



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	DN/A-22:245	SUBJECT PROPERTY:	35 HILLSDALE COURT, DUNDAS
ZONE:	R2 (Single-Detached Residential)	ZONING BY-LAW:	Zoning By-law former Town of Dundas 3581-86, as Amended

APPLICANTS: Owner - Maria Rosa & Fred Delguidice
Agent – Len Angelici

The following variances are requested:

1. A minimum 1.0m easterly side yard shall be permitted for the proposed roofed-over unenclosed deck addition instead of the minimum 1.2m side yard required.

PURPOSE & EFFECT: To facilitate the construction of roofed-over unenclosed deck addition at the rear of existing single-detached dwelling.

Notes:

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 25, 2022
TIME:	2:10 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

DN/A-22:245

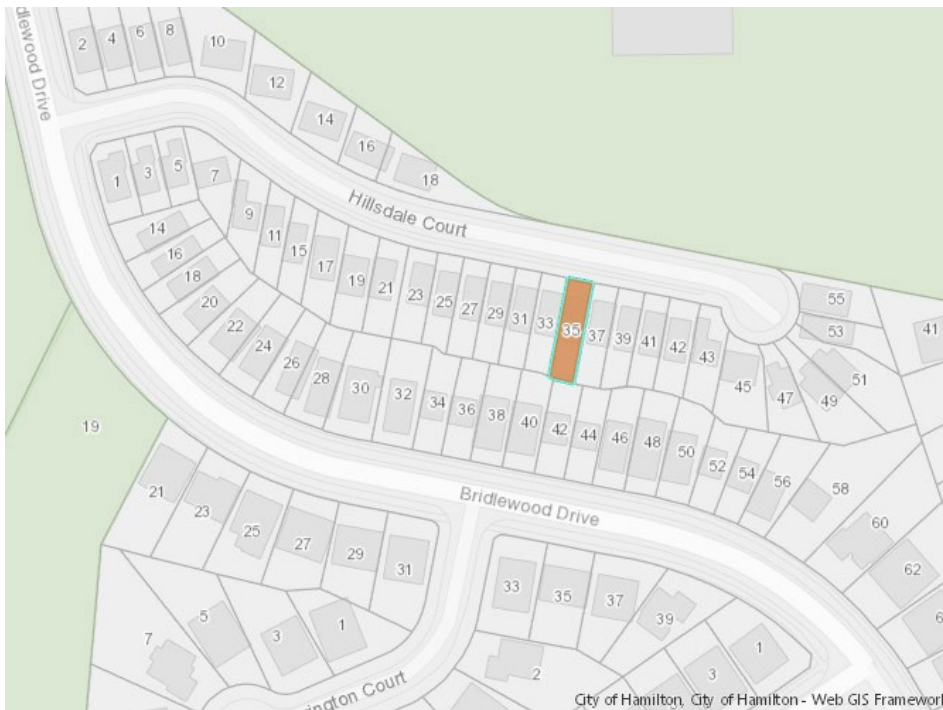
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



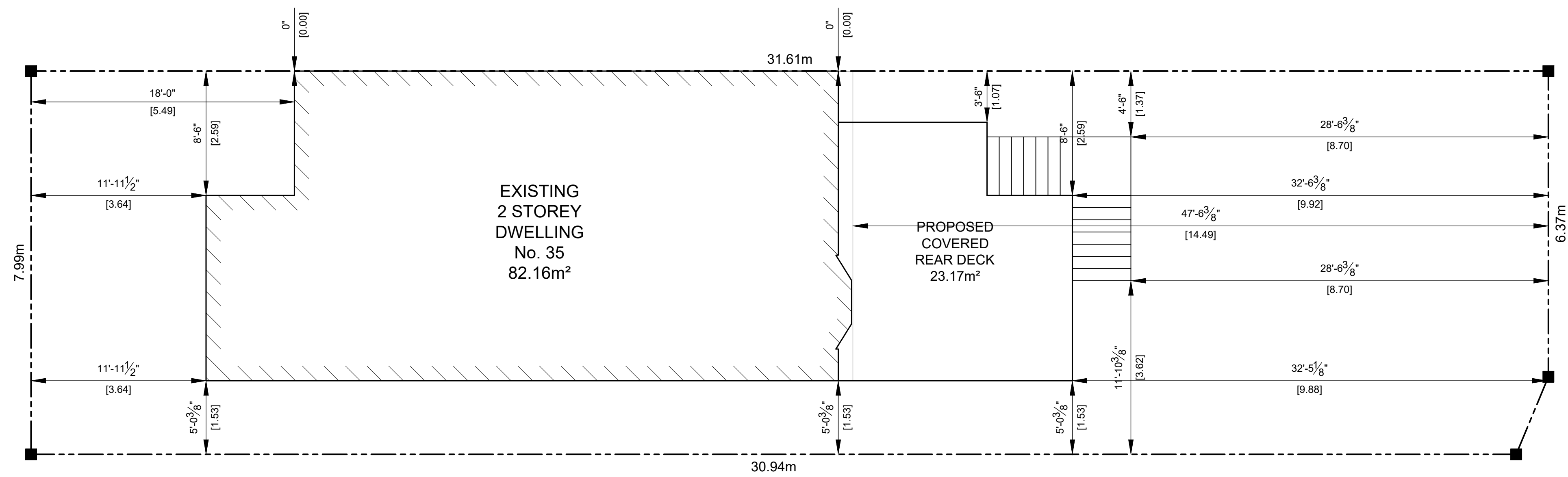
 **Subject Lands**

DATED: August 9, 2022

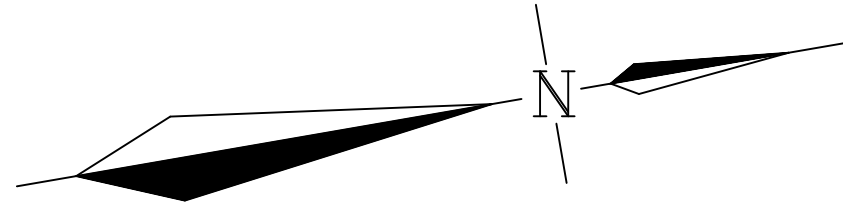
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

HILLSDALE CRT



SITE DATA	
ZONE:	R2
LOT AREA:	251.87m ²
EXISTING BUILDING FOOTPRINT:	82.16m ²
PROPOSED COVERED REAR DECK:	23.17m ²
BUILDING HEIGHT	
No. of STOREYS:	2
DECK SETBACKS	
REAR:	9.88m
RIGHT SIDE:	1.53m
LEFT SIDE:	1.07m



PROJECT NORTH	TRUE NORTH	
01.	DRAWINGS FOR VARIANCE	07/14/2022
No.	REVISION	DATE

1. ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
2. THIS DRAWING IS NOT TO BE SCALED, ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
3. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
4. CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
5. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
6. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
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8. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

LEONARD ANGELICI 42391
NAME BCIN

REGISTRATION INFORMATION

LEN ANGELICI DESIGN 124457
NAME BCIN

07/14/2022
DATE SIGNATURE

Len Angelici Design

270 SHERMAN AVE. N. UNIT MILL-125
HAMILTON, ON L8L 6N4
(905) 393-8868
info@lenangelicidesign.ca

PROJECT

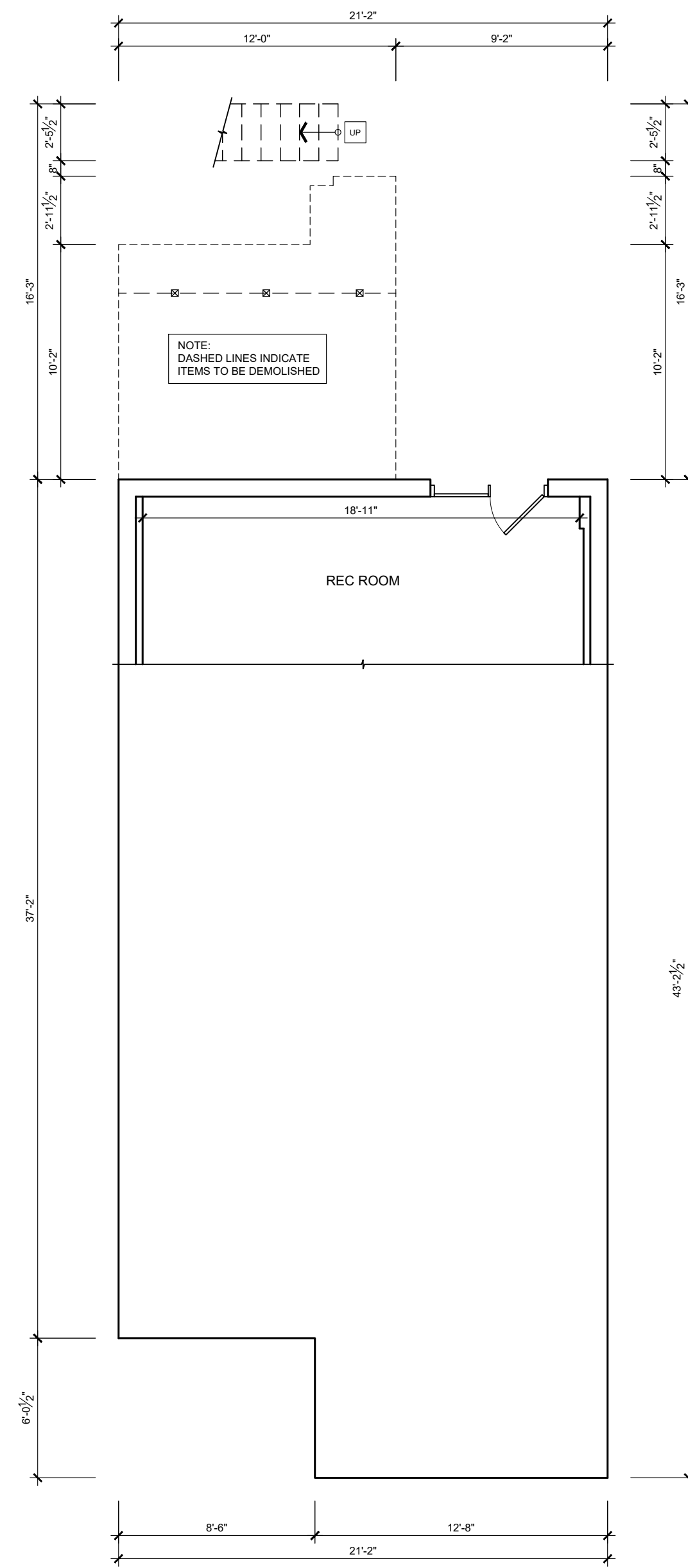
PROPOSED RESIDENCE
35 HILLSDALE CT
HAMILTON, ON
L9H 6K1

SHEET TITLE

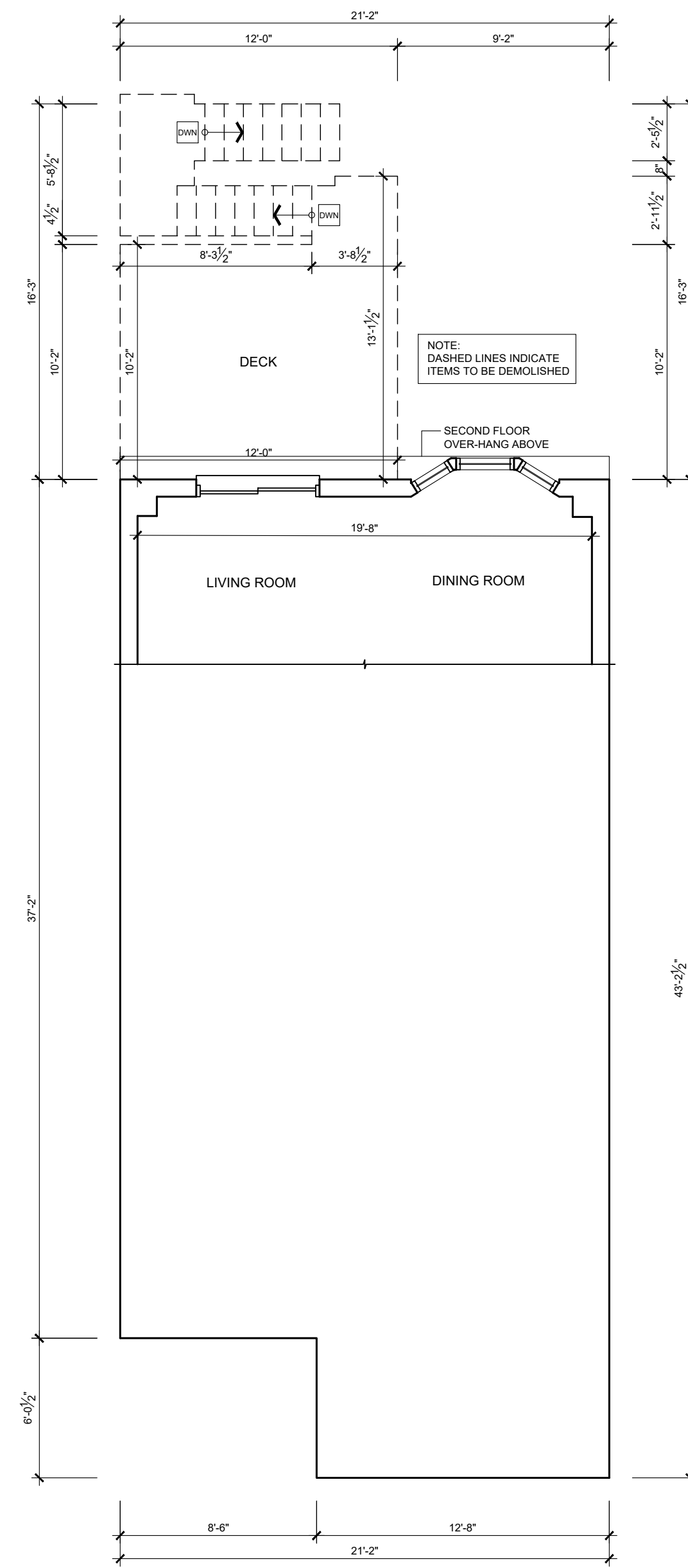
SITE PLAN

DRAWN BY	L. ANGELICI
DATE	07/14/2022
SCALE	3/8"=1'-0"
PROJECT No.	22053

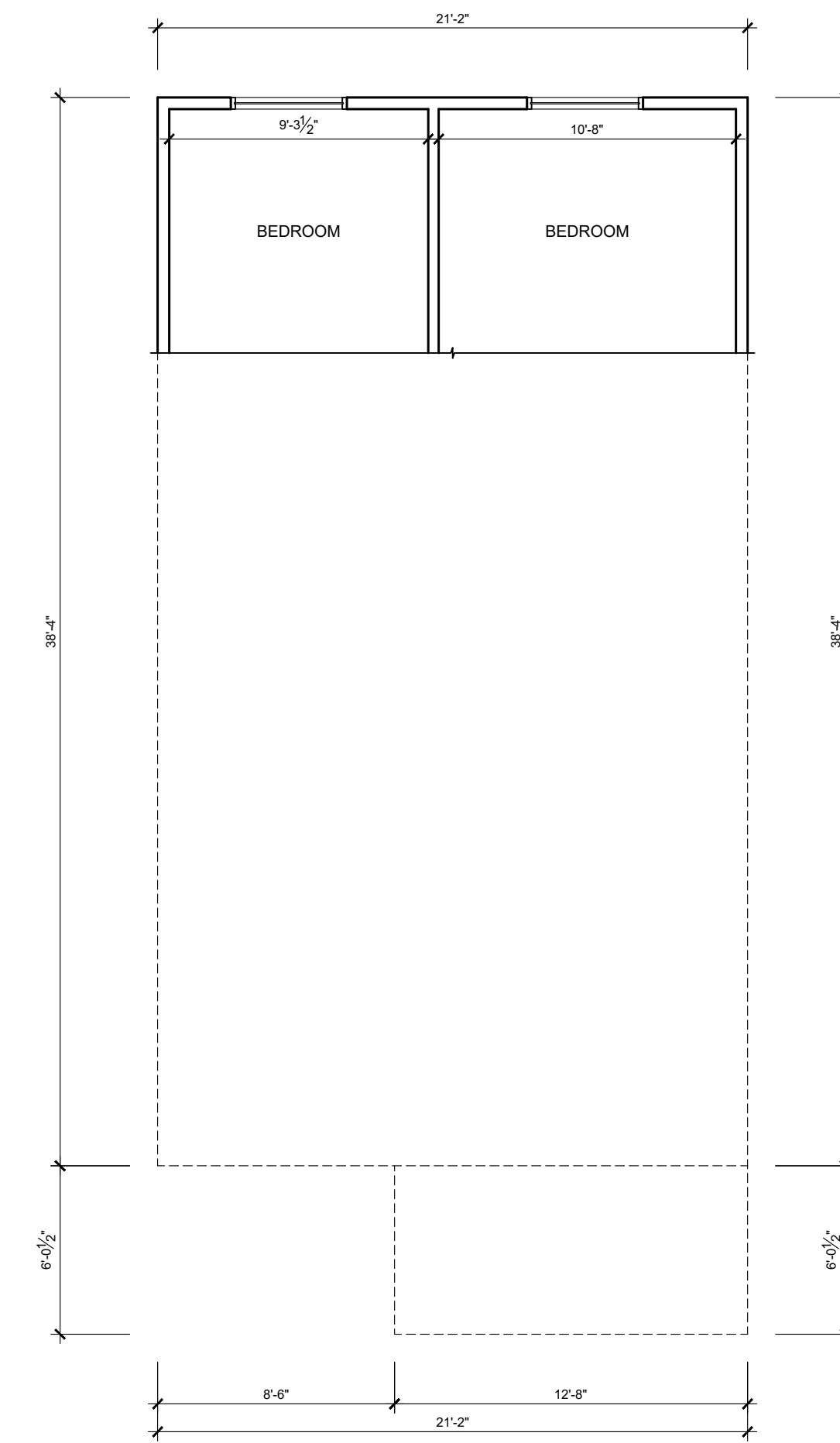
SP1



EXISTING BASEMENT PLAN
SCALE 3/16" = 1' - 0"



EXISTING MAIN FLOOR PLAN
SCALE 3/16" = 1' - 0"



EXISTING SECOND FLOOR PLAN
SCALE 3/16" = 1' - 0"

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NAME BCIN

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NAME BCIN

07/14/2022
DATE SIGNATURE

Len Angelici Design

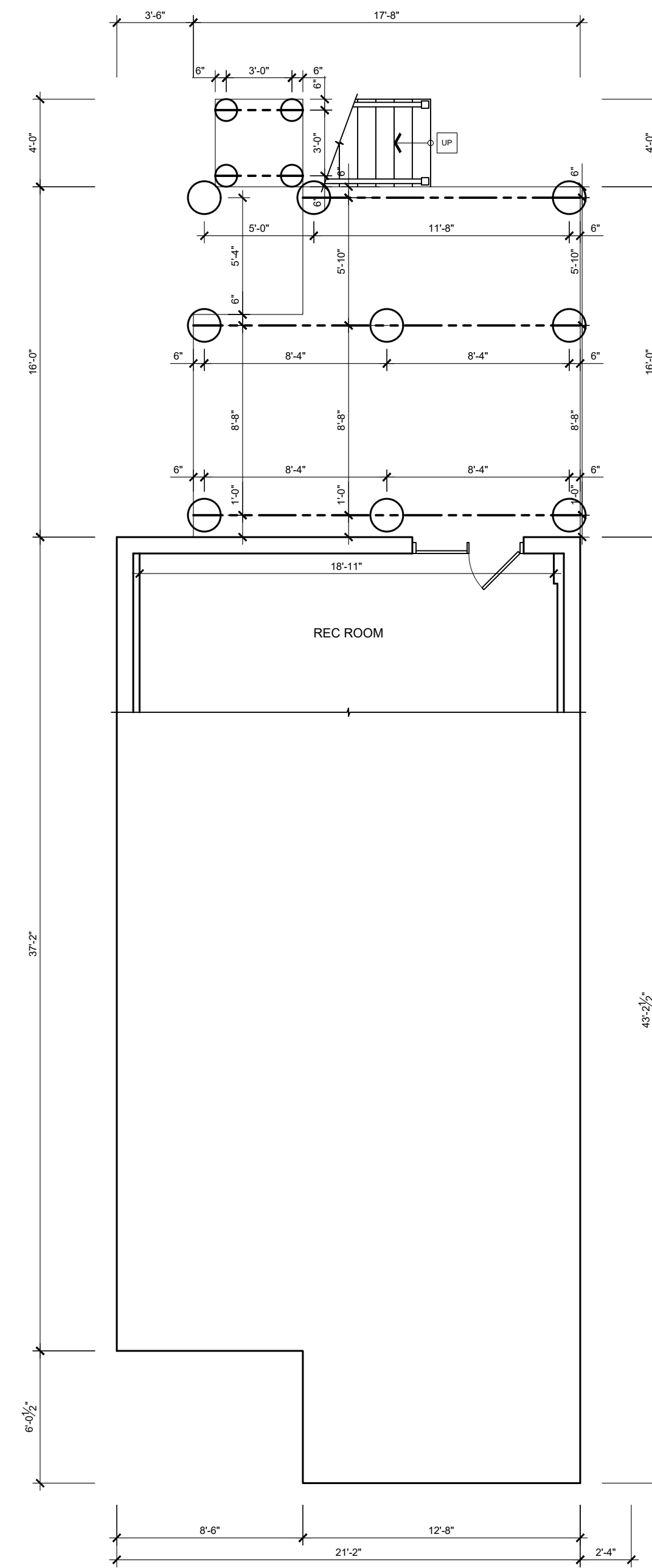
270 SHERMAN AVE N, UNIT MILL-125
HAMILTON, ON L8L 6N4
(905) 393-8868
info@lenangelicidesign.ca

PROJECT
PROPOSED RESIDENCE
35 HILLSDALE CT
HAMILTON, ON
L9H 6K1

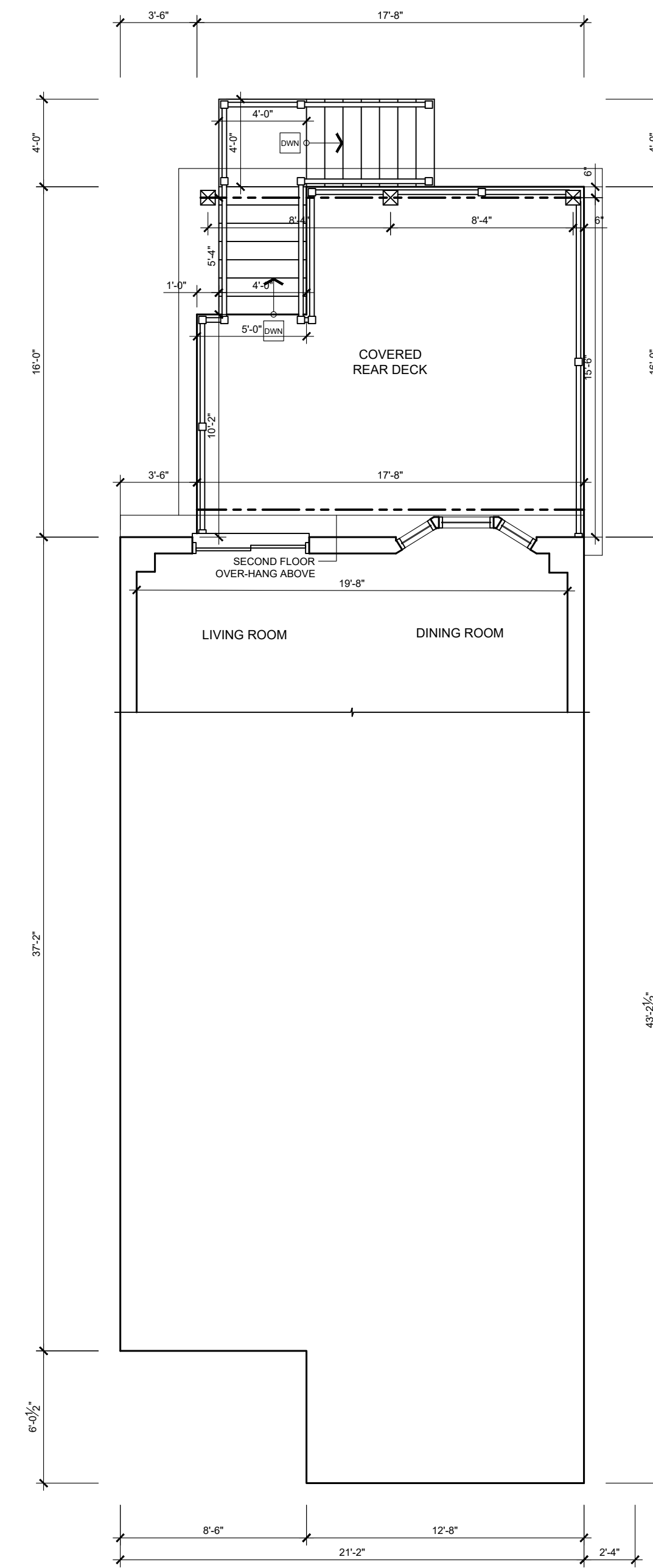
SHEET TITLE
EXISTING FLOOR PLANS

DRAWN BY
L. ANGELICI
DATE
07/14/2022
SCALE
3/16"=1'-0"
PROJECT No.
22053

A1



PROPOSED BASEMENT PLAN
SCALE $\frac{3}{16}'' = 1' - 0''$



PROPOSED MAIN FLOOR PLAN
SCALE $\frac{3}{16}'' = 1' - 0''$

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07/14/2022
DATE SIGNATURE

Len Angelici Design

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PROJECT

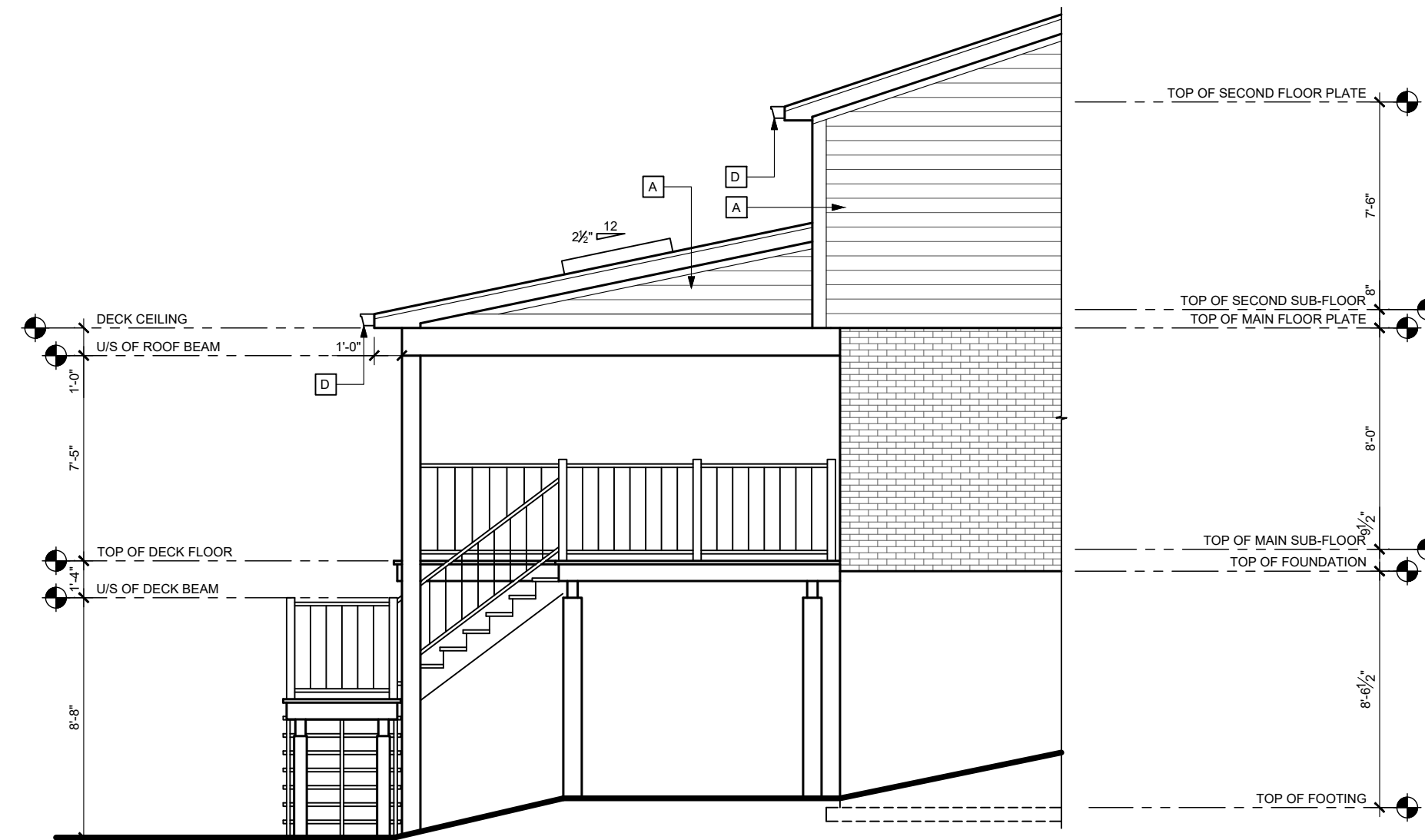
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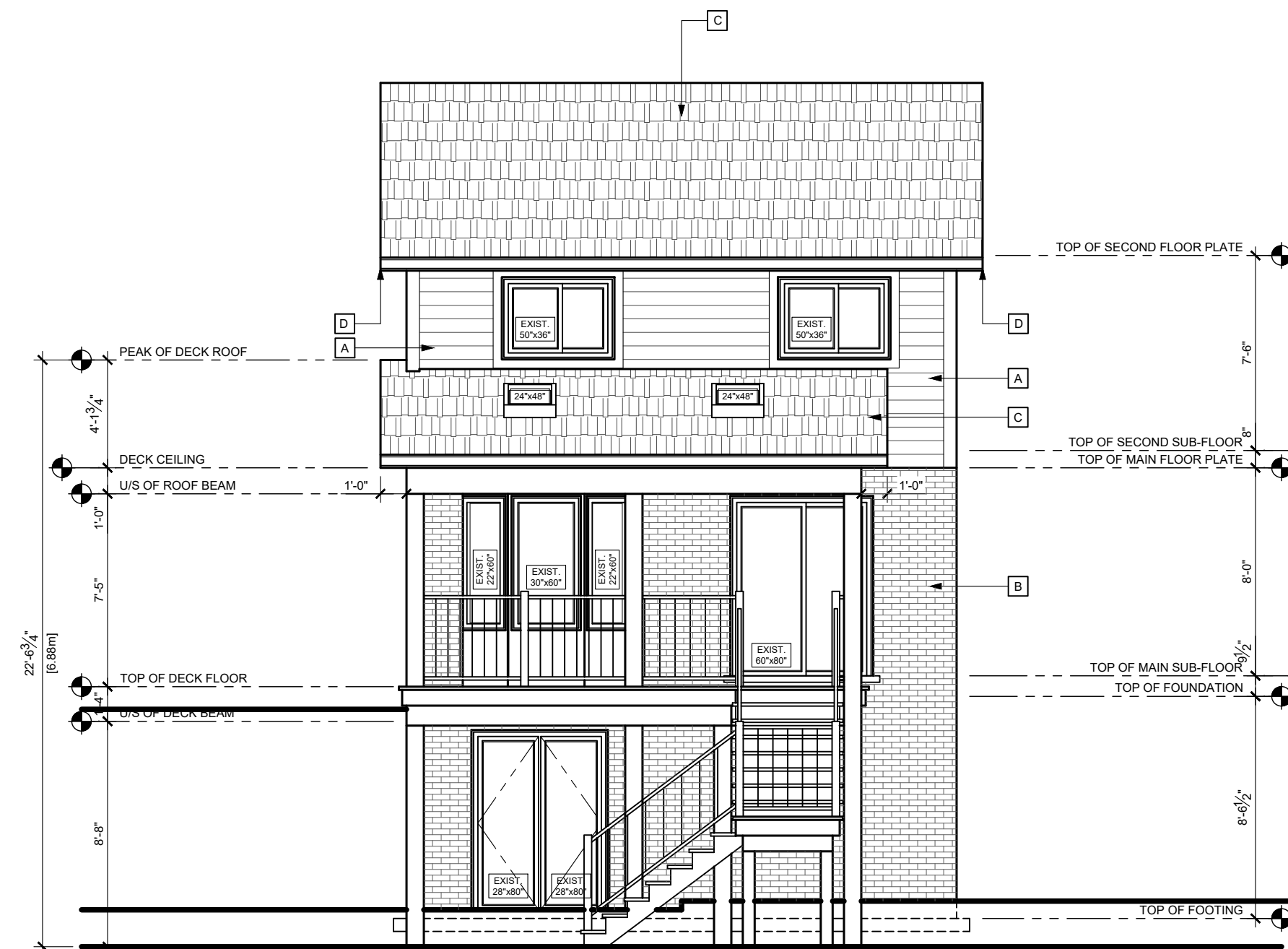
PROPOSED FLOOR PLANS

DRAWN BY
L. ANGELICI
DATE
07/14/2022
SCALE
 $\frac{3}{16}'' = 1' - 0''$
PROJECT No.
22053

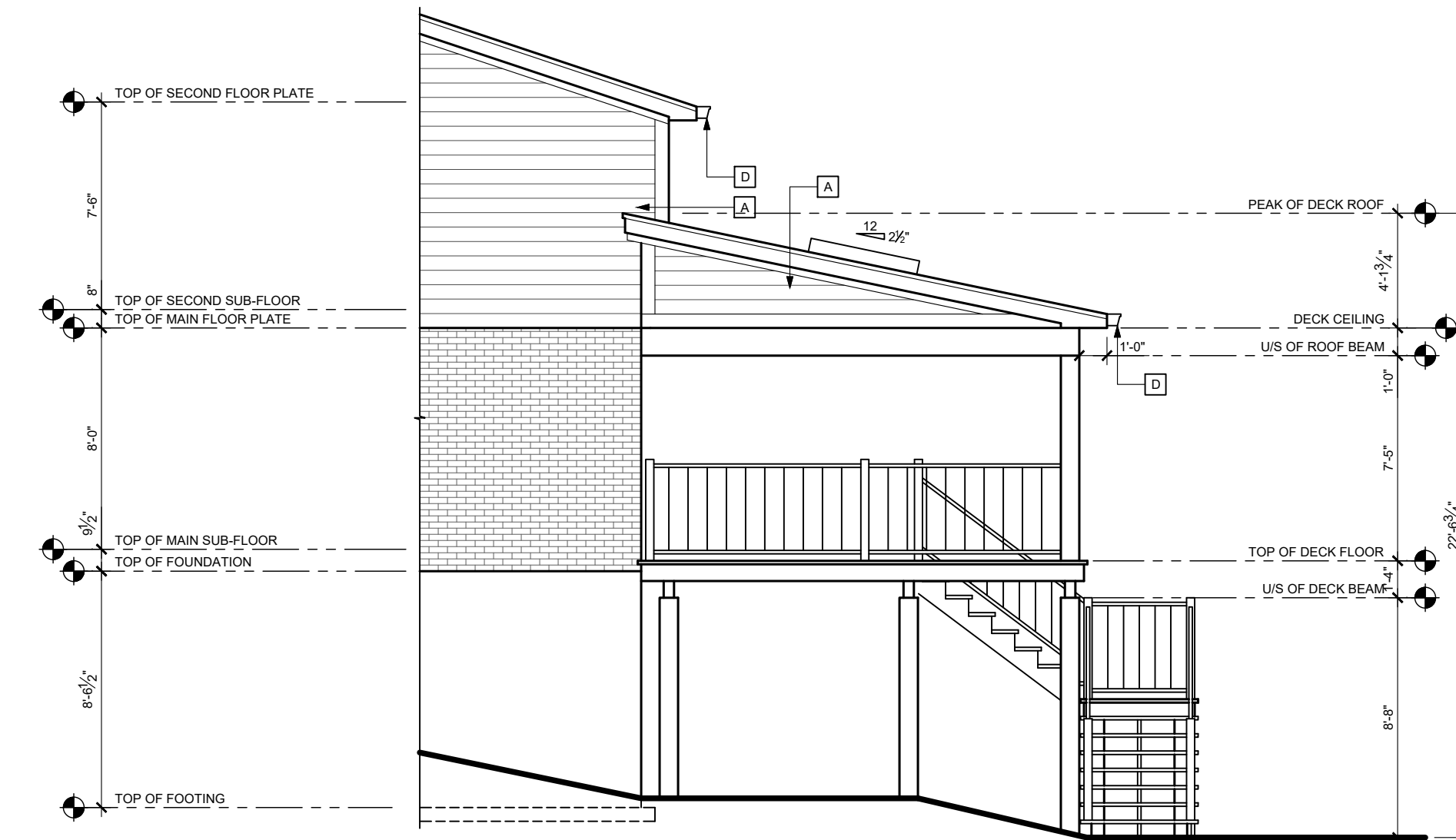
A2



LEFT SIDE ELEVATION
SCALE 3/16" = 1' - 0"



REAR ELEVATION
SCALE 3/16" = 1' - 0"



RIGHT SIDE ELEVATION
SCALE 3/16" = 1' - 0"

EXTERIOR FINISH INDEX	
[A]	VINYL SIDING
[B]	BRICK VENEER
[C]	ASPHALT SHINGLES
[D]	5" PRE-FIN. ALUM. EAVETROUGH ON 8" WITH PRE-FIN. ALUM. FASCIA C/W PRE-FIN. ALUM. DOWNSPOUT

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PROJECT
 PROPOSED RESIDENCE
 35 HILLSDALE CT
 HAMILTON, ON
 L9H 6K1

SHEET TITLE
 PROPOSED ELEVATIONS

DRAWN BY
 L. ANGELICI
 DATE
 07/14/2022
 SCALE
 3/16"=1'-0"
 PROJECT No.
 22053

A3



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING	
Registered Owners(s)	MARIA ROSA DELGUIDICE FRED DELGUIDICE		
Applicant(s)*	LEN ANGELICI		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

RELIEF FROM REQUIRED SIDE YARD SETBACK OF 1.2m TO 1.07m

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

EXTERIOR WALL OF EXISTING DWELLING IS 0m FROM SIDE LOT LINE

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

35 HILLSDALE CRT
DUNDAS, ON
L9H 6K1

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

AREA HAS BEEN RESIDENTIAL SINCE CONSTRUCTION OF SUBJECT PROPERTY

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

July 15/2022
Date

Maria DelGuidice
x T. DelGuidice
Signature Property Owner(s)
Maria Rosa DelGuidice
Fred DelGuidice
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 7.99m
Depth 31.61m
Area 251.87m²
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

DWELLING:
FOOTPRINT: 82.16m²
2 STORIES
WIDTH: 6.45m
LENGTH: 13.47m

Proposed

REAR DECK:
FOOTPRINT: 23.17m²
WIDTH: 5.38m
LENGTH: 4.88m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

DWELLING:
FRONT: 3.64m
REAR: 14.49m
RIGHT SIDE: 1.53m
LEFT SIDE: 0m

Proposed:

REAR DECK:
REAR: 9.88m
RIGHT SIDE: 1.53m
LEFT SIDE: 1.07m

13. Date of acquisition of subject lands:
N/A
-
14. Date of construction of all buildings and structures on subject lands:
N/A
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SINGLE FAMILY DWELLING
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SINGLE FAMILY DWELLINGS
-
17. Length of time the existing uses of the subject property have continued:
SINCE CONSTRUCTION
-
18. Municipal services available: (check the appropriate space or spaces)
- Water Connected
- Sanitary Sewer Connected
- Storm Sewers
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

ZONE R2 - SINGLE DETACHED RESIDENTIAL 3581-86 DUNDAS
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
- Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
- Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
- Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.