



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	GL/A-22:261	SUBJECT PROPERTY:	2575 REGIONAL ROAD 56, GLANBROOK
ZONE:	“C5a”, “570” (Mixed Use Medium Density – Pedestrian Focus Zone)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended 17-240

APPLICANTS: Owner – Michael Friday
Agent – Steve Kowalyszyn

The following variances are requested:

1. The proposed addition shall be permitted to have a maximum Gross Floor Area of 127.5% (being 122.91m²) of the existing building Gross Floor Area whereas the zoning By-law requires that the increase shall not exceed a maximum of 10.0% of the Gross Floor Area of the building existing at the date of the passing of the By-law.
2. The proposed addition shall be permitted to maintain a reduced southerly side yard and therefore, shall be located as close as 2.4m from the southerly lot line whereas the zoning By-law requires that the side yard setback shall be maintained for the addition.

PURPOSE & EFFECT: To facilitate the expansion of the existing legally established non-conforming single detached dwelling through the construction of a southerly addition.

Notes:

The private driveway was not clearly illustrated or dimensioned on the plan. Therefore, the applicant shall ensure that the driveway width does not exceed the width of the attached garage; otherwise further variance shall be required.

The applicant shall ensure that all other portions of the front yard shall be maintained as landscaping where a driveway is located in the front yard.

The zoning By-law requires that parking spaces shall be provided and maintained with stable surfaces such as asphalt, concrete or other hard-surfaced material, crushed stone or grave, and shall

GL/A-22:261

be maintained in a dust free condition. No details were provided from which to determine compliance. Therefore, further variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 8, 2022
TIME:	1:45 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 Subject Lands

DATED: August 23, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



AR1030
 CUSTOM ADDITION / RENOVATION
 1323 SQ. FT.
 PROJECT ADDRESS
 2575 HWY 56
 BINBROOK, ON
 DESIGN BY: NAUTA HOME DESIGNS

TABLE OF CONTENTS	
COVER PAGE	1
GENERAL NOTES PAGE	2
SITE PLAN	3
FRONT-LEFT ELEVATION	4
REAR-RIGHT ELEVATION	5
BASEMENT PLAN	6
FLOOR PLAN	7
CROSS SECTION A-A	8
STANDARD DETAILS	9
WALL ASSEMBLIES	10

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE. ANY DEVIATIONS FROM THESE PLANS AND DETAILS INCLUDING THE WEIGHT FROM SYSTEM HEATING WATER COOLING SYSTEMS, SMOKE BALANCERS AND FINISHED FASSEMBLIES, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

ENGINEERING CHECKLIST

ALL STRUCTURAL APPLICATIONS OUTSIDE OF PART 5 OF THE OBC REQUIRE ENGINEERING DETAILS AND / OR NOTES THAT ARE TO BE SIGNED AND SEALED BY A QUALIFIED STRUCTURAL ENGINEER THAT IS LICENSED TO CONSULT IN THE PROVINCE OF ONTARIO.

ITEMS REQUIRED FOR PERMIT INDICATED BY:

- STEEL BEAMS NOT IN COMPLIANCE WITH PART 5 SPAN TABLES OF THE OBC.
- STEEL BEAMS WITH CONCENTRATED POINT LOADS
- REBAR REINFORCEMENT OR LATERALLY UNSUPPORTED FOUNDATION WALLS AS DEFINED BY PART 5.5.4.3. OF THE OBC.
- RETAINING WALLS
- TIMBER POST AND BEAM SIZES
- TIMBER POST AND BEAM CONNECTIONS
- TALL WALL DESIGN FOR WALLS EXCEEDING 8'4" IN HEIGHT.
- SUSPENDED CONCRETE SLABS NOT IN COMPLIANCE WITH O.B.C. 8.3.1.4 WITH SPANS EXCEEDING 30'
- H.S.B. STEEL COLUMNS AND CONNECTIONS
- "THIN" WALL CONSTRUCTION AS PER 3.3.10.4. (NON-CONTINUOUS STRIPS FOR A RILL STRENGTH)
- LVL OR PARALLEL BEAMS AND HEADERS
- PRE-ENGINEERED FLOOR SYSTEMS (WOOD FS OR FLOOR TRUSSES)
- PRE-ENGINEERED ROOF TRUSSES
- OTHER STRUCTURAL APPLICATIONS OUTSIDE OF PART 5 OF THE OBC SPECIFY.

PERMIT DOCUMENTATION REQUIRED

CONSULT WITH LOCAL MUNICIPALITIES AND ALL OTHER GOVERNMENT AGENCIES OR CONSERVATION AGENCIES PRIOR TO APPLYING FOR A BUILDING PERMIT. CONSULT WITH BUILDING DEPARTMENT FOR A COMPREHENSIVE LIST OF ALL DOCUMENTATION REQUIRED FOR A BUILDING PERMIT. 3 COPIES OF ALL OR SOME OF THE DOCUMENTS LISTED BELOW REQUIRED FOR PERMIT APPLICATION. DOCUMENTS REQUIRED FOR PERMIT ARE NOT LIMITED TO THE ITEMS LISTED BELOW.

- 1) BLUEPRINTS**
ONTARIO BUILDING CODE COMPLIANT SET OF CONSTRUCTION BLUEPRINTS.
- 2) HVAC REPORT**
PROVIDES HEAT LOSS/GAIN CALCULATIONS, VENTILATION AND DUCT DESIGN AND REQUIRED EFFICIENCIES FOR HEATING AND COOLING EQUIPMENT.
- 3) STRUCTURAL ENGINEERING**
ALL STRUCTURAL APPLICATIONS OUTSIDE OF PART 5 OF THE OBC REQUIRE ENGINEERING DETAILS OR NOTES THAT ARE TO BE SIGNED AND SEALED BY A QUALIFIED STRUCTURAL ENGINEER LICENSED TO CONSULT IN THE PROVINCE OF ONTARIO.
- 4) LEGAL GRADE SURVEY / SITE PLAN**
SHOWS THE LOCATION OF THE HOUSE ON THE PROPERTY AND THE EXISTING AND PROPOSED GRADES. GRADING PLAN TO BE COMPLETED BY A LICENSED ONTARIO LAND SURVEYOR OR OTHER QUALIFIED DESIGNER.
- 5) PRE-ENGINEERED WOOD PRODUCTS**
INCLUDES TRUSS DRAWINGS AND TRUSS LAYOUT, LVL OR GLULAH BEAMS, WOOD FLOOR SYSTEMS, FLOOR TRUSS SYSTEMS, LVL HEADERS OR FLOOR BEAMS, AND PARALLEL STUDS.
- 6) SEPTIC PERMIT**
ONLY REQUIRED WHEN MUNICIPAL SEWER SERVICES ARE NOT AVAILABLE.
- 7) MINOR VARIANCE / RE-ZONING APPROVALS**
ONLY REQUIRED WHEN ZONING AND BY-LAW REQUIREMENTS ARE NOT MET. CONSULT WITH LOCAL MUNICIPALITY FOR APPROVAL REQUIREMENTS.
- 8) CONSERVATION AUTHORITY APPROVALS**
ONLY REQUIRED WHEN CONSERVATION AGENCIES HAVE JURISDICTION ON THE PROPERTY. CONSULT WITH LOCAL CONSERVATION AGENCIES FOR BOUNDARIES OF AUTHORITY AND POSSIBLE APPROVAL REQUIREMENTS.
- 9) FILLED APPLICATION FORMS & FEES**
ALL NECESSARY APPLICATION FORMS ARE TO BE FILLED OUT WITH ALL REQUIRED INFORMATION AND FEES TO BE PAID AS DEEMED NECESSARY BY THE BUILDING DEPARTMENT.

88-12 ENERGY EFFICIENCY DESIGN SUMMARY

ZONE 1		88-12 PRESCRIPTIVE PACKAGE *	
ELEVATION	TOTAL AREA OF EXPOSED WALLS	TOTAL AREA OPENINGS	
FRONT	N/A	N/A	
LEFT	N/A	N/A	
REAR	N/A	N/A	
RIGHT	N/A	N/A	
TOTAL	N/A	N/A	
TOTAL % OF OPENINGS IN EXPOSED WALLS		N/A	

LIMITING DISTANCE CALCULATIONS

LEFT ELEVATION	EXPOSED BUILDING FACE PERCENT OF EXPOSED WALLS	N/A	RIGHT ELEVATION	EXPOSED BUILDING FACE PERCENT OF EXPOSED WALLS	1689 SF.	DATE :	PAGE:
	N/A			N/A		JULY 2022	1 OF 10
	N/A			N/A	0 SF.		

GENERAL NOTES

- ALL WORK PERFORMED AND MATERIAL SUPPLIED SHALL COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
- NAUTA HOME DESIGNS IS NOT LIABLE FOR ANY ERRORS OR OMISSIONS FOUND IN THESE BLUEPRINTS.
- DO NOT SCALE BLUEPRINTS.

* COPYRIGHT - NAUTA HOME DESIGNS IS A TRADE-MARK OF NAUTA HOME DESIGNS. ALL RIGHTS RESERVED. PHOTO BY: NAUTA HOME DESIGNS.

REVISIONS

DATE	ITEM

QUALIFICATION INFORMATION

Ontario
Member of Multiple Occupancy

Hank Nauta
ENGINEER

22863
REG. NO.

REGISTRATION INFORMATION
REG. NO. 29258

NAUTA HOME DESIGNS
 1-866-474-4320
 1789 MERRITTVILLE HWY
 WELLSLAND, ON L3B 5N5

PLAN NUMBER:
AR1030

CONTRACT NUMBER:
2020-342

PROJECT:
ADDITION
1929 SQ. FT.

WIDTH: 76' 6"
DEPTH: 53' 0"

LOCATION:
2575 HWY 56
BINBROOK, ON

TITLE:
COVER PAGE

ISSUED FOR: DATE: MAY 3, 22
 REVISED: DATE: JAN 5, 22
 DRAIN BY: P.C.
 CHECKED BY: H.N.

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE. ANY DEVIATIONS FROM THESE PLANS AND DETAILS INCLUDING THE VENTILATION SYSTEMS, WINDOW, DOOR, ROOF, SLOPE, CHIMNEY, BALCONY AND FINISHED BASEMENTS SHALL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

REFER TO GENERAL NOTES PAGE FOR STANDARD SITE AND GRADING CONSTRUCTION NOTES, OBC REQUIREMENTS AND TYPICAL CONSTRUCTION ASSEMBLIES. REFER TO STANDARD DETAIL PAGE FOR CONSTRUCTION DETAILS.

GENERAL NOTES

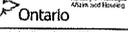
1. ALL WORK, PERFORMED AND MATERIAL SUPPLIED SHALL CONFORM TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. NAUTA HOME DESIGNS IS NOT LIABLE FOR ANY INJURIES OR DAMAGES CAUSED BY THESE BLUEPRINTS.
3. DO NOT SCALE BLUEPRINTS.

© COPYRIGHT 2022 NAUTA HOME DESIGNS
 1812750 - 202207 - 1812750 - 202207 - 1812750 - 202207
 PRINTED IN ONTARIO, CANADA

REVISIONS

DATE	ITEM

QUALIFICATION INFORMATION



REGISTERED PROFESSIONAL ENGINEER
 IN THE PROVINCE OF ONTARIO

Hanka Nauta
 P. ENG. 22863

22863
 P. ENG.

REGISTRATION INFORMATION

Nauta Home Designs
 29258
 P. ENG.



1-866-474-4320

1789 MERRITTVILLE HWY
 WELLAND, ON L3B 5N5

PLAN NUMBER:
AR1030

CONTRACT NUMBER:
 2020-342

PROJECT :

ADDITION
 1929 SQ. FT.

WIDTH: 78' 6"

DEPTH: 53' 0"

LOCATION:

2575 HWY B6
 BINBROOK, ON

TITLE:

SITE PLAN

ISSUED FOR:

REVISION: MAY 3, 22

NO REVISION: JUNE 22

DRAWN BY: P.C.

CHECKED BY: H.N.

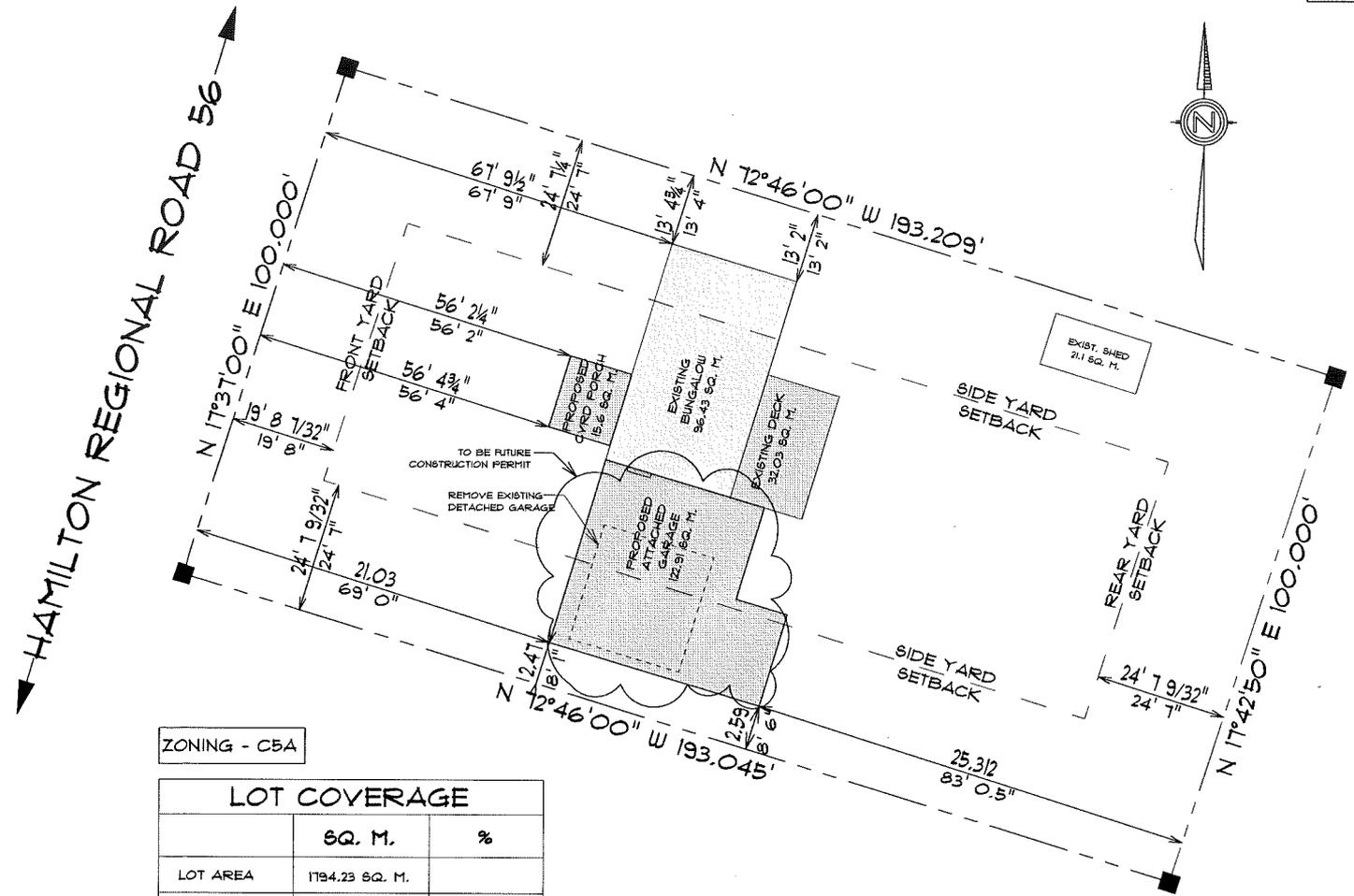
DATE :

JULY 2022

PAGE:

3 OF 10

WWW.NAUTAHOMEDESIGNS.COM 1-866-474-4320
 SEARCH OVER 1000 HOUSE PLANS ONLINE,
 CUSTOM DESIGNS, ADDITIONS, & RENOVATIONS.



ZONING - C5A

LOT COVERAGE		
	SQ. M.	%
LOT AREA	1194.23 SQ. M.	
PROPOSED LOT COVERAGE	138.51 SQ. M.	1.1%
MAX LOT COVERAGE		N/A

ALL MEASUREMENTS IN METERS AND FEET.

SURVEY PROVIDED BY RASCH & HYDE LTD.
 SURVEY NUMBER: 21-010

2575 HAMILTON REGIONAL RD. 56
 BINBROOK, ON.

SITE PLAN N.T.S.

July 12, 2022 P.C. 02:28 PM

WWW.NAUTAHOMEDESIGNS.COM 1-866-474-4320
 SEARCH OVER 1000 HOUSE PLANS ONLINE
 CUSTOM DESIGNS, ADDITIONS, & RENOVATIONS.

DATE: 2022 JULY 12
 PAGE: 4 OF 10

DESIGN BY: P.C.	CHECKED BY: H.N.
REVISIONS	DATE
NO. 1	DATE
NO. 2	DATE
NO. 3	DATE
NO. 4	DATE
NO. 5	DATE
NO. 6	DATE
NO. 7	DATE
NO. 8	DATE
NO. 9	DATE
NO. 10	DATE
NO. 11	DATE
NO. 12	DATE
NO. 13	DATE
NO. 14	DATE
NO. 15	DATE
NO. 16	DATE
NO. 17	DATE
NO. 18	DATE
NO. 19	DATE
NO. 20	DATE
NO. 21	DATE
NO. 22	DATE
NO. 23	DATE
NO. 24	DATE
NO. 25	DATE
NO. 26	DATE
NO. 27	DATE
NO. 28	DATE
NO. 29	DATE
NO. 30	DATE
NO. 31	DATE
NO. 32	DATE
NO. 33	DATE
NO. 34	DATE
NO. 35	DATE
NO. 36	DATE
NO. 37	DATE
NO. 38	DATE
NO. 39	DATE
NO. 40	DATE
NO. 41	DATE
NO. 42	DATE
NO. 43	DATE
NO. 44	DATE
NO. 45	DATE
NO. 46	DATE
NO. 47	DATE
NO. 48	DATE
NO. 49	DATE
NO. 50	DATE
NO. 51	DATE
NO. 52	DATE
NO. 53	DATE
NO. 54	DATE
NO. 55	DATE
NO. 56	DATE
NO. 57	DATE
NO. 58	DATE
NO. 59	DATE
NO. 60	DATE
NO. 61	DATE
NO. 62	DATE
NO. 63	DATE
NO. 64	DATE
NO. 65	DATE
NO. 66	DATE
NO. 67	DATE
NO. 68	DATE
NO. 69	DATE
NO. 70	DATE
NO. 71	DATE
NO. 72	DATE
NO. 73	DATE
NO. 74	DATE
NO. 75	DATE
NO. 76	DATE
NO. 77	DATE
NO. 78	DATE
NO. 79	DATE
NO. 80	DATE
NO. 81	DATE
NO. 82	DATE
NO. 83	DATE
NO. 84	DATE
NO. 85	DATE
NO. 86	DATE
NO. 87	DATE
NO. 88	DATE
NO. 89	DATE
NO. 90	DATE
NO. 91	DATE
NO. 92	DATE
NO. 93	DATE
NO. 94	DATE
NO. 95	DATE
NO. 96	DATE
NO. 97	DATE
NO. 98	DATE
NO. 99	DATE
NO. 100	DATE

PROJECT: ADDITION
 DIMTH: 18' 6"
 DEPTH: 53' 0"
 LOCATION: 2575 HUNT BE BIRCHCOCK, ON

CONTRACT NUMBER: 2020-041
 PLAN NUMBER: A1030

1789 MERRILLVILLE HWY WILLOW, ON L9B 5N5

1-866-474-4320

HOME DESIGNS

NAUTA

29258

22663

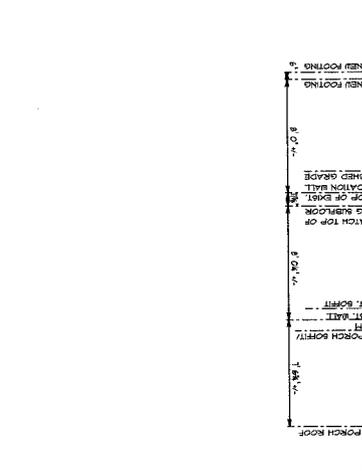
Ontario

QUALIFICATION INFORMATION

REVISIONS

DATE

GENERAL NOTES



1. ALL WORK PERFORMED AND MATERIALS USED SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

2. MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP ALL DEBRIS AND WASTE MATERIALS FROM THE SITE.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING LANDSCAPE AND PLANTING.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP ALL DEBRIS AND WASTE MATERIALS FROM THE SITE.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING LANDSCAPE AND PLANTING.

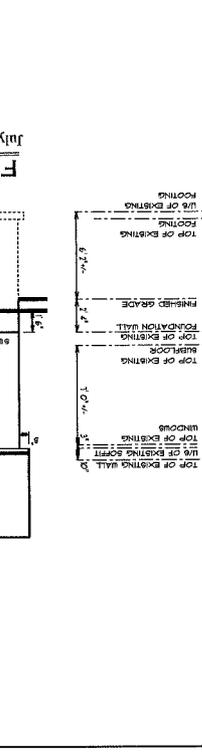
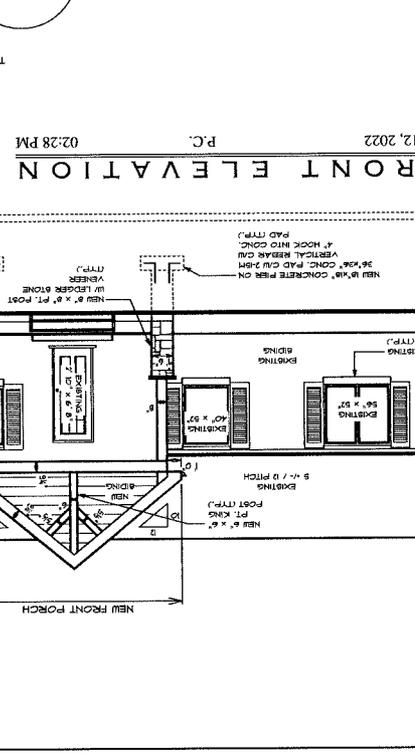
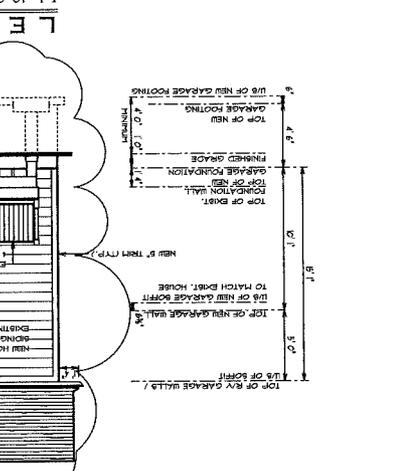
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.

TO BE FUTURE CONSTRUCTION PERMIT

TO BE FUTURE CONSTRUCTION PERMIT

LEFT ELEVATION
 July 12, 2022 P.C.
 02:28 PM
 1/4" = 1' 0"

FRONT ELEVATION
 July 12, 2022 P.C.
 02:28 PM
 1/4" = 1' 0"



TO BE FUTURE CONSTRUCTION PERMIT

THESE PLANS FORM THE BASIS FOR PERMIT REVIEW. ANY DEVIATIONS FROM THESE PLANS AND DETAILS INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEMS, DECKS, BALCONIES AND FINISHED SUBFLOORS, ALL REQUIRE A SEPARATE DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

GENERAL NOTES

1. ALL WORK PERFORMED AND MATERIALS SPECIFIED SHALL CONFORM TO THE LATEST EDITION OF THE CANADIAN BUILDING CODE.
2. NAUTA HOME DESIGNS IS NOT LIABLE FOR ANY ERRORS OR OMISSIONS FOUND IN THESE BLUEPRINTS.
3. DO NOT SCALE BLUEPRINTS.

FULL / PARTIAL WALKOUT BASEMENT NOTES

STEP ALL CONCRETE FOOTINGS DOWN TO 40" MINIMUM BELOW FINISHED GRADE. ALL EXISTING AND FINISHED GRADES ARE TO BE CONFIRMED ON SITE BY THE CONTRACTOR. ANY LATERALLY UNSUPPORTED FOUNDATION WALLS ARE TO BE REINFORCED WITH PRECAST. REMAIN REQUIREMENTS TO BE DESIGNED BY A STRUCTURAL ENGINEER.

EXTERIOR PATIO AND TERRACE DOORS

ALL PATIO OR TERRACE DOORS WITH TERRACES EXCEEDING 23 5/8" TO FINISHED GRADE TO HAVE A GRADED CONCRETING TO 88-1.

DECKS AND PATIOS ABOVE GRADE

PROVIDE GUARD CONCERNING TO 88-1 ON ALL PATIOS AND DECKS THAT HAVE A FINISHED HEIGHT OF 30 5/8" ABOVE FINISHED GRADE.

WINDOW SIZES AND R.O. FRAMING

ALL WINDOW AND DOOR SIZES ARE ILLUSTRATIVE ONLY. REFER TO WINDOW AND DOOR MANUFACTURER'S SCHEDULE FOR EXACT OPENING SIZES. HEIGHT OF ALL WINDOWS FROM THE TOP OF SUBFLOOR TO BE CONFIRMED WITH CONTRACTOR ON SITE.

WINDOW WELLS (WHERE REQUIRED)

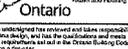
ALL WINDOW WELLS ARE TO BE CONSTRUCTED OF 2"X4 GALLIUM/2" CONCRETE/2" METAL AND BE SET TO FACE OF CONCRETE WALL. WINDOW WELLS ARE TO HAVE 4" O.C. INSULATION WITH FIBER GLASS BATT INSULATION TO BE KEPT FROM THE TOP OF SUBFLOOR TO BE VERTICALLY FROM BOTTOM OF WINDOW WELL. TYPICAL OF ABOVE WINDOW WELLS AT BASEMENT FOOTING LEVEL. THAT IS BEHIND THE PERIMETER OF THE FOUNDATION WALL. ALL PER 13.4.3 OF THE CODE. REMAIN REQUIREMENTS TO BE CONFIRMED WITH CONTRACTOR ON SITE.

REFER TO GENERAL NOTES PAGE FOR STANDARD ELEVATION CONSTRUCTION NOTES, CODE REQUIREMENTS AND TYPICAL CONSTRUCTION ASSEMBLIES. REFER TO STANDARD DETAIL PAGE FOR CONSTRUCTION DETAILS.

REVISIONS

DATE	ITEM

QUALIFICATION INFORMATION



Hank Nauta
22863

REGISTRATION INFORMATION
29258

NAUTA HOME DESIGNS
1-866-474-4320

1789 MERRITTVILLE HWY
WELLAND, ON L3B 5N5

PLAN NUMBER:
ARI030

CONTRACT NUMBER:
3020-343

PROJECT:
ADDITION
1938 SQ. FT.

WIDTH: 16' 6"

DEPTH: 53' 0"

LOCATION:
2875 HWY 56
BINBROOK, ON

TITLE:
REAR ELEV.
RIGHT ELEV.

ISSUED FOR: DATE

REVISED: DATE

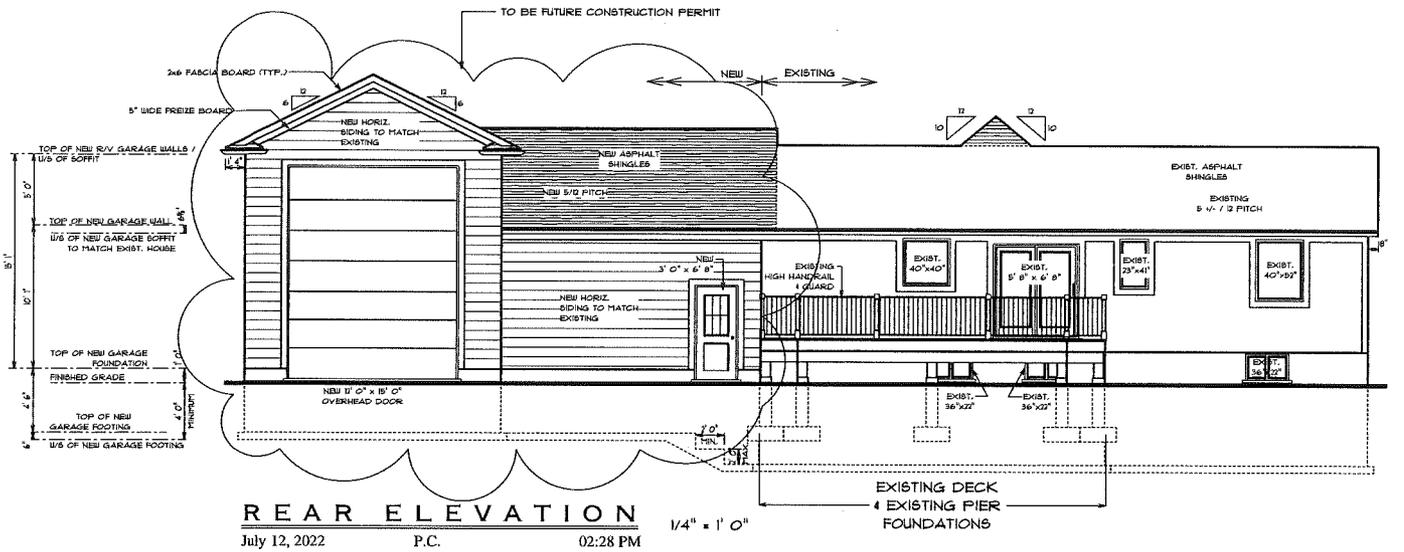
NO. REVISED: DATE

DRAWN BY: P.C.

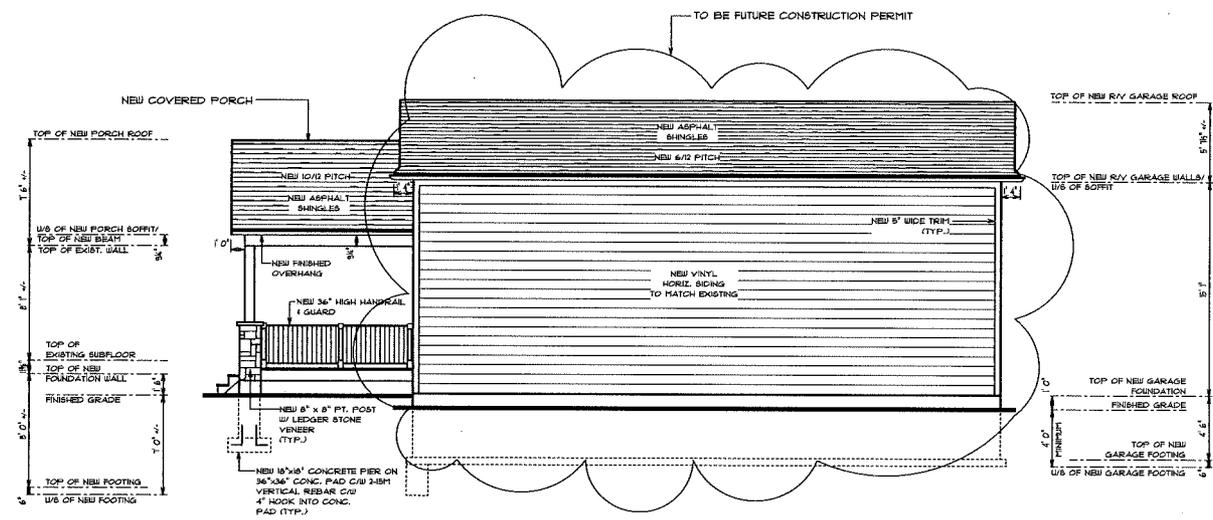
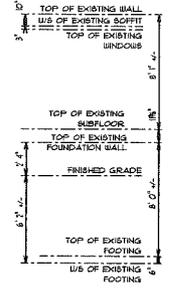
CHECKED BY: H.N.

DATE: JULY 2022

PAGE: 5 OF 10

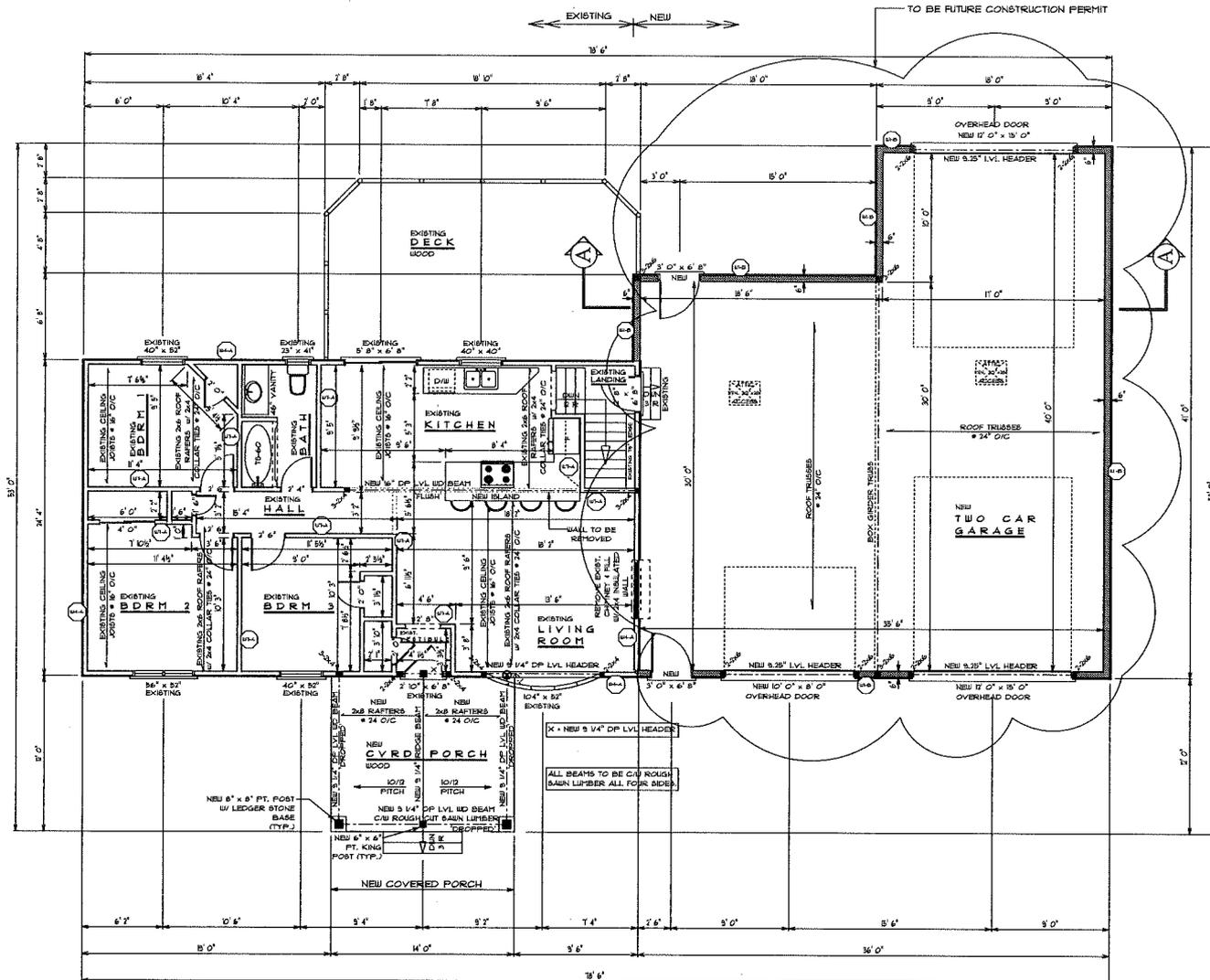


REAR ELEVATION
July 12, 2022 P.C. 02:28 PM
1/4" = 1' 0"



RIGHT ELEVATION
July 12, 2022 P.C. 02:28 PM
1/4" = 1' 0"

WWW.NAUTAHOMEDESIGNS.COM 1-866-474-4320
SEARCH OVER 1000 HOUSE PLANS ONLINE,
CUSTOM DESIGNS, ADDITIONS, & RENOVATIONS.



FLOOR PLAN

1/4" = 1' 0"

July 12, 2022 P.C. 02:28 PM

THESE PLANS SHOW THE BASIS FOR PERMIT SUBMISSION. ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, INSULATION, FINISHES, SPECIAL BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

FRAMING NOTES
 PROVIDE WOOD BLOCKING REINFORCEMENT IN BATHROOM STUD WALLS FOR FUTURE GRAB BAR INSTALLATION AS PER S.B.3.3. OF THE O.C.C.
 PROVIDE FULL DECKING W/ BUILT UP WOOD COLUMNS UNDER ALL DECKS AND GROSSER TRUSSES.
 REFER TO MANUFACTURER'S WINDOW AND DOOR SCHEDULES FOR ROUGH OPENING SIZES.
 REFER TO SUPPLIER'S TRUSS LAYOUT FOR ROOF FINISHING.

- ⊙ SMOKE ALARM
- ⊙ CARBON MONOXIDE ALARM
- ⊙ EXHAUST FAN

LINTEL NOTES
 ALL WINDOW AND DOOR LINELS SHALL BE TO GRADE FUND UNLESS NOTED OTHERWISE ON THESE PLANS.

MECHANICAL NOTES
 SEE HVAC REPORT FOR DUCTWORK SCHEMATIC.
 ALL EXHAUST FANS TO VENT TO THE EXTERIOR.
 EXHAUST FANS AS PER S.B.3.3.9 OF THE O.C.C.
 INSULATION R VALUES TO COMPLY WITH S610-04 OF THE O.C.C.

REFER TO GENERAL NOTES PAGE FOR STANDARD FLOOR PLAN CONSTRUCTION NOTES, O.C.C. REQUIREMENTS AND TYPICAL CONSTRUCTION DETAILS. REFER TO STANDARD DETAIL PAGE FOR CONSTRUCTION DETAILS.

- GARAGE NOTES**
1. GARAGE SEPARATION WALL
 2x4 STUDS @ 16" O.C.
 2x4 SIPS INSULATION
 REFER TO THE VAPOR BARRIER ON GARAGE FLOOR
 REFER TO STANDARD DETAIL 45 FOR INSULATION AND TYPED JOINTS
 2. GARAGE FLOOR
 4" PAVED CONCRETE SLAB ON GRADE
 12x12 TIMBER FLOOR TRIM @ 4" SPACING
 4" POLYMER CONCRETE CURB
 4" POLYMER CONCRETE CURB
 1" MINIMUM 8" O.C. BARS
 MINIMUM 34 HOURS OF CURE
 3. GAS SEAL GARAGE FROM HOUSE
 4. SLOPE GARAGE FLOOR DOWN TO GARAGE DOOR MIN. 4"
 5. GARAGE ENTRY DOOR TO HOUSE TO BE STEEL INSULATED DOOR C/W WEATHER STRIPPING AND SELF-CLOSING DEVICE
 6. GARAGE ENTRY DOOR FROM OUTSIDE TO BE STEEL INSULATED DOOR C/W WEATHER STRIPPING

WALL LEGEND

(A)	(B)	2x6 WITH SIDING
(A)	(B)	2x4 GARAGE SEPARATION WALL (INSULATED)
(A)	(B)	2x4 WITH SIDING
(A)	(B)	2x4 PARTITION WALL

GENERAL NOTE

1. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE NOTED IN THESE QUANTITIES.
3. DO NOT SCALE BLUEPRINTS.

REVISIONS

DATE	ITEM

QUALIFICATION INFORMATION

Ontario
 The undersigned has reviewed and takes responsibility for the design and construction of the building and its components in accordance with the Ontario Building Code.
Hank Nauta
 ARCHITECT
 22863
 SCN

REGISTRATION INFORMATION
 Nauta Home Designs
 29258
 SCN

NAUTA HOME DESIGNS
 1-866-474-4320

1789 MERRITTVILLE HWY
 WELLAND, ON L3B 5N6

PLAN NUMBER:
ARI030

CONTRACT NUMBER:
 2020-343

PROJECT:
ADDITION
 1323 SQ. FT.

WIDTH: 18' 6"
DEPTH: 53' 0"

LOCATION:
 2515 HULL EG
 BINBROOK, ON

TITLE:
FLOOR PLAN

ISSUED FOR	DATE
REVISED	MAY 3, 22
2ND REVISION	JAN 12, 22
DRAWN BY: P.C.	
CHECKED BY: H.N.	

WWW.NAUTAHOMEDESIGNS.COM 1-866-474-4320
 SEARCH OVER 1000 HOUSE PLANS ONLINE,
 CUSTOM DESIGN, ADDITION, & RENOVATIONS.

DATE: JULY 2022
 PAGE: 8 OF 10

DESIGN BY: H.N.
 REVIEW: JAMES
 REVISIONS:
 DATE: MAY 23
 SECTION: A-A

TITLE: CROSS SECTION A-A

LOCATION: 2575 HWY 86
 BRIMBROOK, ON

DEPTH: 53' 0"
 WIDTH: 18' 6"
 ADDITION: 1933 SQ. FT.

PROJECT: 2022-042

CONTRACT NUMBER: ARI030

PLAN NUMBER: 1789 MERRITTVILLE HWY
 WILLOW, ON L8B 5N5

1-866-474-4320

HOME DESIGNS

NAUTA

29258
 Nauta Home Designs

REGISTRATION INFORMATION
 22863

Hank Nauta
 1880 Dundas Street West, Unit 10
 Mississauga, Ontario L4X 1L3

Ontario

QUALIFICATION INFORMATION

NO.	DATE	REVISIONS

REVISIONS

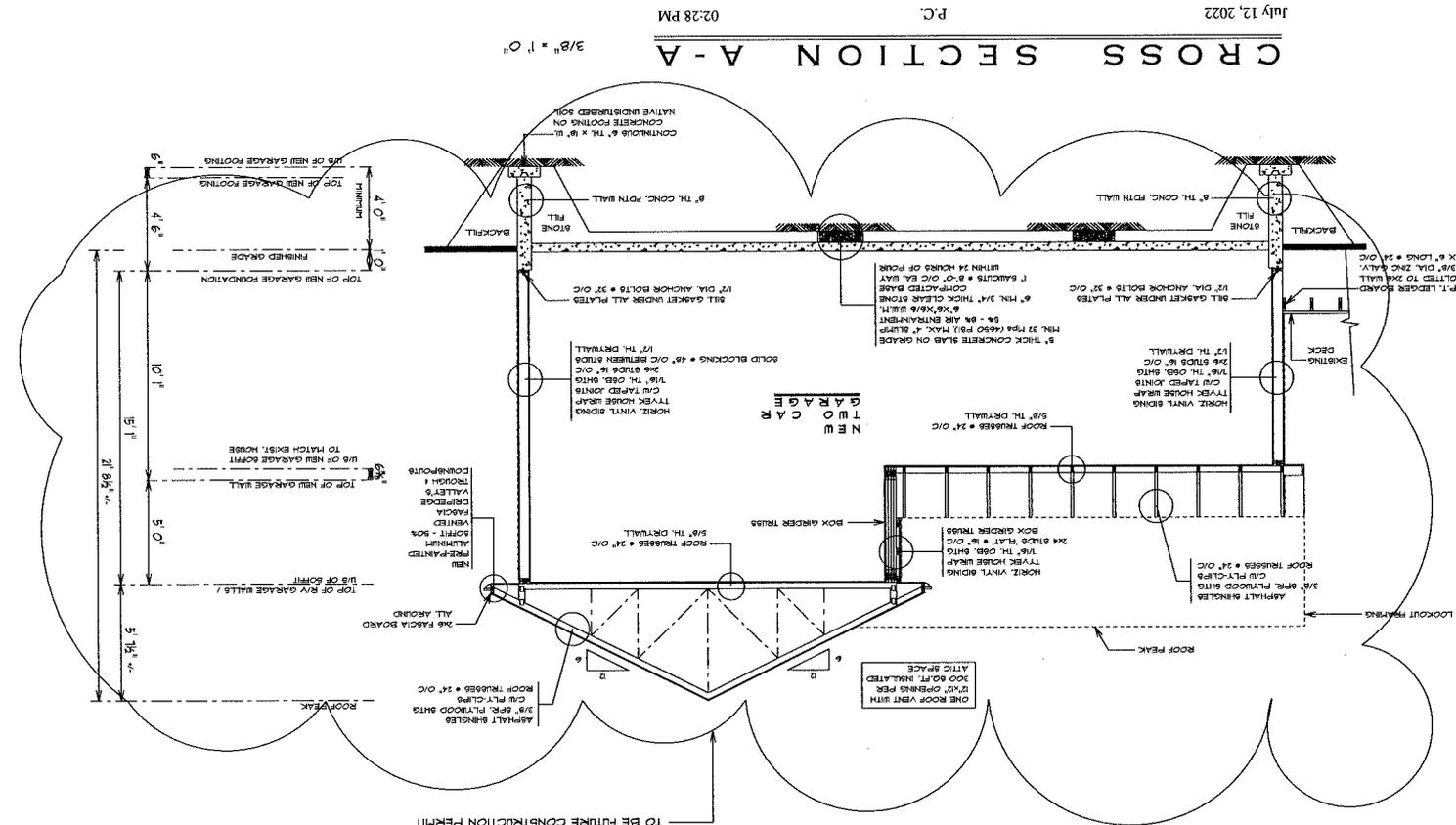
1. ALL WORK PROPOSED AND NOT YET PERFORMED SHALL BE SHOWN WITH DASHED LINES AND DIMENSIONS.

2. ALL WORK PROPOSED AND NOT YET PERFORMED SHALL BE SHOWN WITH DASHED LINES AND DIMENSIONS.

3. ALL WORK PROPOSED AND NOT YET PERFORMED SHALL BE SHOWN WITH DASHED LINES AND DIMENSIONS.

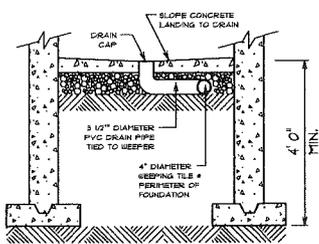
GENERAL NOTES

THIS PLAN SHALL BE THE BASIS FOR ALL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND DIMENSIONS OF THE WORKING CONDITIONS AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND DIMENSIONS OF THE WORKING CONDITIONS AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND DIMENSIONS OF THE WORKING CONDITIONS AND MATERIALS.

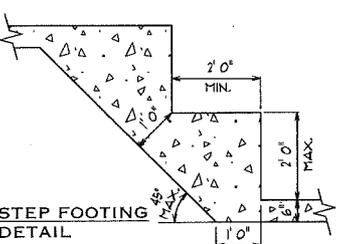


CROSS SECTION A-A
 02:28 PM
 P.C.
 July 12, 2022

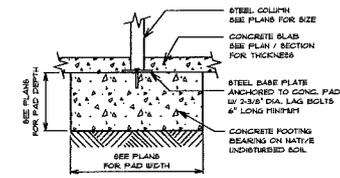
3/8" = 1' 0"



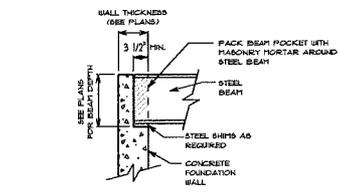
LANDING DRAIN DETAIL
N.T.S.



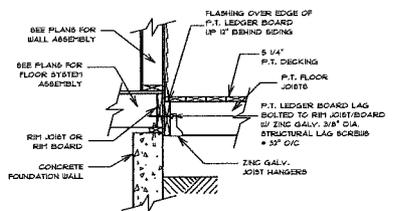
STEP FOOTING DETAIL
N.T.S.



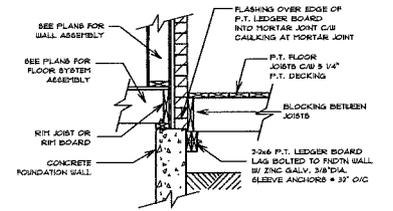
STEEL COLUMN CONNECTION DETAIL
N.T.S.



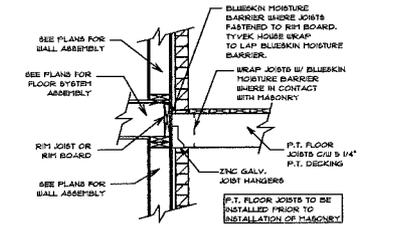
BEAM POCKET DETAIL
N.T.S.



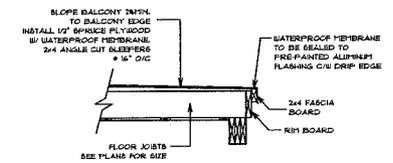
LEDGER BOARD CONNECTION DETAIL (SIDING/STUCCO)
N.T.S.



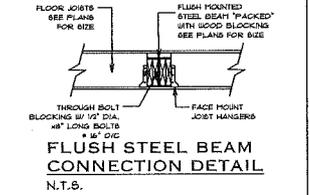
LEDGER BOARD CONNECTION DETAIL (BRICK/STONE)
N.T.S.



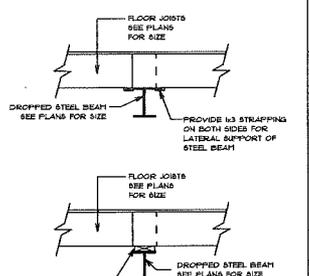
2ND FLOOR DECK/BALCONY CONNECTION DETAIL (BRICK/STONE)
N.T.S.



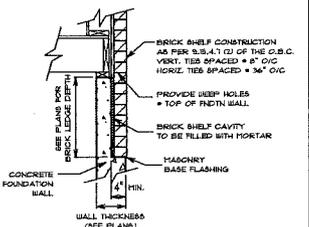
BALCONY SECTION DETAIL
N.T.S.



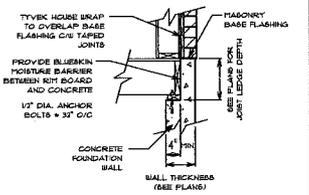
FLUSH STEEL BEAM CONNECTION DETAIL
N.T.S.



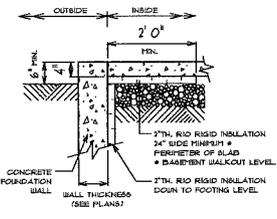
DROPPED STEEL BEAM CONNECTION DETAILS
N.T.S.



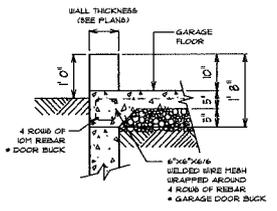
BRICK/STONE LEDGE SECTION DETAIL
N.T.S.



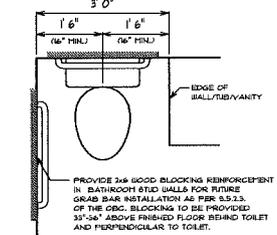
JOIST SHELF SECTION DETAIL
N.T.S.



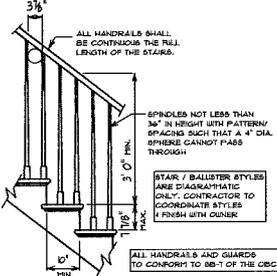
WALKOUT BASEMENT FLOOR SLAB DETAIL
N.T.S.



GARAGE DOOR BUCK DETAIL
N.T.S.



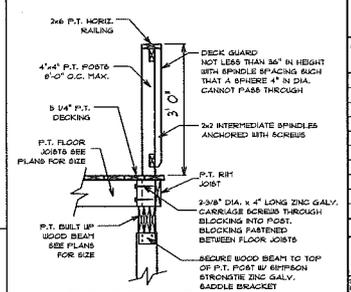
GRAB BAR BLOCKING DETAIL
N.T.S.



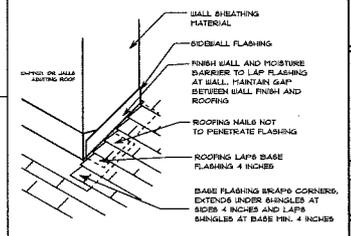
TYPICAL STAIR SECTION DETAIL
N.T.S.

BASE PLANS FOR THE BASIS FOR PERFECT BALANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS INCLUDING THE INSTALLATION AFTER HEATING SYSTEM BOOTSTRAP, REFRIGERATION, DUCTS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

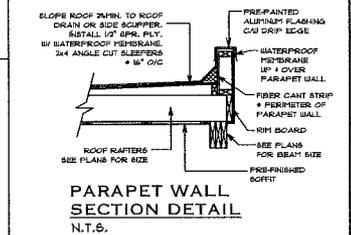
© COPYRIGHT - NAUTA HOME DESIGNS



TYPICAL HANDRAIL SECTION DETAIL
N.T.S.



TYPICAL FLASHING DETAIL
N.T.S.



PARPET WALL SECTION DETAIL
N.T.S.

STANDARD DETAILS

1. ALL DETAILS SHOWN ARE STANDARD AND ARE ILLUSTRATIVE ONLY.
2. NOT ALL STANDARD DETAIL APPLICATIONS ARE APPLICABLE TO THESE PLANS.
3. BUILDER TO VERIFY ALL DETAILS THAT APPLY TO THESE PLANS.
4. ANY ALTERNATIVE SOLUTIONS TO ANY OF THESE DETAIL APPLICATIONS MUST CONFORM TO THE ONTARIO BUILDING CODE.

WWW.NAUTAHOMEDESIGNS.COM 1-866-474-4320
SEARCH OVER 1000 HOUSE PLANS ONLINE,
CUSTOM DESIGNS, ADDITIONS, & RENOVATIONS.

GENERAL NOTES

1. ALL WORK PERFORMED AND MATERIAL SUPPLIED SHALL COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. NAUTA HOME DESIGNS IS NOT LIABLE FOR ANY BREAKS OR OMISSIONS FOUND IN THESE BLUEPRINTS.
3. DO NOT SCALE BLUEPRINTS.

© 2020 NAUTA HOME DESIGNS
ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN PERMISSION OF NAUTA HOME DESIGNS.

REVISIONS

DATE	ITEM

QUALIFICATION INFORMATION

Member of the Ontario Building Trades Association

Ontario

Hank Nauta
OWNER

REGISTRATION INFORMATION

NAUTA HOME DESIGNS
NAUTA HOME DESIGNS
22863
RCN

NAUTA HOME DESIGNS

1-866-474-4320
1789 MERRITTVILLE HWY
WELLAND, ON L3B 5N5

PLAN NUMBER:
A R 1 0 3 0

CONTRACT NUMBER:
2020-342

PROJECT:
ADDITION
1923 SQ. FT.

WIDTH: 78' 6"

DEPTH: 53' 0"

LOCATION:
2875 HWY 56
BIBROOK, ON

TITLE:
STANDARD DETAILS

ISSUED FOR	DATE
REVIEW	MAY 23
2ND REVIEW	JAN 23

DRAWN BY: P.C.
CHECKED BY: H.N.

DATE: JULY 2022
PAGE: 9 OF 10



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	Michael Friday	
Applicant(s)*		
Agent or Solicitor	Steve Kowalyshyn Dynda Poutchey	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

expansion to existing Non Conforming Legal

- Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

- We are looking to Build a large Garage

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

*2575 Regional RD. #56
BinBrook On LOR 100*

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

General Knowledge

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date 07/27/2022

Signature Property Owner(s)

Michael Friday

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage _____
Depth _____
Area _____
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Refer to Submitted Plans

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

13. Date of acquisition of subject lands:
May 31 / 2003

14. Date of construction of all buildings and structures on subject lands:
1956

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

17. Length of time the existing uses of the subject property have continued:
Since New

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____

19. Present Official Plan/Secondary Plan provisions applying to the land:
Mixed Use - Medium Density

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Mixed use Medium Density - Pedestrian Focus (C5a) zone

21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No

If yes, please provide the file number:

21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No

21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No

23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.