



NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	SC/A-22:258	SUBJECT PROPERTY:	6 REDHAVEN COURT, STONEY CREEK
ZONE:	R5 (Residential 5)	ZONING BY-LAW:	Zoning By-law former City of Stoney Creek 3692-92, as Amended

APPLICANTS: Owner – Patrick Whitty
 Agent – Amr Serrag Eldin

The following variances are requested:

1. A minimum 5.0 metre rear yard shall be provided instead of the minimum required 7.5 metre rear yard.

PURPOSE & EFFECT: To permit an addition in the rear yard of a Semi-Detached (Linked) Townhouse.

Notes:

1. Please note this application has been reviewed as a Semi-Detached (linked) Dwelling as per Building Permit Number 2430, issued on May 10, 1979 for a “semi-detached dwelling”. In addition to the issued building permit, elevation drawings submitted indicated the building to be a “Two Storey Linked Semi” which links Lot 59 and 60 at the foundation, below grade.
2. Please be advised, insufficient information was provided regarding the setback to the Northwestern corner of the proposed Two Storey Addition. Section 6.6.3 d) of Stoney Creek Zoning By-Law 3692-92 requires a required Side Yard setback of 1.25 metres. Should the proposed addition not meet the provisions of this By-Law additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 25, 2022
TIME:	1:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

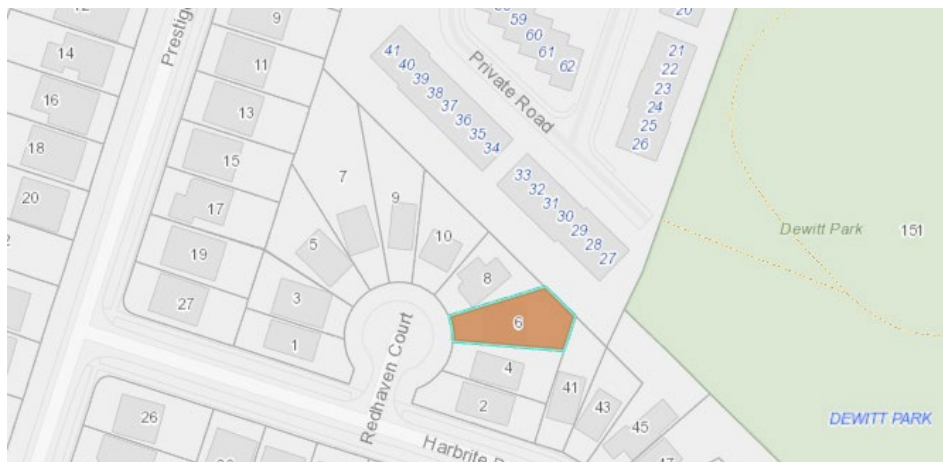
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

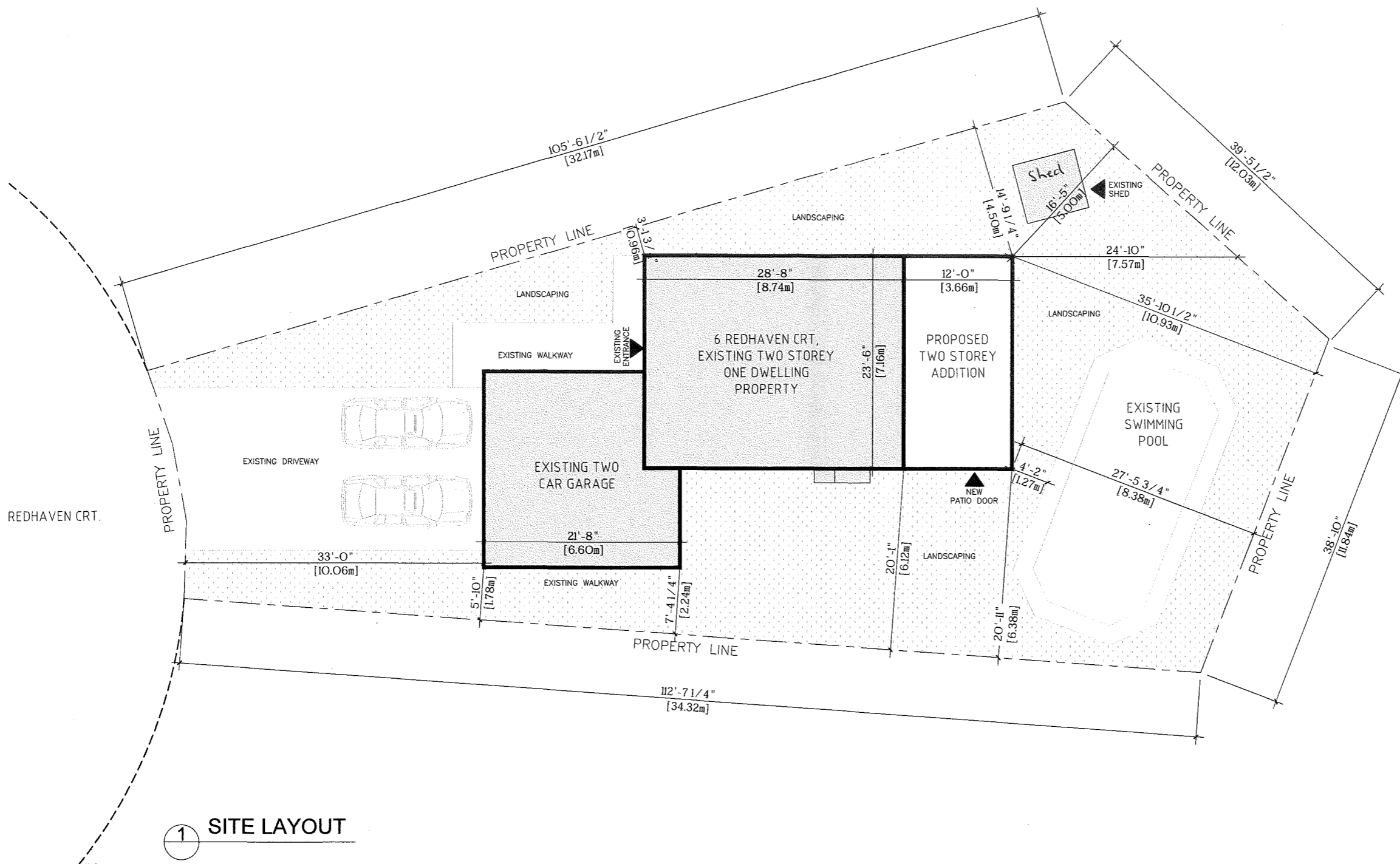
Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: August 9, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



1 SITE LAYOUT

SITE DATA & ZONING REQUIREMENTS			
ZONING/ USES	EXISTING	PROPOSED	REMARKS
ZONING/ USES	TWO STOREY RESIDENTIAL (1 DWELLING)	EXTENSION FOR THE TWO STOREY (1 DWELLING)	
LOT WIDTH :	REFER TO SITE PLAN	NO CHANGES	
LOT AREA :	5500 SQ.FT (511 M ²)	NO CHANGES	
LOT COVERAGE	{20 %}	{25.12 %}	
BUILDING HEIGHT	+22'(6.7 m) TWO STOREY	NO CHANGES	
SET BACKS	N FRONT	REFER TO SITE PLAN	NO CHANGES
	W SIDE 1	REFER TO SITE PLAN	NO CHANGES
	E SIDE 2	REFER TO SITE PLAN	NO CHANGES
	S REAR	REFER TO SITE PLAN	NO CHANGES

GFA CALCULATIONS (WITH EXTENSION)	
MAIN FLOOR LEVEL	1382 SQ.FT. 128.4 M2
SECOND FLOOR LEVEL	956 SQ.FT. 88.8 M2
BASEMENT	0
TOTAL	2338 SQ.FT. 217.2 M2
GFA CALCULATIONS (EXISTING)-WITHOUT EXTENSION	
MAIN FLOOR LEVEL	1100 SQ.FT. 102.2 M2
SECOND FLOOR LEVEL	674 SQ.FT. 62.6 M2
BASEMENT	0
TOTAL	1774 SQ.FT. 164.8 M2

- 1-Contractor to inspect site prior to the commencement of construction and report immediately to the Designer any unacceptable conditions or discrepancies from the contract documents.
- 2-Contractors and Sub-trades to place material orders in a timely fashion.
- 3-Failure to do so will be at Contractor's expense. drawings are not to be scaled, work to dimensions only.
- 4-The design is the property of ARCHICREATION DESIGN STUDIO Inc. and cannot be used without written approval from the Designer.

Amr Serrag Eldin
T: (647)924-7611
E-mail: amr@archicreation.ca



Legends

EX. AREA WITHOUT CHANGES

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code

Amr Serrag Eldin
NAME SIGNATURE 45460 BCIN #

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of Division "C" of the Ontario Building Code

ARCHICREATION DESIGN STUDIO Inc.
FIRM NAME 101566 BCIN #

No.	Description	Date
02	Issued For C.O.A	25-07-22
01	Issued For Permit	12-05-22



6-425 Hespeler Rd Suite 118
Cambridge, ON N1R 8J6 T: (647)924-7611

House Alteration & Addition
6 Redhaven Ct.
Stoney Creek, ON L8G 4G6

Sheet Name
SITE LAYOUT

Project #	22-0411	Checked by	Sherif Saker
Date	APRIL 2022	Sheet	
Scale	1 : 150		SP1.01



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	Patrick Whitty		
Applicant(s)*	Amr Serrag Eldin		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Royal Bank of Canada - 21 King St West, Hamilton, ON L8P 4W7

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Permit proposed addition to an existing house that does not meet the the minimum required rear yard setback of 7.5m at just one corner, the proposed set back is 5.00m

- Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The shape of the lot is irregular, the lot has five sides, two of them are for the back side, with very sharp angles.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

6 Redhaven Crt., Stoney Creek, ON L8G 4G6

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Inspection of the lot, Owner's information

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

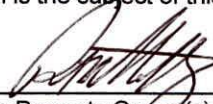
Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

July 26/22

Date



Signature Property Owner(s)

Patrick Whitty

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>7.78m</u>
Depth	<u>39.01m</u>
Area	<u>511 sqmt</u>
Width of street	<u>21m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

It is a house with basement and two storey, the depth is 14.12 m, the length is 10.52 m, height is 6.7 m, gross floor area is 164.8 sq mt

Proposed

It is a house with basement and two storey, the depth is 17.78 m, the length is 10.52 m, height is 6.7 m, gross floor area is 217.2 sq mt

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Minimum Front setback 10.06 m
Minimum Rear setback 7.5 m
Minimum North side setback 0.96 m
Minimum South side setback 1.78 m

Proposed:

Minimum Front setback 10.06 m
Minimum Rear setback 5 m
Minimum North side setback 0.96 m
Minimum South side setback 1.78 m

13. Date of acquisition of subject lands:
April 8, 2021
14. Date of construction of all buildings and structures on subject lands:
Unknown
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family
17. Length of time the existing uses of the subject property have continued:
Since it is built
18. Municipal services available: (check the appropriate space or spaces)
Water Municipal Connected Yes
Sanitary Sewer Municipal Connected Yes
Storm Sewers Municipal
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods UHOP
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Residential Five "R5" 3692-92 Stony Creek
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.