



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	FL/A-22:222	SUBJECT PROPERTY:	11 Mountain View Road, Flamborough
ZONE:	"S1" (Settlement Residential)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner – Chris Klimm
Agent – Details Matter: S. Wilson

The following variances are requested:

1. A front yard setback of 6.6m shall be provided instead of the minimum required 7.5m front yard setback.
2. A building height of 5.7m shall be provided instead of the maximum building height of 4.5m permitted for an accessory building.
3. A maximum gross floor area of 55.0m² for accessory buildings shall be permitted whereas the by-law permits a maximum aggregate gross floor area of 45.0m² for accessory buildings.

PURPOSE & EFFECT: To permit the construction of a two (2) storey addition to the existing single detached dwelling.

Notes:

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 11, 2022
TIME:	3:15 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton

	<p>To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment</p>
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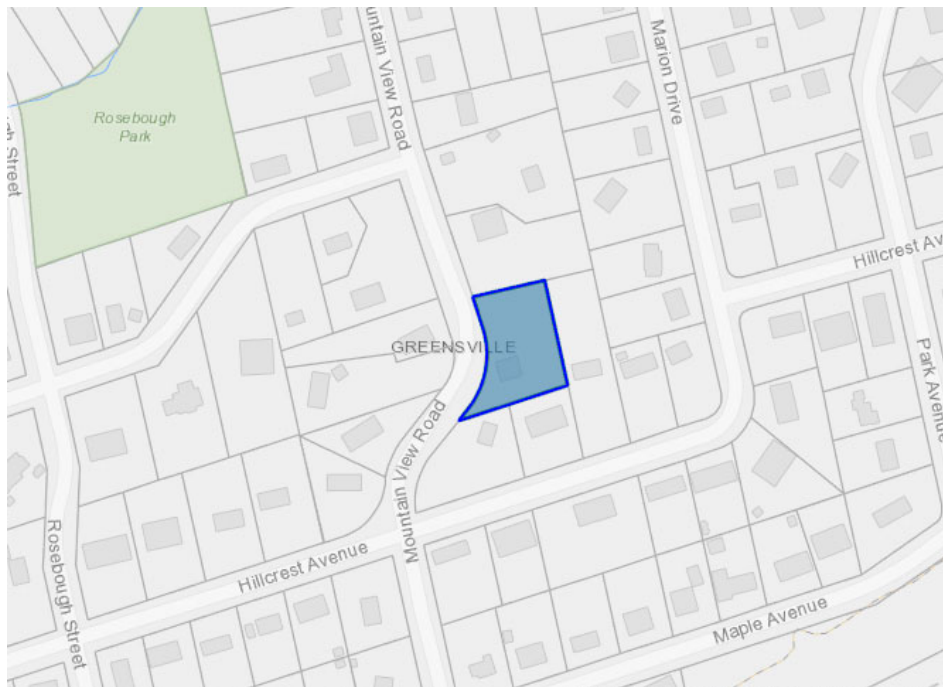
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 **Subject Lands**

DATED: July 26, 2022

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

KLIMM RESIDENCE



DRAWINGS LIST

- A1 COVER SHEET AND DETAILS
- A2 FRONT AND LEFT ELEVATIONS
- A3 LEFT AND REAR ELEVATIONS
- A4 LOWER BASEMENT PLAN
- A5 BASEMENT FLOOR PLAN
- A6 MAIN FLOOR PLAN
- A7 CROSS SECTIONS A-A, B-B

CONSTRUCTION DETAILS

- 1** STRIP FOOTINGS
18" WIDE X 6" DEEP CONTINUOUS
FOUR CONCRETE FOOTING
- 2** CONC. FOUNDATION WALLS
WATERPROOF DRAINAGE MEMBRANE
ON STUCCO/ASPHALT
DAMP-PROOFING ON 1/2" PARING
ON 8" THICK FORMED CONCRETE WALL
- 3** DRAINAGE LAYER
4" DRAINAGE TILE W/
6" 3/4" CLEAR STONE COVER MIN.
- 4A** EXTERIOR WALL - SIDING
HORIZONTAL SIDING
(SELECTION BY OWNER)
R5 (1") ROXUL "COMFORTBOARD 80"
TYVEK HOUSE WRAP AIR BARRIER
1/2" EXTERIOR SHEATHING
2X6 WOOD STUDS AT 16" O.C.
R22 BATT INSULATION W/
6 MIL POLY VAPOR BARRIER
TAPED AND FINISHED
- 4B** EXTERIOR WALL - SIDING
HORIZONTAL SIDING
(SELECTION BY OWNER)
R5 (1") ROXUL "COMFORTBOARD 80"
TYVEK HOUSE WRAP AIR BARRIER
1/2" EXTERIOR SHEATHING
2X6 138 LBL WOOD STUDS AT 16" O.C.
BLOCKING REQUIRED AT 8'-0" O.C.
R22 BATT INSULATION W/
6 MIL POLY VAPOR BARRIER
TAPED AND FINISHED
- 4C** EXTERIOR WALLS -
STONE VENEER
4" STONE VENEER 1" AIR SPACE
200 THICK X 18" WIDE
GALVANIZED BRASS NAILS OR
SCREWS 32" O.C. HORIZ., 16" O.C. VERT.
1/2" 3/8" ZIF PANELS C/U ZIF
TAPE ON ALL BEAMS
2X6 WOOD STUDS AT 16" O.C.
R22 BATT INSULATION
6 MIL POLY VAPOR BARRIER
1/2" GYPSUM WALLBOARD

- 4D** EXTERIOR WALLS -
GARAGE WALLS
HORIZONTAL SIDING
(SELECTION BY OWNER)
TYVEK HOUSEWRAP AIR BARRIER
R5 (1") ROXUL "COMFORTBOARD 80"
2X6 WOOD STUDS AT 16" O.C.
R22 BATT INSULATION W/ (OPT.)
6 MIL POLY VAPOR BARRIER (OPT.)
1/2" GYPSUM WALLBOARD
TAPED AND FINISHED
- 4E** GARAGE / HOUSE WALLS
1/2" GYPSUM WALLBOARD
R22 BATT INSULATION
2X6 WOOD STUDS AT 16" O.C.
1/2" EXTERIOR SHEATHING
2X6 WOOD STUDS AT 16" O.C.
R22 BATT INSULATION W/
6 MIL POLY VAPOR BARRIER
TAPED AND FINISHED
- 4F** EXTERIOR WALL -
CULTURED STONE
1 1/2" THICK CULTURED STONE
AS PER OWNER'S SELECTION
PORTLAND CEMENT BED
SCRATCH COAT
GALVANIZED METAL LATH
2 LAYERS OF WATER RESISTIVE
BARRIER
1/2" PLYWOOD EXTERIOR SHEATHING
2X6 WOOD STUDS AT 16" O.C.
R22 BATT INSULATION W/
6 MIL POLY VAPOR BARRIER
1/2" GYPSUM WALLBOARD
TAPED AND FINISHED
- 4G** INTERIOR STUD PARTITION
1/2" DRYWALL ON BOTH SIDES OF
2X4 WOOD STUDS AT 16" O.C. OR
2X6 WOOD STUDS AT 16" O.C.
AS INDICATED
- 4H** SOUND INSULATED WALL
1/2" DRYWALL ON BOTH SIDES
2X6 WOOD STUDS AT 16" O.C.
ROXUL MINERAL BATT INSULATION

- 5A** FLOOR - BASEMENT:
3" MIN. CONCRETE SLAB ON
8" MIN. GRANULAR BASE LITH
- 5B** FLOOR - GARAGE
3" MIN. CONCRETE SLAB ON 8" MIN.
VELL COMPACTED GRANULAR "A" BASE
WITH 6000 WIRE MESH REINFORCEMENT
- 5C** FLOOR - EUP
1 1/8" DEEP PRE-ENGINEERED
FLOOR JOISTS AT 16" O.C. WITH 3/4"
SHEATHING GUEID AND NAILED.
- 5D** FLOOR - REINFORCED SLAB
6" CONCRETE SLAB W/ 10M BARS AT
8" O.C. IN BOTH DIRECTION W/ 1"
CLEAR COVER AT BOTTOM OF SLAB.
SLAB SHALL HAVE MIN. 3" BEARING
ON FOUNDATION WALLS AND TO BE
ANCHORED AT 23 5/8" WITH 24"x24"
10M BENT DOUBLES
- 6A** FLOOR INSULATION
CONTINUOUS HEADER JOIST WITH R22
BATT INSULATION EXTEND VAPOR/AIR
BARRIER 1" SEAL TO JOIST AND
SUBFLOOR
- 6B** BASEMENT INSUL. / FURRING
R22 BATT INSULATION
OR 2" R22 RIGID INSULATION
2X4 STUDS AT 24" O.C.
R22 BATT INSULATION
6 MIL POLY VAPOR BARRIER
1/2" DRYWALL TAPED AND FINISHED
- 6C** BASEMENT INSULATION
R22 CONTINUOUS BLANKET
6 MIL VAPOR BARRIER
MECHANICALLY FASTENED TO WALL
- 6D** FLAT ROOF
JOINT TORCHED ON RUBBER
MEMBRANE ROOF 3 DES
SLOPE TO EDGE ON
3/8" SPRUCE PLYWOOD
SHEATHING
COMPLETE WITH 1/2" PLYCLIPS
2X10 ROOF RAFTERS AT 16" O.C.

- 7A** R&O CEILING
1/2" INTERIOR DRYWALL FINISH
CONTINUOUS AIR/VAPOR BARRIER
MIN. R50 BATT INSULATION
- 7B** GARAGE CEILING
2 COATS OF JOIST COMPOUND
R31 INSULATION, 2 LB CLOSED CELL
EASEF SPRAY FOAM INSULATION
ATTIC ACCESS
- 7C** CATHEDRAL CEILING
R31 (MIN.) FIBERGLASS OR
BLU-DOWN INSULATION
- 8A** PRE-ENGINEERED TRUSSES
STANDING READY METAL ROOFING
(SELECTION BY OWNER)
METAL BAYE STARTER
1/2" SPRUCE PLYWOOD SHEATHING
COMPLETE WITH 1/2" PLYCLIPS
R5 (1") ROXUL "COMFORTBOARD 80"
TYVEK HOUSE WRAP AIR BARRIER
1/2" EXTERIOR SHEATHING
2X6 WOOD STUDS AT 16" O.C.
R22 BATT INSULATION
6 MIL POLY VAPOR BARRIER
TAPED AND FINISHED
- 8B** STICK FRAMED ROOF
30 YEAR ASPHALT SHINGLES
(SELECTION BY OWNER)
METAL BAYE STARTER
1/2" SPRUCE PLYWOOD SHEATHING
COMPLETE WITH 1/2" PLYCLIPS
DECORATIVE ROOF
METAL ROOFING
(SELECTION BY OWNER)
METAL BAYE STARTER
1/2" SPRUCE PLYWOOD SHEATHING
COMPLETE WITH 1/2" PLYCLIPS
2X6 ROOF RAFTERS AT 16" O.C.
- 8C** DECORATIVE ROOF
METAL ROOFING
(SELECTION BY OWNER)
METAL BAYE STARTER
1/2" SPRUCE PLYWOOD SHEATHING
COMPLETE WITH 1/2" PLYCLIPS
2X6 ROOF RAFTERS AT 16" O.C.
- 8D** FLAT ROOF
JOINT TORCHED ON RUBBER
MEMBRANE ROOF 3 DES
SLOPE TO EDGE ON
3/8" SPRUCE PLYWOOD
SHEATHING
COMPLETE WITH 1/2" PLYCLIPS
2X10 ROOF RAFTERS AT 16" O.C.

- 9** ROOF VENTILATION
ROOF VENTS UNIFORMLY
DISTRIBUTED EQUAL TO 1/300
OF INSULATED CEILING AREA
- 10** STOVE VENT
PRE-FINISHED ALUMINUM EXHAUST
VENTED TO EXTERIOR, CONFORMING
TO PART 6, OBC 9.32.18(1)
- 11** PROVIDE ATTIC ACCESS
MIN. 20" X 24" UNINSULATED
23 5/8" FOR FRONT 80L
BOLTS AT 16" O.C. STAGGERED
- 12** EXTERIOR SOFFIT & FASCIA
PROVIDE ZERO CLEARANCE
GAB FIREPLACE WITH
NON-COMBUSTIBLE HEARTH
EXTENDING MIN. 16" IN FRONT
AND MIN. 8" BEYOND EACH SIDE
OF THE FIREPLACE OPENING
INSTALL CARBON MONOXIDE
DETECTOR CONFORMING TO
CAN/CSA-94.06 OR UL 2034
- 13** FIREPLACE
PROVIDE ZERO CLEARANCE
GAB FIREPLACE WITH
NON-COMBUSTIBLE HEARTH
EXTENDING MIN. 16" IN FRONT
AND MIN. 8" BEYOND EACH SIDE
OF THE FIREPLACE OPENING
INSTALL CARBON MONOXIDE
DETECTOR CONFORMING TO
CAN/CSA-94.06 OR UL 2034
- 14** HANDRAIL / GUARDS
(REFER TO O.B.C. 9.8 & 9.8-1)
INTERIOR LANDING 3'-0"
EXTERIOR LANDING 3'-6"
EXTERIOR STAIRS 3'-0"
INTERIOR STAIRS 2'-4"
MINIMUM STAIR WIDTH 2'-0"
MAX BETWEEN PICKETS 4"
EXTERIOR GUARDS AT LANDINGS
MAY BE 2'-8" F LESS THAN
4'-0" TO GRADE LEVEL
- 15** STAIRS (TABLE 9.8.4.2)
MAXIMUM RISE: 7'-8"
MINIMUM RUN: 10"
MAXIMUM NOSING 1"
MINIMUM WIDTH 2'-0"
MINIMUM HEADROOM 6'-8"

- 16** METAL FLASHING
MIN 3" UP BEHIND SHEATHING
MIN 3" HORIZONTAL OVER ROOF
- 17** DECK LEDGER
LEDGER 4"
ANGLED 33x66 MIN. P.T.
LEDGER WITH 2 ROW OF 3/8" X 4"
BOLTS AT 24" O.C. STAGGERED
- 18** STEPPED FOOTINGS
VERTICAL RISE
15 3/4" MAX FOR SAND / GRAVEL
23 5/8" FOR FRONT 80L
HORIZONTAL RUN 23 5/8"
WINDOW REINFORCING
PROVIDE 3-18M BARS ON
EACH SIDE OF OPENING AND
AT FULL WITH 2' COVERAGE.

LEGEND

- VENT
POINT LOAD FROM ABOVE
BATHROOM EXHAUST FAN
FLOOR DRAIN
KINS POST (TALLWALL)
TRIMMERS / POSTS

BM1	2 - 2X6	BM6	2 - 2X10
BM2	3 - 2X6	BM7	3 - 2X10
BM3	2 - 2X8	BM8	4 - 2X10
BM4	3 - 2X8	BM9	2 - 2X12
BM5	4 - 2X8	BM10	3 - 2X12
LVL1	1 3/4" X 11 1/4" 2.0E LVL		
LVL2	2 - 1 3/4" X 11 1/4" 2.0E LVL		
LVL3	3 - 1 3/4" X 11 1/4" 2.0E LVL		
LVL4	1 3/4" X 9 1/2" 2.0E LVL		
LVL5	2 - 1 3/4" X 9 1/2" 2.0E LVL		
LVL6	3 - 1 3/4" X 9 1/2" 2.0E LVL		
LVL7	4 - 1 3/4" X 9 1/2" 2.0E LVL		
LVL8	1 3/4" X 11 1/8" 2.0E LVL		
LVL9	2 - 1 3/4" X 11 1/8" 2.0E LVL		
LVL10	3 - 1 3/4" X 11 1/8" 2.0E LVL		
LVL11	4 - 1 3/4" X 11 1/8" 2.0E LVL		
LVL12	1 3/4" X 14" 2.0E LVL		
LVL13	2 - 1 3/4" X 14" 2.0E LVL		
LVL14	3 - 1 3/4" X 14" 2.0E LVL		
LVL15	2 - 1 3/4" X 16" 2.0E LVL		
LVL16	3 - 1 3/4" X 16" 2.0E LVL		
LVL17	2 - 1 3/4" X 18" 2.0E LVL		
LVL18	3 - 1 3/4" X 18" 2.0E LVL		

TABLE 3.1.1.2.A (IP) - ZONE 1
COMPLIANCE PACKAGE 'A1'

COMPONENT	THERMAL VALUES	
CEILING WITH ATTIC SPACE	MINIMUM NOMINAL R	60
	MINIMUM EFFECTIVE R	59.22
CEILING WITHOUT ATTIC SPACE	MINIMUM NOMINAL R	31
	MINIMUM EFFECTIVE R	21.65
EXPOSED FLOOR	MINIMUM NOMINAL R	31
	MINIMUM EFFECTIVE R	21.65
WALLS ABOVE GRADE	MINIMUM NOMINAL R	22
	MINIMUM EFFECTIVE R	17.03
BASEMENT WALLS	MINIMUM NOMINAL (R+VALUE	20c1 OR 12 + 10c1
	MINIMUM EFFECTIVE R	21.02
BELOW GRADE SLAB ENTIRE SURFACE > 600 MM BELOW GRADE	MINIMUM NOMINAL (R+VALUE	-
	MINIMUM EFFECTIVE R	-
HEATED GRADE SLAB OR SLAB C/U 600 MM BELOW GRADE	MINIMUM NOMINAL (R+VALUE	10
	MINIMUM EFFECTIVE R	11.13
EDGE OF BELOW GRADE SLAB C/U 600 MM BELOW GRADE	MINIMUM NOMINAL (R+VALUE	10
WINDOWS AND SLIDING GLASS DOORS	MAX U	0.28
	ENERGY RATING	75
SKYLIGHTS	MAX U	N / A
SPACE HEATING EQUIPMENT	MINIMUM ARIE	98%
HRV	MINIMUM BRE	75%
DOMESTIC HOT WATER HEATER	MINIMUM EF	0.80

PROJECT NORTH

TRUE NORTH

NO.	DATE:	ISSUE / REVISION
1	06-02-22	PRICING & CO-ORDINATION
2	06-15-22	C.O.A. APPLICATION
3		
4		
5		
6		
7		
8		
9		

GENERAL NOTES:

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS WITH CONDITIONS ON SITE AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF DETAILS MATTER.

USE LATEST REVISED DRAWINGS.

MAKE GOOD ALL AREAS OF WORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.

DO NOT SCALE DRAWINGS.

THESE DRAWINGS ARE IN ACCORDANCE TO THE 2012 OBC.

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER. REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

SHANE K WILSON
FIRM NAME: DETAILS MATTER 39141

DetailsMatter

905.870.8445
SHANE@DETAILSMATTER.CA WWW.DETAILSMATTER.CA
FACEBOOK.COM/DETAILSMATTER2007
@DETAILSMATTER07

BUILDER:

PROJECT:
KLIMM RESIDENCE
11 MOUNTAIN VIEW RD
DUNDAS, ONTARIO

DRAWN BY:
S.K.W.

CHECKED BY:
S.K.W.

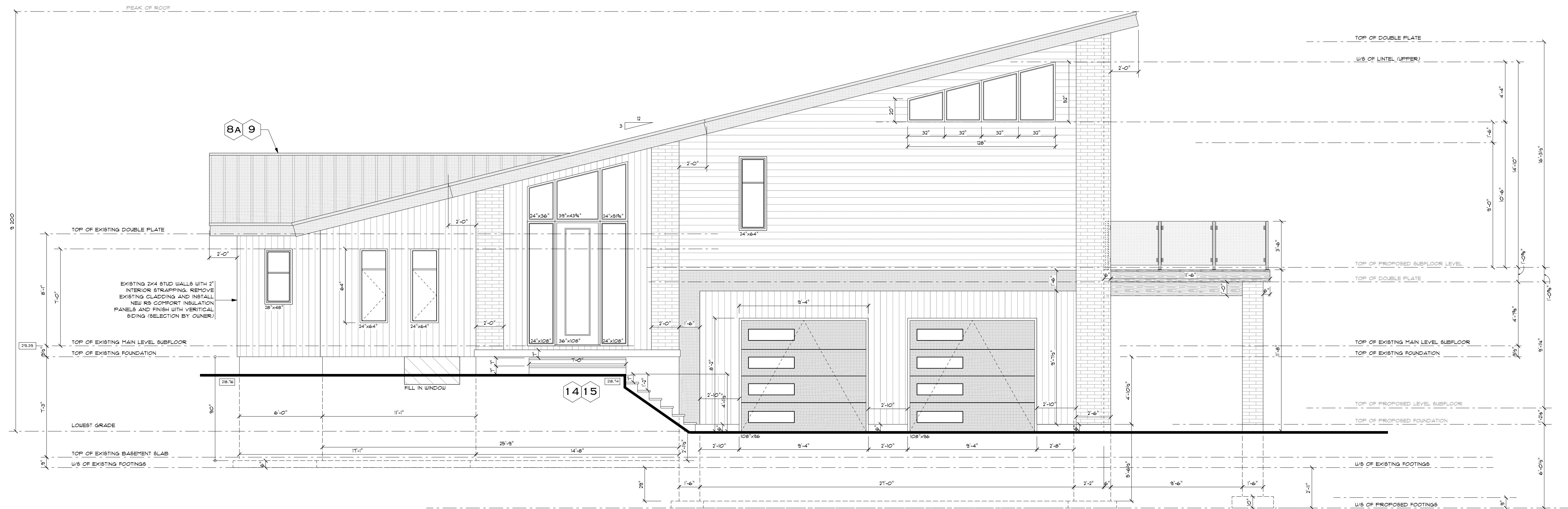
PROJECT NO:
DM21-006

SCALE:
1/4" = 1'-0"

DATE:
FEBRUARY 2021

DRAWING NO:

A1



PROPOSED FRONT ELEVATION



PROPOSED LEFT ELEVATION

PROJECT NORTH		TRUE NORTH	
No.	DATE:	ISSUE / REVISION	
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SHANE K WILSON
FIRM NAME: DETAILS MATTER 39141



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BUILDER:

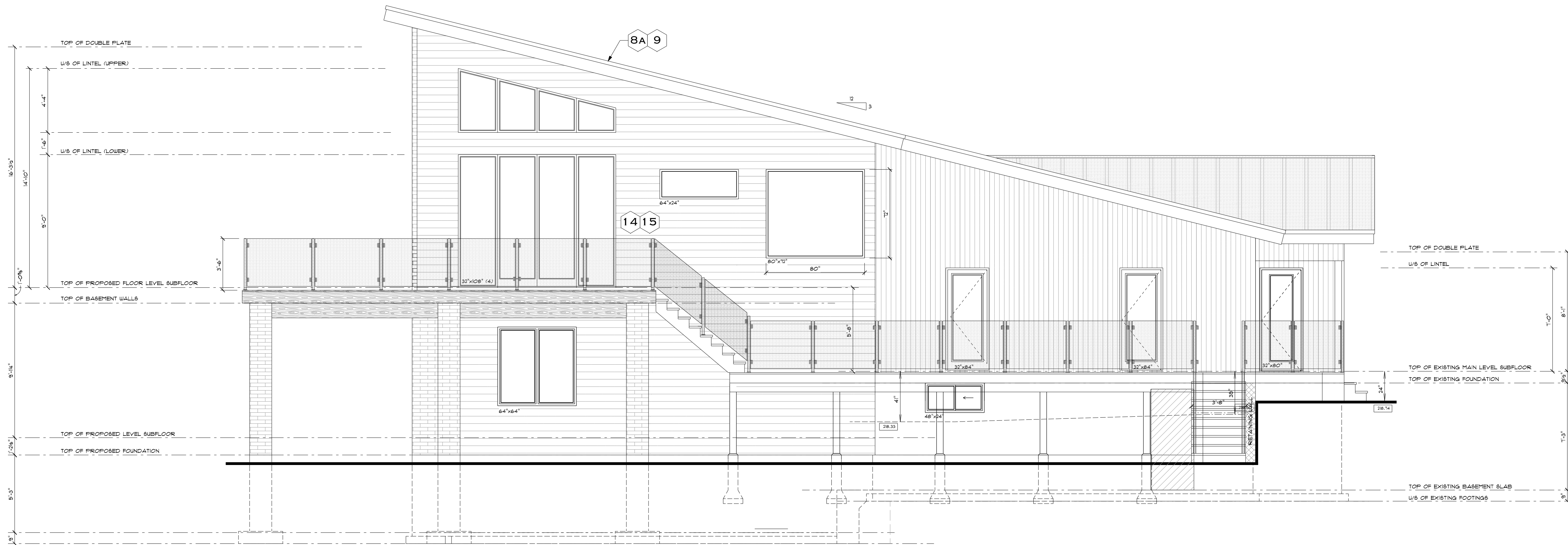
PROJECT:
KLIMM RESIDENCE
11 MOUNTAIN VIEW RD
DUNDAS, ONTARIO

SHEET TITLE:
**PROPOSED
FRONT AND
LEFT ELEVATION**

DRAWN BY: S.K.W. CHECKED BY: S.K.W. PROJECT NO: DM21-006

SCALE: 1/4" = 1'-0" DATE: FEBRUARY 2021

DRAWING NO:
A2



PROPOSED REAR ELEVATION



PROPOSED RIGHT ELEVATION

PROJECT NORTH		TRUE NORTH
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SHANE K WILSON
FIRM NAME: DETAILS MATTER 39141

Details Matter

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@DETAILSMATTER07

QR CODE

BUILDER:

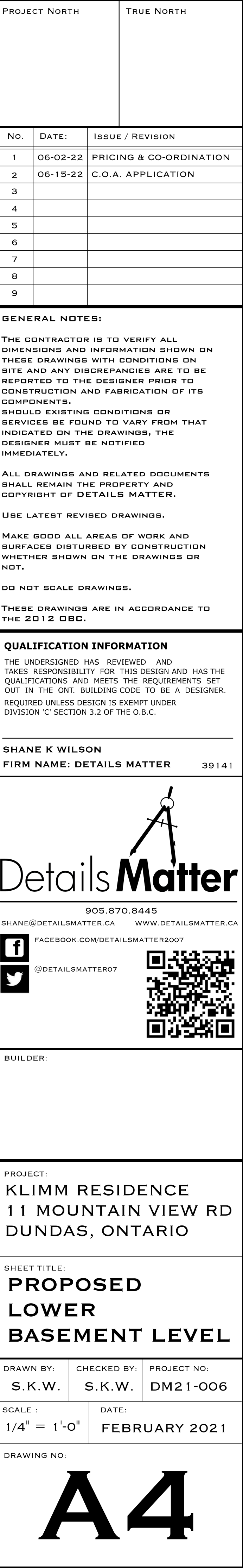
PROJECT:
KLIMM RESIDENCE
11 MOUNTAIN VIEW RD
DUNDAS, ONTARIO

SHEET TITLE:
**PROPOSED REAR
AND RIGHT
ELEVATION**

DRAWN BY: S.K.W. **CHECKED BY:** S.K.W. **PROJECT NO:** DM21-006

SCALE: 1/4" = 1'-0" **DATE:** FEBRUARY 2021

DRAWING NO:
A3



PROJECT NORTH		TRUE NORTH
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QUALIFICATION INFORMATION

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BUILDER:

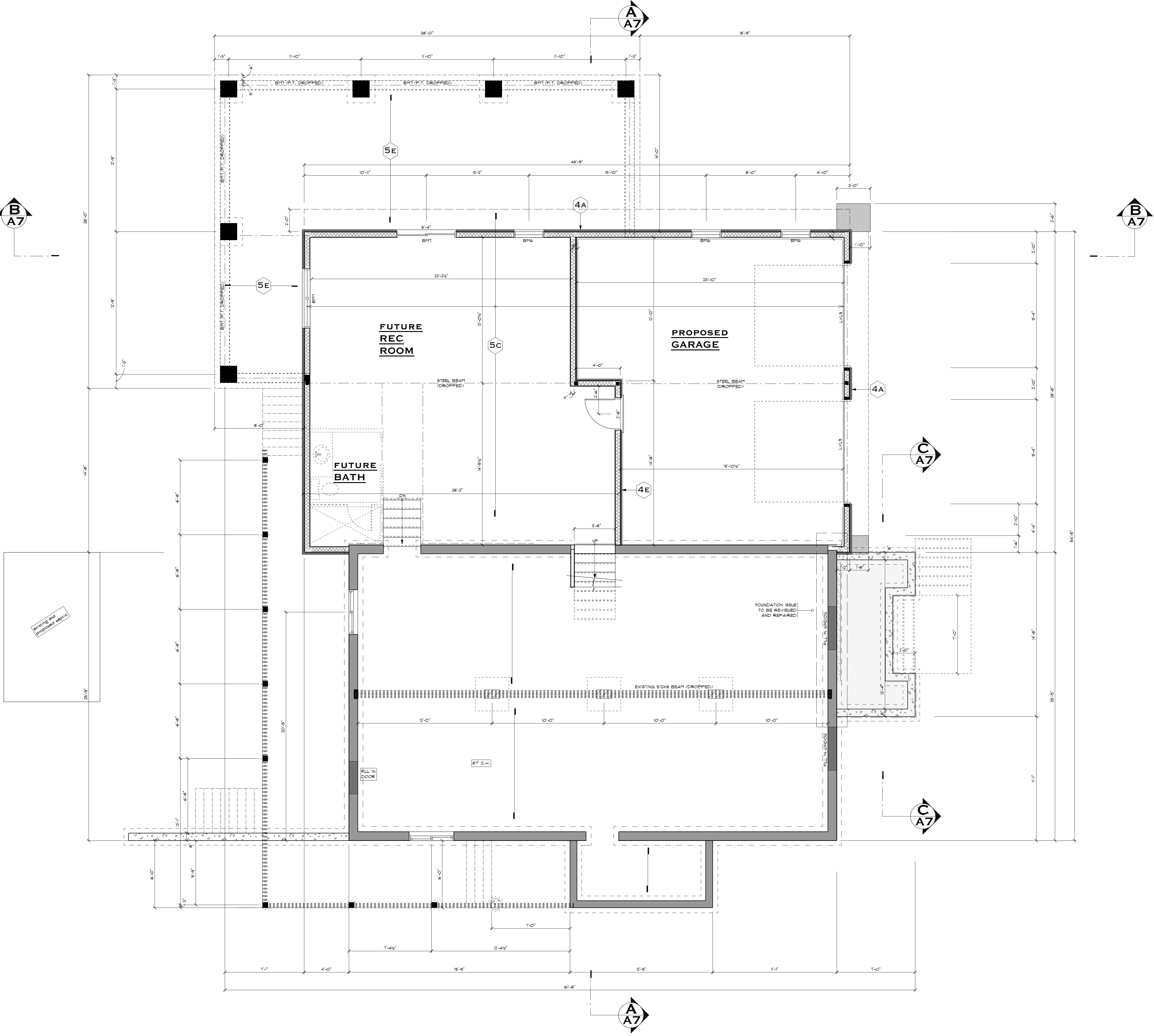
PROJECT:
KLIMM RESIDENCE
11 MOUNTAIN VIEW RD
DUNDAS, ONTARIO

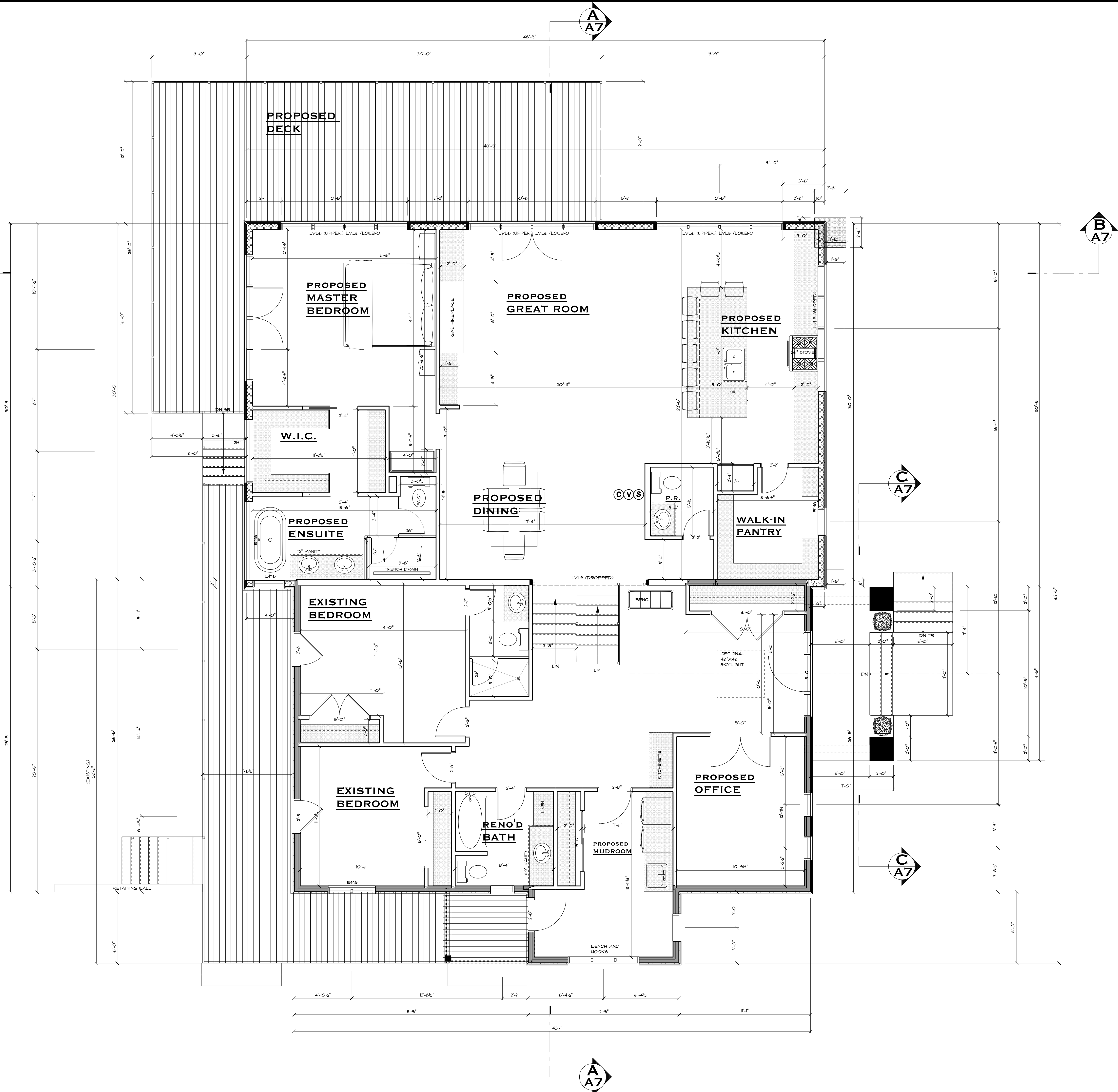
SHEET TITLE:
**PROPOSED
BASEMENT
PLAN**

DRAWN BY: S.K.W. CHECKED BY: S.K.W. PROJECT NO: DM21-006

SCALE: 1/4" = 1'-0" DATE: FEBRUARY 2021

DRAWING NO:
A5





BM1	2 - 2x6	BM6	2 - 2x10
BM2	3 - 2x6	BM7	3 - 2x10
BM3	2 - 2x8	BM8	4 - 2x10
BM4	3 - 2x8	BM9	2 - 2x12
BM5	4 - 2x8	BM10	3 - 2x12
LVL1	1 3/4" X 11 1/4" 2.OE LVL		
LVL2	2 - 1 3/4" X 11 1/4" 2.OE LVL		
LVL3	3 - 1 3/4" X 11 1/4" 2.OE LVL		
LVL4	1 3/4" X 8 1/2" 2.OE LVL		
LVL5	2 - 1 3/4" X 8 1/2" 2.OE LVL		
LVL6	3 - 1 3/4" X 8 1/2" 2.OE LVL		
LVL7	4 - 1 3/4" X 8 1/2" 2.OE LVL		
LVL8	1 3/4" X 11 1/8" 2.OE LVL		
LVL9	2 - 1 3/4" X 11 1/8" 2.OE LVL		
LVL10	3 - 1 3/4" X 11 1/8" 2.OE LVL		
LVL11	4 - 1 3/4" X 11 1/8" 2.OE LVL		
LVL12	1 3/4" X 14" 2.OE LVL		
LVL13	2 - 1 3/4" X 14" 2.OE LVL		
LVL14	3 - 1 3/4" X 14" 2.OE LVL		
LVL15	2 - 1 3/4" X 16" 2.OE LVL		
LVL16	3 - 1 3/4" X 16" 2.OE LVL		
LVL17	2 - 1 3/4" X 18" 2.OE LVL		
LVL18	3 - 1 3/4" X 18" 2.OE LVL		

PROJECT NORTH

TRUE NORTH

NO.	DATE:	ISSUE / REVISION
1	06-02-22	PRICING & CO-ORDINATION
2	06-15-22	C.O.A. APPLICATION
3		
4		
5		
6		
7		
8		
9		

GENERAL NOTES:

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS WITH CONDITIONS ON SITE AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF DETAILS MATTER.

USE LATEST REVISED DRAWINGS.

MAKE GOOD ALL AREAS OF WORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.

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BUILDER:

PROJECT:

KLIMM RESIDENCE
11 MOUNTAIN VIEW RD
DUNDAS, ONTARIO

SHEET TITLE:

PROPOSED MAIN
FLOOR PLAN

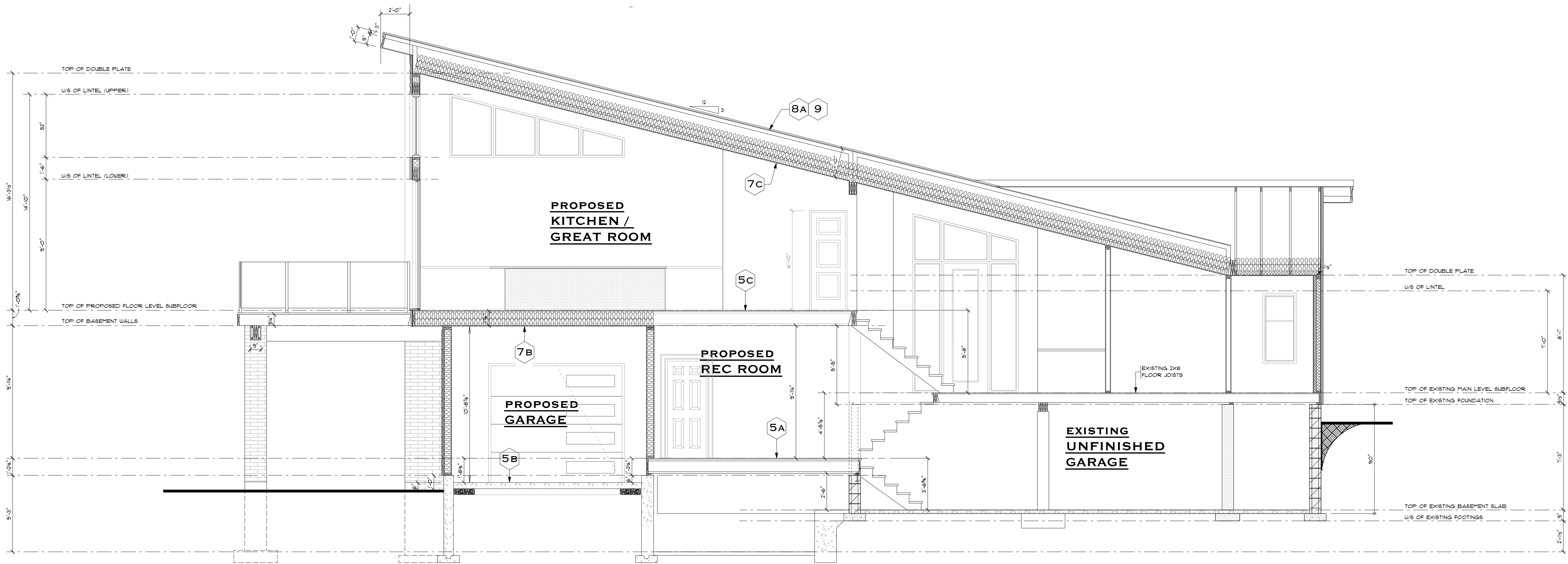
2,695 SF

DRAWN BY:	CHECKED BY:	PROJECT NO.:
S.K.W.	S.K.W.	DM21-006

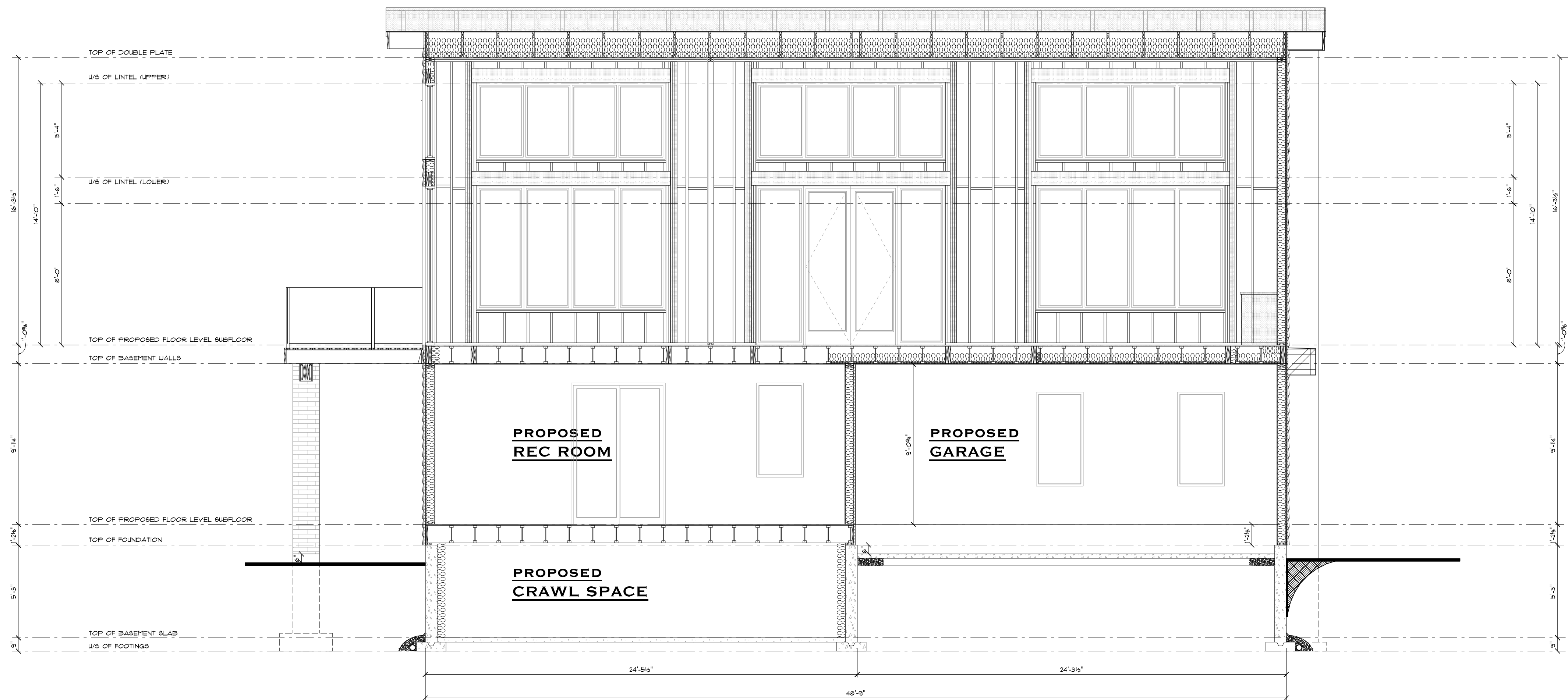
SCALE :	DATE:
1/4" = 1'-0"	FEBRUARY 2021

DRAWING NO:

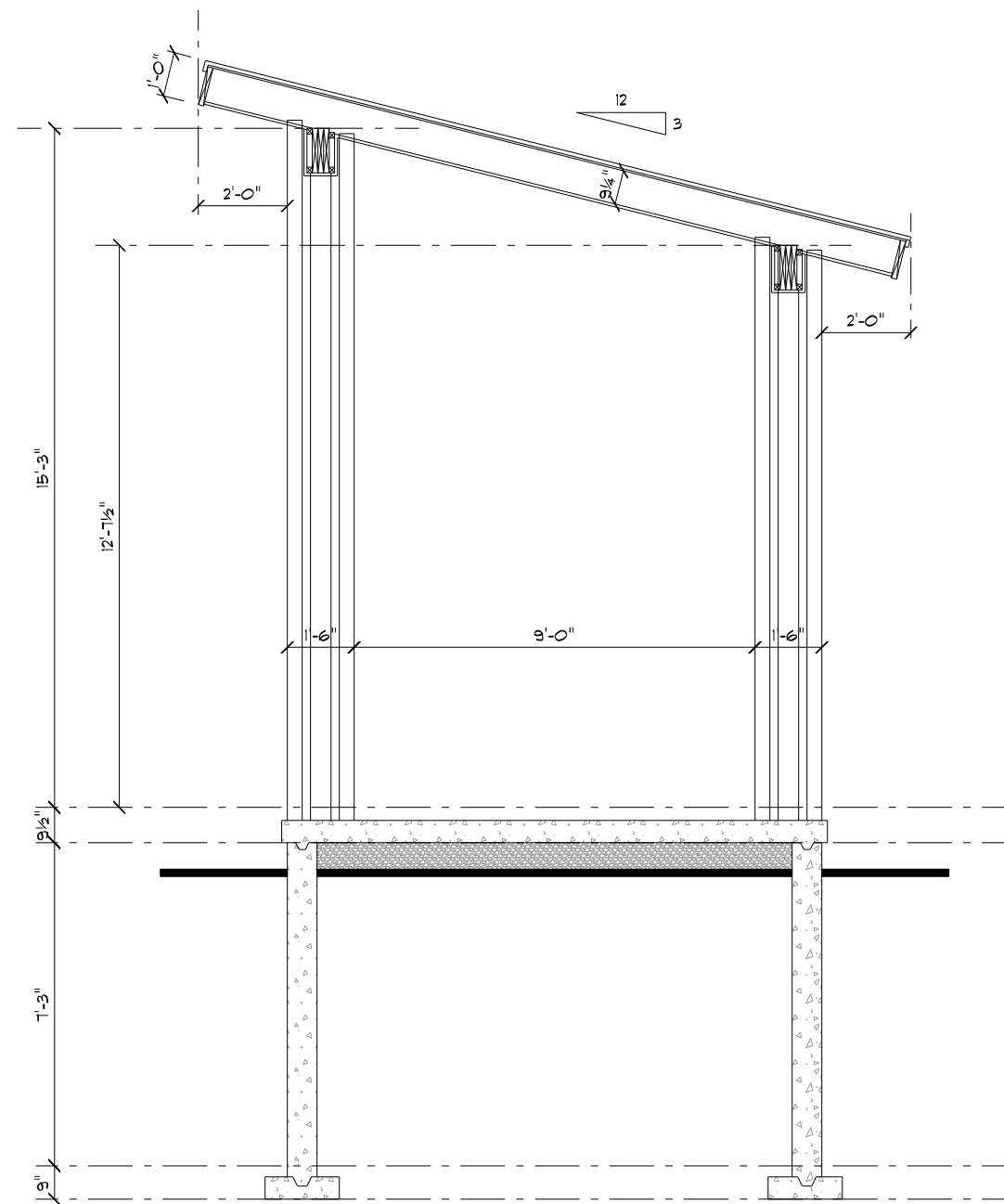
A6



CROSS SECTION A-A



CROSS SECTION B-B



CROSS SECTION C-C

PROJECT NORTH

TRUE NORTH

NO.	DATE:	ISSUE / REVISION
1	06-02-22	PRICING & CO-ORDINATION
2	06-15-22	C.O.A. APPLICATION
3		
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BUILDER:

PROJECT:

KLIMM RESIDENCE

11 MOUNTAIN VIEW RD

DUNDAS, ONTARIO

SHEET TITLE:

CROSS SECTIONS

A-A & B-B

DRAWN BY:

CHECKED BY:

PROJECT NO:

S.K.W.

S.K.W.

DM21-006

SCALE :

DATE:

1/4" = 1'-0"

FEBRUARY 2021

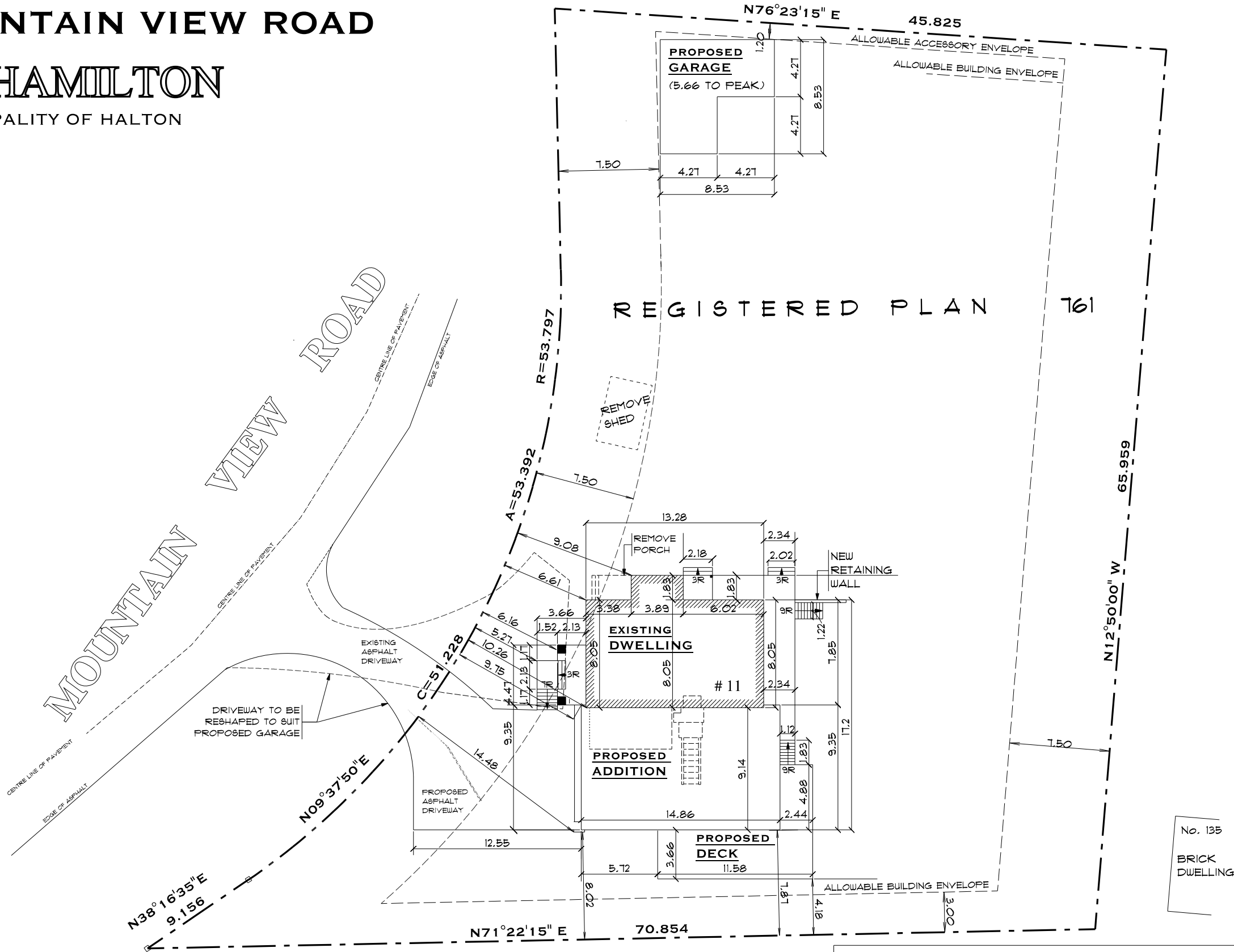
DRAWING NO:

A7



A8

PLAN OF
#11 MOUNTAIN VIEW ROAD
IN THE
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF HALTON



LOT AREA	3328.10 SQ. M
EXISTING MAIN FLOOR PLAN	114.07 SQ. M
PROPOSED ADDITION (BACKSPLIT)	136.19 SQ. M
TOTAL FLOOR AREA	250.26 SQ. M
PROPOSED COVERED FRONT PORCH	9.54 SQ. M
PROPOSED DECKS	92.87 SQ. M
PROPOSED DETACHED GARAGE	54.74 SQ. M

NO.	DATE:	ISSUE / REVISION
1	06-17-22	ISSUED FOR C.O.A.
2		
3		
4		
5		

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PROJECT:
11 MOUNTAIN VIEW RD
HAMILTON, ONTARIO

SHEET TITLE:
SITE SKETCH

DRAWN BY:	CHECKED BY:	
S.K.W.	S.K.W.	
SCALE:	DATE:	PROJECT NO:
	FEB 2022	DM22-002

DRAWING NO:
AO

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
 SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	Chris Klimm	
Applicant(s)*	Shane K Wilson (Details Matter)	
Agent or Solicitor	Shane K Wilson (Details Matter)	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

TD Canada Trust
 161 Bay St., Toronto,
 ON M5J 1C4, Canada

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1) Front Yard Setback : 7.5m allowed, 6.61 proposed (existing corner)
2) Accessory Building Area : 45.00 sq. m allowed 54.63 Sq m.
2) Accessory Building Height : 4.5 m allowed,

☐ Second Dwelling Unit

☒ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

- see attached response sheet -

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

11 Mountain View Road

7. PREVIOUS USE OF PROPERTY

Residential ☒

Industrial ☐

Commercial ☐

Agricultural ☐

Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐

No ☒

Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

The answers are to the best of my knowledge and are based on the existing site condition, location and confirmation of information with existing neighbours.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the

Minor Variance Application – 11 Mountain View Road, Greenville (Owner : Chris Klimm)

Question 5.

Why it is not possible to comply with the provisions of the By-law?

- 1) The existing corner of the home does not meet the current bylaw. We are planning on removing the existing second floor and roof of the home and would like to add an addition on the south side of the home and reconstruct the entire roof. Our new roof structure will start on this non-conforming Northwest Corner.
- 2) We would like a larger accessory building than what is currently allowed in the zoning bylaw to provide needed storage for the owners RV and tractor. We would also like the building to have a workshop for personal use. The property is very large so this proposed footprint would still only cover 1.6% of the lot.
- 3) One of the items that needs to be stored in the accessory building is an RV which requires a high ceiling. We have proposed that one bay of the garage to have a 12' ceiling and a sloped 4/12 roof. With our placement on the property and the natural grade changes in this area the height should be dramatically minimized.

13. Date of acquisition of subject lands:
July 15, 2021
14. Date of construction of all buildings and structures on subject lands:
1950s (based on listing)
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family Dwelling
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family Dwelling
17. Length of time the existing uses of the subject property have continued:
always
18. Municipal services available: (check the appropriate space or spaces)
Water private well Connected _____
Sanitary Sewer private septic Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

S1
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes ☐ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes ☒ No
23. Additional Information (please include separate sheet if needed)

n/a
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.