

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	FL/A-22:227	SUBJECT PROPERTY:	877 MILLGROVE SIDEROAD, FLAMBOROUGH
ZONE:	"P7 & P8" (Conservation/Hazard Lands)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner – David Josiah John Shelley
 Agent – Matthew Fratarcangeli

The following variances are requested:

1. A new accessory building is intended whereas no new buildings or structures are permitted in the current P7 and P8 zone.
2. A building height of 5.8m shall be provided instead of the maximum building height of 4.5m permitted for an accessory building.
3. A maximum gross floor area of 46.0m² for accessory buildings shall be permitted whereas the by-law permits a maximum aggregate gross floor area of 45.0m² for accessory buildings.

PURPOSE & EFFECT: So as to permit the construction of a new accessory building in the rear yard of the existing single detached dwelling:

Notes:

- i. The proposed accessory building is intended to replace an existing structure on the lot.
- ii. The proposed accessory building appears to straddle the zone boundary of a P7 and P8 zone.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 11, 2022
TIME:	3:10 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

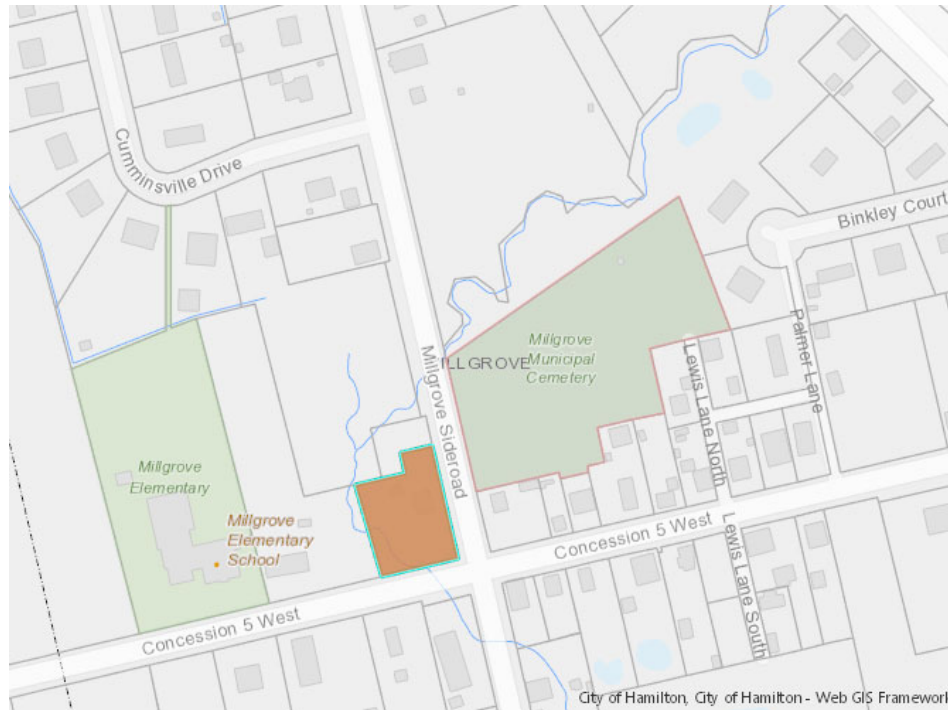
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: July 26, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



Hamilton

Planning and Economic
Development Department

Memorandum

To: Dio Ortiz
Manager, Building Engineering and Zoning

From: ☒ Jessica Abrahamse M.E.S., Natural Heritage Planner (ext. 1231)
Heritage and Urban Design

☐ Melissa Kiddie, Natural Heritage Planner (ext. 1290)
Heritage and Urban Design

Date: June 9, 2022

Subject: **Exemption from Site Plan Control By-law No. 15-176 for 877 Millgrove Sideroad. for Development within or adjacent to Core Areas**

In accordance with Section 9.1 of Site Plan Control By-law No. 15-176, Site Plan Control shall apply to *“any buildings or structures, including accessory buildings and structures, decks and additions to existing buildings, situated Adjacent to or within a Core Area (s), except for single detached, duplex, semi-detached or street townhouse dwellings located within a plan of subdivision or plan of condominium draft approved after January 1, 2013”*.

Proposed Development (Please briefly describe proposed development and attach concept plan/map):

Rebuilding and expanding garage in existing development footprint.

Core Areas include:

An adjacent Provincially Significant Wetland and Watercourse

Based on a review of the proposed development, the following is applicable:

- ☐ Proposed development is located within the footprint of an existing structure.
- ☒ Proposed development is located within a disturbed area (i.e. manicured area).
- ☐ Proposed development is located at least **X** metres away from the Core Areas.
- ☐ Correspondence has been provided by the relevant Conservation Authority (attached).

Therefore, Site Plan Control for the above property is waived.

Notes:

Additional Comments

This memo does not exempt the proposal from the requirements of a building permit, nor does it exempt the proposal from the requirements of the Zoning By-law or any further

regulations. Please be advised that should the application change, the Planning Division has the right to review the revised submission.

If you have any questions, please contact Mark Kehler at 905.546.2424 ext. 4148 or by e-mail at Mark.Kehler@hamilton.ca.



1 AREA MAP
A0.01 NTS



2 877 MILLGROVE SIDE RD.
A0.01 NTS

PROJECT DESCRIPTION:

- THESE DRAWINGS OUTLINE THE PLANS FOR A NEW DETACHED GARAGE AT 877 MILLGROVE SIDEROAD IN HAMILTON.

GENERAL NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT 2012 ONTARIO BUILDING CODE AND ONTARIO CONSTRUCTION SAFETY ACT, AS REQUIRED.
- CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS TO COMPLY WITH LOCAL SAFETY AUTHORITIES HAVING JURISDICTION (I.E. OCCUPATIONAL HEALTH & SAFETY ACT).
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARD AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
- VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE PROPERTY OWNER BEFORE PROCEEDING WITH ANY WORK. DO NOT SCALE FROM DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBOURING PROPERTIES.
- ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED. ANY DAMAGED OR DISTURBED UTILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT CONTRACTOR'S EXPENSE.
- SAFEGUARD ALL EXISTING STRUCTURES, SERVICES, AND ADJACENT PROPERTY AFFECTED BY THE CONSTRUCTION.
- ALL CONCRETE WORK, INCLUDING FORMING, REINFORCING, PREPARATION, MIXING, PLACING, CURING AND FINISHING SHALL CONFORM TO CSA CAN 3-A23.1-M90 (M94).
- ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH CAN3-5304-M90.
- IF THERE ARE ANY DEVIATIONS FROM WHAT IS DEPICTED ON THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY TENHOUSE BUILDING WORKSHOP AND SEEK INSTRUCTION BEFORE PROCEEDING.
- DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH CSA S350-M1980(R2003) AND MINISTRY OF LABOUR REQUIREMENTS.
- IF REQUIRED, CONTRACTOR IS TO PROVIDE SUPPORTS OR SHORING WHERE NECESSARY, BEFORE ANY CLEANUP, DEMOLITION, OR REPAIR ACTIVITIES.
- ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
- ALL DIMENSIONAL LUMBER TO BE SPRUCE, PINE, FIR (SPF) NO. 1 OR NO. 2 GRADE.
- THE CONTRACTOR SHALL SEEK FURTHER DIRECTION, IF REQUIRED, REGARDING DETAILS OR MATERIAL SELECTION. TENHOUSE BUILDING WORKSHOP DOES NOT TAKE RESPONSIBILITY FOR ANY ADDITIONAL DETAILS NOT INCLUDED IN THESE DRAWINGS.
- ALL SPECIFICATIONS AND MATERIALS PROPOSED BY ENGINEERS SHALL BE USED IN PLACE OF SPECIFICATIONS AND MATERIALS IDENTIFIED IN THE CONSTRUCTION NOTES.
- ALL MANUFACTURED ITEMS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. SUBMIT ALL INSTALLATION INSTRUCTIONS TO OWNER UPON COMPLETION OF JOB.
- ALL HAZARDOUS MATERIALS TO BE IDENTIFIED BY THE CONTRACTOR AND PROPERLY DISPOSED OF.
- ALL WORK AND TRADES SHALL BE COORDINATED BY THE GENERAL CONTRACTOR TO ENSURE ALL WORK IS COMPLETED TO THE HIGHEST STANDARD POSSIBLE.
- ALL NEW STRUCTURAL MEMBERS ARE TO BE FRAMED, FASTENED, TIED, BRACED, AND ANCHORED TO PROVIDE NECESSARY STRENGTH, RIGIDITY, AND STABILITY PER THE 2012 OBC.
- GENERAL CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY AND REQUIRED INSPECTIONS.
- ALL MATERIAL TO BE NEW AND FREE OF DEFECTS.

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	HB	HOSE BIB
ALUM	ALUMINUM	INSUL	INSULATED OR INSULATION
BBSE	BEAM BY STRUCTURAL ENGINEER	INT	INTERIOR
BM	BEAM	JST	JOIST
CLG	CEILING	LVL	LAMINATED VENEER LUMBER
CRF	CONVENTIONAL ROOF FRAMING	LSL	LAMINATED STRAND LUMBER
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM
COL	COLUMN	MIN	MINIMUM
CONC	CONCRETE	MTL	METAL
CONT	CONTINUOUS	OBC	ONTARIO BUILDING CODE
CW	COMPLETE WITH	OC	ON CENTER
DEMO	DEMOLISH	OSB	ORIENTED STRAND BOARD
DIM	DIMENSION	OTA	OPEN TO ABOVE
DJ	DOUBLE JOIST	OTB	OPEN TO BELOW
DN	DOWN	PT	PRESSURE TREATED
DO	DO OVER	PTD	PAINT OR PAINTED
DR	DOOR	REQD	REQUIRED
DROP	DROPPED	RM	ROOM
DS	DOWNSPOUT	RT	ROOF TRUSS
DWG	DRAWING	RWL	RAIN WATER LEADER
EA	EACH	SB	SOLID BEARING
EIFS	EXTERIOR INSULATED FINISH SYSTEM	SBFA	SOLID BEARING FROM ABOVE
ELEV	ELEVATION	SJ	SINGLE JOIST
ENC	ENCLOSED	SPEC	SPECIFIED OR SPECIFICATION
ENG	ENGINEER OR ENGINEERED	SPF	SPRUCE, PINE, FIR
EQ	EQUAL	STL	STEEL
EST	ESTIMATED	T&G	TONGUE AND GROOVE
EXT	EXTERIOR	TJ	TRIPLE JOIST
FD	FLOOR DRAIN	T/O	TOP OF
FG	FIXED GLASS	TYP	TYPICAL
FL	FLUSH	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR	U/S	UNDERSIDE
GA	GAUGE	WIC	WALK-IN CLOSET
GALV	GALVANIZED	WP	WEATHER PROOF
GWB	GYPSUM WALL BOARD		



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI
BCIN#:44839

Matthew Fratarcangeli

REGISTRATION INFORMATION

TENHOUSE BUILDING WORKSHOP
BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	05-11-2022	FOR PERMIT APPLICATION

PROJECT:

NEW DETACHED GARAGE
AT 877 MILLGROVE SIDE RD.,
HAMILTON, ON

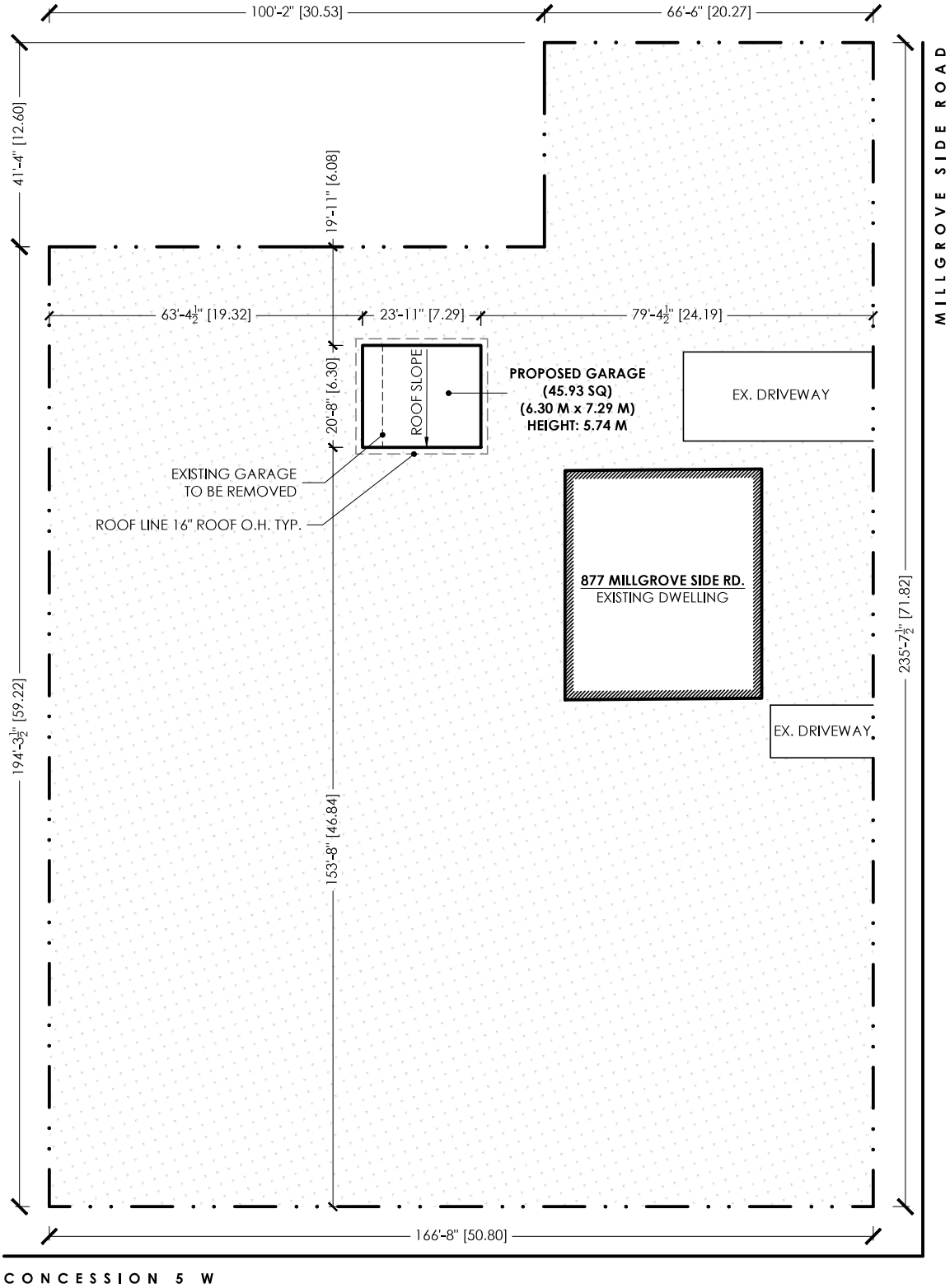
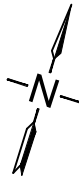
DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-011	CHECKED: M.D.F
REVISION: 0	DATE: 05-11-2022

COVER PAGE

A0.01

LEGEND:

EXISTING SOFTSCAPE



1 SITE PLAN
SP0.01 1/32" - 1'-0"



TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#:44839



REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#:112916

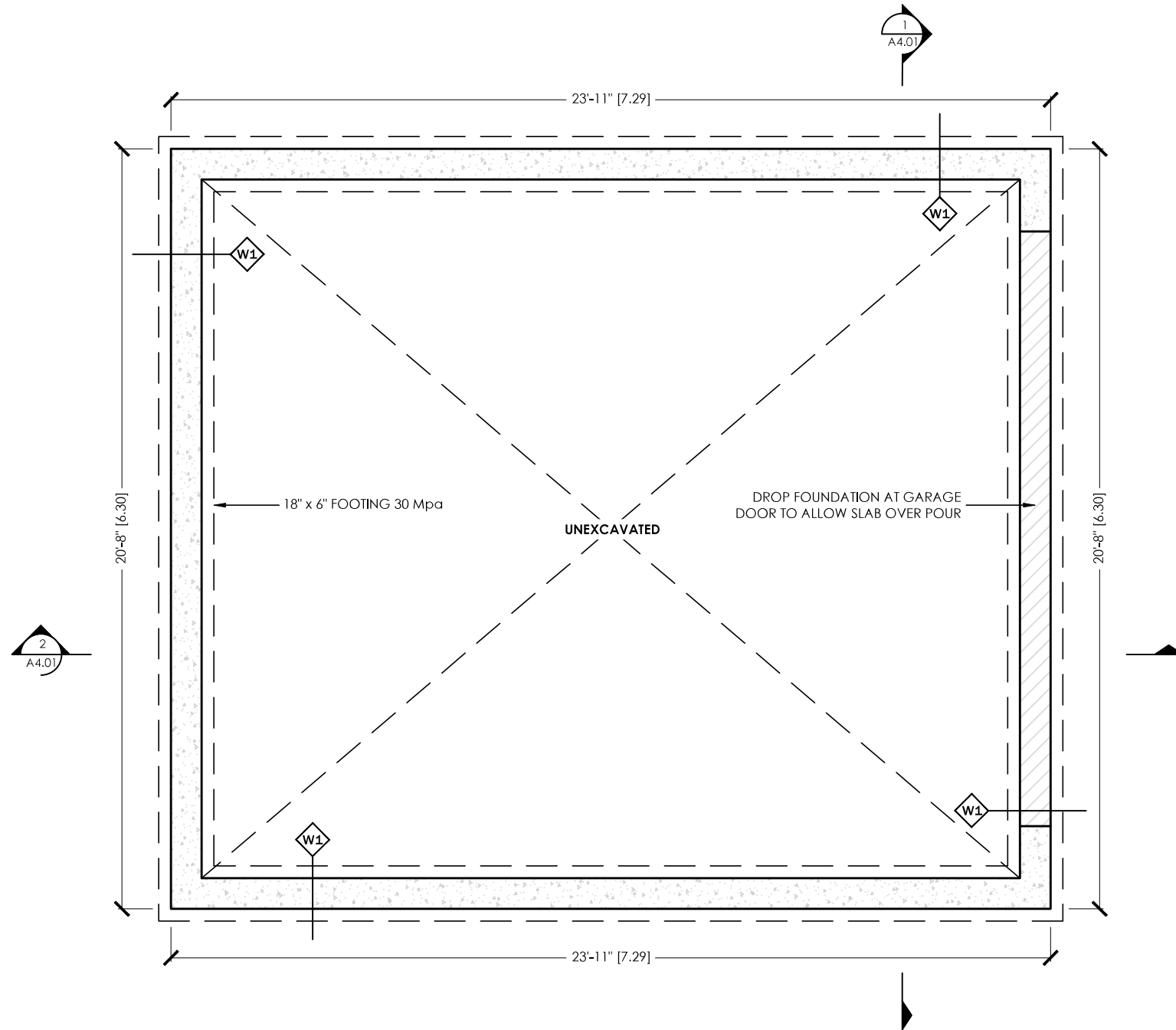
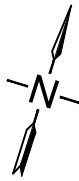
NO.	DATE	REVISION/ISSUE
0	05-11-2022	FOR PERMIT APPLICATION

PROJECT:
NEW DETACHED GARAGE
AT 877 MILLGROVE SIDE RD.,
HAMILTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-011	CHECKED: M.D.F
REVISION: 0	DATE: 05-11-2022

SITE PLAN

SP0.01



1 FOUNDATION PLAN
A1.01 1/4" - 1'-0"



TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#:44839


REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	05-11-2022	FOR PERMIT APPLICATION

PROJECT:

NEW DETACHED GARAGE
AT 877 MILLGROVE SIDE RD,
HAMILTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-011	CHECKED: M.D.F
REVISION: 0	DATE: 05-11-2022

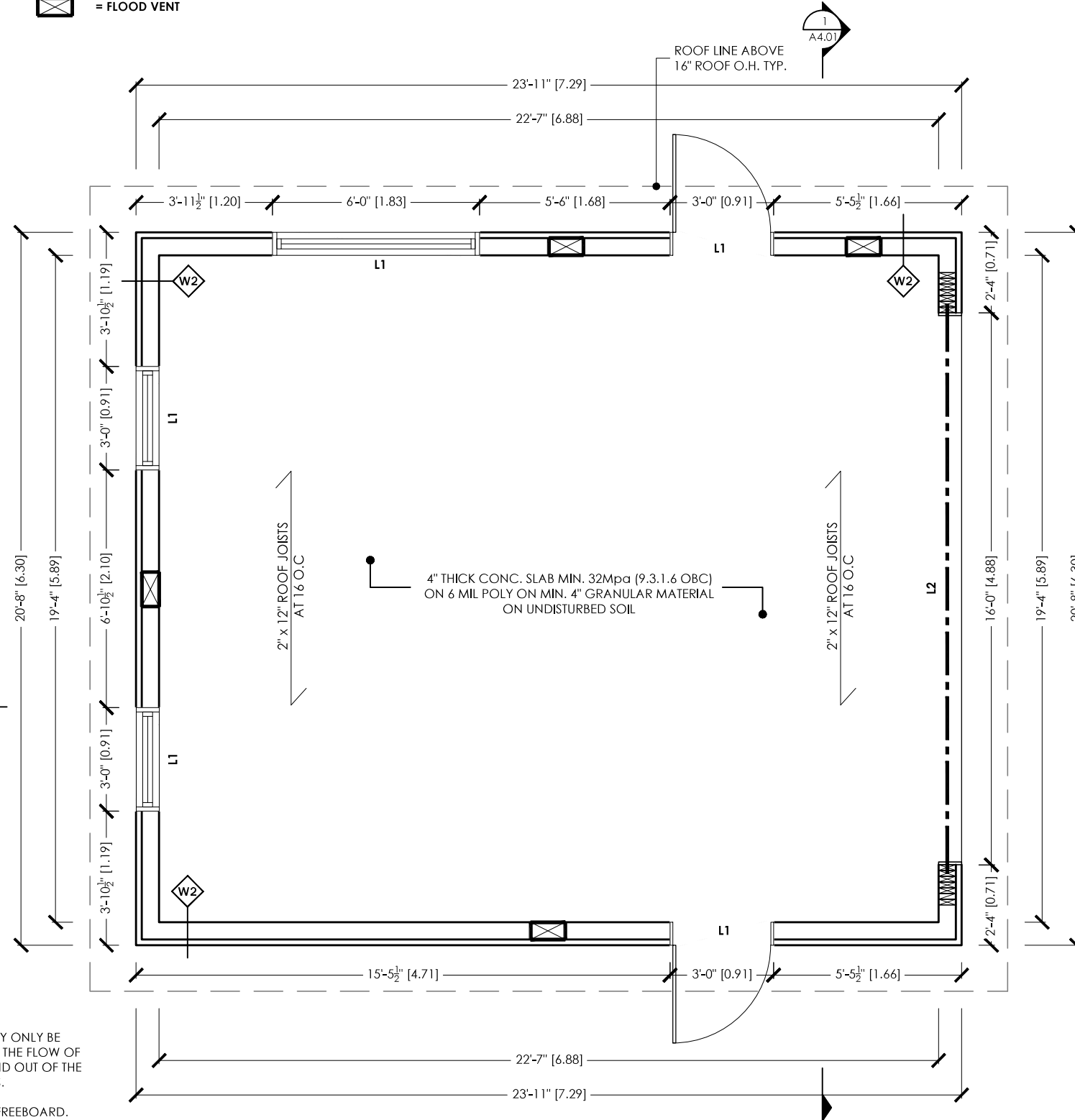
LINTEL SCHEDULE

- * L1- 2-PLY 2" x 8" LINTEL, 4 PLY POST, 1 JACK, 3 KING
- * L2- 3-PLY 2" x 12" LINTEL, 8 PLY POST, 2 JACKS, 6 KINGS
PROVIDE 1 - 2X6 HORZ. BELOW + 2 - 2X6 HORZ. ABOVE

* LEGEND



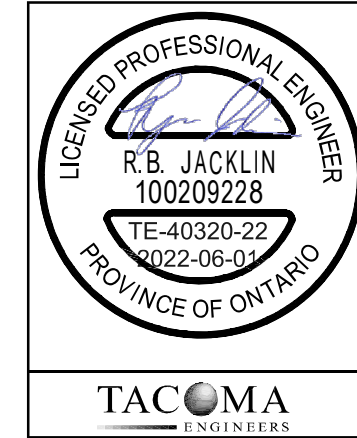
= FLOOD VENT



* FLOODPROOFING NOTES:

1. WET-FLOODPROOFING OF OPENINGS NOTED ON PLANS MAY ONLY BE COVERED WITH SCREENS OR LOUVRES THAT DO NOT BLOCK THE FLOW OF FLOODWATER. FLOODWATERS MUST BE ABLE TO FLOW IN AND OUT OF THE BUILDING AUTOMATICALLY THROUGH THE NOTED OPENINGS.
2. USE PLYWOOD BELOW THE FLOOD ELEVATION PLUS 1 FT OF FREEBOARD. NO SIDING OR FINISHES THAT CAN BE DAMAGED BY WATER. STUDS TO BE UNCOVERED AND ABLE TO DRY IF WET.
3. NO ELECTRICAL SERVICES ARE TO BE INSTALLED BELOW THE FLOOD ELEVATION PLUS 1 FT OF FREEBOARD.
4. ALL FASTENERS AND METAL HARDWARE TO BE GALVANIZED OR STAINLESS STEEL BELOW THE FLOOD ELEVATION PLUS 1 FT OF FREEBOARD.

1 GARAGE PLAN
A1.02 1/4" = 1'-0"



* ITEMS DESIGNED AS REQUESTED.



TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI
BCIN#:44839

REGISTRATION INFORMATION

TENHOUSE BUILDING WORKSHOP
BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	05-11-2022	FOR PERMIT APPLICATION

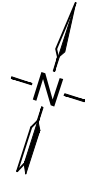
PROJECT:

NEW DETACHED GARAGE
AT 877 MILLGROVE SIDE RD.,
HAMILTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-011	CHECKED: M.D.F
REVISION: 0	DATE: 05-11-2022

GARAGE PLAN

A1.02



ROOF CONSTRUCTION

MOD BIT PEEL AND STICK ROOF MEMBRANE AS PER MANUFACTURER
MOD BIT PRIMER ROLLED ON SHEATHING AS PER MANUFACTURER
1/2" EXTERIOR GRADE SHEATHING
ROOF JOISTS AS PER PLAN WITH 2 ROWS OF BLOCKING WITH EQUALLY SPACED
FINISH CEILING AS PER OWNERS DIRECTION

WALL BELOW



26'-7" [8.10]

1'-4" [0.41]

SLOPE

1'-4" [0.41]

23'-4" [7.11]

22'-0" [6.71]

1'-4" [0.41]

1'-4" [0.41]

26'-7" [8.10]



ROOF PLAN

1/4" = 1'-0"



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI
BCIN#:44839

REGISTRATION INFORMATION

TENHOUSE BUILDING WORKSHOP
BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	05-11-2022	FOR PERMIT APPLICATION

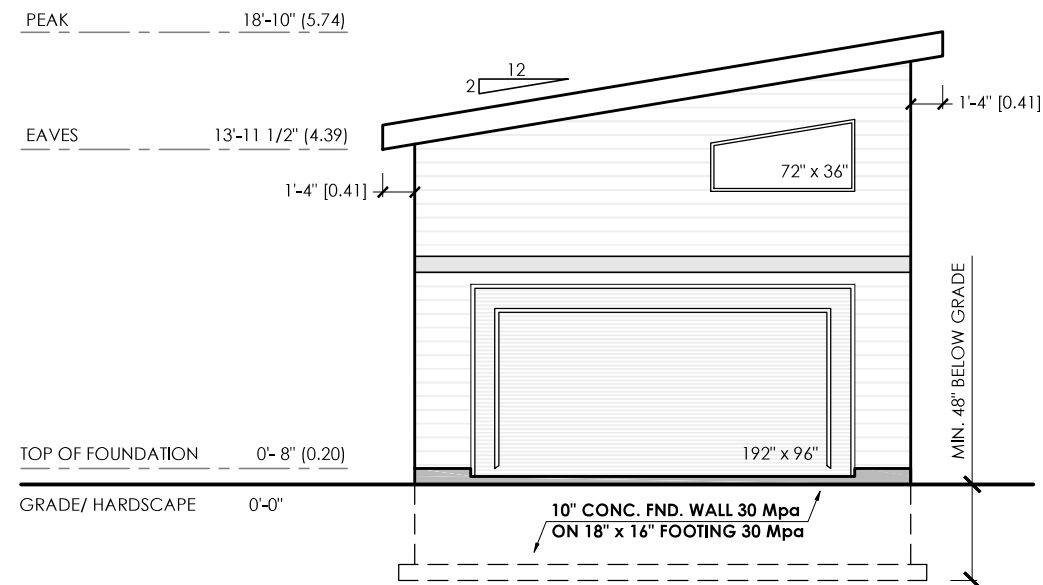
PROJECT:

NEW DETACHED GARAGE
AT 877 MILLGROVE SIDE RD.,
HAMILTON, ON

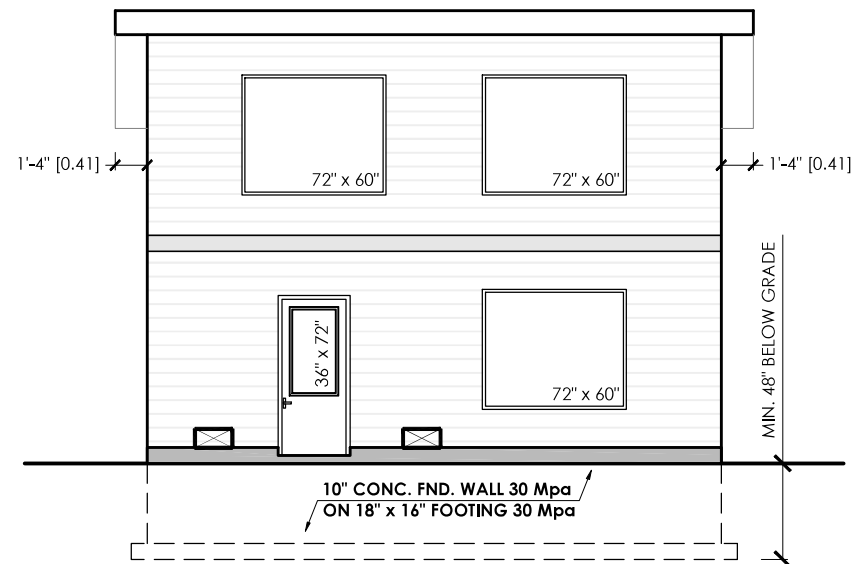
DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-011	CHECKED: M.D.F
REVISION: 0	DATE: 05-11-2022

ROOF PLAN

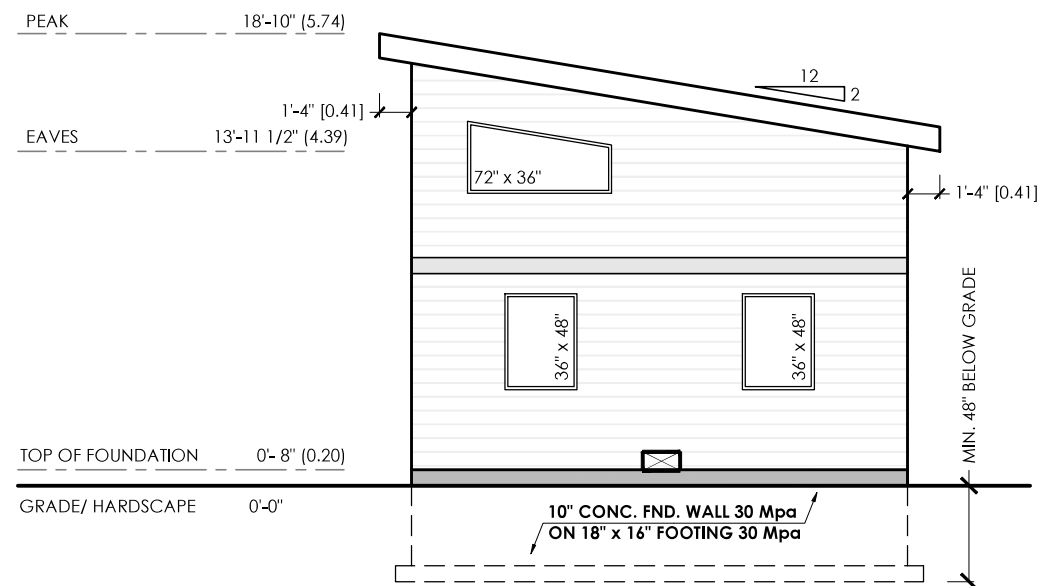
A1.03



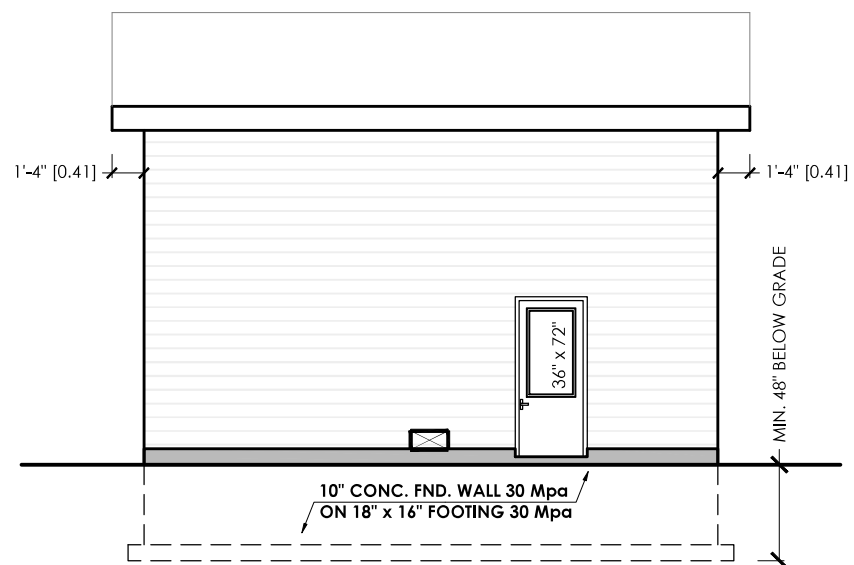
1 EAST ELEVATION
A2.01 1/4" - 1'-0"



2 SOUTH E ELEVATION
A2.01 1/4" - 1'-0"



3 WEST ELEVATION
A2.01 1/4" - 1'-0"



4 NORTH ELEVATION
A2.01 1/4" - 1'-0"



TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI
BCIN#:44839

Matthew Fratarcangeli

REGISTRATION INFORMATION

TENHOUSE BUILDING WORKSHOP
BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	05-11-2022	FOR PERMIT APPLICATION

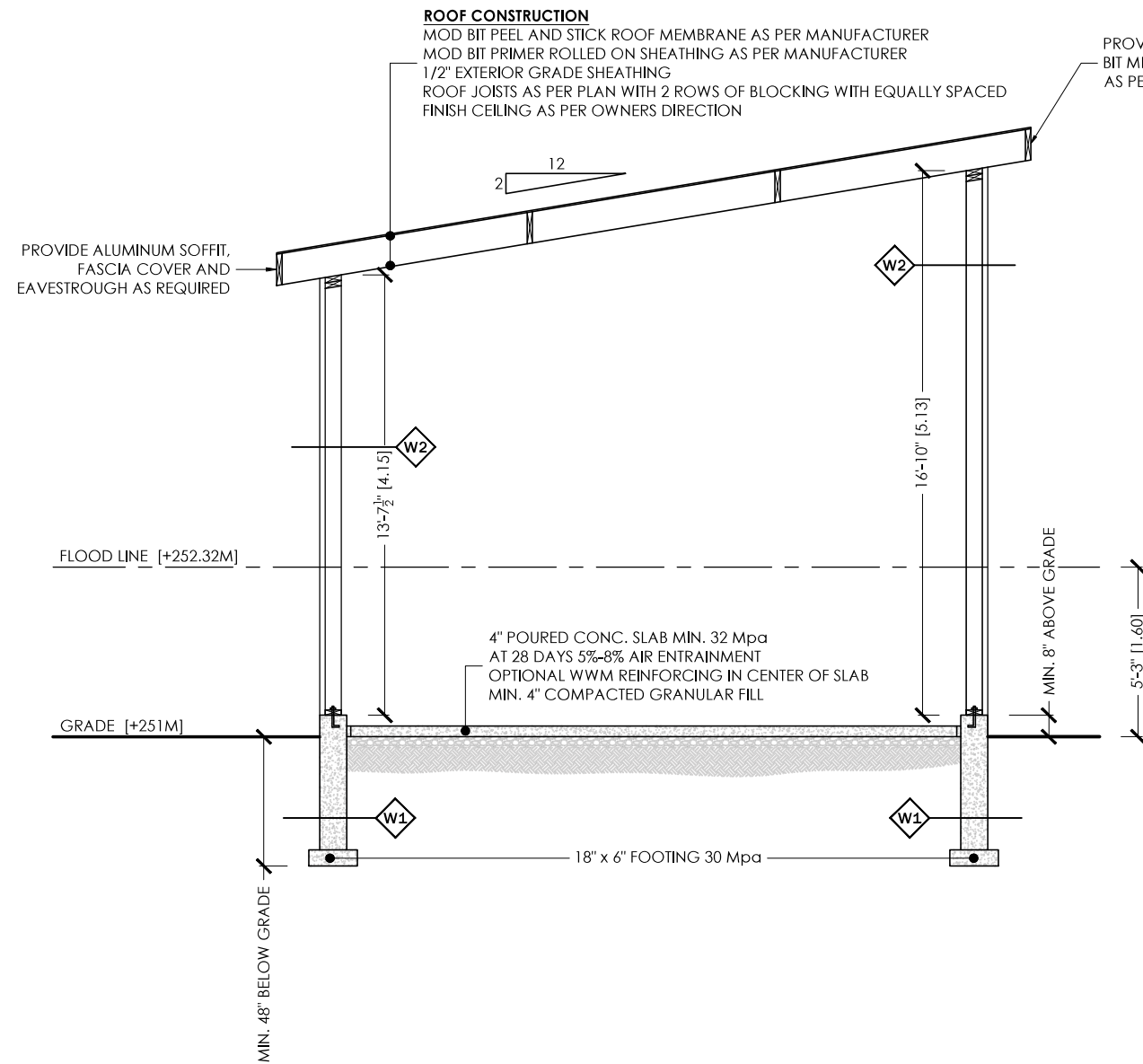
PROJECT:

NEW DETACHED GARAGE
AT 877 MILLGROVE SIDE RD.,
HAMILTON, ON

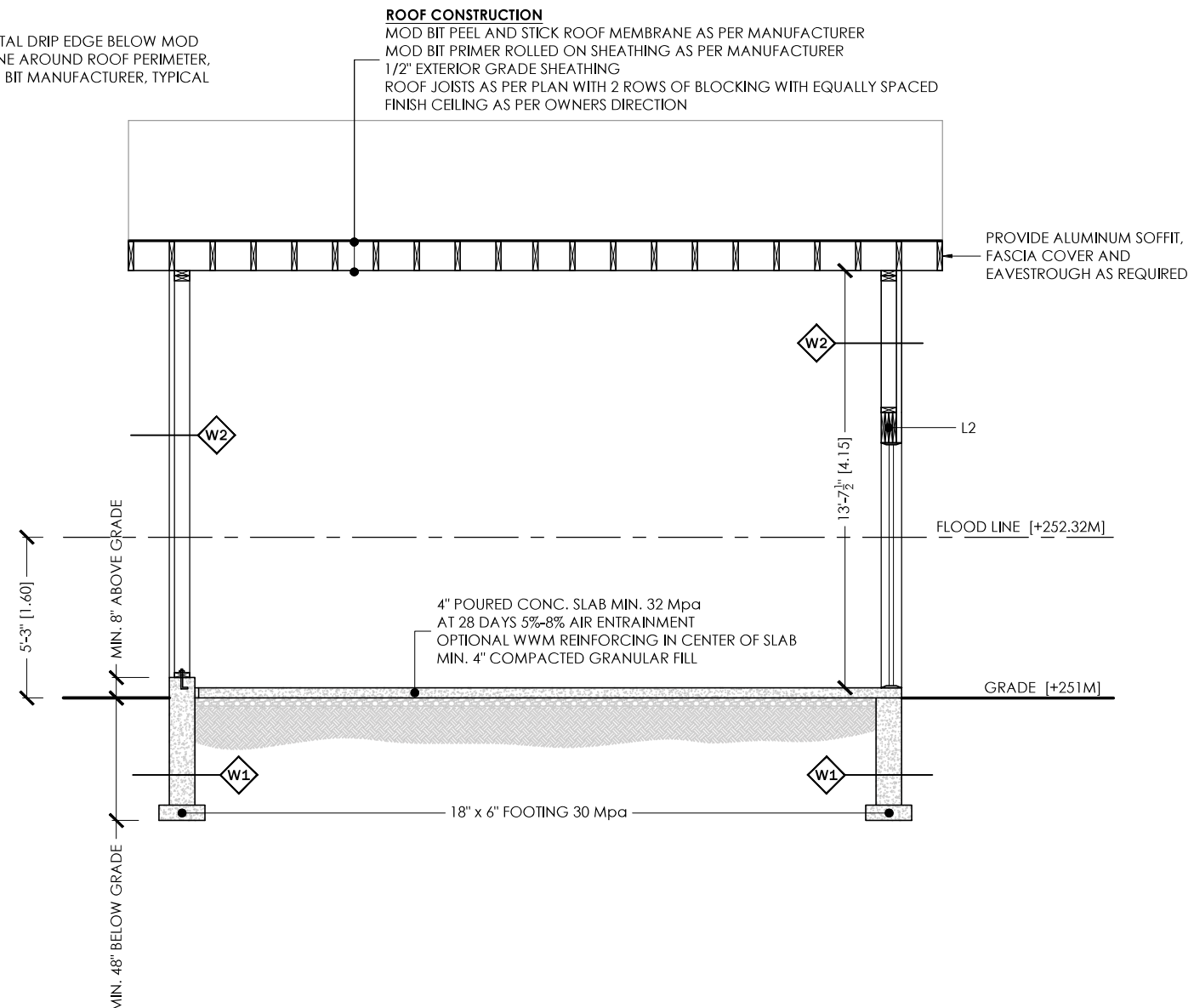
DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-011	CHECKED: M.D.F
REVISION: 0	DATE: 05-11-2022

ELEVATIONS

A2.01



1 SECTION A
 A4.01 3/16" - 1'-0"



2 SECTION B
 A4.01 3/16" - 1'-0"



TENHOUSE
 BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
 107 GLADSTONE AVENUE
 HAMILTON, ON L8M 2H8
 T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI
 BCIN#:44839

Matthew Fratarcangeli

REGISTRATION INFORMATION

TENHOUSE BUILDING WORKSHOP
 BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	05-11-2022	FOR PERMIT APPLICATION



PROJECT:

NEW DETACHED GARAGE
 AT 877 MILLGROVE SIDE RD.,
 HAMILTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-011	CHECKED: M.D.F
REVISION: 0	DATE: 05-11-2022

SECTION A & B

A4.01

WALL SCHEDULE		
DWG. MARKER	DETAIL	CONSTRUCTION
<div>W1</div>		<p>POURED CONCRETE FOUNDATION WALL 10" CONC. FND. WALL 30 Mpa W/ MIN 5-8% AIR ENTRAINMENT ON 18" x 6" FOOTING 30 Mpa W/ MIN 5-8% AIR ENTRAINMENT 3-15M REBAR EQUALLY SPACED, BTM THIRD OF FOOTING MIN 2" CONCRETE COVER OVER REBAR ON UNDISTURBED SOIL TYPICAL</p>
<div>W2</div>		<p>EXTERIOR WALL SIDING/BOARD AND BATTEN AS PER MANUFACTURER * EXTERIOR FINISH TO BE SUITABLE FOR WET FLOODPROOFING WHEN BELOW FLOOD LINE 1" x 4" STRAPPING AT 16" O.C., FASTENED TO STUDS TYVEK AS PER MANUFACTURER 1/4" EXTERIOR GRADE SHEATHING 2" x 6" STUDS AT 16" O.C., DBL TOP PLATE SINGLE BTM PLATE, PRESSURE TREATED BTM PLATE FASTENED TO FOUNDATION WALL W/ 1/2" Ø BOLTS AT 4' O.C. PROVIDE SILL GASKET SHEATHING FLUSH WITH OUTSIDE EDGE OF SLAB PROVIDE BTM OF WALL FLASHING AS PER SIDING MANUFACTURER INTERIOR FINISH AS PER OWNERS DIRECTION * NO INTERIOR FINISH BELOW FLOOD LINE</p>

*** FLOOD PROOFING DESIGN NOTES**

1. THE GARAGE HAS BEEN DESIGNED TO MEET WET-FLOODPROOFING FLOOD HEIGHT PARAMETERS OF THE GRINDSTONE CREEK FLOODPLAIN MAPPING PROGRAM CGVD28 MODEL:

1.1. REGIONAL FLOOD ELEVATION = 252.32M
2. WET-FLOODPROOFING IS ACHIEVED BY THE FOLLOWING MEASURES:

2.1. PROVIDING OPENINGS TO ALLOW THE AUTOMATIC ENTRY OF FLOODWATERS INTO THE BUILDING TO MINIMIZE UNBALANCED HYDROSTATIC LOADS

2.2. USING FLOOD DAMAGE-RESISTANT MATERIALS BELOW THE FLOOD ELEVATIONS PLUS 1 FT FREEBOARD



* ITEMS DESIGNED AS REQUESTED.



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#:44839

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	05-11-2022	FOR PERMIT APPLICATION

PROJECT:

NEW DETACHED GARAGE
AT 877 MILLGROVE SIDE RD,
HAMILTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-011	CHECKED: M.D.F
REVISION: 0	DATE: 05-11-2022

WALL SCHEDULES

A5.01

*** STRUCTURAL LOADS:**

ROOF LOADS
SNOW (S=1.5kPa, Sr=0.4 kPa)
WIND(Rf, 1/50=0.46 kPa)

LL (TOP CHORD) 1.23 kPa
DL (TOP CHORD) 0.28 kPa
LL (BOTTOM CHORD) 0.0 kPa
DL (BOTTOM CHORD) 0.36 kPa
DESIGN TO COMPLY WITH:
- PART 9 OF CBC 2018, ABC 2019
- PART 9 OF OBC 2012 (2019 AMENDMENT)
- CSA 086-14
- TPIC 2014

FLOOR LOADS
DEAD (FLOORS) 0.7 kPa
LIVE (FLOORS) 1.9 kPa
FLOOR LOADS ARE TO BE DESIGNED FOR NBCC 2010, PART 9, ABC 2014, OBC 2012 (2019 AMENDMENT).
LIMITS STATES DESIGN METHODOLOGY
DRY SERVICE CONDITION

LL DEFLECTION LIMIT L/360
TL DEFLECTION LIMIT L/240

CONSTRUCTION SPECIFICATIONS:

- 1 **ROOF CONSTRUCTION:**
NO. 210 ASPHALT SHINGLES (SELF-SEALING)
ASTME - 108 - 58 CLASS "C" ON 5/8" PLY WOOD SHEATING
W/H CLIPS ON 2"x6" RAFTERS (OR AS SHOWN ON DWGS.)
@16 O.C. W/ 2"x6" RIDGE BOARD (OR AS SHOWN ON DWGS.)
2"x4" COLLAR TIES AT MID SPANS
1"x4" RIBBON TIES AS REQUIRED
R-31 ROOF INSULATION AND VAPOUR BARRIER
CONTINUOUS AIR BARRIER AS PER O.B.C. 9.25.5.
1/2" INTERIOR DRYWALL FINISH.
PRE-FINISHED ALUMINUM OR ALUMINUM FASCIA AND MIN. 12"
BEYOND INNER FACE OF EXTERIOR WALL.
PRE-FINISHED ALUMINUM VENTED SOFFIT.
- 2 **FOUNDATION WALL:**
10" POURED CONCRETE FOUNDATION WALL ON 22"x10"
DEEP FOOTINGS
25 MPa MIN FOR WALLS AND FOOTING
USE NEW DEFORMED 400 MPa REINFORCING BARS
ALL REINFORCING BARS SHALL HAVE MINIMUM 400 MM COVER
ALL SPICES SHOULD BE MINIMUM 2" OVERLAPPED
FOUNDATION WALL TO BE ADEQUATELY BRACED PRIOR TO
BACKFILLING. ALL FOOTINGS SHALL REST ON NATURALLY
UNDISTURBED SOIL . ASSUME MIN. SOIL BEARING CAPACITY TO
BE 75 Kpa. BACKFILL WITH SUSCEPTILE SOIL (NON-SHRINK)
- 3 **BRICK VENEER CONSTRUCTION:**
3 1/2" FACE BRICK OR STONE FACING W/ 3/8" DIA.
WEEP HOLES AT 32" O.C. AT STARTER COURSE AND OVER
OPENINGS (TO BE LEFT CLEAN).
BASE FLASHING TO BE CARRIED MIN.6" UP BEHIND WALL
SHEATING PAPER.
GALVANIZED METAL TIES 1"x7"0.03" AT 16" O.C. VERT.
ALL MASONRY VENEER TIES SHALL BE MIN. 0.03" THICK AND 7/8"
WIDE CORROSION-RESISTANT STRAPS AND SHALL CONFORM TO
CAN3-A370-MBA "CONNECTORS FOR MASONRY".
1" AIR SPACE, 3/8" BUILDING PAPER LAYERS TO OVERLAP 1/2"
1/2" EXTERIOR SHEATING ON 2"x6" (OR AS SHOWN)
SPRUCE STUDS AT 16" O.C.
RSI 3.87 (R22) NON-COMBUSTIBLE BATT INSULATION AND
VAPOUR BARRIER CONTINUOUS BARRIER AS PER O.B.C. 9.25.5.
GIRTS AT 4'-0" FOR STUD HEIGHTS GREATER THAN 8'-0".
DOUBLE TOP PLATE AND SINGLE BOTTOM (SILL) PLATE.
VAPOUR BARRIER ON WARM SIDE.
1/2" INTERIOR DRYWALL TAPED AND SANDED. (DRYWALL TO
EXTEND BEHIND FURNACE TO COMPLY TO SECTION 9.20.12 OF
THE ONTARIO BUILDING CODE.
- 4 **INTERIOR STUD WALL PARTITIONS:**
A) LOAD BEARING
2"x6" (OR AS SHOWN) STUDS AT 16" O.C. BEARING WALLS.
DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE WITH 1/2"
INTERIOR DRYWALL ON BOTH SIDES TAPED AND SANDED
B) LOAD BEARING THERMAL INSULATED
2"x6" (OR AS SHOWN) STUDS AT 16" O.C. BEARING WALLS.
DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE WITH 1/2"
INTERIOR DRYWALL ON BOTH SIDES TAPED AND SANDED
C) NON-LOAD BEARING
2"x4" (OR AS SHOWN) STUDS AT 16" O.C. WALLS.
TOP AND BOTTOM PLATE WITH 1/2" INTERIOR DRYWALL ON
BOTH SIDES TAPED AND SANDED
D) SOUND INSULATED (NON-LOAD BEARING)
2"x4" (OR AS SHOWN) STUDS AT 16" O.C. WALLS.
TOP AND BOTTOM PLATES WITH 1/2" INTERIOR DRYWALL
ON BOTH SIDES TAPED AND SANDED AND SOUND
ATTENUATION BATTS BETWEEN DRYWALL.
E) THERMAL INSULATED (NON-LOAD BEARING)
2"x4" (OR AS SHOWN) STUDS AT 16" O.C. WALLS.
TOP AND BOTTOM PLATES WITH 1/2" WATER RESISTANT
DRYWALL ON WASHROOM SIDE TAPED AND SANDED
AND SOUND ATTENUATION BATTS BETWEEN DRYWALL.
- 5 **FOUNDATION INSULATION:**
1/2" GYP. BD. ON 6 MIL. VAPOUR BARRIER ON 2"x4"
WOOD STRAPPING WITH MIN. R20 ci INSULATION ON CONCRETE
FOUNDATION WALL DAMPROOFED SATURATED FELT OR PAPER
LAPPED 4" AT JOINTS.
DAMPROOFING SHALL EXTEND FROM CEILING TO MINIMUM
2'-0" BELOW FINISHED GRADE LEVEL EXCEPT AT COLD STORAGE
(IF ANY) WHERE INSULATION SHALL EXTEND FROM CEILING TO
FINISH BASEMENT FLOOR.
- 6 **WEEPING TILE:**
4" DIA. WEEPING TILE AROUND ALL FOOTINGS INCLUDING
GARAGE FOOTINGS. WEEPING TILE TO BE COVERED WITH 6" OF
CRUSHED STONE.
- 7 **SLAB ON GRADE:**
A) GARAGE : 4" POURED CONC. SLAB ON GRADE ON POLY
VAPOUR BARRIER. REINFORCED W/ 6x6x6 / 6 WELDED
WIRE MESH ON 2" RIGID INSULATION OVER 6" GRANULAR
FILL COMPACTED TO 98% MODIFIED PROCTOR DENSITY

- 8 **WOOD AND STEEL COLUMNS:**
COLUMNS IN BASEMENTS:
STEEL COLUMNS (SEE PLAN FOR SIZE) ON DAMPROOFING
MATERIAL ON CONCRETE FOOTING (SEE PLAN FOR SIZE).
COLUMNS ON OTHER FLOORS:
WOOD COLUMNS (SEE PLANS FOR SIZE) TO REST ON STEEL OR
WOOD BEAMS OR OTHER WOOD COLUMN EXTENDING TO
BASEMENT AS IN NOTE ABOVE.
EXTERIOR COLUMN (DECK, ETC.):
6"x6" OR (AS SHOWN) WOOD COLUMN ON METAL SHOE
AND 1/2" DIA. BOLT ANCHORED IN 8" DIA. AND MINIMUM
4'-0" DEEP POURED CONCRETE FOOTING.
- 9 **STEEL BEAM SUPPORT:**
1"x4" TO BE FKED ON BOTH SIDES OF STEEL BEAMS.
- 10 **SUB-FLOOR JOIST STRAPPING AND BRIDGING:**
FLOOR FINISH ON 5/8" TONGUE AND GROOVE SUB-FLOOR
ON FLOOR JOIST. FOR TILE APPLICATION (O.B.C. 9.30.8.4)
FLOOR JOIST AS NOTED ON PLANS AND AS PER
MANUFACTURERS SPECIFICATION. ALL JOIST TO BE BRIDGED
WITH A CONTINUOUS 1"x4" OR 2"x2 CROSS BRACING OR
SOLID BLOCKING @ 2100 MM (6'-1 1") O.C. MAX. ALL JOIST TO
BE STRAPPED WITH 1"x3" @ 2100 MM (6'-11") O.C.
- 11 **WET WALL PROTECTION:**
CERAMICS AND PLASTIC TILE INSTALLED ON WALL AROUND
BATHTUBS AND SHOWERS SHALL BE APPLIED OVER MOISTURE
RESISTANT BACKING.
JOINTS BETWEEN WALL TILES AND BATHTUBS SHALL BE
CAULKED WITH MATERIAL CONFORMING TO CGSB
19-GP-22M "SEALING COMPOUND MILDEW RESISTANT, FOR
TUBS AND TILE"
- 12 **DAMPROOFING:**
DAMPROOFING UNDERSIDE OF STAIR STRINGER WITH 45#
ROLL ROOFING OR WITH 2 MIL. POLY WHEN STAIR STRINGER IS
IN CONTACT WITH A CONCRETE SLAB ON GRADE SUCH AS
BASEMENT.
- 13 **CERAMIC FINISHED FLOORS:**
CERAMIC FLOOR TILES ON 1 1/2" MORTOR BASE REINFORCED
WITH WIRE MESH ON 5/8" SUB-FLOOR-ALL ALL EDGES
SUPPORTED BY MINIMUM 2"x2" BLOCKING
- 14 **CEILING INSULATION:**
16 MM (5/8") GYP. WALLBD.
6 MMIL POLY. VAPOUR BARRIER
R60 BLOWN CELLULOSE INSULATION BETWEEN CEILING JOISTS
SECTION 9.25.2.4 OF THE O.B.C.
- 15 **SILL PLATE:**
2"x6" (OR AS SHOWN) PLATE WITH 1/2" DIA.
ANCHOR BOLTS X 8" LONG
MIN. 4" IN CONCRETE @ 8'-0" O.C.
- 16 **BEAM POCKET OR CONCRETE PILASTER:**
BEAM POCKET IN POURED CONCRETE WALL OR 4"x12"
CONCRETE PILASTER (UNLESS SHOWN OTHERWISE) TO BE
PROVIDED TO STEEL BEAMS.
STEEL BEAM TO BE LEVELED WITH STEEL PLATES OR STEEL
SADDLES.
- 17 **GYPSUM WALL BOARD:**
1/2" GYPSUM BOARD (IF FINISHED), 6 MIL POLY. VAPOUR
BARRIER ON 2"x4" WOOD STRAPPING WITH R12 MIN.
INSULATION AND MOISTURE BARRIER ON FOUNDATION WALL.
TAPE AND SEAL JOINTS AS PER O.B.C. 9.29.5
1/2" G.W.P. ON WALL AND CEILING BETWEEN HOUSE AND
GARAGE.
- 18 **CEILING AND BULKHEAD FINISH:**
1/2" INTERIOR DRYWALL TAPED, SANDED AND PRIMED
- 19 **ROOF VENTILATION:**
FOR TYPICAL ROOF- 1:300 OF INSULATED CEILING AREA WITH
35% AT EAVES & MIN. 25% @ TOP OF ROOF SPACE
FOR CATHEDRAL ROOF- 1:50 OF INSULATED CEILING AREA
WITH 35% AT EAVES & MIN. 25% @ TOP OF ROOF SPACE
SECTION 9.19.1.2 OF THE O.B.C
- 20 **EAVE PROTECTION:**
TYPE "S" ROLLED ROOFING (SMOOTH SURFACE) EAVES
PROTECTION TO EXTEND MINIMUM OF 12" FROM INNER FACE
OF EXTERIOR WALL AND MINIMUM 3'-0" UP THE ROOF SLOPE.
- 21 **FOOTINGS:**
ALL FOOTINGS SHALL RESTS ON NATURAL UNDISTURBED SOIL
BEARING CAPACITY OF 75 Kpa. ROCK OR COMPACTED
GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 144
Kpa AND MUST BE MIN. 4'-0" BELOW FINISHED GRADE, AND
CONTINUOUSLY KEYED.
CONCRETE FOR FOOTINGS SHALL BE MIN. 20 MPa AT 28
DAYS. MINIMUM FOOTING FOR 2 STOREY BRICK VENEER

- CONSTRUCTION 22"x10" OR UPGRADED AS PER SOIL REPORT.
BACKFILL REQUIRED WITH NON-FROST SUSCEPTIBLE SOIL.
- 22 **ATTIC ACCESS HATCH:**
(O.B.C. 9.19.2)
MIN. 21"x24" ATTIC ACCESS HATCH & A MIN. AREA OF 0.32 M
(3.44 SQ.FT) WITH RSI 7.0 (R40) RIGID INSUL. AND WEATHER
STRIPPING.
- 23 **FASCIA AND SOFFIT:**
FASCIA AND SOFFIT TO BE PRE-FINISHED ALUMINUM.
(UNLESS SHOWN OTHERWISE) SOFFIT TO VENTED.
- 24 **STEP FOOTINGS:**
MAX. VERTICAL RISE BETWEEN HORIZONTAL PORTIONS:
2'-0" FOR FIRM SOIL. 1'-4" FOR SAND OR GRAVEL.
MIN. HORIZONTAL DISTANCE BETWEEN RISERS: 2'-0"
- 25 **FLAT ROOF /CANOPY:**
PRE-FINISHED METAL FLASHING ON EPDM MEMBRANE
ROOFING ADHERED TO
ROOF ASSEMBLY: UNLESS NOTED OTHER WISE
- STRUCTURAL FRAMING AS PER ROOF JOIST AND BEAM
ENGINEERED APPROVED SHOP DRAWINGS AND LAYOUTS.
- 5/8 T&G PLYWOOD SHEATING
- PANEL-TYPE ROOF SHEATING REQUIRING EDGE SUPPORT
SHALL CONSIST OF METAL H CLIPS. OR 38X BLOCKING
SECURELY NAILED BETWEEN FRAMING MEMBERS, TONGUE
AND GROOVE EDGE PANEL-TYPE SHEATING DOES NOT
REQUIRE EDGE SUPPORT.
- PLYWOOD PANEL SHALL BE INSTALLED WITH THE SURFACE
GRAIN RUNNING PERPENDICULAR TO FRAMING MEMBERS
AND WITH JOINTS PARALLEL TO FRAMING MEMBERS
STAGGERED AT LEAST 800 MM.
- PLANK DECKING: 38X140 T&G DECKING TO BE REPLACED
IN CONTROLLED RANDOM PATTERN.
- FLAT ROOF AREA TO BE BUILT-UP ON-SITE TO PROVIDE
POSITIVE DRAINAGE.
ROOFING TO EXTEND 12" MIN. OVER ROOF SHINGLES
PROVIDE 2' SLOPE (SLOPE TO ROOF DRAIN). MIN 1/10 SLOPE.
R-31 NON-COMBUSTIBLE BATT INSULATION AND VAPOUR
BARRIER CONTINUOUS BARRIER AS PER O.B.C 9.25.5 IR 60MIL
(R31) EPDM MEMBRANE.
- 26 **INTERIOR STAIRS:**
MAIN STAIR (MIN. REQUIREMENTS) DIMENSIONS SHOWN ON
SECTION TO RULE.
UNIFORM RISE & RUN IN A GIVEN RUN WITHIN 1/4"
MAX. RISE = 7 7/8"
MAX. RUN = 9"
MIN. THREAD = 9 7/8"
NOSING = 1" MIN.
HEADROOM = 6'-5"
RAIL AT LANDING = 3'-0"
RAIL AT STAIR = 2'-1 1"
MIN. WIDTH = 2'-0"
FOR CURVED STAIRS:
MIN. RUN = 8" MIN.
AVG. RUN = 8"
EXTERIOR STAIRS OR PRECAST STEPS:
MAX. RISE = 7 7/8"
MIN. RISE 4 7/8"
MAX. RUN = 14"
MIN. RUN 9"
MIN. TREAD = 9 7/8"
NOSING = 1"
AN EQUIVALENT BACK SLOPE ON THE RISE MAY BE ADDED TO
OBTAIN THE MINIMUM THREAD WIDTH OF (9 7/8")
- REFER TO REGION AS-BUILT: 0-10899**

- 27 **EXTERIOR/INTERIOR GUARD**
FINISHED NATURAL WOOD HANDRAIL ON WOOD OR METAL
PICKETS (UNLESS OTHERWISE SHOWN) MAX. 4" O.C.
SPACING. IF HANDRAIL IS USED AGAINST AN INTERIOR WALL
THE CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND
TO BE 2" MIN. HANDRAIL TO BE CONTINUOUS EXCEPT FOR
NEWEL POST AT CHANGES OD DIRECTION.
GUARDS TO CONFORM TO O.B.C 9.8.8.2
GUARD MAX. HEIGHT = 36". HANDRAIL MIN. HEIGHT = 32"
MEASURED VERTICALLY FROM OUTSIDE EDGE OF STAIR
NOSING GUARDS AT LANDINGS . ANY OTHER INTERIOR
AREAS REQUIRING GUARDS SHALL BE MINIMUM 36". EXTERIOR
GUARD SHALL BE MINIMUM 42" (UNLESS OTHERWISE SHOWN)
- 28 **STUCCO WALL CONSTRUCTION:**
STUCCO LANDING CONFORMING TO O.B.C. 9.27.1.1 (2) &
9.28 REQUIREMENT AND APPLIED PER MANUFACTURERS
SPECIFICATIONS CCMC EVALUATION REPORT TO BE
APPROVED BY LICENSED PROFESSIONAL ENGINEER. OVER
25MM (1") MIN. EXTRUDED OR EXPAND RIGID POLYSTYRENE
ON APPROVED AIR BARRIER ON 1/2" EXTERIOR TYPE
SHEATING ON 38X140 (2"x6") STUDS @ 400 (16") O.C.
RSI 3.87 (R22) NON-COMBUSTIBLE BATT. INSULATION
APPROVED/AIR BARRIER WARM SIDE AS PER 9.25.5 O.B.C.
AND 5/8" GYPSUM BOARD (X) TAPED AND SANDED GIRTS AT
4'-0" FOR STUDS HEIGHT GREATER THAN 8'-0". DOUBLE TOP
PLATE AND SINGLE BOTTOM (SILL) PLATE. (1 HOUR RATED)

- 29 **EAVESTHROUGH AND RAINWATER LEADER:**
(UNLESS SHOWN OTHERWISE)
- 30 **CAPPED DRYER VENTS**
CLOTHES DRYER TO BE VENTED DIRECTLY TO THE OUTSIDE
THROUGH EXTERIOR WALL. USE 4" DIA. SMOOTH WALL VENT
PIPE AS PER SECTION 6.2.3.8.(7)
- 31 **INTERIOR WASHROOM VENTS:**
INTERIOR WASHROOM (NO WINDOWS TO THE OUTSIDE) TO
BE MECHANICALLY VENTED TO THE OUTSIDE TO PROVIDE AT
LEAST ONE AIR CHANGE PER HOUR.
- 32 **STOVE/COOKTOP VENT:**
MECHANICAL VENTILATION DIRECTLY TO THE OUTSIDE SHALL
BE PROVIDED
- 33 **GAS-PROOFING:**
GAS-PROOFED WALLS AND CEILING OF GARAGE ADJACENT
TO INTERIOR SPACE:
1/2" GYP. BD., TAPED AND SEAL ALL JOINTS GAS TIGHT.
R-24 INSULATION IN WALLS. R-31 IN CEILING WITH 6 MIL
VAPOUR BARRIER ON THE WARM SIDE. CONTINUOUS AIR
BARRIER AS PER O.B.C. 9.10.9.16
ALL DUCTWORK IN CEILING TO BE INSULATED MIN. R-12 AND
GAS-PROOFED. WITH SELF CLOSER AND WEATHERSTRIPPING.
- 34 **LINEN CLOSETS:**
ALL LINEN CLOSETS TO HAVE MINIMUM 5 SHELVES. SHELVES
TO BE MIN. 14" DEEP
- 35 **COLD CELLAR PORCH SLAB:**
MAX. 2500MM (6'-2") PORCH DEPTH, AND (8") 32 MPa
CONC. SLAB WITH AIR ENTRAPMENT AND WITH 15M BARS @
8" O.C. EACH WAY 10M DOWELS @ 24" O.C. ANCHORED IN
FDN. WALL
- 36 **CONVENTIONAL ROOF FRAMING:**
CEILING JOIST TO BE 2"x6" @ 16" O.C.
2"x6" RIDGE BOARD (OR AS SHOWN ON DWGS.)
2"x4" COLLAR TIES AT MIDSPANS
FOR MAX. 2830MM SPAN & 2"x6" @ 16" O.C.
FOR MAX. 4450 SPAN
RAFTERS FOR BUILT-UP ROOF TO BE 2"x4" @ 24" O.C.
WITH 2"x4" CENTRE POST TO THE TRUSS AND LATERALLY
BRACED @ 6'-0" O.C. VERTICALLY.
- 37 **2 STOREY VOLUME SPACES:**
MAX. 16'-0" HEIGHT AND MAXIMUM ROOF TRUSSES
LENGTH OF 8.0M

- CONCRETE**
CONCRETE DESIGN SHALL CONFORM TO CAN -A438
"CONCRETE CONSTRUCTION FOR HOUSING AND
SMALL BUILDINGS"
- STEEL**
STRUCTURAL STEEL SHALL CONFORM TO C.S.A. SPEC
G 40-21M. ALL STEEL TO BE SHOP PAINTED (PRIMED)
ALL STEEL BEAMS TO BE NEW STOCK. ALL STEEL
REINFORCING RODS MIN. YIELD STRENGTH 60,000 P.S.I.
- NON-PRESSURE TREATED WOOD:**
WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE
TREATED WITH WOOD PRESERVATIVE AND WHICH ARE
SUPPORTED ON CONCRETE IN CONTACT WITH THE
GROUND OR FILL SHALL BE SEPARATED FROM THE
CONCRETE BY AT LEAST 2 MIL POLYETHYLENE FILM NO.50
(45 LB)(ROLL ROOFING OR OTHER DAMPROOFING
MATERIAL. SUCH DAMPROOFING IS NOT REQUIRED
WHERE THE WOOD MEMBER IS AT LEAST 6" ABOVE THE
GROUND.
- FIRE STOPS/FLAME SPREAD LIMITS:**
CONCEALED SPACES IN INTERIOR WALLS, CEILINGS AND
CRAWL SPACES SHALL BE SEPARATED BY FIRE STOPS
FROM CONCEALED SPACES IN EXTERIOR WALLS. ATTIC
OR ROOF SPACES AS PER SUBSECTION 9.10.15 OF THE
ONTARIO BUILDING CODE. FOR FLAME SPREAD LIMITS
SUBSECTION 9.10.16 OF O.B.C. SHALL APPLY.
- DUCTS:**
SUPPLY DUCTS AND RETURN DUCTS IN EXTERIOR WALLS
SHALL BE INSTALLED WITH MIN. R-4 FIBRE GLASS
INSULATION TO PREVENT MOISTURE CONDENSATION IN
THE DUCT. DUCT SPACES SHALL BE FURRED OUT WITH 1/2"
DRYWALL ON 2"x2" WOOD STRAPPING. SUPPLY DUCTS
AND RETURN DUCTS IN UNHEATED SPACES SHALL BE
INSULATED WITH MIN. R7 INSULATION VALUE. ALL JOISTS
IN DUCTS TO BE SECURELY RIVETED AND TAPED.
- WINDOWS AND SKYLIGHTS:**
ALL WINDOWS AND SKYLIGHTS TO COMPLY WITH
SECTION 9.7 OF THE ONTARIO BUILDING CODE.
ALL WINDOWS TO BE GLAZED OR THERMOPANE.
EVERY FLOOR LEVEL CONTAINING BEDROOMS SHALL BE
PROVIDED WITH AT LEAST ONE OUTSIDE WINDOWS THAT
CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF
TOOLS.
EACH SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL
UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM
AREA OF 3.8 SQ.FT WITH NO DIMENSION LESS THAN 15".
EXCEPT FOR BASEMENT WINDOWS THE ABOVE NOTED
WINDOW SHALL HAVE A MAXIMUM SILL HEIGHT OF 3'-3"
ABOVE THE FLOOR.

ALL WINDOWS WITHIN 6'-7" OF ADJACENT GROUND
LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR
RESISTANCE TO FORCED ENTRY AS DESCRIBED IN CLAUSE
10.13 OF CAN3-A440, "WINDOWS"

DOORS:
ALL DOORS SHALL COMPLY WITH SECTION 9.10.13.15 OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS:

SMOKE ALARMS SHALL BE PROVIDED AS PER SECTION
9.10.19 OF THE ONTARIO BUILDING CODE.
SMOKE ALARMS CONFORMING TO CAN/ULC-S531
"SMOKE ALARM SHALL BE INSTALLED IN EACH DWELLING
UNIT AND IN EACH SLEEPING ROOM NOT WITHIN A
DWELLING UNIT. SECTION 9.10.19.1(1)

CARBON MONOXIDE DETECTOR:
CM
CARBON MONOXIDE DETECTOR SHALL BE PROVIDED AS PER
SECTION 9.33.4 OF THE ONTARIO BUILDING CODE. WHERE
FUEL-BURNING APPLIANCE IS INSTALLED, CARBON
MONOXIDE DETECTOR IS REQUIRED IN THE DWELLING UNIT
ADJACENT TO EACH SLEEPING AREA.

GENERAL NOTES:
ALL CONSTRUCTION TO CONFORM TO THE CONSTRUCTION
REQUIREMENTS OF THE ONTARIO BUILDING CODE
REGULATION (332-12), PART 9. DRAWINGS MUST NOT
SCALED.
HANDWRITTEN NOTES WHICH APPEAR ON THE DRAWINGS
HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND
CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF
THE MORTGAGES AND HOUSING CORPORATION (C.M.H.C.),
ALL REFERENCES TO AND FINISHED GRADE LINES AS
INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS
ARE FOR REFERENCE ON AND DO NOT NECESSARILY DEPICT
FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT. IT
SHALL BE BE THE RESPONSIBILITY OF THE CONTRACTOR OR
BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND
CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE
PROCEEDING WITH THE WORK.
ARCHITECTS IT TO BE NOTIFIED PROMPTLY OF ANY
DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR
PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION
REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE
THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE
REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY
OF OR COST TO ARCHITECT.
DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY
SURFACES, GIVEN AS NORMAL DIMENSIONS. EXTERIOR WALL
DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY
ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO
INSIDE FACE OF STUD.

MISCELLANEOUS ITEMS:
ALL CLOSET TO HAVE METAL ROD WITH WOOD SHELF MIN.
14" DEEP.
MAIN BATHROOM TO HAVE RECESSED MEDICINE CABINET,
MIRROR AND VANITY.
ALL WASHROOM/POWDER ROOMS TO HAVE MIRROR AND
VANITY (OR PEDESTAL SINK)
ALL SLIDING CLOSET DOORS OR MIRROR DOORS TO BE 6'-8"
HIGH.



THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT IN
THE ONTARIO BUILDING CODE TO
DESIGN THE WORK SHOWN ON THE
ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#:44839

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	05-11-2022	FOR PERMIT APPLICATION

PROJECT:
NEW DETACHED GARAGE
AT 877 MILLGROVE SIDE RD,
HAMILTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-011	CHECKED: M.D.F
REVISION: 0	DATE: 05-11-2022

CONSTRUCTION SPECIFICATION NOTES
A6.01

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME		
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

TANDIA FINANCIAL CREDIT UNION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

INCREASE MAXIMUM HEIGHT OF ACCESSORY STRUCTURE
(REQUIREMENT: 4.5 METERS)
(PROPOSED: 5.74 METERS)

☐ Second Dwelling Unit☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

PROPOSED HEIGHT FOR ADDITIONAL STORAGE SPACE FOR PERSONAL ITEMS
(TYPICAL HOUSEHOLD ITEMS - BINS, BIKES, SEASONAL ETC.)

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

877 MILLGROVE SIDE ROAD
PLAN NUMBER: 62R-5573

7. PREVIOUS USE OF PROPERTY

Residential ☐

Industrial ☐

Commercial ☐

Agricultural ☐

Vacant ☐

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐No ☒Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐No ☒Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐No ☒Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐No ☒Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐No ☒Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐No ☒Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐No ☒Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐No ☒Unknown ☐

APPLICATION FOR A MINOR VARIANCE (January 1, 2022)

Page 2 of 6

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

LOCATION OF PROPERTY AND HISTORY AS PROVIDED BY OWNER

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2022-06-08

Date



Signature Property Owner(s)

DAVID JOSIAH JOHN SHELLEY

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 71.82 METERS
Depth 50.80 METERS
Area 3263.57 SQUARE METERS
Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

HOUSE FOOTPRINT: 171.47 SQUARE METERS
GROSS FLOOR AREA: 257.21 SQUARE METERS
2 STOREYS: 14.14 METERS WIDE x 12.13 LONG
1 STOREY GARAGE: 6.30 METERS WIDE x 6.05 LONG

Proposed

NEW 1 STOREY DETACHED GARAGED:
FLOOR AREA: 45.93 SQUARE METERS (6.30 METERS WIDE x 7.29 LONG)
5.74 METERS HIGH

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

HOUSE: LEFT SIDE: 26.31 METERS, RIGHT SIDE: 31.42 METERS, FRONT: 6.87 METERS, REAR: 31.80 METERS
1 STOREY GARAGE: LEFT SIDE: 6.08 METERS, RIGHT SIDE: 46.84 METERS, FRONT: 24.19 METERS, REAR: 20.56 METERS

Proposed:

NEW 1 STOREY DETACHED GARAGE: LEFT SIDE: 6.08 METERS, RIGHT SIDE: 46.84 METERS, FRONT: 24.19 METERS, REAR: 19.32 METERS

13.

Date of acquisition of subject lands:
OCTOBER 2019
14.

Date of construction of all buildings and structures on subject lands:
1969
15.

Existing uses of the subject property (single family, duplex, retail, factory etc.):
SINGLE FAMILY
16.

Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SINGLE FAMILY
17.

Length of time the existing uses of the subject property have continued:
SINCE CONSTRUCTED
18.

Municipal services available: (check the appropriate space or spaces)
Water WELL Connected
Sanitary Sewer SEPTIC Connected
Storm Sewers
19.

Present Official Plan/Secondary Plan provisions applying to the land:
Conservation/Hazard Land
20.

Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
RURAL ZONING, PARENT - 05-200, BYLAW - 15-173
21.

Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number:

21.1

If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes ☒ No

21.2

If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

22.

Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes ☒ No

23.

Additional Information (please include separate sheet if needed)

24.

The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.
- APPLICATION FOR A MINOR VARIANCE (January 1, 2022)

Page 4 of 6