



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	FL/A-22:271	SUBJECT PROPERTY:	1044 GARDEN LANE, FLAMBOROUGH
ZONE:	“A1,P7 & P8” (Conservation Hazard Land and Agriculture)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner – Zahira Khalid

The following variances are requested:

1. The proposed accessory building (greenhouse for personal use) shall be permitted to be located in the front yard as close as 65.0m from the front lot line whereas the zoning By-law states that accessory buildings shall not be permitted within a front or flankage yard.
2. A maximum building height of 4.7m shall be permitted for the proposed accessory building (greenhouse for personal use) instead of the maximum 4.5m height permitted.

PURPOSE & EFFECT: To facilitate the construction of a new accessory building to be used as a greenhouse for personal use (hobby farming) for the existing single detached dwelling on the farm.

Notes:

The applicant shall ensure that the height dimension as requested in Variance #2, is determined from grade as defined in the Zoning by-law to the uppermost point of the building. Otherwise, further variance may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 8, 2022
TIME:	1:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

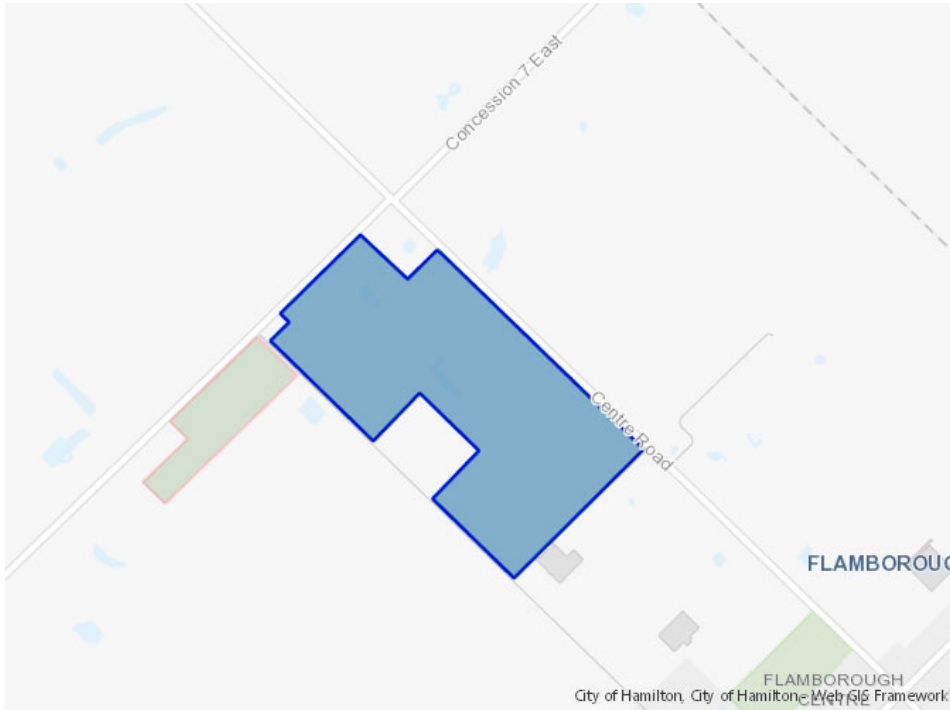
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 Subject Lands

DATED: August 23, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Please include your name and address, hearing date, and file number. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

Please find enclosed

2 copies of minor variance Application

2 copies of Site Plan drawing

2 copies of greenhouse (proposed) engineering drawing.

2 copies of letters from Site Plan & Conservation

Authority

Thankyou.

Zahra Khalid

9 0551 8844,



Hamilton

Planning and Economic
Development Department

Memorandum

To: Dio Ortiz
Manager, Building Engineering and Zoning

From: Jessica Abrahamse M.E.S., Natural Heritage Planner (ext. 1231)
Heritage and Urban Design

Melissa Kiddie, Natural Heritage Planner (ext. 1290)
Heritage and Urban Design

Date: May 18, 2022

Subject: **Exemption from Site Plan Control By-law No. 15-176 for 1044 Garden Lane for Development within or adjacent to Core Areas**

In accordance with Section 9.1 of Site Plan Control By-law No. 15-176, Site Plan Control shall apply to *“any buildings or structures, including accessory buildings and structures, decks and additions to existing buildings, situated Adjacent to or within a Core Area (s), except for single detached, duplex, semi-detached or street townhouse dwellings located within a plan of subdivision or plan of condominium draft approved after January 1, 2013”*.

Proposed Development (Please briefly describe proposed development and attach concept plan/map):
New greenhouse

Core Areas include:
An adjacent ESA, Provincially Significant Woodlands and Provincially Significant Wetlands and a watercourse

Based on a review of the proposed development, the following is applicable:

- Proposed development is located within the footprint of an existing structure.
- Proposed development is located within a disturbed area (i.e. manicured area).
- Proposed development is located at least X metres away from the Core Areas.
- Correspondence has been provided by the relevant Conservation Authority (attached).

Therefore, Site Plan Control for the above property is waived.

Notes:

Additional Comments

This memo does not exempt the proposal from the requirements of a building permit, nor does it exempt the proposal from the requirements of the Zoning By-law or any further regulations. Please be advised that should the application change, the Planning Division has the right to review the revised submission.

If you have any questions, please contact Tiffany Singh, Planner I @ ext. 1221

May 16, 2022

Zahira Khalid
1044 Garden Lane
Hamilton, Ontario L8B 1P1

BY EMAIL ONLY (Zahira.khalid@medportal.ca)

To Zahira Khalid:

**Re: Construction of a ±33 ft greenhouse for personal use on a property partially regulated by Conservation Halton
1044 Garden Lane
City of Hamilton**



Planning & Watershed Management
905.336.1158 | Fax: 905.336.6684
2596 Britannia Road West
Burlington, Ontario L7P 0G3
conservationhalton.ca

The applicant is proposing to construct a ±33 ft geodesic dome greenhouse for personal use. The greenhouse will be anchored on a 36 ft concrete foundation, serviced by water and electricity from the existing dwelling. Conservation Halton (CH) regulates all watercourses, valleylands, wetlands, Lake Ontario and Hamilton Harbour shoreline and hazardous lands, as well as lands adjacent to these features. The property, 1044 Garden Lane, Hamilton, is traversed by a tributary of Grindstone Creek and contains the flooding and erosion hazards associated with that watercourse. Additionally, the property contains Provincially Significant Wetland (PSW). CH regulates those hazards/features, plus a 15m allowance from the creek hazards, and 120m from the PSW for this particular site. Permission is required from CH prior to undertaking development within CH's regulated area and must meet CH's *Policies and Guidelines for the Administration of Ontario Regulation 162/06*.

Staff has reviewed the submission and note that the proposed works are to occur outside of the portion of the property which is regulated by CH. As such, CH has no objection to the proposed development as shown on the attached plans date stamped May 16, 2022.

Please note that, separate from any review pursuant to Ontario Regulation 162/06, CH provides peer review advice to the City of Hamilton through our Memorandum of Agreement (MOA) on issues related to natural heritage and environmental features, as well as the Provincial Policy Statement (PPS). The above comments relate strictly to CH's review under Ontario Regulation 162/06 and comments related to the MOA and/or the PPS will be provided when requested by the City of Hamilton, as part of any *Planning Act* application review in the future. Please note that the City of Hamilton may collect fees for Conservation Halton, related to our review of *Planning Act* applications.

If you have any further questions, please contact the undersigned at cconnolly@hrca.on.ca.

Yours truly,

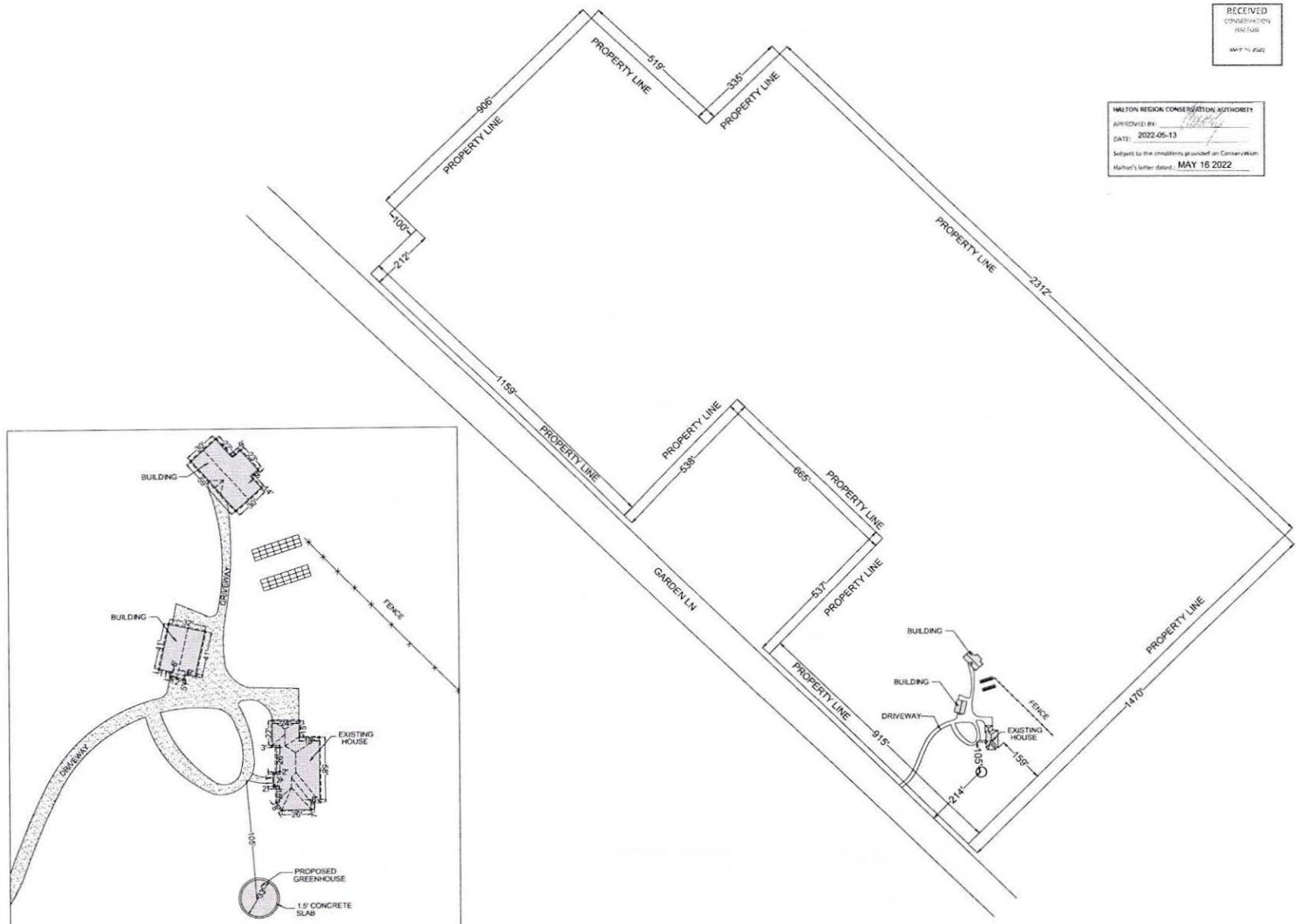
Cassandra Connolly
Regulations Officer

Cc: City of Hamilton, Building Department, By Email: building@hamilton.ca

RECEIVED
CONSERVATION
HAMILTON
MAY 10 2022

HALTON REGION CONSERVATION AUTHORITY
APPROVED BY: *[Signature]*
DATE: 2022-05-13
Subject to the conditions provided on Conservation
Halter's letter dated: MAY 16 2022

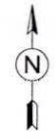
*NOTE: FOR THE SCALE
TO BE CORRECT SHEET
MUST BE PRINTED ON
24"x36"*



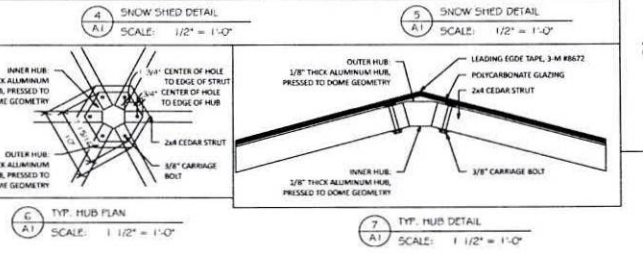
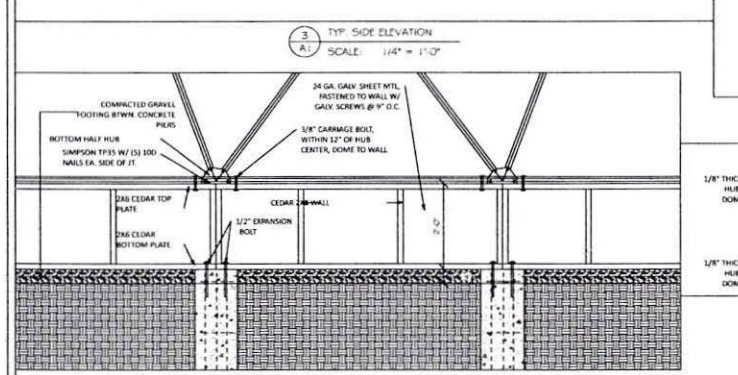
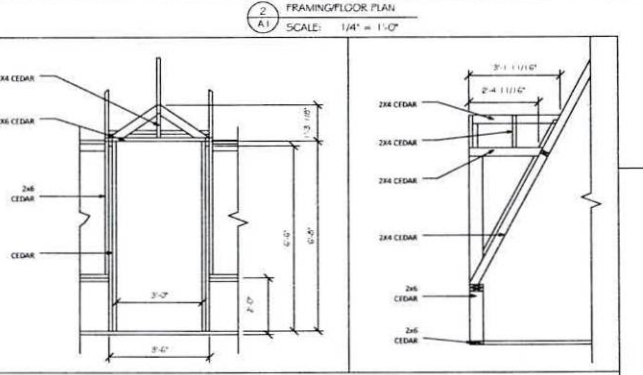
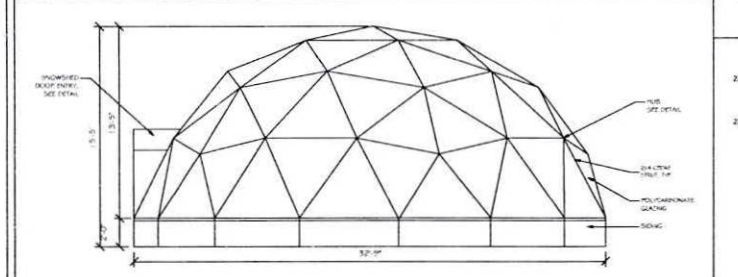
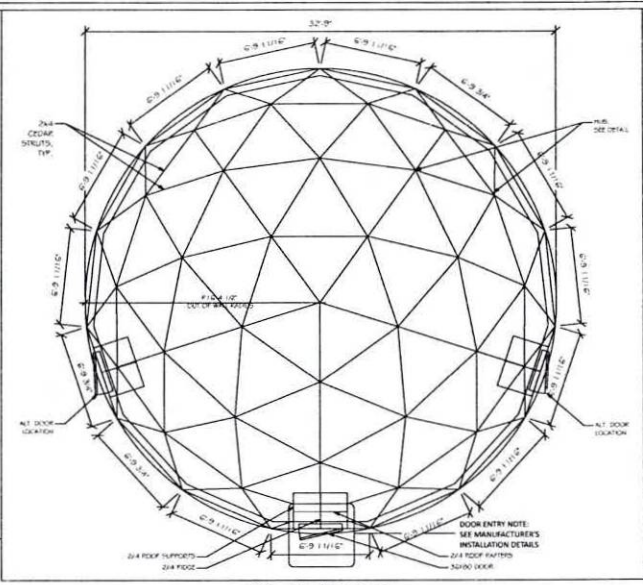
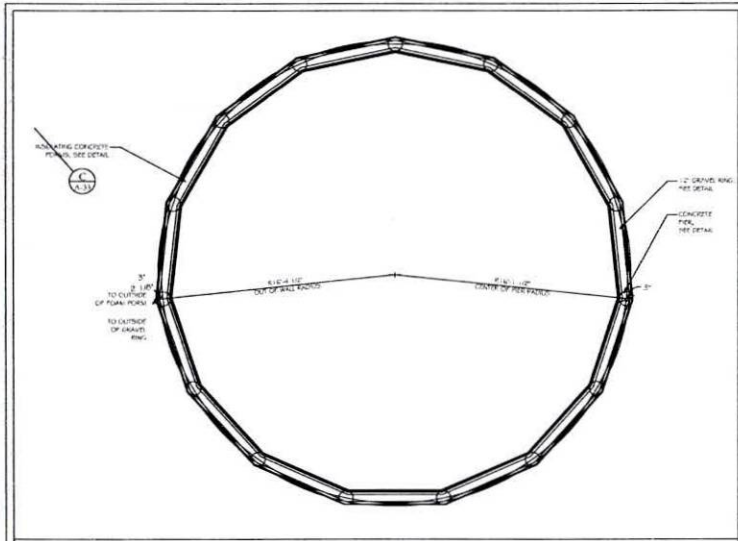
NOTES:

ADDRESS:
1044 GARDEN LN
HAMILTON, ON L0R 1V0

SITE PLAN
LOT AREA: 82.76 ACRES
PLOT SIZE: 24" X 36"
DRAWING DATE: MAY 09, 2022
DRAWING SCALE: 1"=150'



HOUSE DETAIL = 1:40'



GROWING SPACES GROWING DOMES
GENERAL CONSTRUCTION NOTES AND SPECIFICATIONS

- STRUCTURAL CONSTRUCTION CRITERIA:
1. CODES: 2022 INC.
 2. DESIGN LIVE LOADS:
ROOF: LIVE LOAD: 20 PSF
DECK LOAD: 10 PSF
SNOW LOAD: 30 PSF
WIND LOAD: 120 MPH
 3. SOILS: AT ALL FOUNDATIONS, A MINIMUM SOILS BEARING CAPACITY OF 1500 PSF IS REQUIRED.

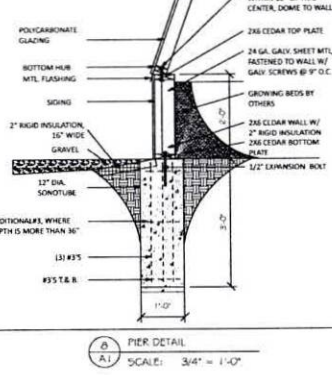
- REINFORCED CONCRETE:
1. STRUCTURAL CONCRETE SHALL CONFORM TO ACI 308 SPECIFICATIONS AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF:
FOOTINGS: 3000 PSI, 4" MAX. SLUMP
STEM WALLS/BASEMENT WALLS: 3000 PSI, 4" MAX. SLUMP
INTERIOR FLOORING: 3000 PSI, 5" MAX. SLUMP
EXTERIOR FLOORING: 3000 PSI, 5" MAX. SLUMP
 2. ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33, MIX DESIGN SHALL CONTAIN NON-COARSE AGGREGATES.
 3. REINFORCING STEEL SHALL BE NEW DEFORMED BARS, FREE FROM RUST, SCALE AND OIL, CONFORMING TO ASTM A618, GRADE 60, WITH A MINIMUM YIELD STRENGTH OF 40,000 PSI.
 4. LAP CONTINUOUS REINFORCEMENT AS BAR DIAMETERS (1" MINIMUM) OR AS NOTED OTHERWISE.
 5. TERMINATE ALL DISCONTINUOUS TOP BARS WITH STANDARD 90° HOOK (PLACED VERTICALLY) UNLESS NOTED OTHERWISE ON STRUCTURE DETAILS.
 6. FINISH FOR THE FOLLOWING CONCRETE COVERAGES OVER REINFORCING:
FOOTINGS (CONCRETE SURFACE): 1" CLEAR
WALLS (INTERIOR FACE): 3/4" CLEAR
WALLS (EXTERIOR FACE): 1 1/2" CLEAR

- STRUCTURAL STEEL:
1. ALL METAL IN CONTACT WITH TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL.
 2. EXPANSION BOLTS TO METAL SHALL BE ZINC PLATED OR STAINLESS STEEL.
 3. CARRIAGE BOLTS CONNECTING STRUTS AND HUBS SHALL BE ZINC PLATED.
 4. CORNER FASTENING POLYCARBONATE TO STRUTS SHALL BE 2024 AL 1/8" STAINLESS STEEL WOOD SCREWS.
 5. ALUMINUM HUBS ARE 1/2" THICK 5052 H142 ALUMINUM PRESSED TO DOME GEOMETRY.
 6. SHEET METAL INNER WALL IS 24 GA GALVANIZED STEEL, FASTEN TO WALL WITH #12 X 3/4" GALVANIZED STEEL SCREWS AT 9" O.C. TO ALL WALL PLATES AND STUDS.

- WOOD:
1. ALL WOOD CONSTRUCTION AND CONNECTIONS SHALL CONFORM TO AIA "AMERICAN INSTITUTE OF WOOD CONSTRUCTION" MANUAL AND THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION", AND THE MOST CURRENT ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE.
 2. ALL WOODEN STRUCTS SHALL BE CEILING GRADE AS:
15' DOME: 2x4
20' DOME: 2x4
22' DOME: 2x4
24' DOME: 2x4
26' DOME: 2x4
28' DOME: 2x4
30' DOME: 2x4
32' DOME: 2x6
34' DOME: 2x6
42' DOME: 2x6
 3. ALL WALL STUDS AND NOTION PLATES SHALL BE CEDAR, SPEC AS:
24' DOME: 2x4
26' DOME: 2x4
28' DOME: 2x4
30' DOME: 2x4
32' DOME: 2x6
34' DOME: 2x6
42' DOME: 2x6
 4. ALL WOOD IN CONTACT WITH GRAVEL, CONCRETE OR MASONRY SHALL BE CEDAR. ALL WOOD IN CONTACT WITH THE GROUND/GRAVEL SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 402.2 OF THE 2009 INC. FOR WOOD FOUNDATIONS, OR 2009 INC. REQUIREMENTS FOR WOOD FOUNDATION IS APPLICABLE.
 5. ALL BOLTS FOR BOLTED CONNECTIONS SHALL CONFORM TO ASTM A307. USE WASHERS BETWEEN WOOD AND BOLT HEADS AND NUTS.
 6. ALL METAL WOOD CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE CO. OR APPROVED EQUALS AND SHALL BE GALVANIZED.
 7. UNLESS NOTED OTHERWISE ON PLANS, PROVIDE DOUBLE STUDS AT ALL JAMBS OF OPENINGS UP TO 6".

- THE THERMAL AND MOISTURE PROTECTION:
1. WALL INSULATION: R-11, 1/2" RIGID POLYURETHANE, TYPE II.
 2. EXTERIOR PERIMETER GROUND INSULATION IS R-11, 2" RIGID POLYURETHANE, TYPE II.
 3. POLYCARBONATE GLAZING ARE SHIP WITH LEADING EDGE TAPE, 3-MI MB27.

- DOORS AND WINDOWS:
1. GLAZING POLYCARBONATE (LAMBDA) 5" WALL OR 8MM THIN WALL FASTENED TO STRUTS WITH 1/2" STAINLESS STEEL SCREWS @ 12" O.C.
 2. DOOR IS RESIDENTIAL STORM DOOR WITH LOCK.



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OR IN PART WITHOUT THE EXPRESS
WRITTEN CONSENT OF THE ENGINEER.

NO.	DATE	DESCRIPTION	BY
REVISIONS			

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. THESE PLANS FORM THE BASIS FOR PERMIT SUBMISSION AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, PROTECTIVE FISH ACES, DECKS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

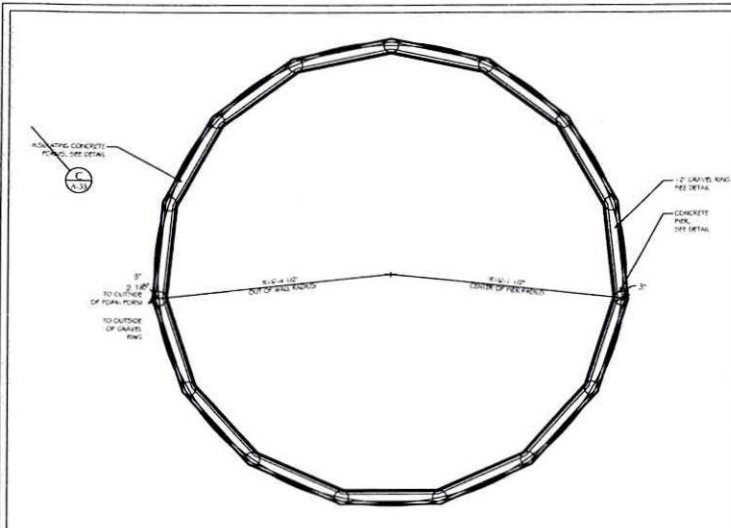
PROJECT:
PROPOSED 33' DOME

LOCATION:
1044 GARDEN LN, HAMILTON, ON

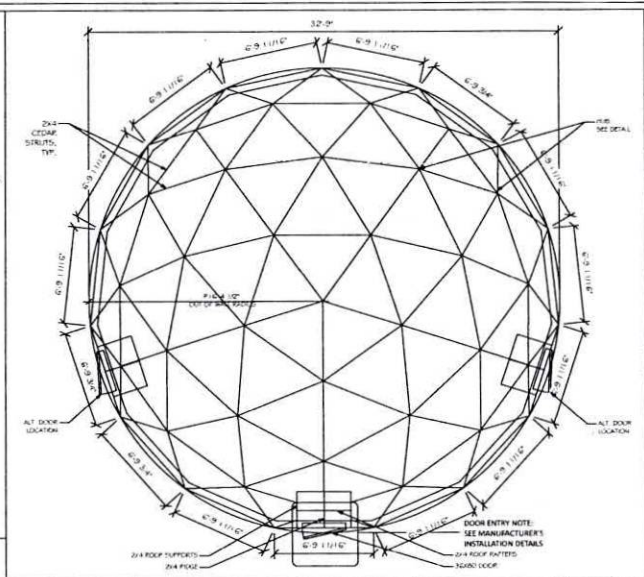
FOR:
ARCTICACRES

DRAWING:
DOME FLOOR PLANS
DOME DETAILS

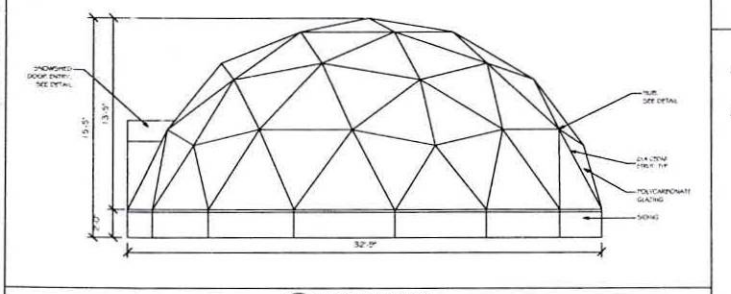
REVIEWED BY	SCALE	DRAWING NO.
DEPT. NAME	AS SHOWN	A1
ARCH. CD		
STR. ET		
MEC. ET	DATE:	
ELE. CD	Issue: May 13, 2022	
JOB #	SHEET 1 of 1	22137



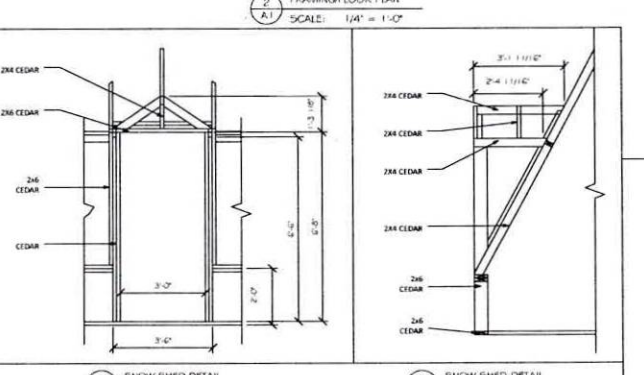
1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 FRAMING/FLOOR PLAN
SCALE: 1/4" = 1'-0"

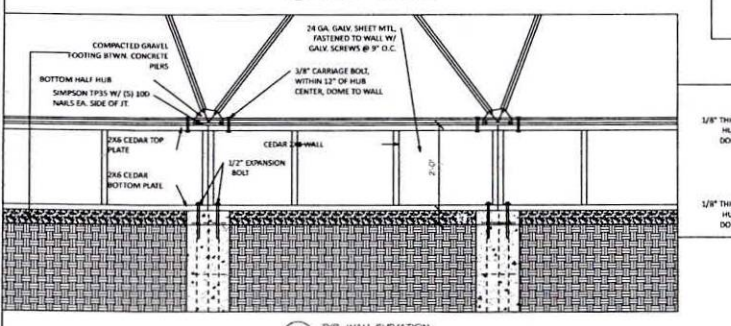


3 TYP. SIDE ELEVATION
SCALE: 1/4" = 1'-0"

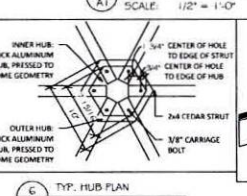


4 SHOW SHED DETAIL
SCALE: 1/2" = 1'-0"

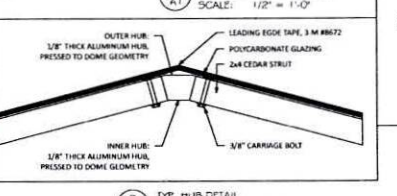
5 SHOW SHED DETAIL
SCALE: 1/2" = 1'-0"



3 TYP. WALL ELEVATION
SCALE: 3/4" = 1'-0"



6 TYP. HUB PLAN
SCALE: 1/2" = 1'-0"



7 TYP. HUB DETAIL
SCALE: 1/2" = 1'-0"

GROWING SPACES GROWING DOMES
GENERAL CONSTRUCTION NOTES AND SPECIFICATIONS

STRUCTURAL DESIGN CRITERIA:

- CODES: 2012 IRC
- DESIGN LIVE LOADS:
FLOOR - NONE
ROOF - LIVE LOAD: 20 PSF
DEAD LOAD: 15 PSF
WIND LOAD: 120 MPH
- SOILS: AT ALL FOUNDATIONS, A MINIMUM SOILS BEARING CAPACITY OF 1500 PSF IS REQUIRED.

REINFORCED CONCRETE:

- STRUCTURAL CONCRETE SHALL CONFORM TO ACI 308 SPECIFICATIONS, AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF:
FOOTINGS: 3000 PSI, 4" MAX. SLUMP
INTERIOR FLOORWALLS: 3000 PSI, 4" MAX. SLUMP
INTERIOR FLOORWALLS: 3000 PSI, 5" MAX. SLUMP
EXTERIOR FLOORWALLS: 3000 PSI, 6" MAX. SLUMP
- ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33, MAX DESIGN SHALL EXCEED MIN. COURSE AGGREGATES.
- REINFORCING STEEL SHALL BE NEW DEFORMED BARS, FREE FROM RUST, SCALE AND OIL, CONFORMING TO ASTM A 615, GRADE 60, WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
- LAP CONTINUOUS REINFORCEMENT 60 BAR DIAMETERS 11" MINIMUM OR AS NOTED OTHERWISE.
- TERMINATE ALL DISCONTINUOUS TOP BARS WITH STANDARD 90° HOOK (PLACED VERTICALLY UNLESS NOTED OTHERWISE ON STRUCT. OR TALLS).
- PROVIDE THE FOLLOWING CONCRETE COVERAGES OVER REINFORCING:
FOOTINGS (AGAINST EARTH): 4" CLEAR
WALLS (INTERIOR FACES): 3/4" CLEAR
WALLS (EXTERIOR FACES): 1 1/2" CLEAR

STRUCTURAL STEEL:

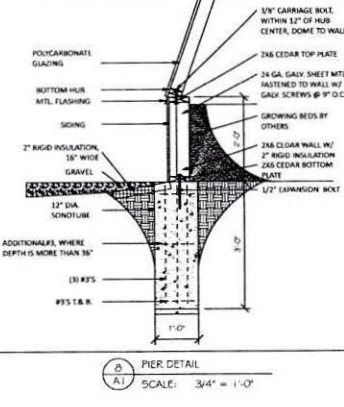
- ALL METAL IN CONTACT WITH TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL. CARBON STEEL BOLTS TO WOOD SHALL BE ZINC PLATED OR STAINLESS STEEL.
- CARRIAGE BOLTS CONNECTING STRUTS AND HUBS SHALL BE ZINC PLATED.
- SCREWS HOLDING POLYCARBONATE TO STRUTS SHALL BE 1/8" X 1 1/2" STAINLESS STEEL WOOD SCREWS.
- ALUMINUM HUBS ARE 1/2" THICK 3003 H14 ALUMINUM PRESSED TO DOME GEOMETRY. SHEET METAL INNER WALL IS 16 GA GALVANIZED STEEL, FASTEN TO WALL WITH #10 X 1/2" GALVANIZED STEEL SCREWS AT 9" O.C. TO ALL WALL PLATES AND STUDS.
- ALL WOOD IN CONTACT WITH GRAVEL, CONCRETE OR MASONRY SHALL BE CEDAR. ALL WOOD IN CONTACT WITH THE GROUND SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 609.2 OF THE 2009 IRC FOR WOOD FOUNDATIONS, OR 2009 IRC REQUIREMENTS FOR WOOD FOUNDATION AS APPLICABLE.
- ALL BOLTS FOR METAL CONNECTIONS SHALL CONFORM TO ASTM A307. USE WASHERS BETWEEN WOOD AND METAL HEADS AND NUTS.
- ALL METAL WOOD CONNECTIONS SHALL BE AS MANUFACTURED BY HAMPSON STRONG T.C. CO. (OR APPROVED EQUAL) AND SHALL BE GALVANIZED.
- UNLESS NOTED OTHERWISE ON PLANS, PROVIDE DOUBLE STUDS AT ALL JAMBS OF OPENINGS 16" TO 4'-0".

THERMAL AND MOISTURE PROTECTION:

- WALL INSULATION IS R-11, 2" RIGID POLYSTYRENE, TYPE III.
- EXTERIOR FLOOR FLOORING INSULATION IS R-11, 2" RIGID POLYSTYRENE, TYPE III.
- POLYCARBONATE SEAMS ARE SEALED WITH "LEADING EDGE TAPE", 3/8" WIDE.

DOORS AND WINDOWS:

- GLAZING IS POLYCARBONATE (LEADS 3 WALL OR BARRIUM THIN WALL FASTENED TO STRUTS WITH 1 1/2" STAINLESS STEEL SCREWS @ 27" O.C.
- DOOR IS RESIDENTIAL STORM DOOR WITH LOCK.



8 PIER DETAIL
SCALE: 3/4" = 1'-0"



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OR IN PART WITHOUT THE EXPRESS
WRITTEN CONSENT OF THE ENGINEER.

No.	DATE	DESCRIPTION	BY



DRAWINGS MUST NOT BE SCALED
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND SHALL REPORT ANY DIS-
CREPANCY TO THE ENGINEER BEFORE PROCEEDING
WITH ANY WORK.

THESE PLANS WERE DESIGNED IN ACCORDANCE
WITH THE OSARIO BUILDING CODE. THESE PLANS
FORM THE BASIS FOR PERMIT EQUATION AND ANY
DEVIATIONS FROM THESE PLANS AND DETAILS,
INCLUDING THE VENTILATION SYSTEM, HEATING
SYSTEM, WOODSTONE, FIREPLACES, DECKS,
BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE
A REVISION DRAWING AND CLEARANCE BY THE
BUILDING DEPARTMENT.

PROJECT: PROPOSED 33' DOME

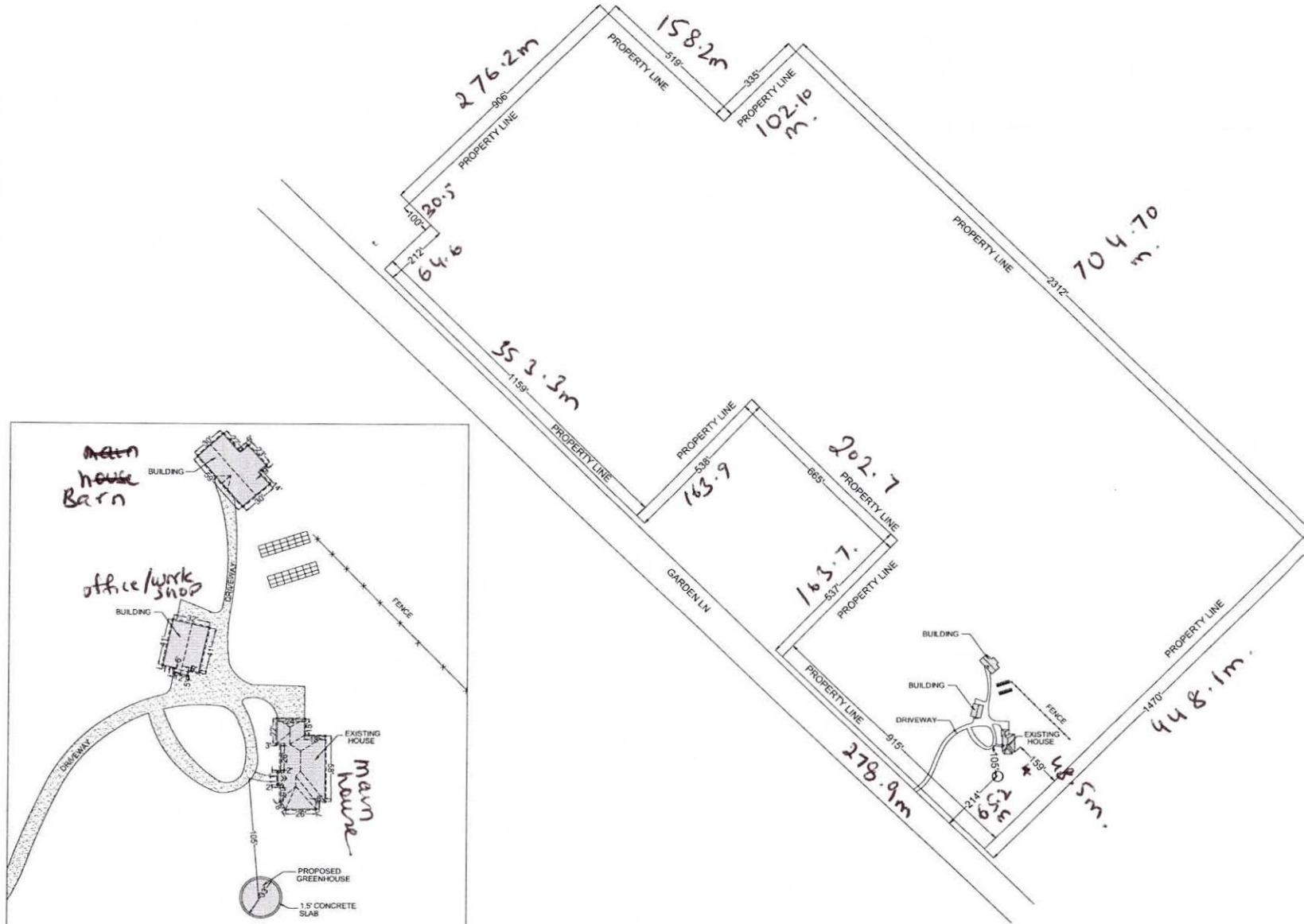
LOCATION: 1044 GARDEN LN, HAMILTON, ON

FOR: ARCTIC ACRES

DRAWING: DOME FLOOR PLANS
DOME DETAILS

REVIEWED BY	SCALE	DRAWING No.
AS SHOWN	AS SHOWN	A1
DEPT. ARCH. CD		
STR. ET		
MEC. ET	DATE: Friday, May 13, 2022	
ELE. CD		
JOB # 22137	SHEET 1 of 1	22137

NOTE: FOR THE SCALE TO BE CORRECT SHEET MUST BE PRINTED ON 24"x36"



NOTES:

ADDRESS:
1044 GARDEN LN
HAMILTON, ON L0R 1V0

SITE PLAN

LOT AREA: 82.76 ACRES

PLOT SIZE: 24" X 36"

DRAWING DATE: MAY 09, 2022

DRAWING SCALE: 1"=150'



HOUSE DETAIL =1:40'



APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	Zahira Khalid		
Applicant(s)*	Zahira Khalid		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Zahira Khalid, 1044 Garden Lane, ON,L8B1P1
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Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Application to construct a greenhouse (for hobby farming and recreation) in front area of the house (on the side) where previously was a tree nursery to allow for winter/greenhouse gardening.

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The structure cannot be built behind the house because of the conservation area

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

PT LOT 8, CON 6, EAST FLAMBOROUGH AS IN VM124783, SAVE AND EXCEPT RP Parts 1 & 2, 62R15907; S/T EF 29906, HL 8489, AB395794, IF ANY, CITY OF HAMILTON 1044 Garden Lane, Millgrove, ON, L8B1P1

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

my own observation and information relayed by tenant farmer and previous owner

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2022/08/04

Date

Zahira Khalid

Signature Property Owner(s)

Zahira Khalid

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 2073.06 ft
Depth 1470 ft
Area 82.76 acres
Width of street 6.5 metres

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Main house- bungalow (basement and main storey)-1550-200sq ft
Barn-35ftX60 ft
Office building/workshop- 600 sq ft
Solar panels-13 m long and 5 m wide (2 panels)

Proposed

Proposed green house- 33 ft diameter, 850 square ft green house. (will be on 35 ft concrete base)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Main House-321 ft from front lot line, 159 ft from side lot line (south side), approx 1100 sq ft from rear lot line
Office building-313 ft from front lot line, 323 ft from side lot line (south side), approx 1120 sq ft from rear lot line
~~Barn- 476 ft from front lot line, 423 ft from side lot line and 994 ft from rear lot line~~

Proposed:

Greenhouse- 105 ft south from house, 214 ft from front lot line, 100 ft from south side line. approx 1200 sq ft from rear lot line

* Barn - 476 ft from front, 423 ft from s. side lot line, 994 ft from rear.
- Solar panels - 430 ft from front, 300 ft from s. side line, 996 ft from rear side line.

13. Date of acquisition of subject lands:
Oct 20, 2020
14. Date of construction of all buildings and structures on subject lands:
unknown atleast 18 years.
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
personal use- single family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
family and agricultural
17. Length of time the existing uses of the subject property have continued:
minimum 2 years
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
Agriculture
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Agriculture A1 zone / Conservation / Hazard Land P7/P8 zone
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:

- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.