



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	SC/A-22:269	SUBJECT PROPERTY:	219 JONES ROAD, STONEY CREEK,
ZONE:	“RR” (Rural Residential)	ZONING BY-LAW:	Zoning By-law former City of Stoney Creek 3692-92, as Amended

APPLICANTS: Owner – John & Barbara Day

The following variances are requested:

1. A maximum accessory building height of 5.7m shall be permitted instead of the 4.5 metre maximum accessory building height permitted.
2. An eave or gutter on an accessory building shall be permitted to project a maximum of 0.28m into the required northerly side yard instead of the of the maximum 0.25m projection permitted.

PURPOSE & EFFECT: To permit the construction of a 71.5m² garage addition to the north side of an existing garage.

Notes:

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 8, 2022
TIME:	1:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

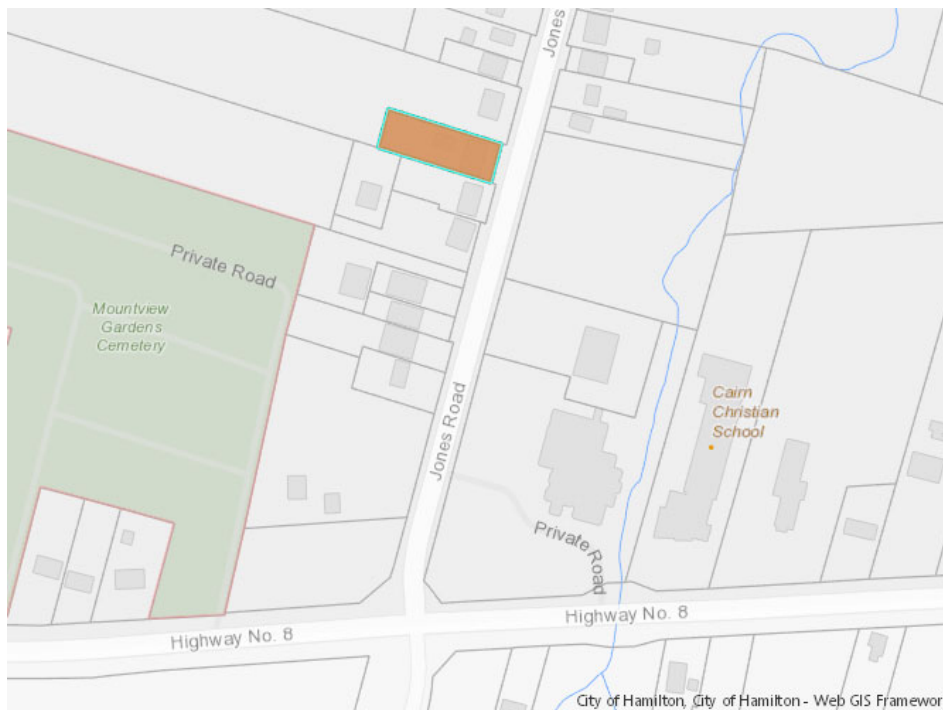
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: August 23, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

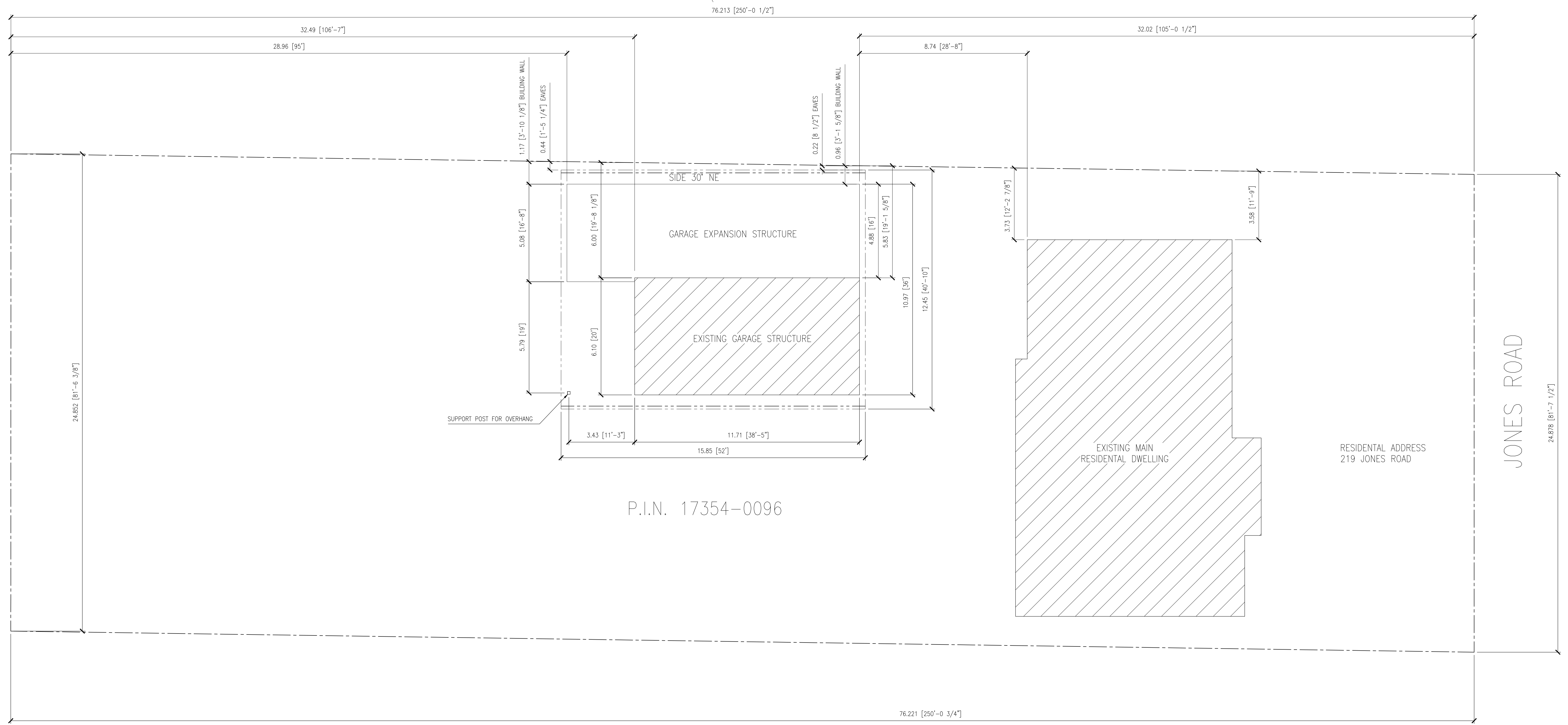
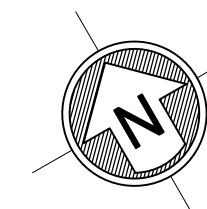
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

- CITY OF HAMILTON BY-LAW FOR RURAL RESIDENTIAL ZONES
SECTION 6.1.4 ACCESSORY BUILDINGS IN RESIDENTIAL ZONES
- 8 METRES FROM FRONT LINE
 - 0.5 METRES FROM ANY OTHER LOT LINE
 - MAXIMUM BUILDING HEIGHT OF 4.5 METRES
 - ACCESSORY BUILDING NOT TO EXCEED 10% LOT COVERAGE - 10% IS 188.4M2 AND GARAGE COVERAGES IS 145.6M2.



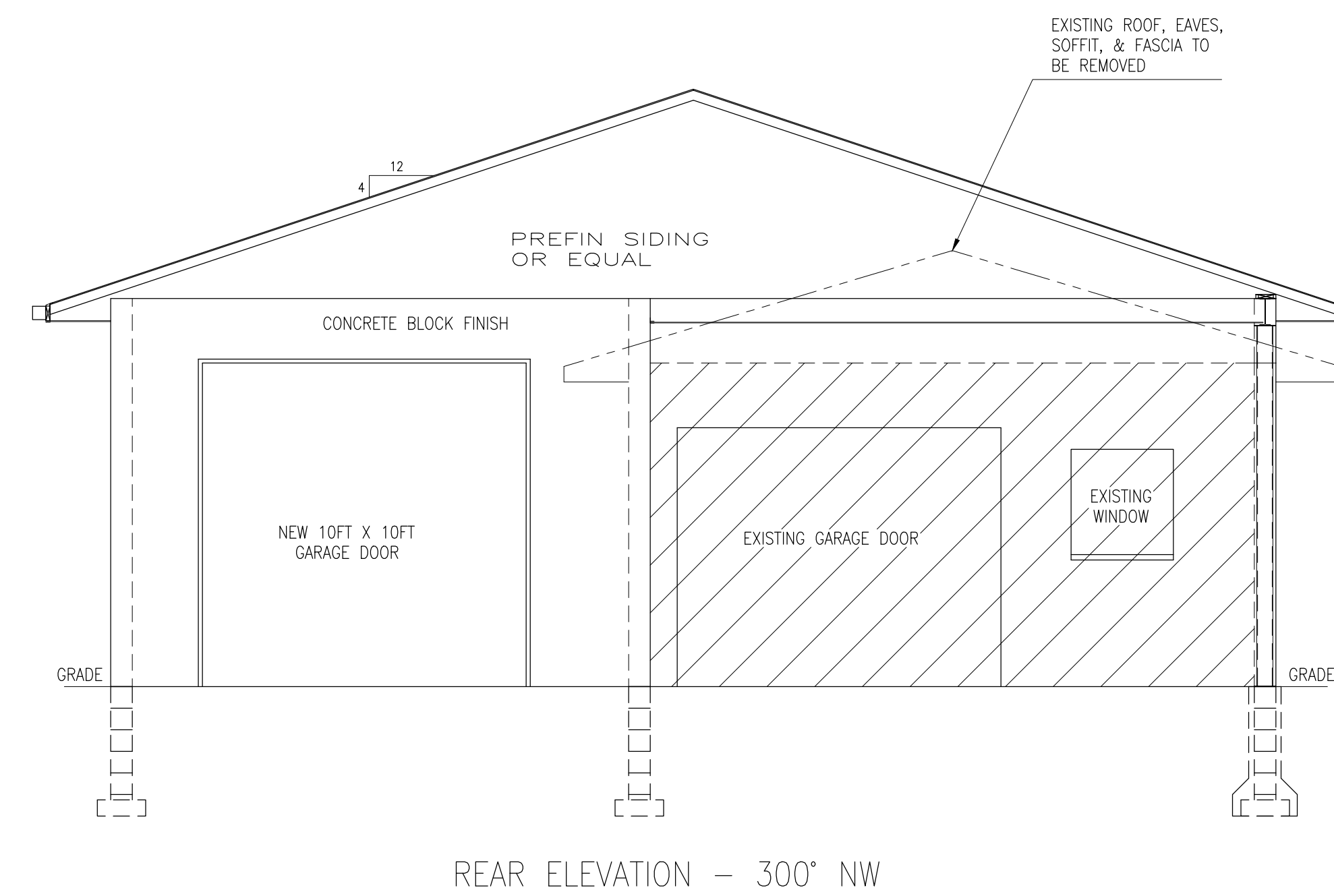
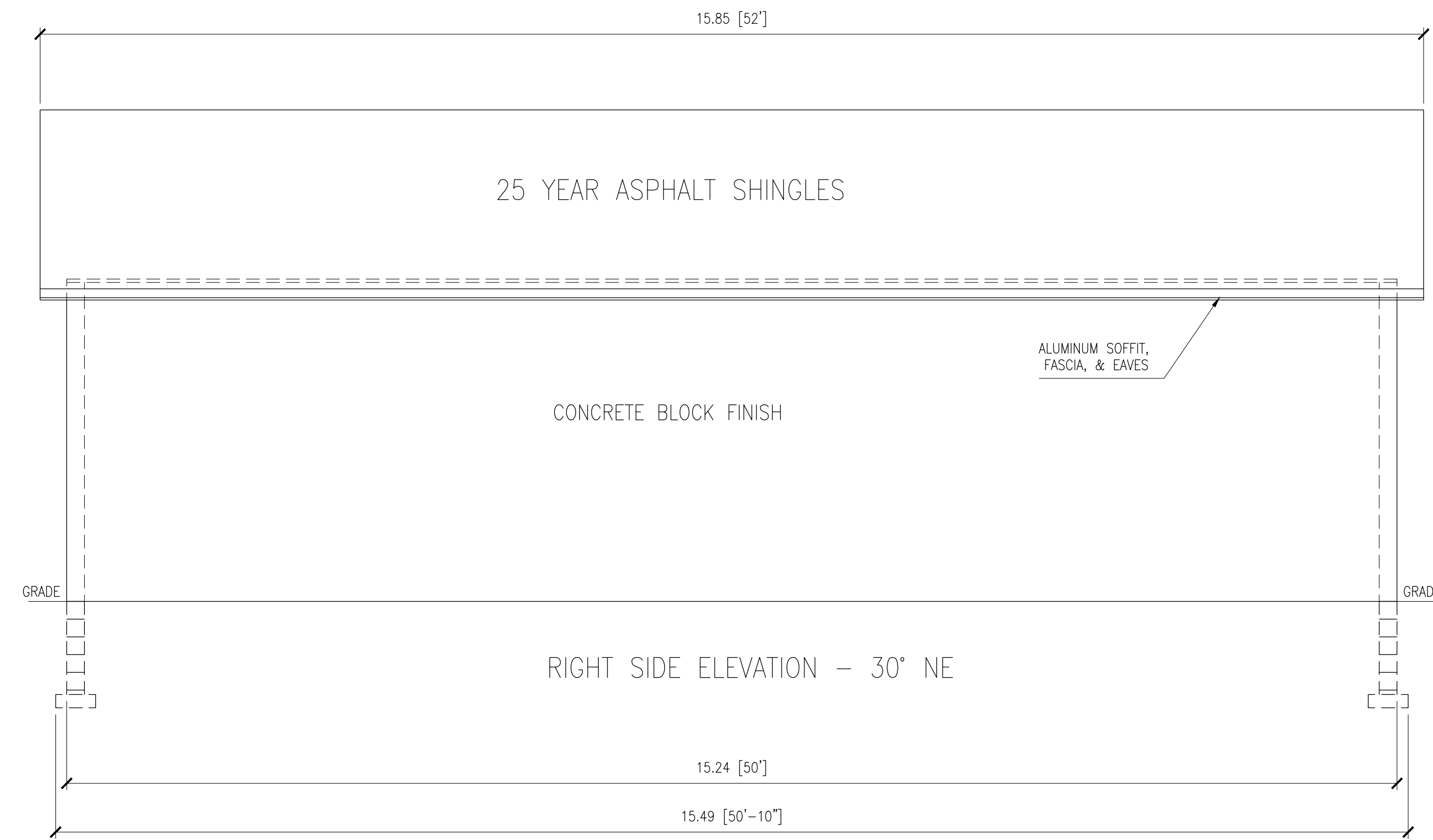
ALL DIMENSIONS SHOWN ARE IN METERS WITH SECONDARY DIMENSION IN FEET.

DRAWING TITLE		SCALE : 1:96	
GARAGE EXPANSION - LOT SURVEY - SHEET 1 OF 4		DRAWN : JD	2022/06/09
		CHECKED : --	--
		APPROVED : --	--
		DRAWING NUMBER	REV.
		D - 17354-0096	0

REV	REVISION DESCRIPTION	BY	YYYY/MM/DD

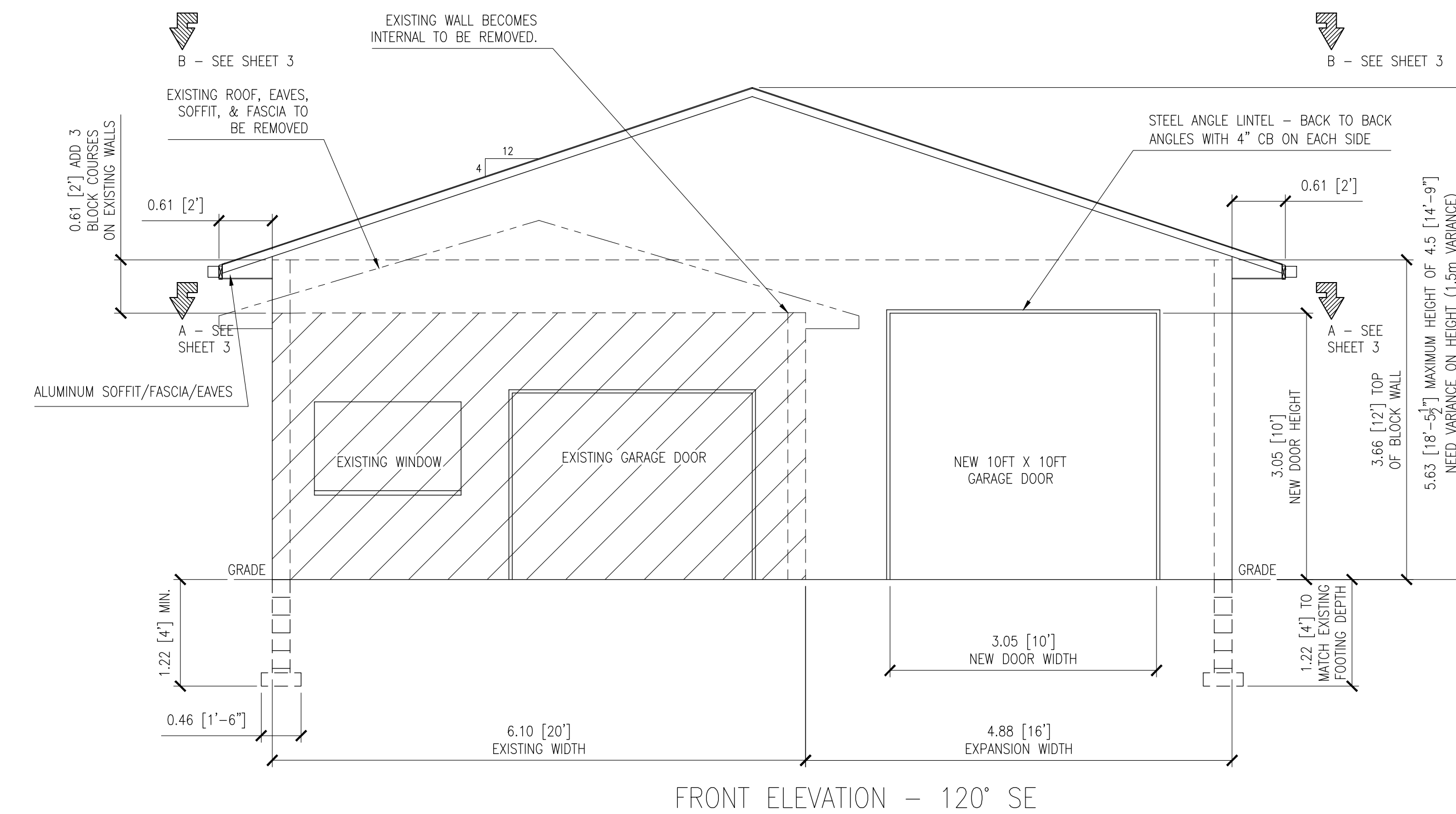
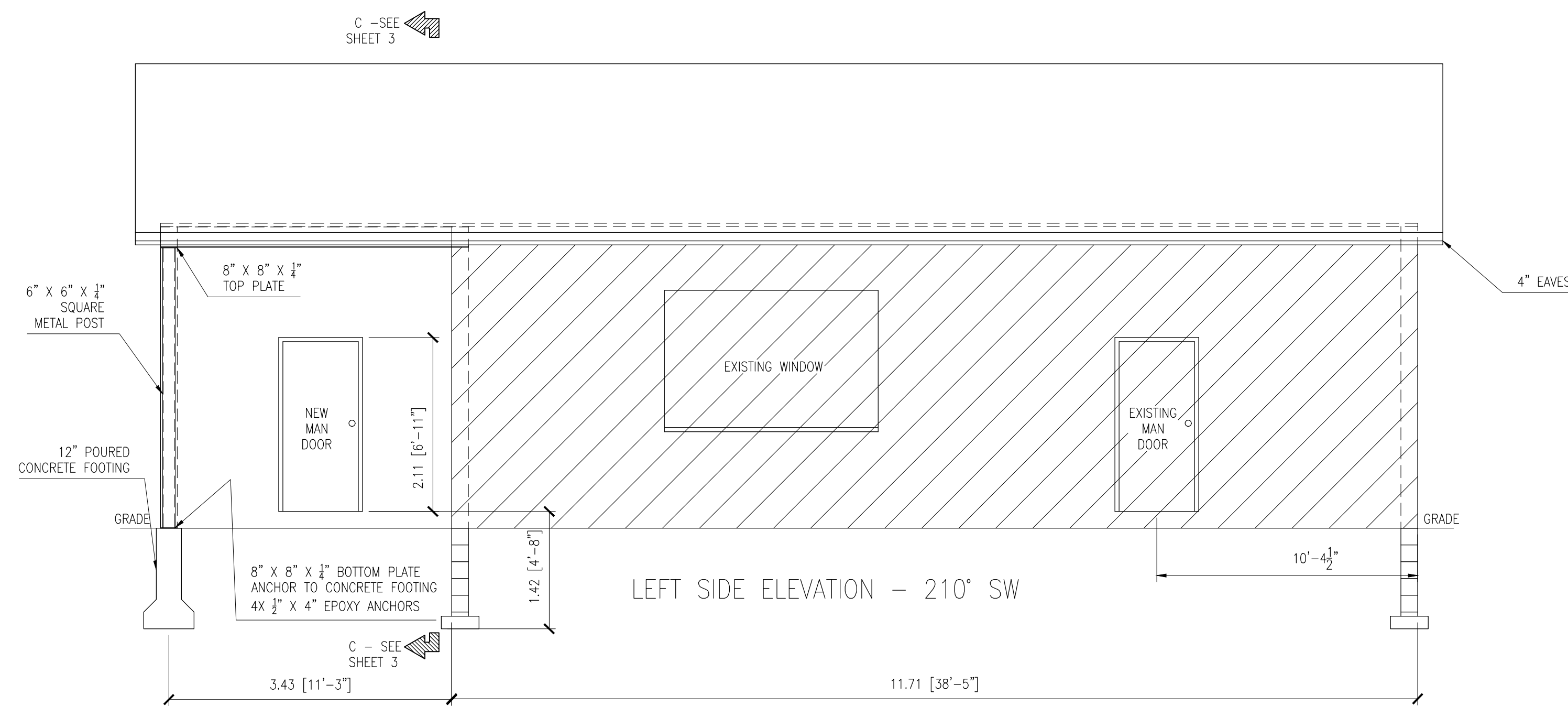
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

AUTOCAD



STEEL LINTEL SCHEDULE

LINTEL SIZE	GARAGE DOOR FRONT	GARAGE DOOR LEFT SIDE	MAN DOOR LEFT SIDE
	10FT X 10FT	10FT X 10FT	3FT X 7FT
BACK TO BACK ANGLES 5" X 3-1/2" X 5/16"	2X 12'-0" LG.	2X 12'-0" LG.	2X 4'-0" LG.



ALL DIMENSIONS SHOWN ARE IN METERS WITH SECONDARY DIMENSION IN FEET.

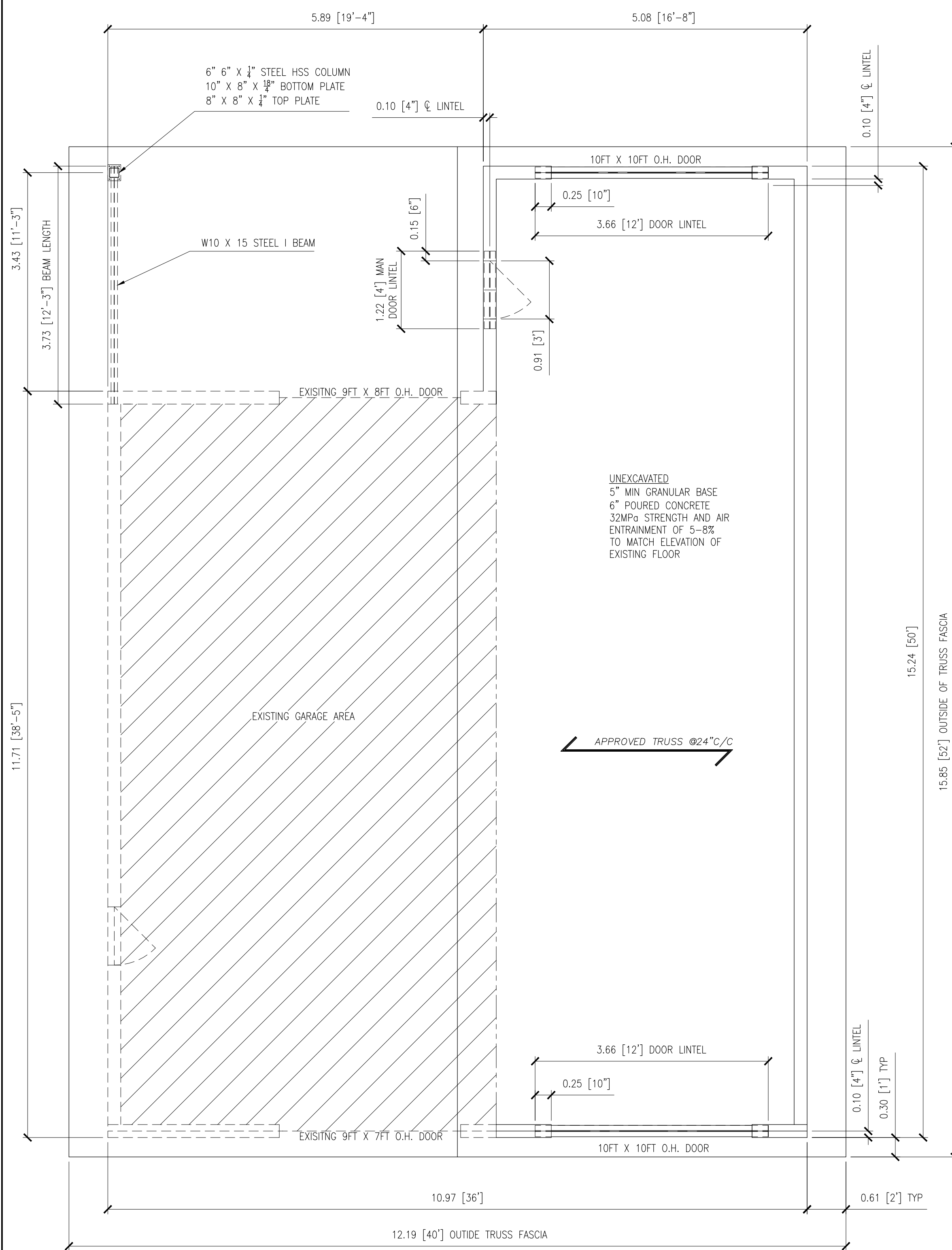
DRAWING TITLE
GARAGE EXPANSION - PLAN & ELEVATION - SHEET 2 OF 4

REV	REVISION DESCRIPTION	BY	YYYY/MM/DD

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SCALE :	1:48	DRAWING NUMBER	D - 17354-0096	REV.	0
DRAWN :	JD	2022/06/09			
CHECKED :	--	--			
APPROVED :	--	--			

AUTOCAD



PLAN VIEW B-B TOP

GENERAL NOTES

FOOTINGS

- ALL FOOTINGS TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.15
- ALL FOOTINGS TO BE 20MPa MIN AND BEAR ON SOUND UNDISTURBED SOIL CAPABLE OF SUSTAINING A SAFE BEARING CAPACITY OF 2500 PSF AT A DEPTH OF 4'-0" BELOW THE FINISHED GRADE ELEVATION. IF UPON EXCAVATING A LESSER SOIL BEARING CAPACITY IS ENCOUNTERED, THE ENGINEER IS TO BE NOTIFIED AND A NEW FOOTING DESIGN WILL BE PRODUCED.
- ALL STEP FOOTINGS TO HAVE A MINIMUM OF 24" HORIZONTAL RUN AND A MAXIMUM VERTICAL STEP OF NOT MORE THAN 24".

SLABS ON GRADE

- SLABS-ON-GRADE TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.16.
- CONCRETE SLABS BELOW GRADE TO BE 3" THICK MINIMUM AND TO BEAR ON 4" GRANULAR FILL COMPACTED LEVEL WITH TOP OF FOOTINGS.
- HABITABLE ROOMS LOCATED ON CONCRETE SLABS TO BE DAMPROOFED WITH 6 MIL POLYETHYLENE.
- CONCRETE SLABS AT GRADE ELEVATION TO BE A MINIMUM OF 4" THICK AND REINFORCED WITH 6 X 6 - 8/8 WWF OR POLYPROPYLENE FIBRES.

CONCRETE FOUNDATION WALLS

- FOUNDATION WALLS TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.13.4, AND BE A MIN OF 20MPa CONCRETE.
- ALL CONCRETE WALLS TO BE A MINIMUM OF 8" THICK UNLESS NOTED OTHERWISE.
- FOUNDATION WALLS TO EXTEND A MINIMUM OF 6" ABOVE FINISHED GRADE ELEVATION.
- BASEMENT WINDOW WITH A WIDTH OF GREATER THAN 4'-0" TO BE REINFORCED WITH 2-10M BARS EXTENDING 12" ON EACH SIDE.
- ALL FORM TIE HOLES TO BE FILLED AND SEALED TO OBC 9.13.5.1.
- APPLY A MINIMUM OF ONE HEAVY COAT OF BITUMINOUS OR OTHER APPLICATION OF DAMPROOFING TO GRADE LEVEL.
- ANCHOR BOLTS FOR SILL PLATES TO BE 1/2" DIAMETER MINIMUM, GALVANIZED AND PLACED AT 7'-10" O.C. MAXIMUM.

COLUMNS, BEAMS AND BEARING WALLS

- STEEL COLUMN TOP PLATES TO BE CONNECTED TO BEAM WITH 2-1/2" DIA. BOLTS MINIMUM OR WELDED TO BEAM FLANGES.
- ALL STEEL BEAMS TO BE SHOP PRIMED WITH RED OXIDE PRIMER AND HAVE A MINIMUM END BEARING OF NOT LESS THAN 3'-1/2".

ABOVE GRADE MASONRY VENEER

- WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT INSTALLATION OF BRICK FACING THE BRICK AND CONCRETE BLOCK WALLS TO HAVE APPROVED METAL TIES AT 8" O.C. VERTICAL AND 2'-11" O.C. HORIZONTALLY WITH THE SPACE BETWEEN THE WYTHES SOLIDLY FILLED WITH MORTAR.
- MAXIMUM CORBEL OVER FOUNDATION WALLS TO BE 1" WHERE MASONRY IS AT LEAST 3-1/2" THICK AND 1/2" WHERE MASONRY IS LESS THAN 3-1/2" THICK.
- BRICK VENEER TIES TO BE GALVANIZED CORROSION RESISTANT CORRUGATED 22 GA X 7/8" WIDE SPACED IN ACCORDANCE WITH OBC TABLE 9.20.9.A.
- PROVIDE FLASHING IN ACCORDANCE WITH OBC SECTION 9.20.13. UNDER STARTER COURSE AND EXTENDED A MINIMUM OF 6" UP THE WALL AND UNDER THE BUILDING PAPER.
- PROVIDE DRAINAGE WEEP HOLES IN BASE OF STARTER COURSE AT 32" O.C. AND AS INDICATED IN ACCORDANCE WITH OBC SECTION 9.20.13.9.
- PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN THE BRICK VENEER AND THE WALL SHEATHING.

ROOF CONSTRUCTION

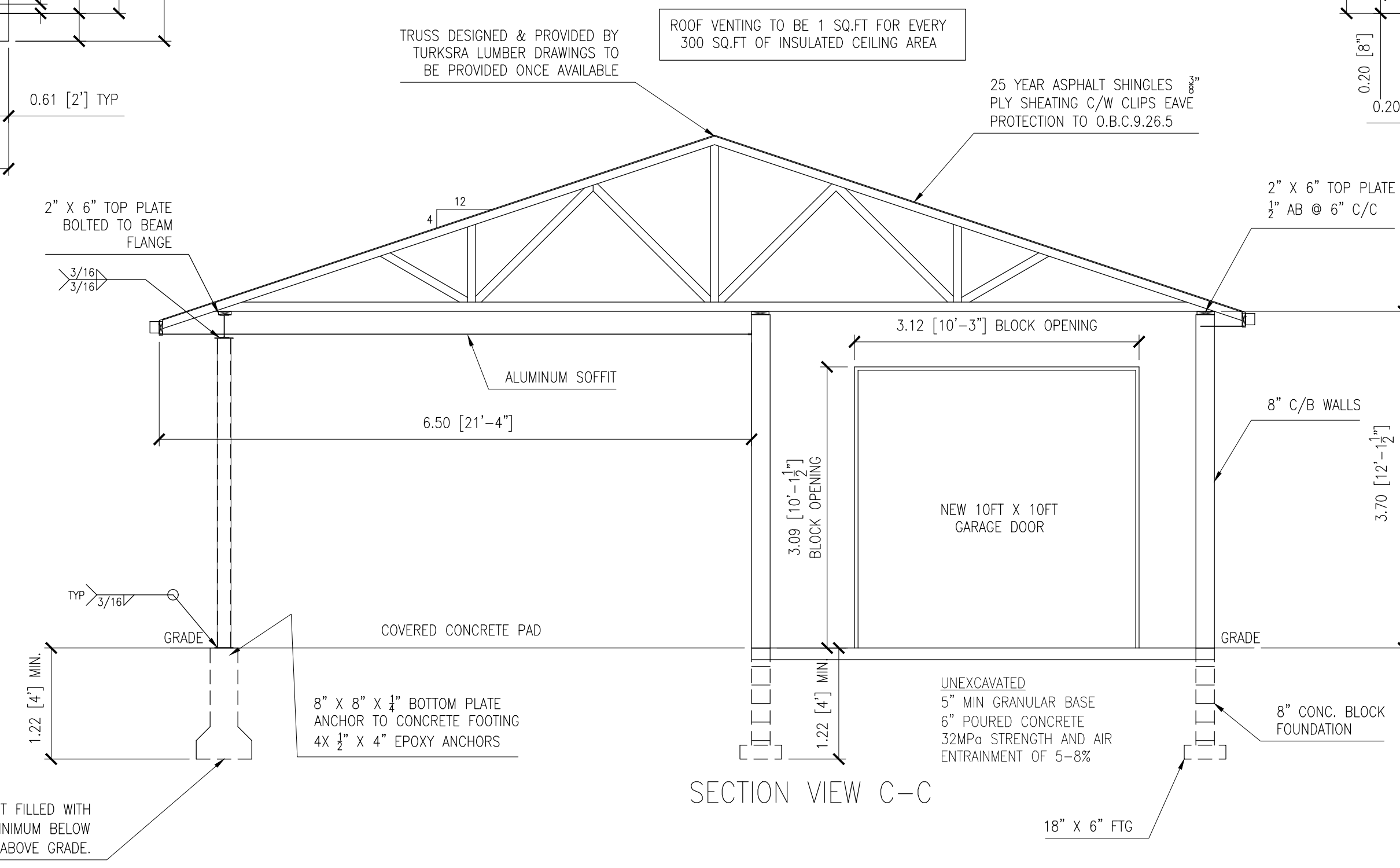
- HIP AND VALLEY RAFTERS TO BE NOT LESS THAN 2" GREATER IN DEPTH THAN THE COMMON RAFTERS AND NOT LESS THAN 1 1/2" THICK.
- ATTIC ACCESS HATCHES TO BE 22" X 28" MINIMUM WITH BUILT UP SIDES OF 5/8" PLYWOOD WHERE LOOSE INSULATION IS TO BE USED. HATCH COVER IS TO BE INSULATED AND WEATHERSTRIPPED OVER HEATED AREAS.
- PROVIDE TYPE S ROLL ROOFING EAVE PROTECTION FROM THE EDGE OF THE ROOF FOR A DISTANCE OF NOT LESS THAN 12" BEYOND THE INTERNAL FACE OF THE EXTERIOR WALLS.
- ROOF AND CEILING FRAMING TO BE DOUBLED ON EACH SIDE OF OPENING GREATER THAN 2 RAFTERS OR JOIST SPACING IN WIDTH.

FLASHING

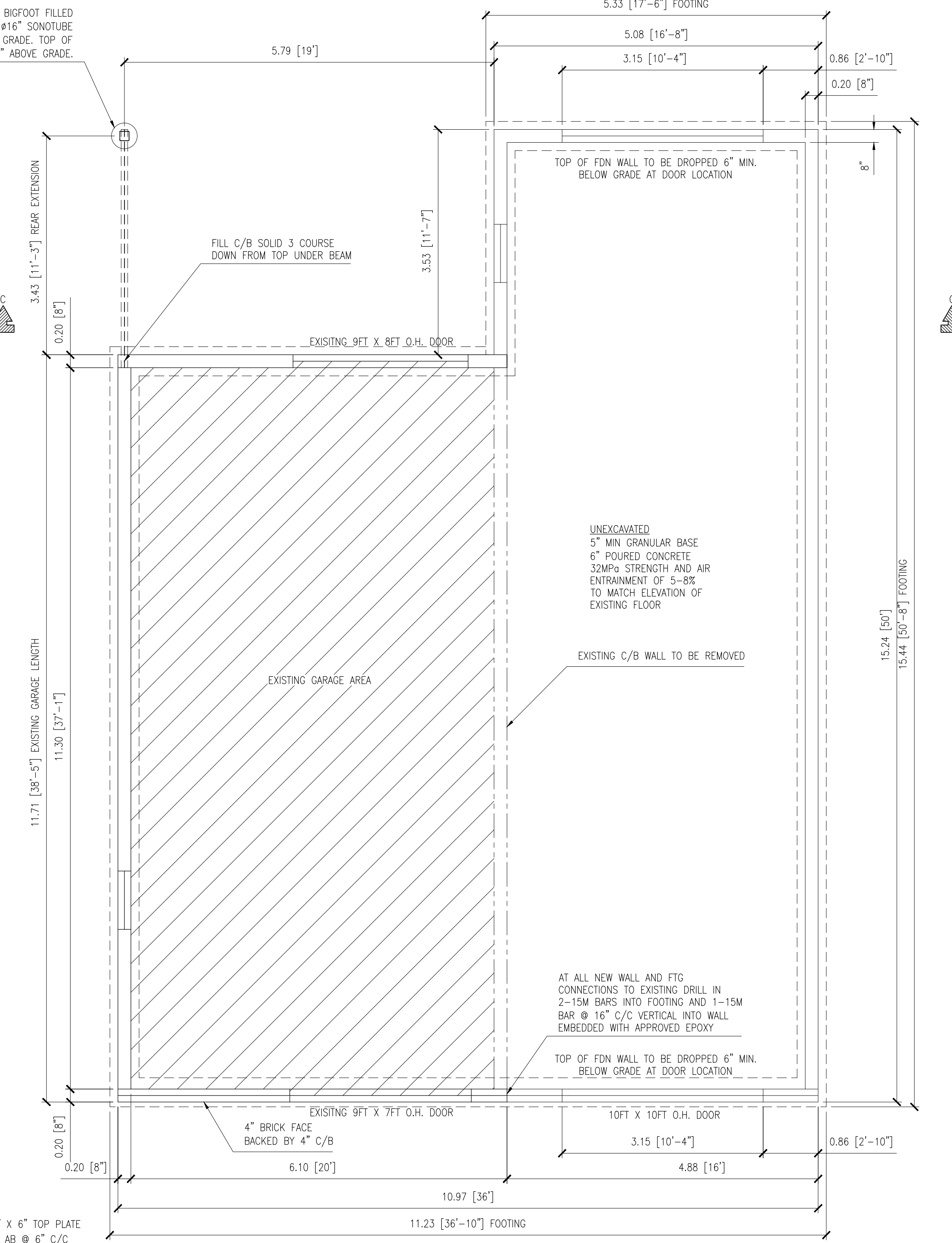
- FLASHING BETWEEN ROOF SHINGLES AND WALL SIDING TO EXTEND 3" UP BEHIND SIDING AND 4" HORIZONTALLY.
- FLASHING REQUIRED AT INTERSECTIONS OF ROOF AND WALLS, VALLEYS AND OVER PARAPET WALLS.
- FLASH AROUND ALL CHIMNEYS AND PROVIDE CHIMNEY SADDLES ON ALL CHIMNEYS WHERE THE WIDTH EXCEEDS 2'-6".
- FLASHING IS REQUIRED UNDER ALL MASONRY, WINDOW SILLS AND HEADS OF OPENINGS AND SHALL EXTEND FROM THE FRONT EDGE OF THE MASONRY UP BEHIND THE SILL OR LINTEL.

NOTE: ANY INFORMATION NOT SHOWN ON THESE DRAWINGS SHALL COMPLY TO DIVISION C SECTION 9 OF THE ONTARIO BUILDING CODE.

LINTEL SIZE	SPAN FROM FRONT TO REAR	SPAN FROM REAR TO REAR	SPAN FROM FRONT TO REAR
BACK TO BACK ANGLES 5" X 3-1/2" X 5/16"	2X 12'-0" LG.	2X 12'-0" LG.	2X 12'-0" LG.
BACK TO BACK ANGLES 3-1/2" X 3-1/2" X 1/4"			2X 4'-0" LG.



SECTION VIEW C-C



PLAN FOUNDATION LAYOUT - VIEW A-A

- FOUNDATION WALLS ARE POURED CONCRETE UNLESS OTHERWISE NOTED.
- ALL FOOTINGS TO BE 4'-0" MINIMUM BELOW THE FINAL GRADE & TO MATCH EXISTING.
- ALL FOOTINGS TO BE PLACED ON UNDISTURBED SOIL.
- DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- #1 GRADE SPRUCE SPECIFICATION IS ASSUMED 50% #1 AND #2 MIXED, AND SPANS HAVE BEEN CALCULATED ACCORDINGLY.
- ALL FOOTINGS ARE 18"X6" UNLESS OTHERWISE NOTED.

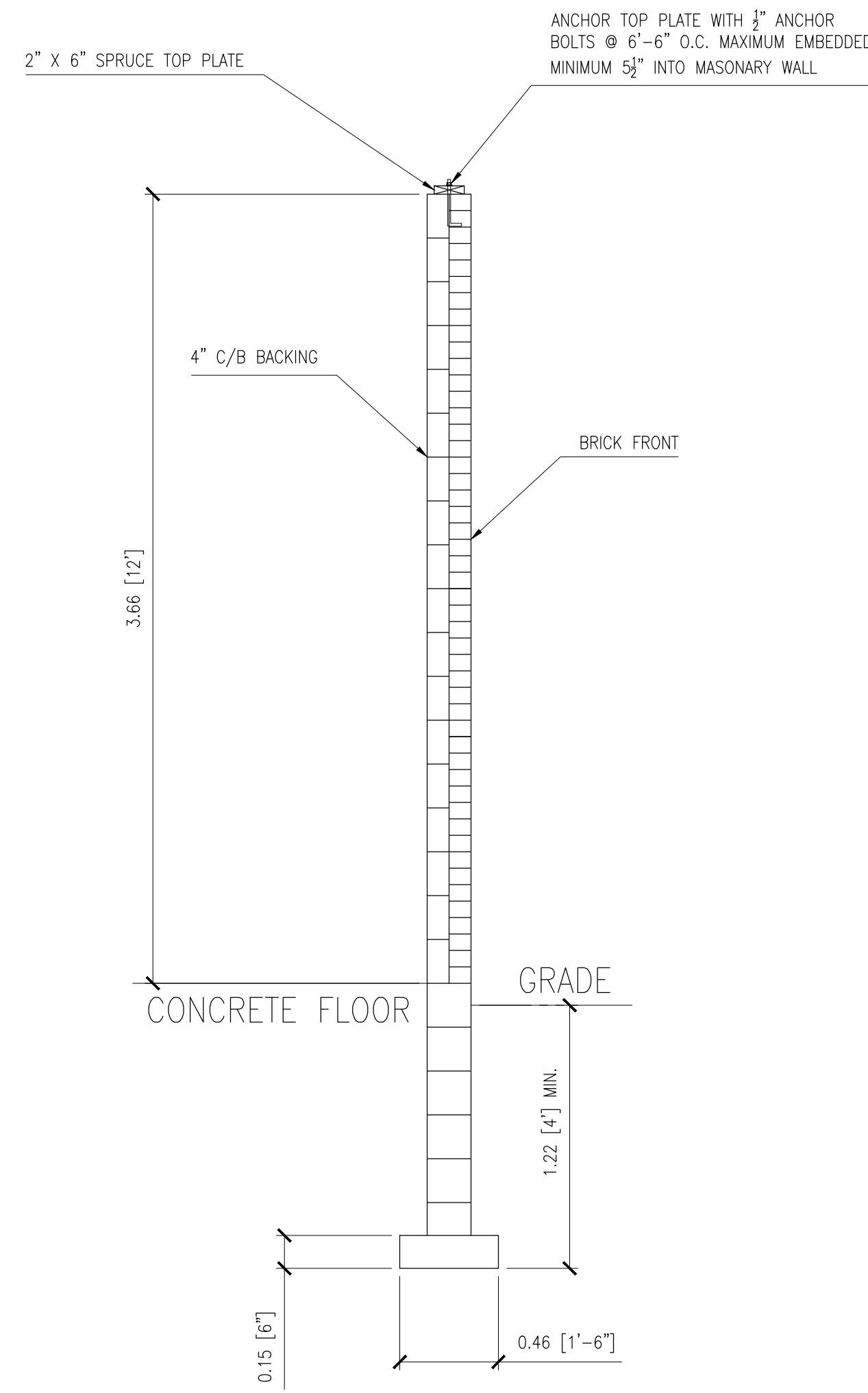
DRAWING TITLE
GARAGE EXPANSION - PLAN & ELEVATION - SHEET 3 OF 4

REV	REVISION DESCRIPTION	BY	YYYY/MM/DD

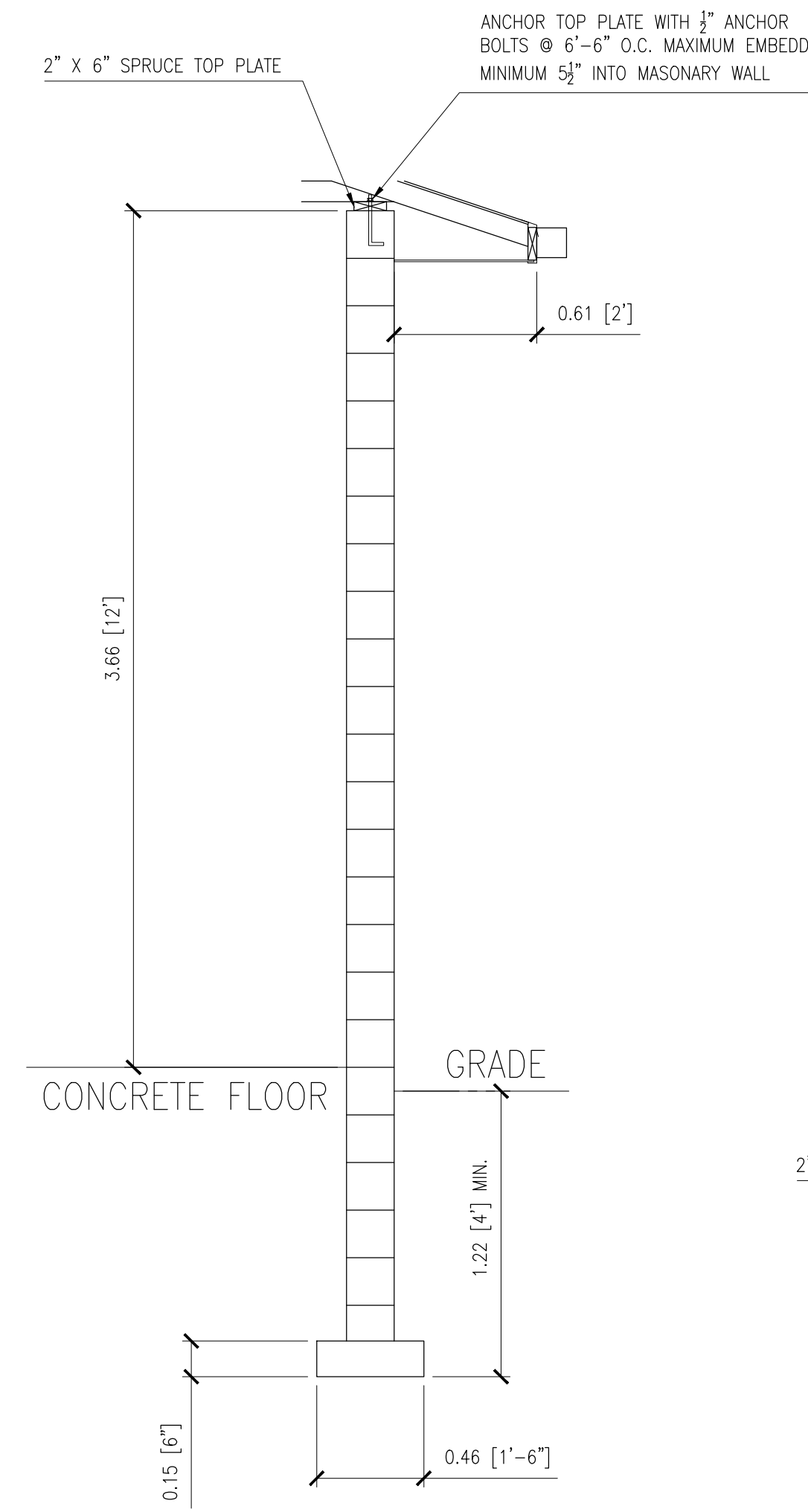
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SCALE : 1:48	DRAWN : JD	2022/06/09	DRAWING NUMBER	REV.
CHECKED : --			D - 17354-0096	0
APPROVED : --				

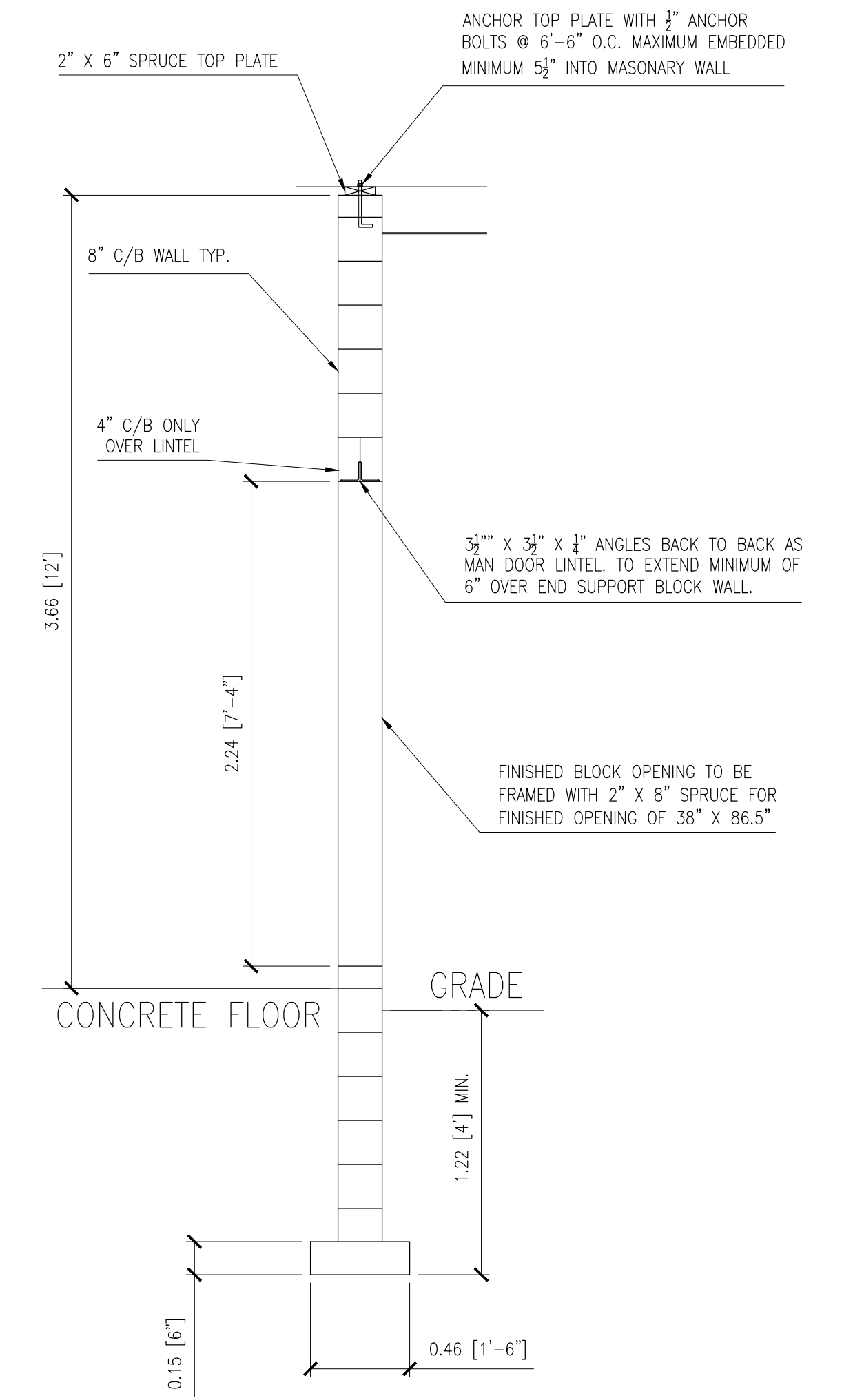
AUTOCAD



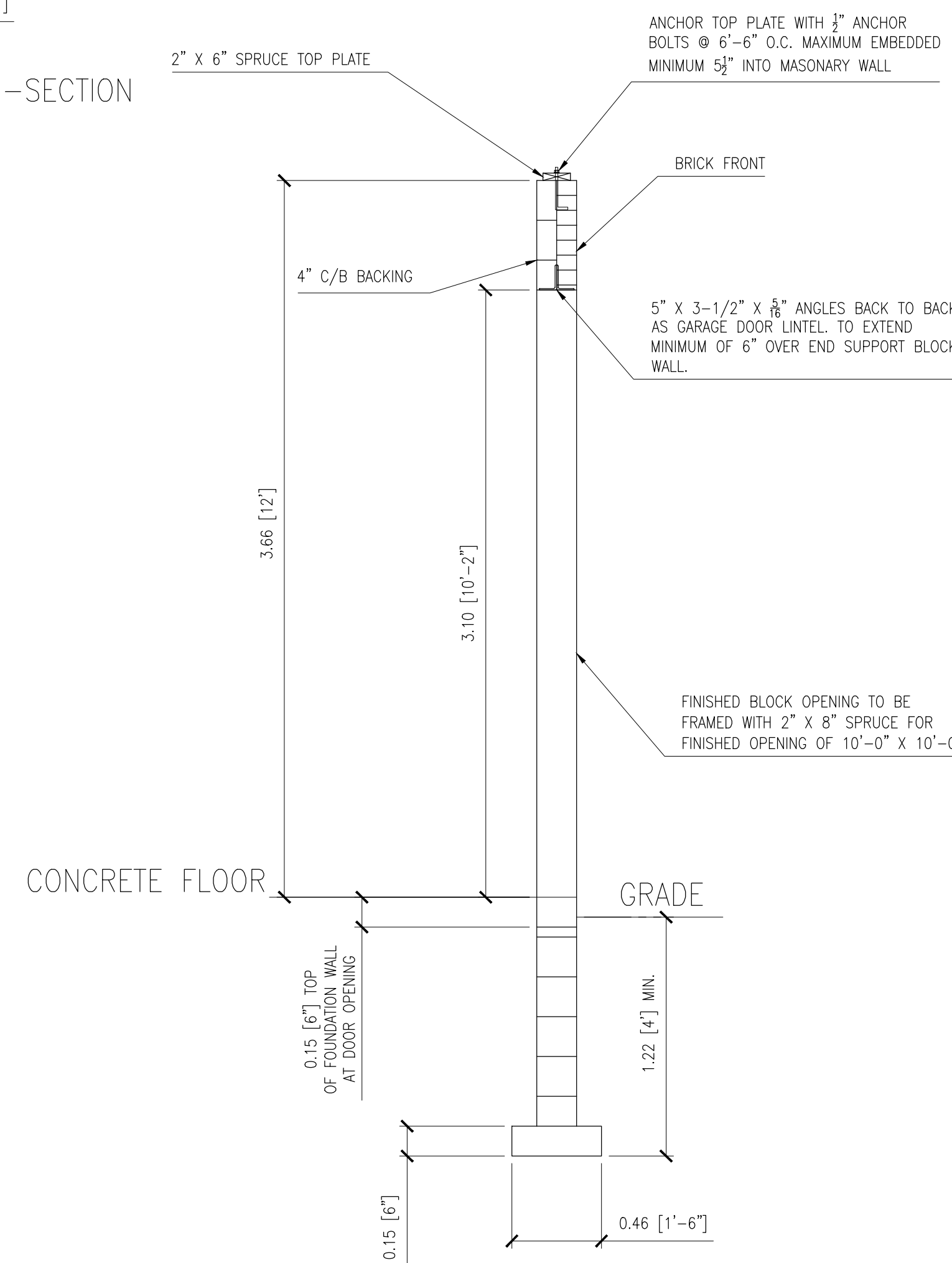
FRONT WALL TYPICAL CROSS-SECTION



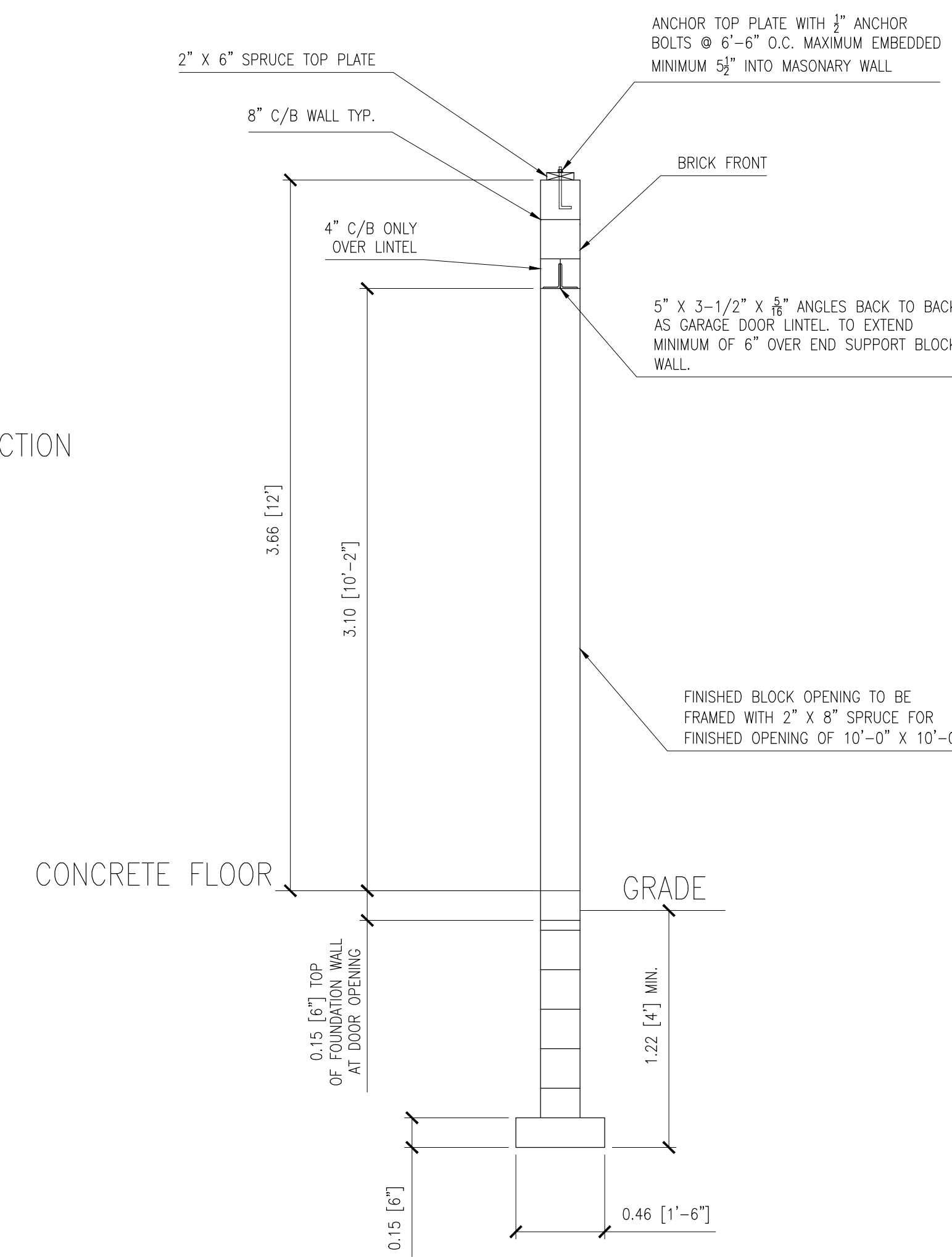
SIDE WALL TYPICAL CROSS-SECTION



SIDE WALL @ MAN DOOR CROSS-SECTION



FRONT WALL @ GARAGE DOOR CROSS-SECTION



BACK WALL @ GARAGE DOOR CROSS-SECTION

STEEL LINTEL SCHEDULE

LINTEL SIZE	GARAGE DOOR FRONT	GARAGE DOOR FRONT	MAN DOOR LEFT SIDE
	10FT X 10FT	10FT X 10FT	3FT X 7FT
BACK TO BACK ANGLES 5" X 3-1/2" X 5/16"	2X 12'-0" LG.	2X 12'-0" LG.	
BACK TO BACK ANGLES 3-1/2" X 3-1/2" X 1/4"			2X 4'-0" LG.

ALL DIMENSIONS SHOWN ARE IN METERS WITH SECONDARY DIMENSION IN FEET.

DRAWING TITLE

GARAGE EXPANSION - WALL SECTIONS - SHEET 4 OF 4

REV	REVISION DESCRIPTION	BY	YYYY/MM/DD

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THIS DRAWING & DESIGN ARE PROPRIETARY TO JOHN DAY. ALL RIGHTS RESERVED. NEITHER THE DRAWING OR DESIGN MAY BE COPIED OR OTHERWISE DISSEMINATED IN ANY MANNER OR FORM, IN WHOLE OR IN PART, WITHOUT, IN EACH INSTANCE, THE PRIOR WRITTEN CONSENT OF JOHN DAY. UNAUTHORIZED REPRODUCTION OF THESE DRAWINGS IS PROHIBITED.

SCALE :	1:24
DRAWN :	JD 2022/06/09
CHECKED :	-- --
APPROVED :	-- --

DRAWING NUMBER	REV.
D - 17354-0096	0

AUTOCAD



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	John Day Barbara Day	
Applicant(s)*	John Day Barbara Day	
Agent or Solicitor	John Day Barbara Day	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Royal Bank of Canada
 917 Queenston Road
 Stoney Creek
 L8G 1B8

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Variance to 6.1.4(a) maximum building height shall be 4.5metres for accessory building. Looking for a variance to 5.7m.

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

To allow for car lifting equipment in the garage requires 12 foot ceilings. Along with install 10 foot tall doors and utilizing a standard pitch roof of 4/12 the restriction of 4.5metres is not reasonable. Will require variance up to 5.7m as shown on the provided drawings.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

219 Jones Road, Stoney Creek, Ontario, L8E 5J4
P.I.N. 17354-0096

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Past knowledge from previous owner along with neighbours.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

5-AUG-2022
Date

Barbara Day
Signature Property Owner(s)
John Day
Barbara Day
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 24.87m
Depth 76.2m
Area 1,896m²
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Main dwelling area 229.5m², width 19.6m, depth 11.9m, height 7.2m
Raised ranch 2 storey on ground dwelling
Garage 71.5m², width 6.1m, depth 11.7m, height 4.2m

Proposed

Garage addition of 74.3m² to the north side of the existing garage. Increase height of garage to utilize 12 foot walls and 4/12 pitch roof will require 1.2m increase in height allowance. Total height from grade to peak not to exceed 5.7m

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

Accessory building north side line - front corner wall 5.83m , back corner wall 6m
Front property line to front of building wall 32.02m
Rear property line to back of building wall 32.49m

Proposed:

Accessory building north side line - front corner wall 0.96m , back corner wall 1.17m
Front property line to front of building wall 32.02m
Rear property line to back of building wall 28.96m

13. Date of acquisition of subject lands:
 May 2013
14. Date of construction of all buildings and structures on subject lands:
 1999/2000
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
 single family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
 single family
17. Length of time the existing uses of the subject property have continued:
 +23 years
18. Municipal services available: (check the appropriate space or spaces)
 Water Yes Connected Yes
 Sanitary Sewer Yes Connected Yes
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
 Fruitland Winona Secondary Plan
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
 Residential Rural "RR" Zone
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
 If yes, please provide the file number:

- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.