SMOKE ALARM WITH A VISUAL SIGNAL
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	EMERGENCY LIGHTING PER OBC 2012 DIV.B 9.9.12.3
	CARBON MONOXIDE DETECTOR
	THREE WAY ELECTRIC OUTLET

WALL LEGENDS

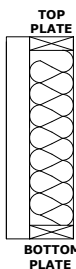
C1 FLOOR ASSEMBLY SB-3 (F8d) FRR - 30 MIN. STC-50
1- 1/2" PLYWOOD SUBFLOOR
2- 2"x4" OR 2"x6" @16" O/C CEILING JOISTS
3- RESILIENT CHANNEL @ 24" O/C
4- 5/8" GYPSUM BOARD TYPE 'X'



C2 FLOOR ASSEMBLY SB-3 (F4c) FRR - 45 MIN. STC-35
1- 1/2" PLYWOOD SUBFLOOR
2- 2"x4" OR 2"x6" @16" O/C CEILING JOISTS W/ 6" SOUND INSULATION (STC 35)
3- 2 x 5/8" GYPSUM BOARD TYPE 'X'

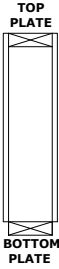


W1 SB-3 (ASSEMBLY EW1) TYP. EXTERIOR WALL



- 1- EXTERIOR FOUNDATION WALL
- 2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS
- 3- MIN. R20 BATT INSULATION
- 4- 6 MIL. POLY VAPOUR BARRIER
- 5- 1/2" GYPSUM BOARD

W2 SB-3 (ASSEMBLY W1c) TYP. INTERIOR WALL



- 1- 1/2" GYPSUM BOARD
- 2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS
- 3- 1/2" GYPSUM BOARD

W3 SB-3 (ASSEMBLY W4a) FRR INTERIOR PARTITION WALL (1H FRR & 51 STC):
1- 5/8" GYPSUM BOARD TYPE 'X' ON BOTH SIDES
2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER PLATE
3- ENTIRE STUD CAVITY FILLED WITH SOUND INSULATION (STC51)
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SECOND UNIT
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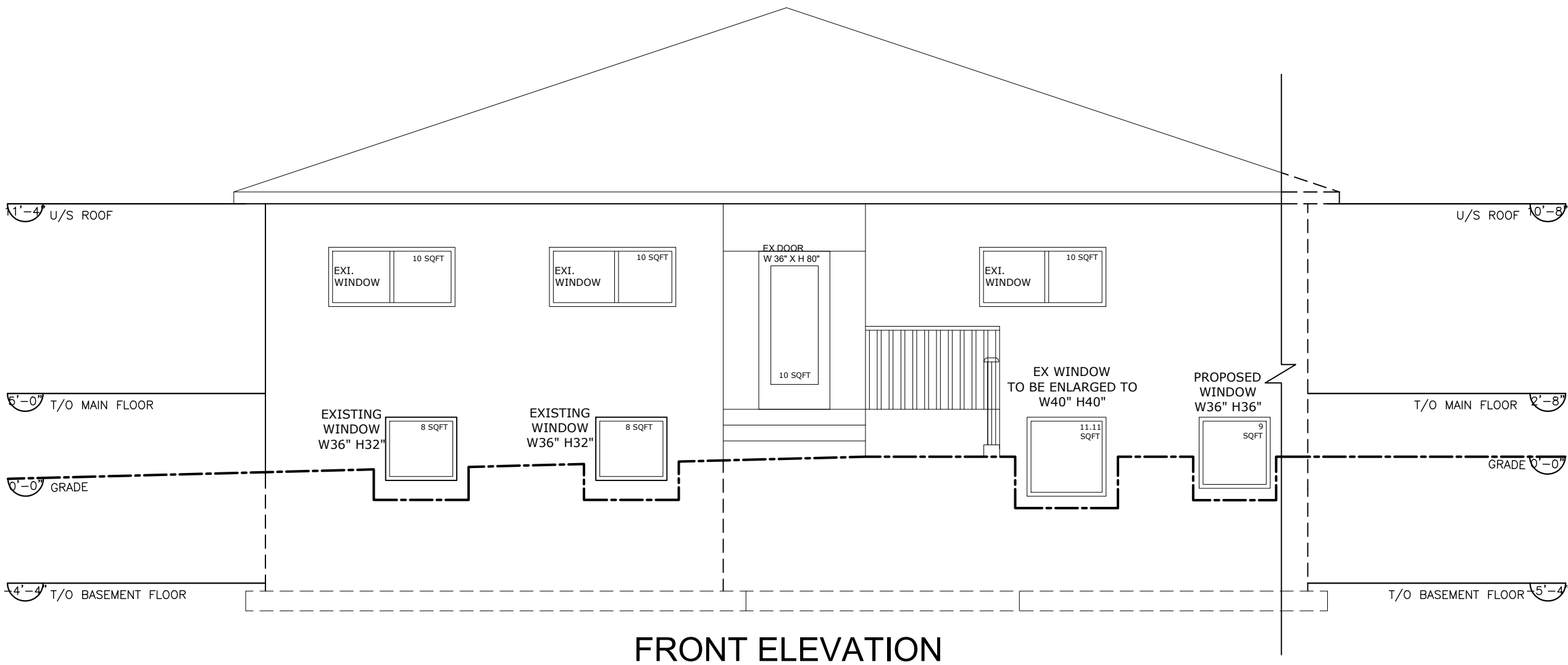
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	REV. 1 DATE: 21-07-30	REV. 2 DATE: 21-09-22
	REV. 3 DATE: 21-12-15	

DRAWN BY: JO

CHECKED BY: VG

DRAWING NAME: MAIN FLOOR PLAN

DRG. SCALE: 1:75
DRAWING NO.: A1.04
SHEET SIZE: 17" x 11"



DOOR SCHEDULE			
NO	TYPE	SIZE (DOOR LEAF)	REMARKS
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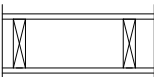
SYMBOL	DESCRIPTION
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	WALL MOUNTED LIGHT SWITCH AND CEILING FIXTURE. MAX. 160cm2 PERMITTED OPENINGS IN FIRE SEPARATIONS.
	WARM-AIR SUPPLY OUTLET. MAX. PERMITTED OPENING IN CEILING FIRE SEPARATIONS: 0.025m2 (.277 s.f.)
	RETURN-AIR GRILLE. PROVIDED IN ALL FIRE COMPARTMENTS SHALL NOT BE INSTALLED WITHIN FIRE SEPARATIONS.
	EXHAUST FAN VENTED DIRECTLY TO EXTERIOR.
	EXISTING WALL TO REMAIN.
	PROPOSED WALL DESIGNER TO PROVIDE ALL REQUIRED DETAILS TO DEMONSTRATE CONSTRUCTION
	FIRE SEPARATION. PROVIDE CONSTRUCTION LABEL ALL REQUIRED SEPARATIONS WITH MINUTE RATINGS.
	CEILING HEIGHT TAG.
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	EMERGENCY LIGHTING PER OBC 2012 DIV.B 9.9.12.3
	CARBON MONOXIDE DETECTOR
	THREE WAY ELECTRIC OUTLET

NOTES:

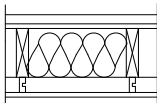
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- 3- ALL WORK SHALL BE CARRIED OUT AS PER LATEST SPECS AND OBC

WALL LEGENDS

- C1 FLOOR ASSEMBLY SB-3 (F8d)**
FRR - 30 MIN. STC-50
1- 1/2" PLYWOOD SUBFLOOR
2- 2"X4" OR 2"X6" @16" O/C CEILING JOISTS
3- RESILIENT CHANNEL @ 24" O/C
4- 5/8" GYPSUM BOARD TYPE 'X'

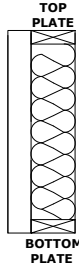


- C2 FLOOR ASSEMBLY SB-3 (F4c)**
FRR - 45 MIN. STC-35
1- 1/2" PLYWOOD SUBFLOOR
2- 2"X4" OR 2"X6" @16" O/C CEILING JOISTS W/ 6" SOUND INSULATION (STC 35)
3- 2 x 5/8" GYPSUM BOARD TYPE 'X'



W1

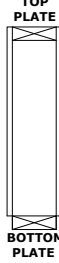
SB-3 (ASSEMBLY EW1)
TYP. EXTERIOR WALL



- 1- EXTERIOR FOUNDATION WALL
- 2- 2"X4" OR 2"X6" @16" O/C WOOD STUDS
- 3- MIN. R20 BATT INSULATION
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- 5- 1/2" GYPSUM BOARD

W2

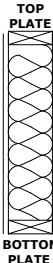
SB-3 (ASSEMBLY W1c)
TYP. INTERIOR WALL



- 1- 1/2" GYPSUM BOARD
- 2- 2"X4" OR 2"X6" @16" O/C WOOD STUDS
- 3- 1/2" GYPSUM BOARD

W3

SB-3 (ASSEMBLY W4a)
FRR INTERIOR PARTITION WALL (1H FRR & 51 STC):
1-5/8" GYPSUM BOARD TYPE 'X' ON BOTH SIDES
2-2"X4" OR 2"X6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER PLATE
3-ENTIRE STUD CAVITY FILLED WITH SOUND INSULATION (STC51)
4- RESILIENT CHANNELS ON BOTH SIDE SPACED @16" O.C W/ 2 LAYERS OF 5/8"TYPE X GYPSUM BOARD ON OTHER RESILIENT METAL CHANNEL SIDE



MAIN UNIT
2418.75 SQ FT
224.71 SQ M

**SECOND UNIT
TENANT AREA**
608.65 SQ FT
56.54 SQ M



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VIVEK GUPTA 39587
Name BCIN

Signature #CURDATE
Date

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ITI PERMIT DESIGNERS INC. -
Firm Name BCIN

ADDRESS: 9 SOUTHVIEW PLACE,
HAMILTON, ON

PROJECT NAME: SECOND UNIT
BASEMENT APARTMENT

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	REV. 1 DATE:21-07-30	REV. 2 DATE:21-09-20
	REV. 3 DATE:21-10-10	

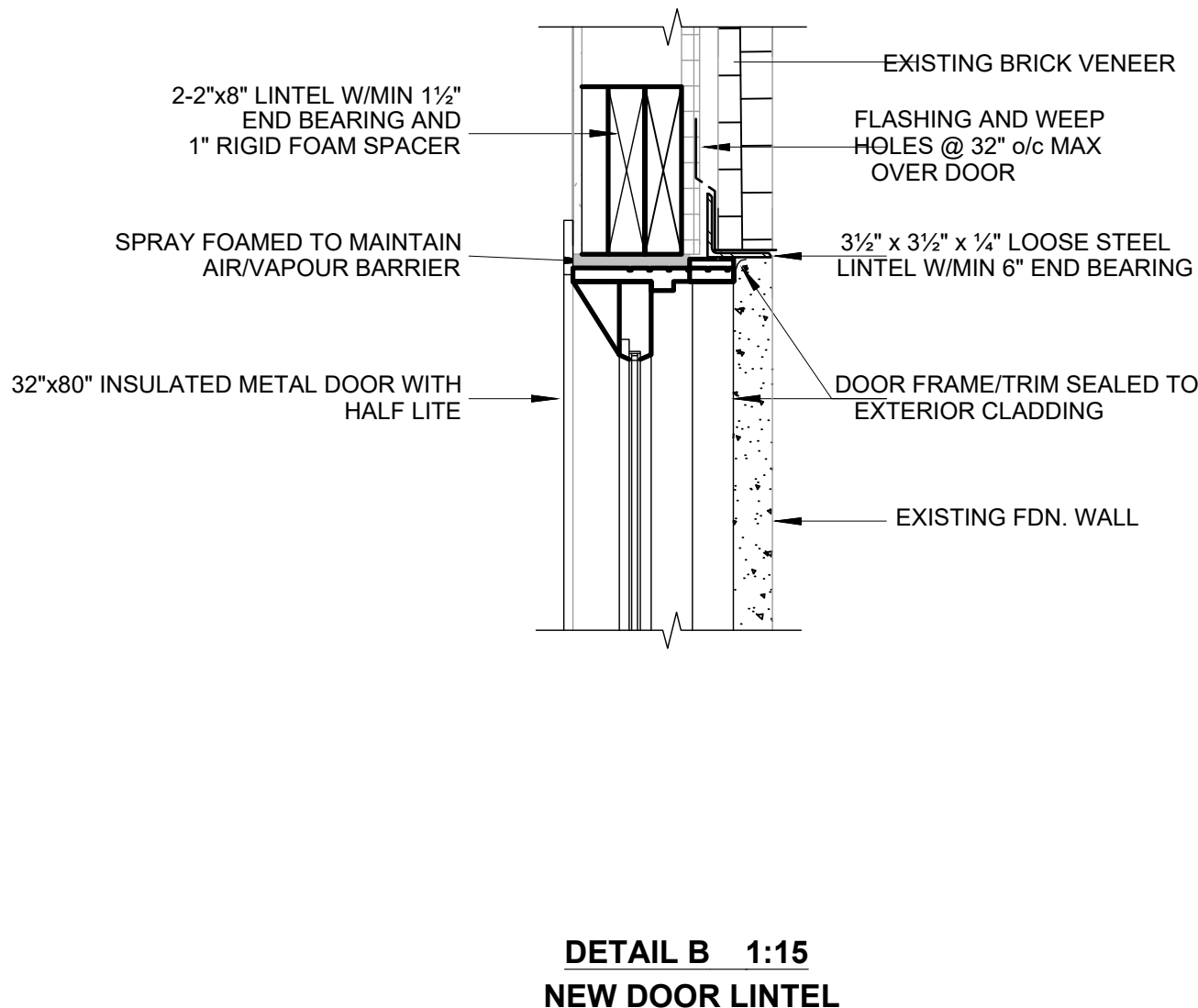
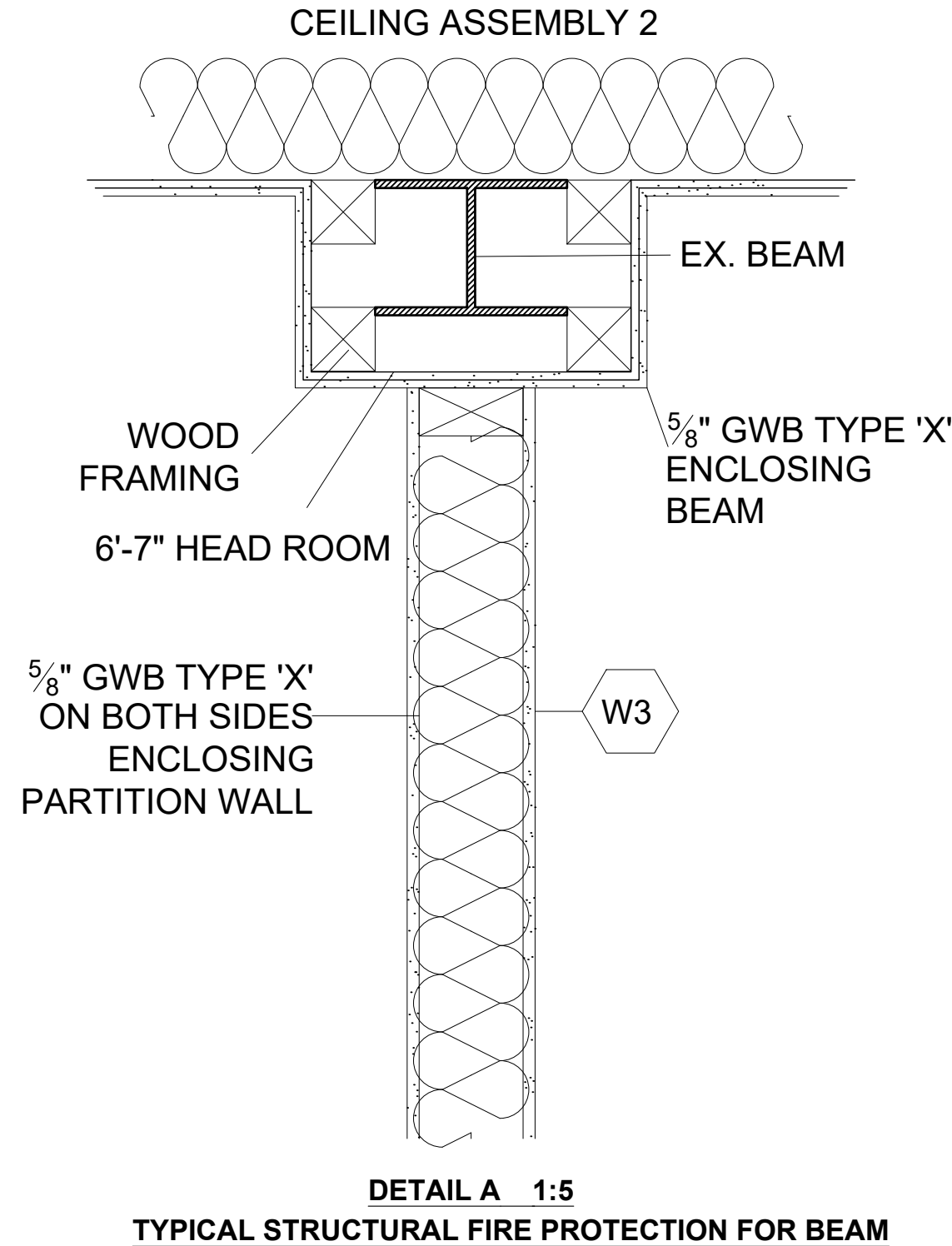
DRAWN BY: FB

CHECKED BY: VG

DRAWING NAME:
WEST
ELEVATION

DRG. SCALE:
1:60

DRAWING NO:
A2.05
SHEET SIZE: 17" x 11"



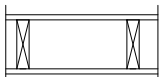
DOOR SCHEDULE			
NO	TYPE	SIZE (DOOR LEAF)	REMARKS
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	INTERIOR	30" X 80"	

LEGEND:

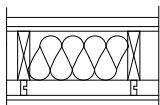
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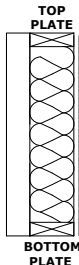
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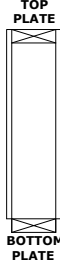
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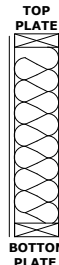
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- W2 SB-3 (ASSEMBLY W1c) TYP. INTERIOR WALL**
- 1- 1/2" GYPSUM BOARD
 - 2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS
 - 3- 1/2" GYPSUM BOARD



- W3 SB-3 (ASSEMBLY W4a) FRR INTERIOR PARTITION WALL (1H FRR & 51 STC):**
- 1- 5/8" GYPSUM BOARD TYPE 'X' ON BOTH SIDES
 - 2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER PLATE
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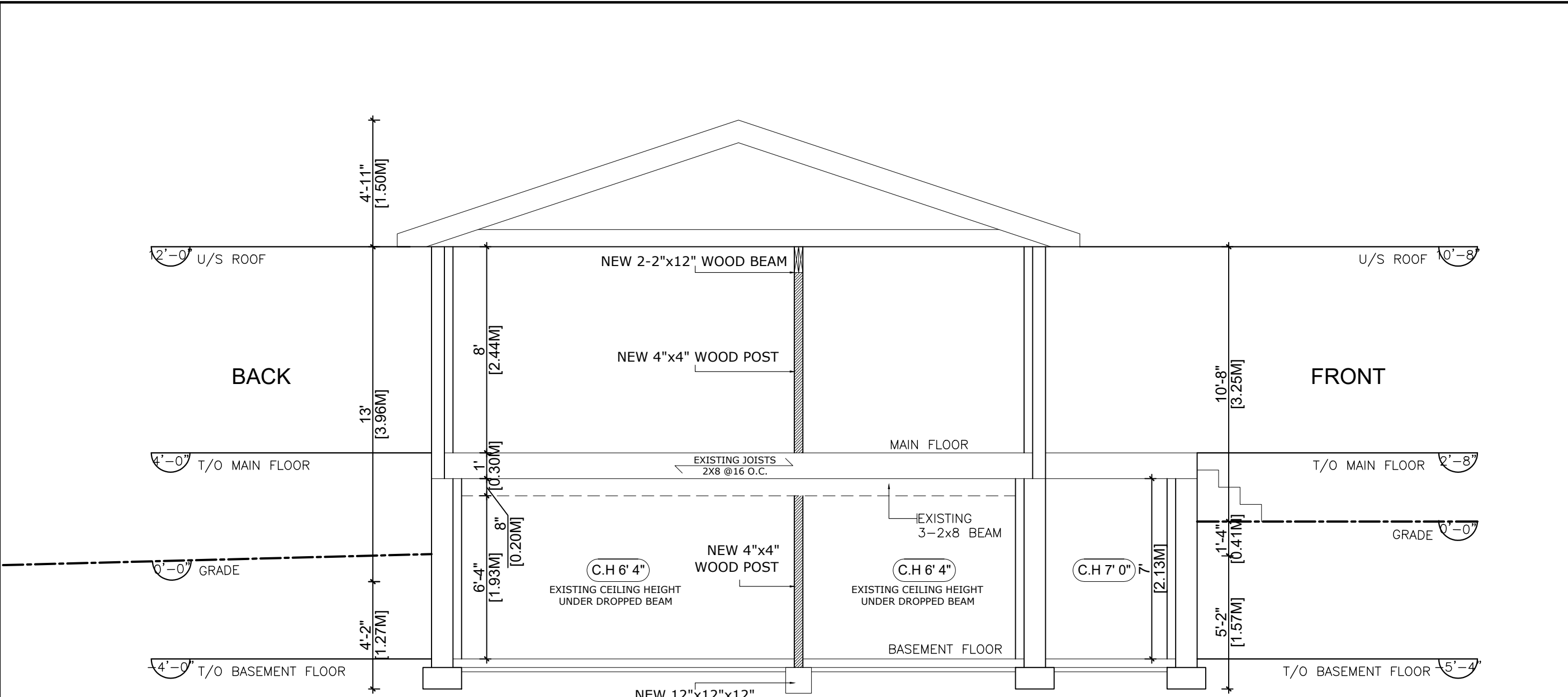
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	REV. 1 DATE: 21-07-30	REV. 2 DATE: 21-09-20
DRAWN BY: JO		
CHECKED BY: VG		
DRAWING NAME:	DRG. SCALE: AS NOTED	DRAWING NO: A3.06
DETAIL		SHEET SIZE: 17" x 11"



DOOR SCHEDULE			
NO	TYPE	SIZE (DOOR LEAF)	REMARKS
D01	INTERIOR	30" X 80"	NEW INTERIOR DOOR
D02	INTERIOR	32" X 80"	NEW INTERIOR DOOR
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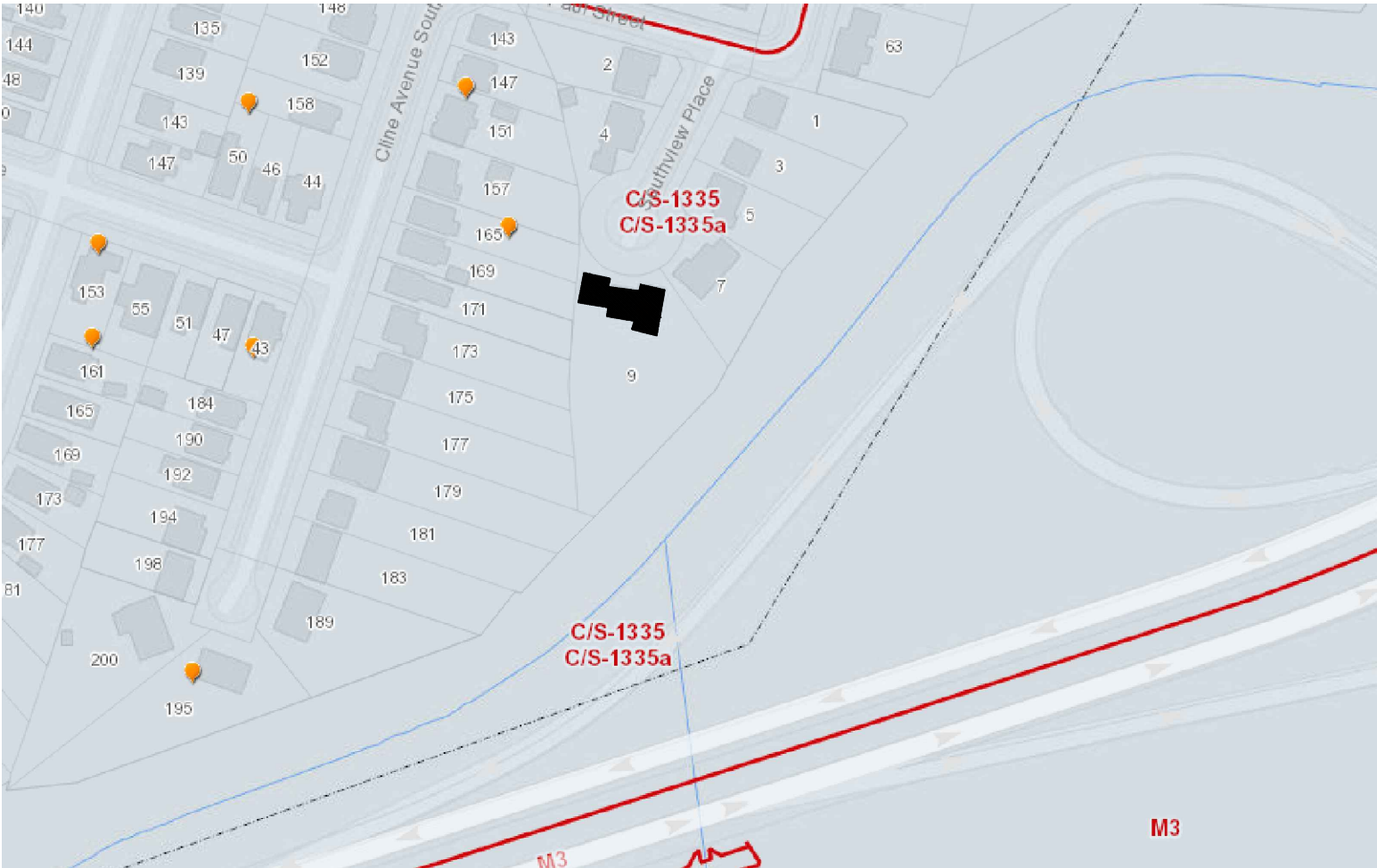
N-S SECTION

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CROSS SECTION

WALL LEGENDS		SB-3 (ASSEMBLY W1c) TYP. INTERIOR WALL		SB-3 (ASSEMBLY W4a) FRR INTERIOR PARTITION WALL (1H FRR & 51 STC): 1-5/8" GYPSUM BOARD TYPE 'X' ON BOTH SIDES 2-2"x4" OR 2"x6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER PLATE 3-ENTIRE STUD CAVITY FILLED WITH SOUND INSULATION (STC51) 4- RESILIENT CHANNELS ON BOTH SIDE SPACED @16" O.C W/ 2 LAYERS OF 5/8"TYPE X GYPSUM BOARD ON OTHER RESILIENT METAL CHANNEL SIDE	
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 603 Argus Rd, Suit 201 Oakville, ON (647) 973-1733 itipermits@gmail.com itipermits.com		ADDRESS: 9 SOUTHVIEW PLACE, HAMILTON, ON	
PROJECT NAME: SECOND UNIT RENOVATION		CLIENT APPROVAL DATE: 21-07-30 REV. 1 DATE:21-07-30 REV. 3 DATE:21-10-10	
ORIGINAL DATE: 21-07-09 REV. 2 DATE:21-09-20		DRAWN BY: FB	
CHECKED BY: VG		DRAWING NAME: DRG. SCALE: 1:50 DRAWING NO: A4.07 SHEET SIZE: 17" x 11"	
REGISTRATION INFORMATION Required unless design is exempt under 3.2.5. of Div. C, of the building code VIVEK GUPTA 39587 BCIN Signature Date ITI PERMIT DESIGNERS INC. - Firm Name BCIN		QUALIFICATION INFORMATION Required unless design is exempt under 3.2.5. of Div.C, of the building code The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer. Ontario Building Code to be a designer.	



SECOND UNIT BASEMENT
APARTMENT

9 SOUTHVIEW PL,
HAMILTON, ON.

DRAWING LIST:

A0.01	COVER SHEET
SP1.02	SITE PLAN
A1.03	BASEMENT PLAN
A1.04	MAIN FLOOR PLAN
A1.05	STAIR PLAN
A2.06	ELEVATIONS
A3.07	DETAIL
A4.08	SECTIONS
A4.09	CROSS SECTION

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Name	BCIN
Signature	#CURDATE
Signature	Date

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ITI PERMIT DESIGNERS INC.	—
Firm Name	BCIN

DOOR SCHEDULE			
NO	TYPE	SIZE (DOOR LEAF)	REMARKS
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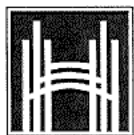
LEGEND:

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DRAWN BY: JO		
CHECKED BY: VG		
DRAWING NAME:	DRG. SCALE: N.T.S.	DRAWING NO: A0.01
COVER SHEET		SHEET SIZE: 17" x 11"



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	Mohan Subram Subra maniam. Mohan Ssumithra mohan.		
Applicant(s)*	Vivek Gupta		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

--

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

7. PREVIOUS USE OF PROPERTY

Residential ☐ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☐ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☐ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☐ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☐ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes ☐ No ☐ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

Signature Property Owner(s)

Print Name of Owner(s)

10. Dimensions of lands affected:
Frontage _____
Depth _____
Area _____
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
Existing: _

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)
Existing:

Proposed:

13.

Date of acquisition of subject lands:
14.

Date of construction of all buildings and structures on subject lands:
15.

Existing uses of the subject property (single family, duplex, retail, factory etc.):
16.

Existing uses of abutting properties (single family, duplex, retail, factory etc.):
17.

Length of time the existing uses of the subject property have continued:
18.

Municipal services available: (check the appropriate space or spaces)
Water Connected
Sanitary Sewer Connected
Storm Sewers
19.

Present Official Plan/Secondary Plan provisions applying to the land:
20.

Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21.

Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

☐

 Yes

☐

 No

If yes, please provide the file number:

21.1

If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐

 Yes

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 No

21.2

If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

22.

Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

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 Yes

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 No

23.

Additional Information (please include separate sheet if needed)

24.

The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.