



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	HM/A-22:264	SUBJECT PROPERTY:	93 CLINE AVENUE N, HAMILTON
ZONE:	“C/S-1361” (Urban Protected Residential Etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended 96-109

APPLICANTS: Owner – Leonard Kofman & S. O’Neill
 Agent – Team Shane – L. Sayegh

The following variances are requested:

1. A maximum floor area ratio factor of 0.82 shall be permitted, permitting a maximum gross floor area of 250 square metres, instead of the permitted maximum floor area ratio factor of 0.45, allowing a maximum gross floor area of 137.96 square metres.
2. A maximum building height of three (3) storeys and a 10.80 metres shall be permitted, instead of the requirement that no building or structure shall exceed 2 storeys and 9.0 metres in height.
3. A minimum front yard depth of 3.80 metres shall be permitted, instead of the minimum required front yard depth of 6.0 metres.
4. A minimum westerly side yard of 0.40 metres shall be permitted, instead of the minimum required side yard of 0.9 metres.
5. An uncovered porch which does not extend more than 1.0 metres above the first floor level, shall be permitted to project into the required front yard and distant 1.16 metres from the street line, instead of the requirement that an uncovered porch may project into a required yard if distant at least 1.5 metres from the street line.
6. One (1) parking space shall be provided, instead of the four (4) parking spaces required.
7. An eave/gutter may project 0.41 metres into the required westerly side yard and extend right to the westerly lot line, instead of the requirement that an eave/gutter may project into a required side yard not more than one-half of its width (i.e. 0.45 metres), or 1.0 metre, whichever is the lesser.

PURPOSE & EFFECT: Proposal to construct a third-storey addition with a gross floor area of 60.50 square metres and the reconstruction of an uncovered porch in the front yard of the existing single-family dwelling, notwithstanding that:

Notes:

1. It is unclear from the Elevation Drawings provided if the lower level of the principle dwelling shall be considered a “storey” as per the definition of “basement” provided in Hamilton Zoning By-law 6593. Therefore, the number of storeys being proposed could not be confirmed and variance No. 1 has been written as requested by the applicant. Note that as per By-law No. 96-109, no building shall exceed two (2) storeys, and 9.0 metres in height.
2. Please note that the subject lot is a lot of record, as defined in Hamilton Zoning By-law No. 6593. Therefore, as per Section 18(3)(v) the minimum required westerly side yard is 0.9 metres, as opposed to the 1.2 metre side yard indicated in the submitted application.
3. Please note that should Variance No. 4 be granted to allow for a minimum westerly side yard of 0.40 metres, as per Section 18(3)(vi)(b), an eave/gutter would be permitted to project 0.20 metres into the westerly side yard. Therefore, variance No. 7 has been included to allow for a projection of 0.41 metres for the eave/gutter as indicated on the submitted Site Plan. The applicant shall ensure that eaves and gutters do not encroach beyond the property line onto the adjacent private property. Otherwise, the applicant shall be required to enter into an encroachment agreement and establish the necessary maintenance easements, which must be properly registered on title with the abutting neighbour.
4. Please note that the percentage of the gross area of the front yard that is landscaping has not been indicated. As per Section 18(14)(i) and 18A(14a), not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials. Additional variances may be required if compliance with Section 18(14)(i) and 18A(14a), is not possible.
5. The proposed development is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setbacks and construction types.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 8, 2022
TIME:	2:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

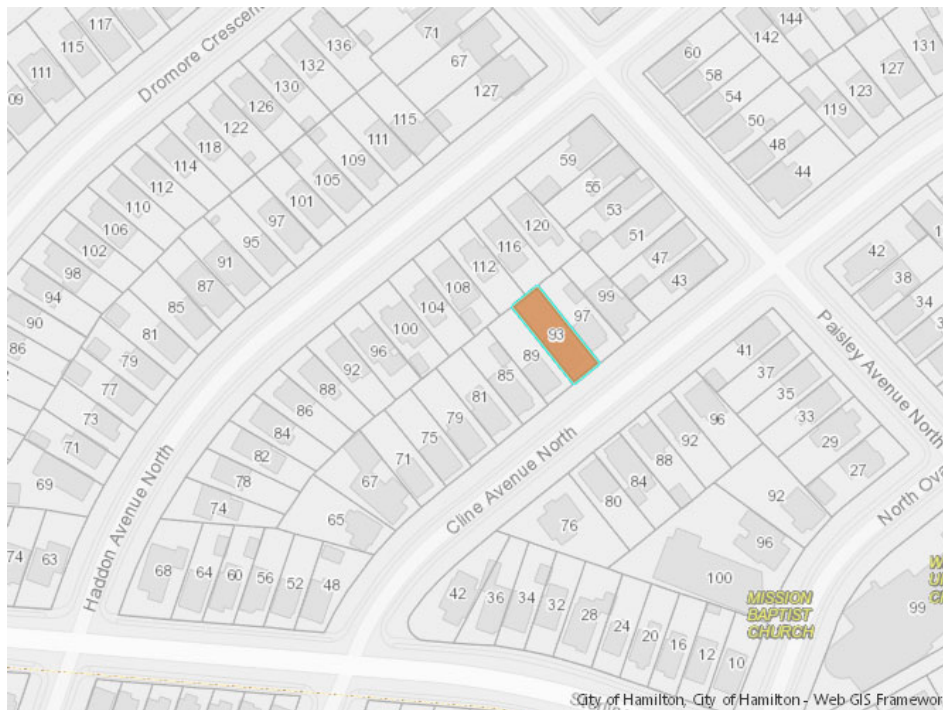
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 **Subject Lands**

DATED: August 23, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

RENOVATION TO: KOFMAN

93 Cline Avenue N Hamilton ON L8S 3Z5

Scope of work:
1. Proposing a third level addition to accommodate additional bedrooms, one ensuite bathroom and office space.

GENERAL NOTES

- O.B.C. TO BE UNDERSTOOD AS ONTARIO BUILDING CODE 2012 LATEST EDITION AND AMENDMENTS.
- ALL STAGES OF CONSTRUCTION SHALL CONFORM WITH O.B.C.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER.
- ALL WALL & CEILINGS BETWEEN DWELLING UNIT AND GARAGE ARE TO BE GAS PROOFED AND INSULATED TO ENERGY EFFICIENCY SUMMARY
- SEE ELEVATIONS AND FLOOR PLANS FOR WALL AND CEILING HEIGHTS. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER.
- WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE SEPARATED WITH MINIMUM 2 MIL. POLY UNLESS OTHERWISE NOTED ON DRAWINGS.
- SMOKE AND CO DETECTORS TO BE LOCATED AT EACH LEVEL. SMOKE ALARMS LOCATED IN EACH BEDROOM AND ARE TO BE INTERCONNECTED AS PER 9.10.19, 9.33.4.
- ALL LIGHTING AND ELECTRICAL AS PER O.B.C. 9.34.
- ATTIC ACCESS TO BE INSULATED MIN. R20 AND WEATHER STRIPPED.
- WHERE CERAMIC FLOORING IS INSTALLED THE SUB-FLOOR SHALL BE REINFORCED AS PER O.B.C. 9.30.3.3.
- PROVIDE MIN. 6"-5" HEADROOM BELOW ALL BEAMS & DUCTWORK.
- STUD WALL REINFORCEMENT SHALL BE INSTALLED IN "MAIN BATHROOMS" WITHIN A DWELLING UNIT ACCORDING TO OBC 9.5.2.3
- BLOCKING IN WALLS - WHERE INDICATED, BLOCKING IS TO BE INSTALLED BETWEEN OR AGAINST STUDS IN THE WALLS ADJACENT TO THE TOILET, SHOWER AND/OR BATH/TUB TO SUPPORT INSTALLATION OF GRAB BARS IN ACCORDANCE WITH OBC 9.2.2.3
- BLOCKING LOCATION IN WALLS TO BE IN ACCORDANCE WITH GRAB BAR REQUIREMENTS OF OBC 9.3.

MECHANICAL

- ALL EXHAUST FANS TO BE VENTED TO EXTERIOR. EXHAUST FAN DUCT SIZE AS PER OBC 9.32 OR PART 6 (F30 STANDARD). VENTED RANGE HOODS TO BE VENTED TO EXTERIOR WITH NON-COMBUSTIBLE DUCTING
- DRYER VENTING AS PER OBC 9.32.1.4
- HVAC DRAWINGS TO BE DESIGNED BY OTHERS AS PER OBC DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING PRIOR TO FINALIZED WORKING DRAWINGS. DRAWINGS NOT FOR APPROVAL JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
- HRV / ERV TO BE BALANCED POST CONSTRUCTION
- UNLESS EXEMPT BY ENERGY AUDIT, EACH DWELLING MUST HAVE A DRAIN WATER HEAT RECOVERY AS PER ENERGY EFFICIENCY PACKAGE SELECTED. ENSURE A MIN. OF (2) SHOWER DRAIN INTO ONE UNIT.
- EVERY STOREY WHERE PLUMBING IS OR MAY BE INSTALLED INCLUDING THE BASEMENT OF HOUSE EXTEND VENTING FOR FUTURE CONNECTIONS PROVIDE A VENT PIPE AT LEAST 1 1/2" IN SIZE AS PER OBC 1.3.5.5.4.(2)
- BACKWATER VALVE REQUIRED TO BE INSTALLED ON THE SANITARY BUILDING DRAIN AS PER OBC 7.4.6.4. (MAINLINE ADAPT-A-VALVE OR APPROVED EQUAL)
- PROVIDE SUMP PIT AND SEALED COVER FOR DRAINAGE AS PER OBC 9.14

DESIGNER

- REGISTRATION NAME OF REGISTRATION FIRM TBOUMA DESIGN INC. REGISTRATION NUMBER ASSIGNED BY DIRECTOR 104857
- CONTRACTOR IS TO OBTAIN QUALIFIED DESIGNERS FOR ALL ENGINEERS/ STRUCTURAL MEMBERS AND SYSTEMS WHERE INDICATED DESIGNED BY OTHERS ON DRAWINGS
- DESIGNER ASSUMES NO RESPONSIBILITY FOR FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DRAWINGS
- SINGLE PAGES OF THESE DRAWINGS NOT TO BE READ INDEPENDENTLY OF ALL PAGES OF THE WHOLE DRAWING SET.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORKING DRAWING SET. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK.
- ANY MODIFICATIONS TO THE DESIGN SHALL NOT BE MADE WITHOUT AGREEMENT BETWEEN DESIGNER AND CONTRACTOR. DOCUMENTATION SHALL BE THE ONLY FORM OF ACCEPTANCE.
- WHEN DRAWINGS ARE TO BE MODIFIED OR CHANGES ARE TO BE MADE THE BUILDING DEPARTMENT WILL BE NOTIFIED FOR PURPOSE OF REVIEW PRIOR TO CONSTRUCTION.
- UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR OR SUB-CONTRACTOR PROCEED IF THERE IS ANY UNCERTAINTY. DESIGNER SHALL BE CONTACTED.
- THE DRAWINGS THAT ARE APPROVED AND STAMPED BY THE BUILDING DEPARTMENT ARE TO BE THE ONLY TRUE DRAWINGS AND ARE TO BE ACCESSIBLE TO ALL CONTRACTORS AND SUB-CONTRACTORS AT ALL TIMES WITHIN THE JOB SITE TILL ALL WORK IS COMPLETED.

STAIRS

STAIR TYPE	RISE		RUN		TREAD DEPTH		STAIR HEAD WIDTH ROOM	
	MAX	MIN	MAX	MIN	MAX	MIN	MAX	MIN
PRIVATE	7" 7/8"	5"	14"	10"	14"	9 1/4"	33 7/8"	6'-5"
PUBLIC	7"	5"	N/A	11"	N/A	11"	35 1/2"	6'-9"

- ALL STAIR COMPONENTS TO CONFORM TO O.B.C. STANDARDS.
- MAX. NOSING = 1" UNIFORM RUN / RISE
- GUARDS
 - MIN HEIGHT = 36"
 - 4" MAXIMUM OPENINGS
 - NON-CRIMBLEABLE

EXTERIOR GUARDS:
- 2'4" TO 5'-11" ABOVE FINISHED GRADE MIN. HEIGHT = 36"
- OVER 5'-11" ABOVE GRADE MIN. HEIGHT = 42"

ALL GUARDS TO BE CONSTRUCTED TO O.B.C. STANDARDS

FLOOR AREA CALCULATION		
LEVEL	AREA	STATUS
BASEMENT	50.42	Existing
MAIN FLOOR	90.21	Existing
SECOND FLOOR	52.47	Existing
THIRD FLOOR	53.37	New
	246.47 m²	

DOORS AND WINDOWS

- ALL EXTERIOR DOORS TO BE METAL INSULATED OR WOOD WITH STORM DOOR WITH WEATHER STRIPPING
- DOOR BETWEEN GARAGE AND DWELLING TO BE WEATHER STRIPPED AND GAS TIGHT EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE.
- DOOR AT COLD STORAGE TO BE EXTERIOR TYPE DOOR.
- ALL WINDOWS AND DOORS AS PER ENERGY EFFICIENCY DESIGN SUMMARY OR ATTACHED BOP BY OTHERS.
- ALL EXTERIOR DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS: O.B.C. 9.7.5.2. AND 9.7.6.
- FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPERABLE WINDOW WITH A MINIMUM UNOBSTRUCTED OPEN AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15"
- MAIN ENTRANCE DOORS TO HAVE DOOR VIEWER UNLESS TRANSPARENT GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT.
- UNDERCUT ALL DOORS TO ROOMS WITHOUT RETURN AIR INLET.
- EGRESS WINDOWS / WELLS SHALL BE AS PER OBC 9.9.10.1

STRUCTURAL

- ALL LUMBER TO COMPLY WITH O.B.C SPECIFICATIONS AND STANDARDS.
- ALL STRUCTURAL LUMBER TO BE OF SPRUCE #2 OR BETTER.
- ALL PRE-ENGINEERED FLOOR AND ROOF TRUSS DESIGN AND LAYOUT TO BE DESIGNED BY OTHERS AND CONFORM TO O.B.C SPECIFICATIONS ALL DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING, NOT FOR APPROVAL JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
- AS NOTED ON DRAWINGS STUDS TO BE USED AS BEARING POINTS WHERE IT IS APPLICABLE.
- ALL BEAMS TO HAVE MINIMUM 3 1/2" BEARING AT BOTH ENDS BEARING TO BE CONTIGUOUS TO FOUNDATION
- DOUBLE JOISTS AROUND STAIRWELL UNLESS OTHERWISE NOTED BY PRE-ENGINEERED FLOOR DESIGNER.
- TRUSS FABRICATORS ENGINEER CERTIFIED DRAWINGS REQUIRED FOR APPROVAL BY BUILDING DEPARTMENT
- SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS (IN WIDTH EQUAL TO WIDTH OF BEARING POINT OVER) VERIFY WITH TRUSS DRAWINGS

FOUNDATION

- CONTRACTOR TO VERIFY SOIL CONDITIONS PRIOR TO PLACING OF FOOTINGS. ANY ABNORMALITIES TO BE REPORTED TO DESIGNER
- STEP FOOTINGS TO BE DESIGNED AS PER O.B.C. 9.15.3.9.
 - MAX RISE SHALL NOT EXCEED 23 5/8"
 - MIN RUN SHALL NOT BE LESS THAN 23 5/8"
- ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL MIN. 4'-0" BELOW FINISHED GRADE AND MIN. BEARING CAPACITY OF 75 KP_a
- WALL HEIGHTS AND THICKNESS TO CONFORM TO O.B.C. 9.15.4.

MASONRY

- ALL FLASHING TO CONFORM TO O.B.C. 9.20.13
- ALL BRICK OR STONE SILLS TO BE FLASHED IN ACCORDANCE WITH THE O.B.C.
- ALL STEEL LINTELS FOR MASONRY TO HAVE MINIMUM 6" BEARING EACH END AND SUPPORTED BACK TO FOUNDATION
- WHERE NEW POINT LOAD(S) FROM ABOVE BEAR ON EXISTING BLOCK WALLS. FILL TOP COARSE SOLID MIN. 7 1/2" DEEP AS PER 9.15.5.2.

ENERGY EFFICIENCY COMPLIANCE DESIGN

SB-12, TABLE 3.1.1.21. (IP) (ZONE 1)
THERMAL PERFORMANCE REQUIREMENTS FOR ADDITIONS TO EXISTING BUILDINGS FOR HEATING OTHER THAN ELECTRIC SPACE HEATING

CEILING WITH ATTIC SPACE	R80
CEILING WITHOUT ATTIC SPACE	R51
EXPOSED FLOOR	R31
WALLS ABOVE GRADE	R19 + R6d
BASEMENT WALLS	R20d or R12 + R10d
BELOW GRADE SLAB	R5
EDGE OF BELOW GRADE SLAB	R10
HEATED SLAB	R10
WINDOWS AND SLIDING GLASS DOORS	MAX U-VALUE 1.6 ENERGY RATING 25
SKYLIGHTS	MAX U-VALUE 2.8
SPACE HEATING EQUIPMENT	MIN. AFUE 80%
HRV	MIN. SRE 75%
DOMESTIC HOT WATER HEATER	MIN. EFF. 80%

AREA CALCULATIONS: CONFORMING TO OBC 3.1.1.(7).
TOTAL PROPOSED GROSS AREA OF WALLS:
TOTAL PROPOSED GLAZING:
RATIO(%):

NOTES:
1. WHERE A MINIMUM R VALUE, MAXIMUM U VALUE, OR MINIMUM EFFECTIVE R VALUE ARE SPECIFIED FOR A COMPONENT, THE COMPONENT ONLY NEEDS TO CONFIRM TO ONE OF THE REQUIREMENTS
2. d) MEANS CONTINUOUS INSULATION

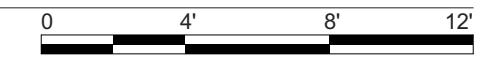
3. WHERE A DWELLING UNIT HAS A WALKOUT BASEMENT, THE THERMAL PERFORMANCE OF THE EXTERIOR BASEMENT WALL SHALL BE NOT LESS THAN THAT REQUIRED FOR THE ABOVE GRADE WALL FOR:
a) THE BASEMENT WALL CONTAINING THE DOOR OPENING AND
b) ANY BASEMENT WALL THAT HAS AN EXPOSED WALL ABOVE THE GROUND LEVEL EXCEEDING 50% OF THAT BASEMENT WALL AREA.

FOR HOMES OLDER THAN 5 YEARS

- THE ENERGY EFFICIENCY OF EXISTING BUILDINGS SHALL COMPLY WITH PART 11 OF DIVISION B OF THE BUILDING CODE FOR RENOVATION SB-12, 11.1.1. ENERGY EFFICIENCY
- CONSTRUCTION MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF AN EXISTING BUILDING, BY THE REUSE, RELOCATION OR EXTENSION OF THE SAME OR SIMILAR MATERIALS OR COMPONENTS, TO RETAIN THE EXISTING CHARACTER, STRUCTURAL UNIQUENESS, HERITAGE VALUE, OR AESTHETIC APPEARANCE OF ALL OR PART OF THE BUILDING, IF THE CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING, AS PER 11.3.3.1. BASIC RENOVATION (SEE APPENDIX A)
- WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIER IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)



1
A0.01 3D PROPOSED FRONT
SCALE: 3/16" = 1'-0"



	HABITABLE ROOMS CHART	
	EXISTING	PROPOSED
BASEMENT	7	7
MAIN FLOOR	1	1
SECOND FLOOR	1	1
THIRD FLOOR	1	1
TOTALS	10	10

THIS CHART RELATES TO THE CITY OF HAMILTON'S 6593 ZONING BY-LAW FOR PARKING SPACES IN DESIGNATED URBAN AREAS. FOR EVERY 8 HABITABLE ROOMS, 3 PARKING SPACES IS REQUIRED (2 IN X 6.0M). EVERY ADDITIONAL ROOMS REQUIRED 0.5 PARKING SPACES (ROUNDED UP). PLEASE NOTE THAT A VARIANCE WILL BE REQUIRED IF THE PARKING REQUIREMENT IS NOT MET



KEY PLAN



790 SHAVER RD. ANCASTER
LG6 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

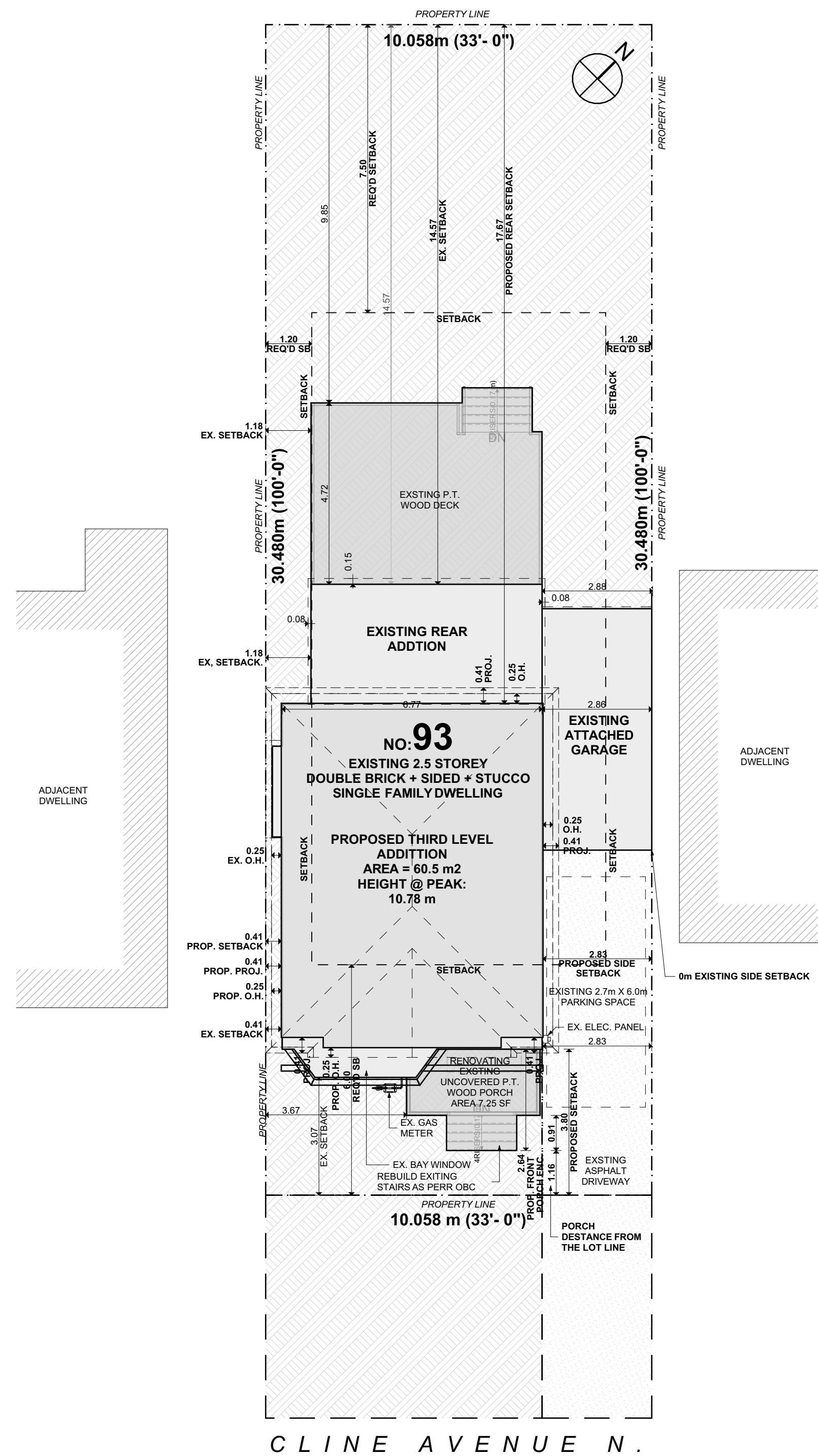
DRAWING:
TITLE SHEET / GENERAL INFO

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29	DRAWING NO:
SCALE: AS NOTED	A0.01
PROJECT NO: ---	

SITE PLAN LEGEND	
	EXISTING DWELLING
	NEW ADDITIONS
	COVERED PORCHES
	DECK / PATIO
	LANDSCAPE AREA
	HARDSCAPE AREA
	DRIVEWAY
	MUNICIPAL SETBACKS
	PROPERTY LINE
	EXISTING TO BE REMOVED



C L I N E A V E N U E N .

SITE STATS

PROJECT NAME: KOFMAN ADDRESS: 93 Cline Avenue N POSTAL CODE: L8S 3Z5 MUNICIPALITY: HAMILTON MINOR VARIANCE # TBD				Last edited by: M.C. Date: 2022.07.21	
BYLAW #	COMMUNITY	ZONING	SINGLE FAMILY DWELLING	EXCEPTION: S-1361	C
LOT INFO	Allowable	Existing	Proposed		
LOT AREA (m²)	360	306.57	AS EX		
LOT FRONTAGE	12	10.058	AS EX		
LOT WIDTH (m)	12	10.058	AS EX		
LOT DEPTH (m)	N/A	30.480	AS EX		
AREA CALCULATIONS	Allowable	Existing	Proposed	VARIANCE	
GROSS FLOOR AREA (m²)	137.95	222.75	249.56		
Gross Floor Area Includes:					
Basement area	45.50	45.50			
First floor area	82.50	82.50			
Second floor area	61	61			
Allowed floor area	33.75	60.50			
FLOOR AREA RATIO(%)	45%	72.66%	81.39%	VARIANCE	
Total Gross Floor Area / Lot Area					
GROUND FLOOR AREA (m²)	N/A	100.25	AS EX		
LOT COVERAGE (%)	N/A	0.32701	AS EX		
BUILDING HEIGHT (m)	Allowable	Existing	Proposed	VARIANCE	
Skipped	11	9	10.78		
Stories	2.5	2.5	3		
SETBACKS	Allowable	Existing	Proposed	VARIANCE	
FRONT (m)	6.00	3.07	3.89		
REAR (m)	7.50	14.57	17.67		
LEFT (m)	1.2	0.41	0.41		
RIGHT (m)	1.2	0.00	2.83		
ENCROACHMENTS	Allowable	Existing	Proposed	VARIANCE	
ROOF PROJECTION (m)	1.5	0.41	0.41		
FRONT/REAR/SIDE	1	0.41	0.41		
UNCOVERED FRONT PORCH	3	2.64	2.64	AS EX AS EX AS EX	
FRONT PORCH SETBACK	1.5	1.16	1.16	AS EX AS EX AS EX	
LANDSCAPING	Allowable	Existing	Proposed	VARIANCE	
LANDSCAPE AREA (%)	50%	60%	AS EX		
STREET WIDTH (m)	7.00	-	AS EX		
DRIVEWAY WIDTH (m)	2.70	2.83	AS EX		
PARKING	Required	Existing	Proposed	VARIANCE	
Habitable Rooms:	3	9	11		
ACCESSORY BUILDINGS	Allowable	Existing	Proposed	VARIANCE	
SIZE (m²)	N/A	N/A	N/A		
HEIGHT (m)	4	N/A	N/A		
SIDE/REAR SETBACK (m)	0.45	N/A	N/A		
COVERAGE (%)	N/A	N/A	N/A		



790 SHAVER RD. ANCASTER
L9G 3K9 ON

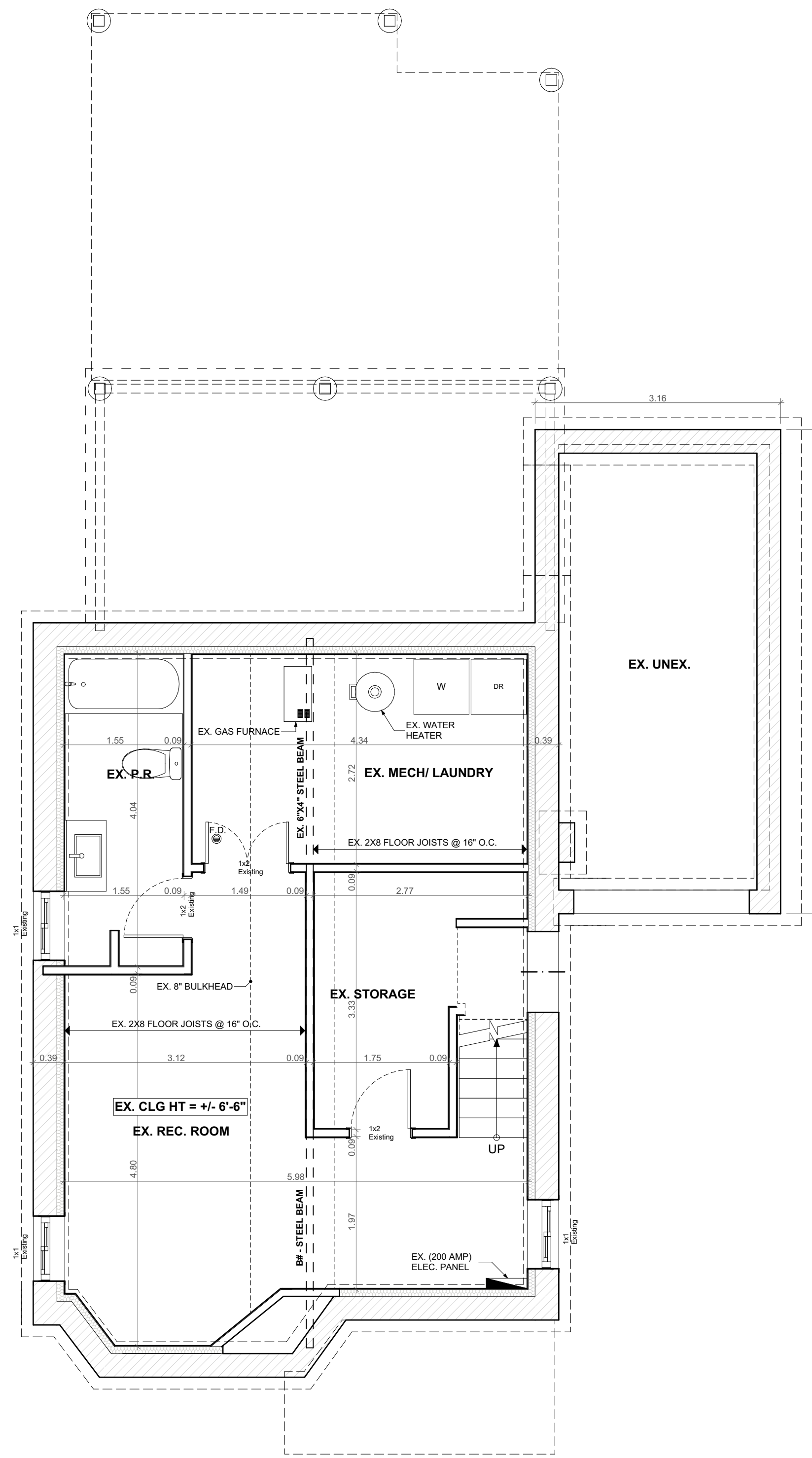
NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

DRAWING:
SITE PLAN

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5



1 EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

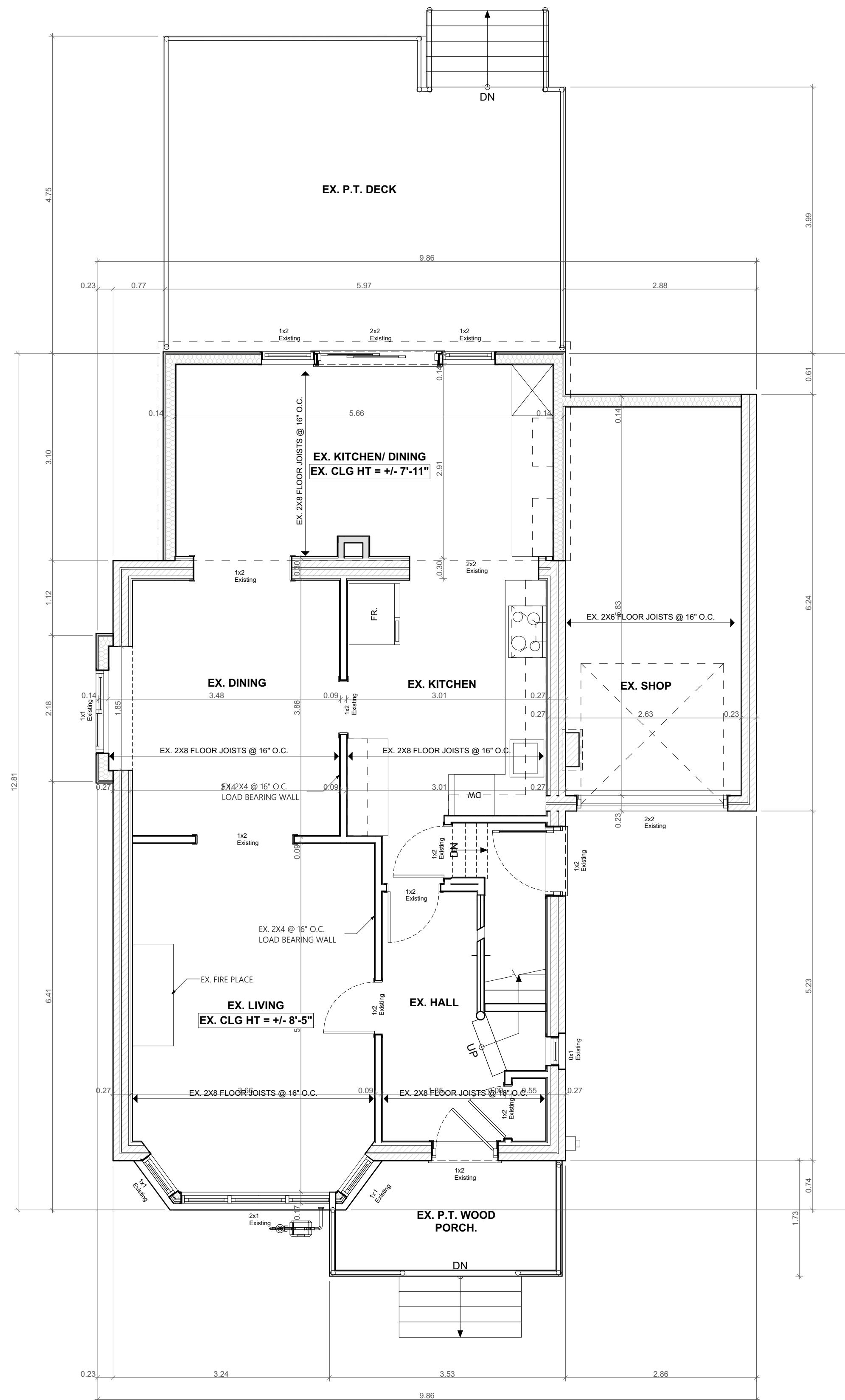
DRAWING:
EXISTING BASEMENT PLAN

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29	SCALE: AS NOTED	DRAWING NO: A1.01
	PROJECT NO: ---	

Printed: 2022-07-29 @ 10:15 AM



1 EXISTING MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

DRAWING:
**EXISTING MAIN FLOOR
PLAN**

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

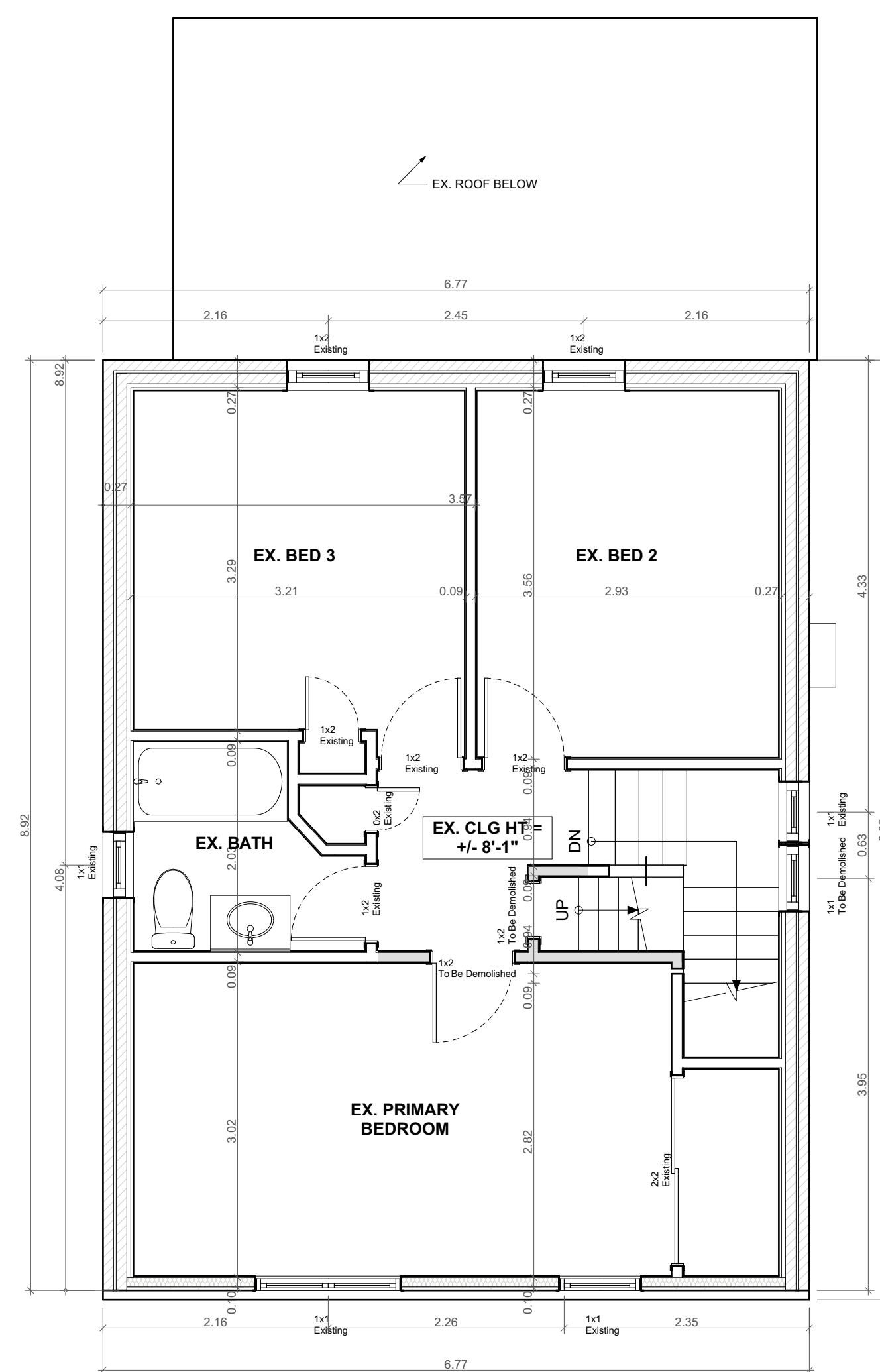
DATE: 2022-07-29

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:
A1.02

Printed: 2022-07-29 @ 10:15 AM



1 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

TEAM SHANE

790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

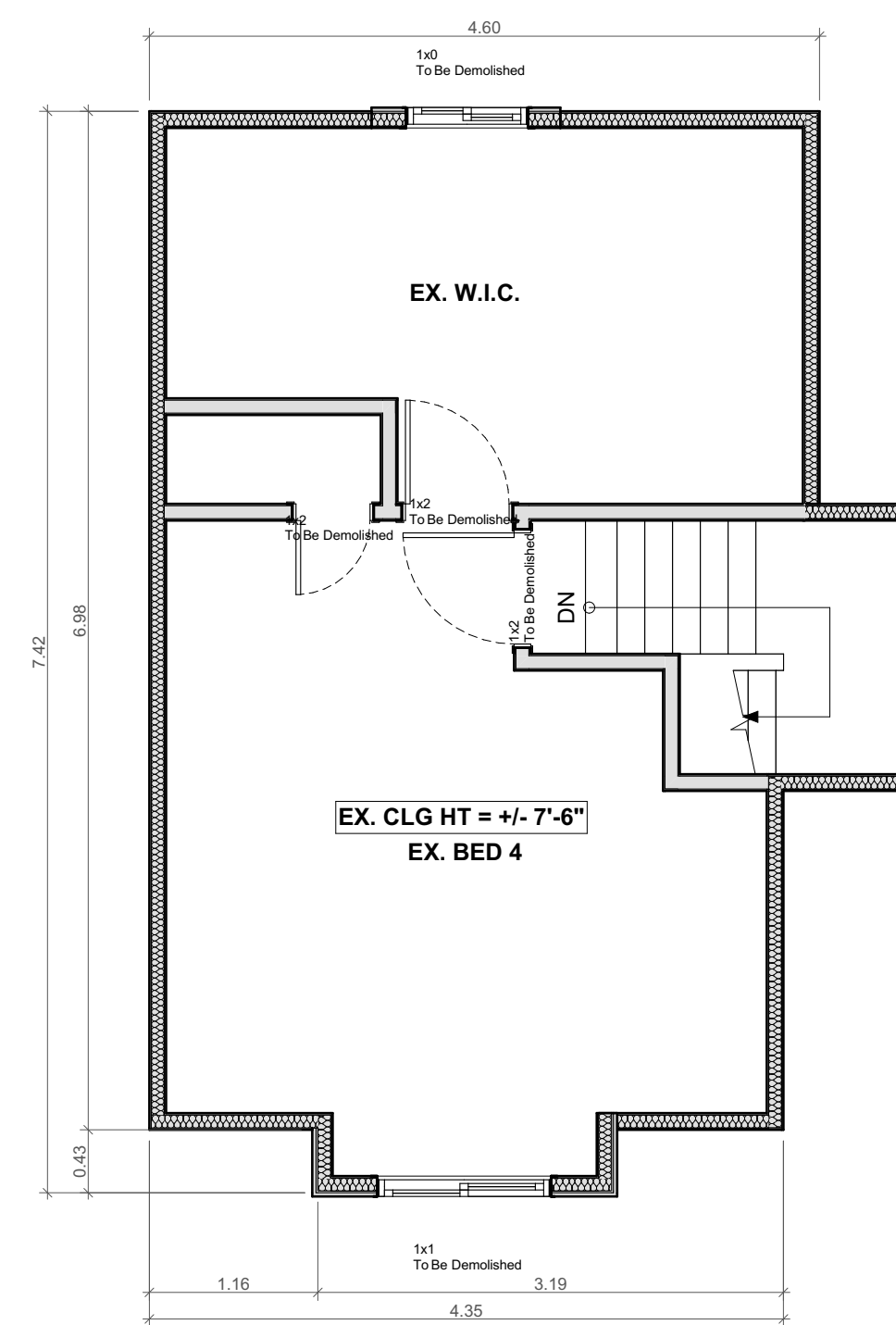
NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

DRAWING:
EXISTING SECOND FLOOR PLAN

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29	SCALE: AS NOTED	DRAWING NO: A1.03
	PROJECT NO: ---	



1 EXISTING ATTIC PLAN

SCALE: 1/4" = 1'-0"



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

**DRAWING:
EXISTING ATTIC FLOOR
PLAN**

**PROJECT:
KOFMAN**

**PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5**

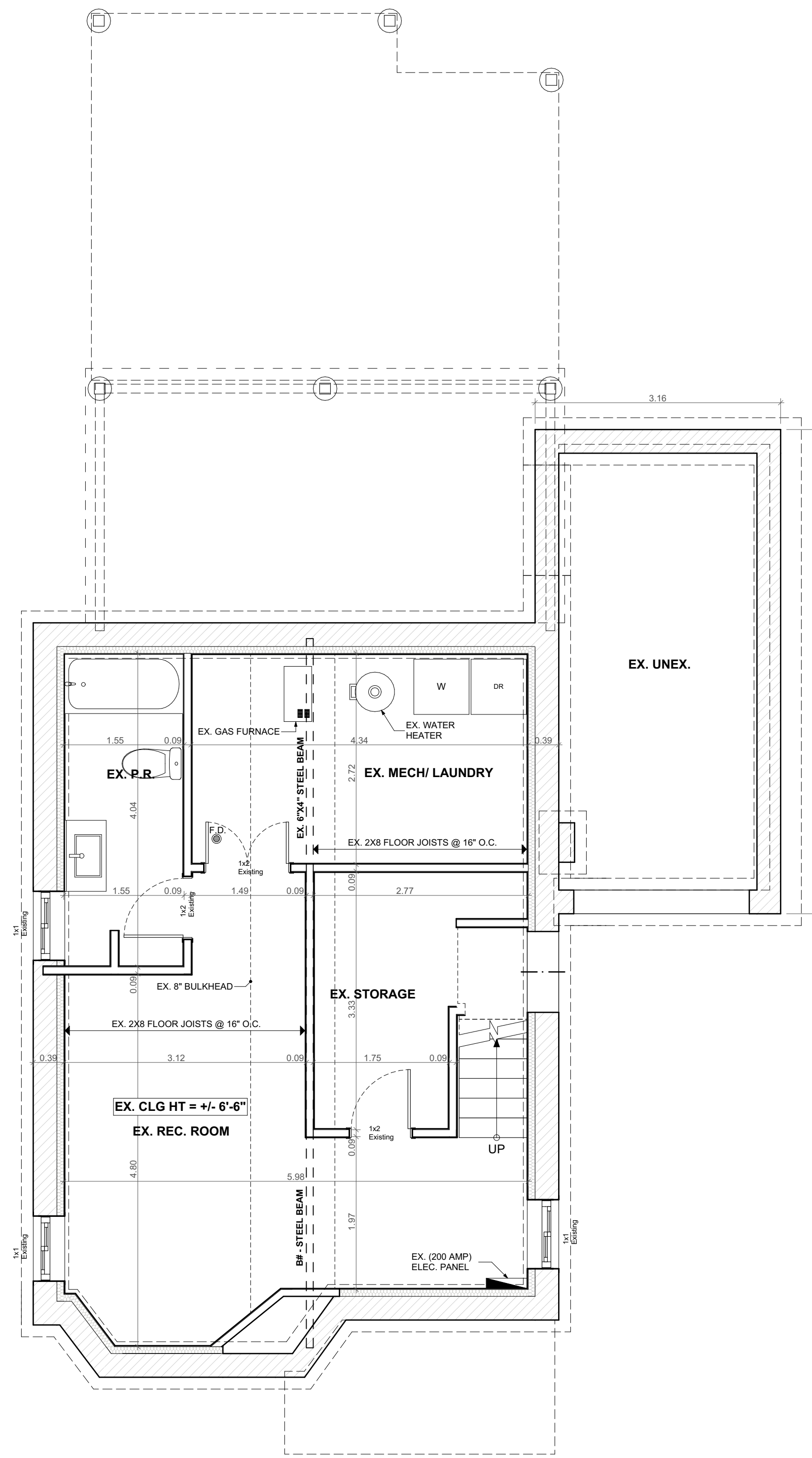
DATE: 2022-07-29

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:
A1.04

Printed: 2022-07-29 @ 10:15 AM



1 PROPOSED BASEMENT PLAN

SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
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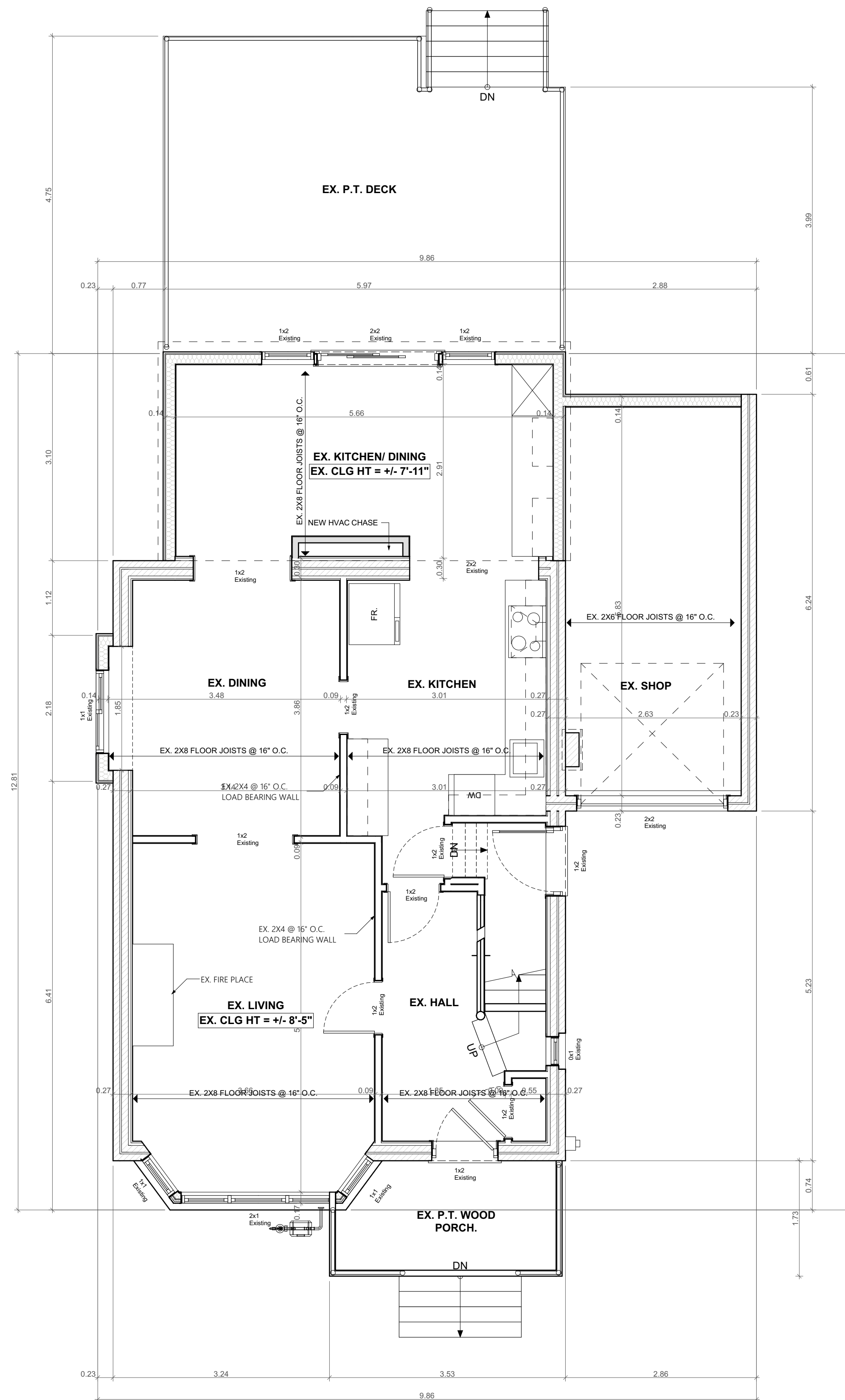
DRAWING:
**PROPOSED BASEMENT
PLAN**

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29	SCALE: AS NOTED	DRAWING NO: A1.05
PROJECT NO: ---		

Printed: 2022-07-29 @ 10:15 AM



1 PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
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DRAWING:
**PROPOSED MAIN FLOOR
PLAN**

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

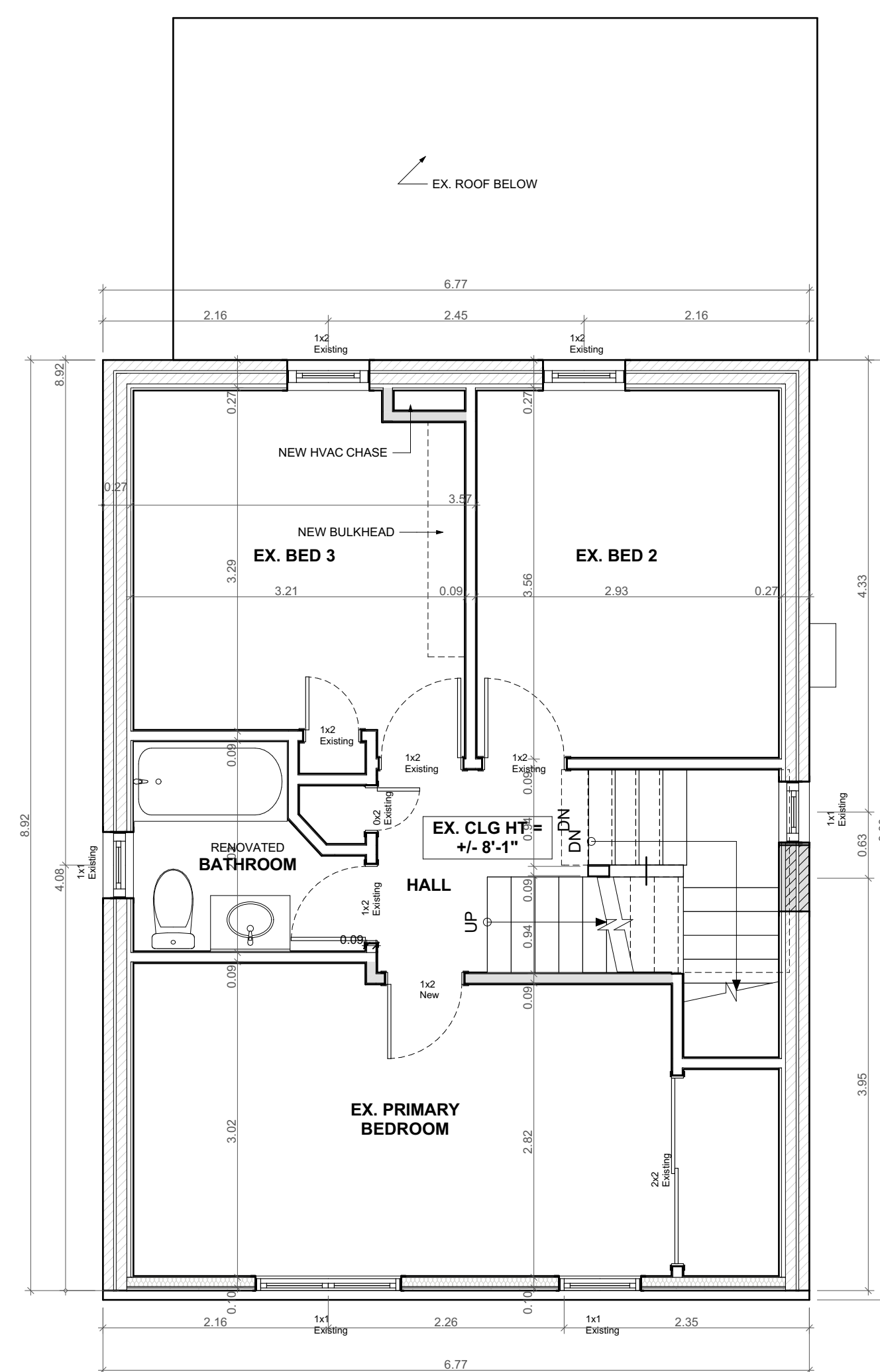
DATE: 2022-07-29

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:
A1.06

Printed: 2022-07-29 @ 10:15 AM



1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

DRAWING:
**PROPOSED SECOND
FLOOR PLAN**

PROJECT:

KOFMAN

PROJECT ADDRESS:

93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29

SCALE:

AS NOTED

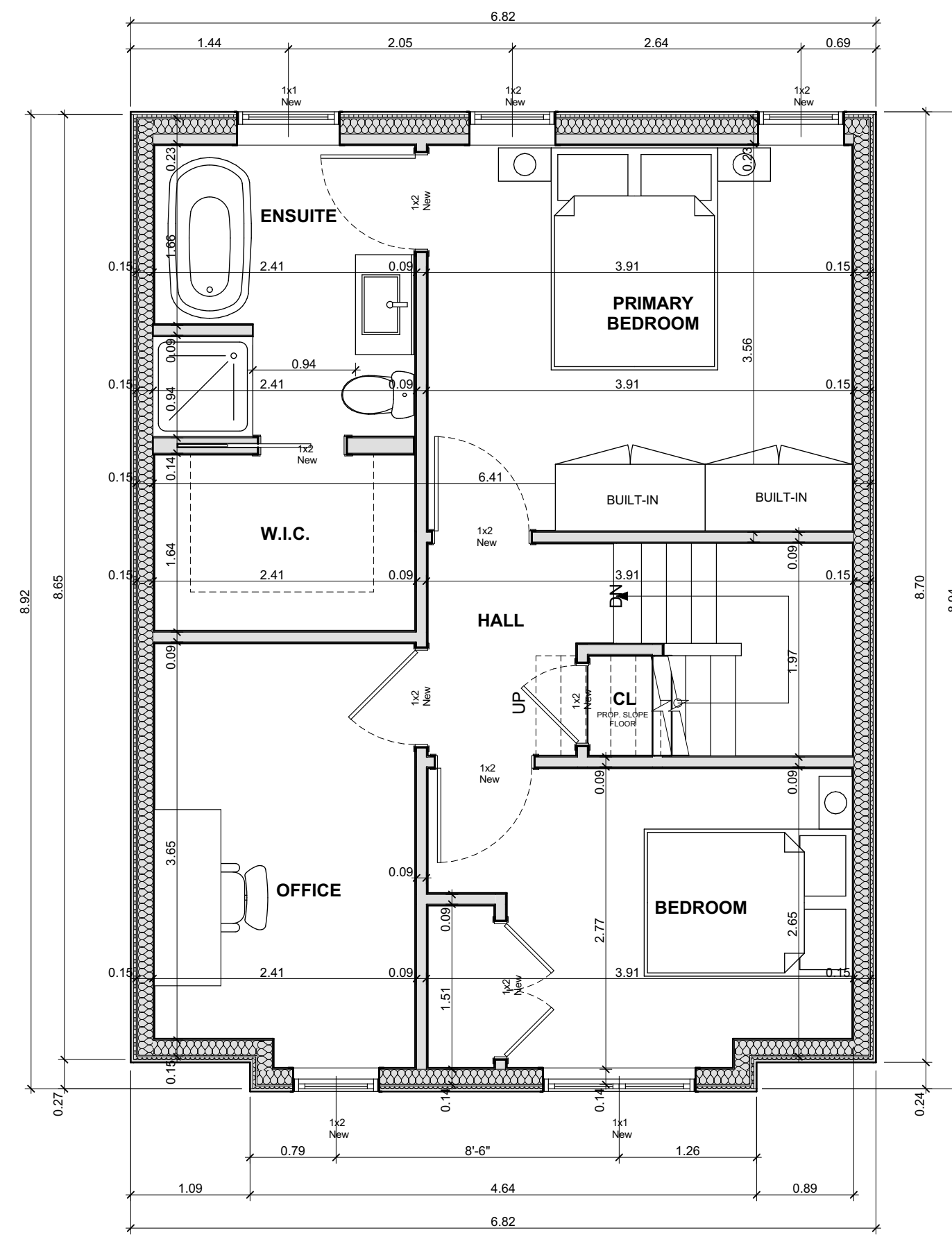
PROJECT NO:

DRAWING NO:

A1.07

Printed: 2022-07-29 @ 10:15 AM

PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED THIRD STOREY ADDITION
AREA = 60.50 m2



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR CONSTRUCTION

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DRAWING:
PROPOSED THIRD FLOOR PLAN

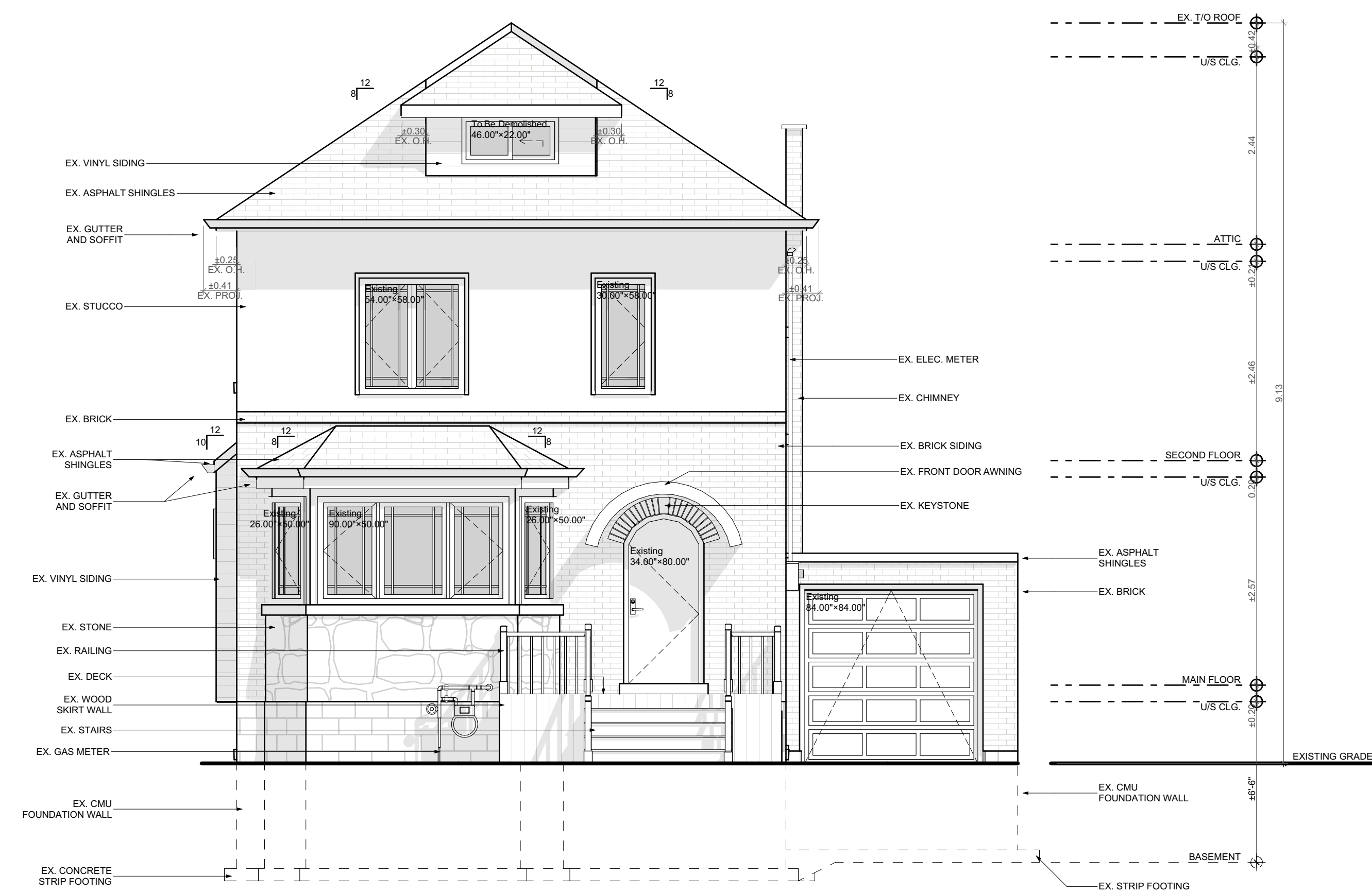
PROJECT:
KOFMAN
PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:
A1.08



1 EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TEAM SHANE

790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

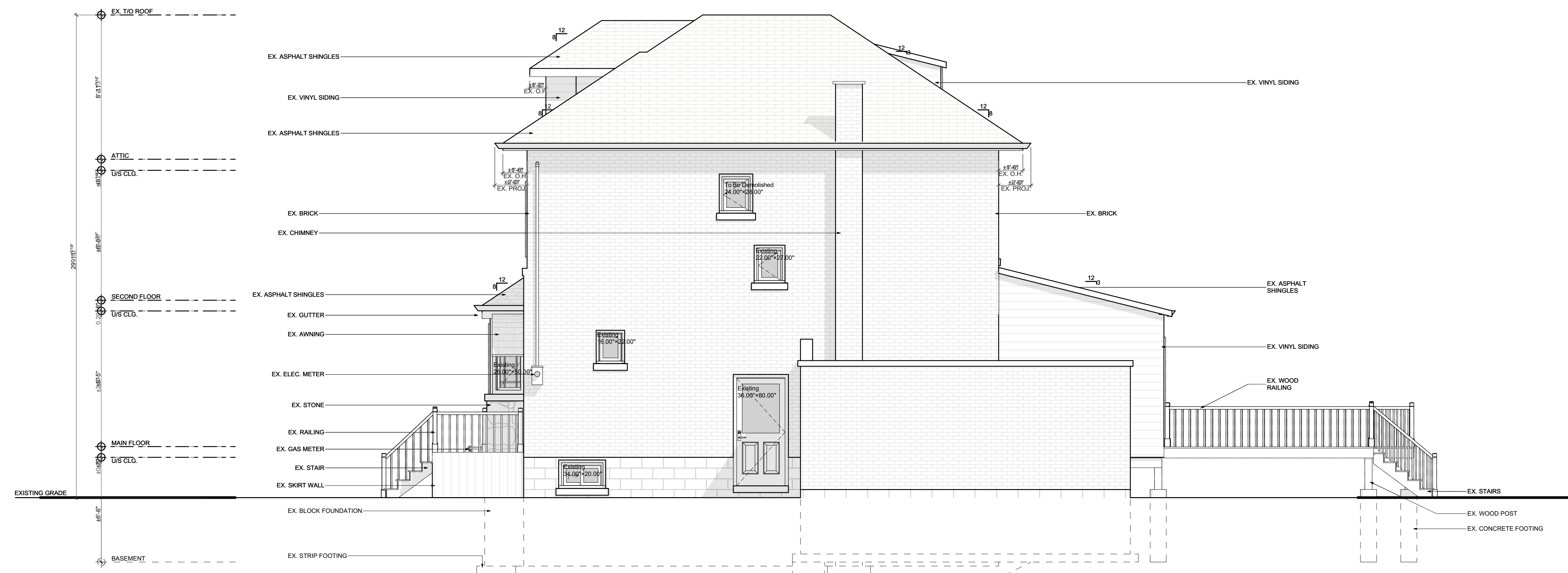
DRAWING:
EXISTING FRONT ELEVATION

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29	SCALE: AS NOTED	DRAWING NO: A2.01
PROJECT NO: ---		

Printed: 2022-07-29 @ 10:15 AM



1 EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

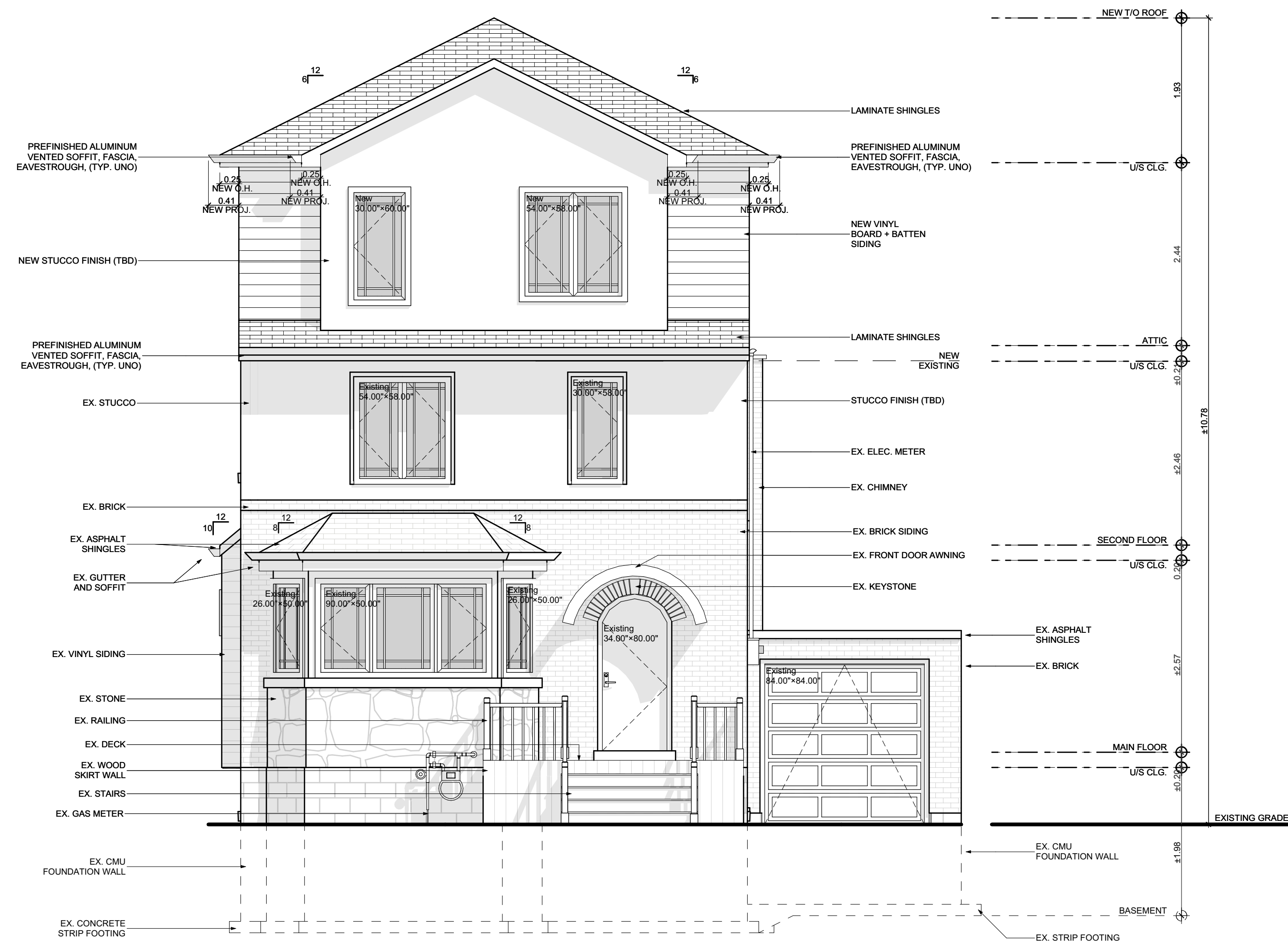
DRAWING:
**EXISTING RIGHT
ELEVATION**

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29	SCALE: AS NOTED	DRAWING NO: A2.04
	PROJECT NO: ---	

Printed: 2022-07-29 @ 10:15 AM



1 PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

DRAWING:
**PROPOSED FRONT
ELEVATION**

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

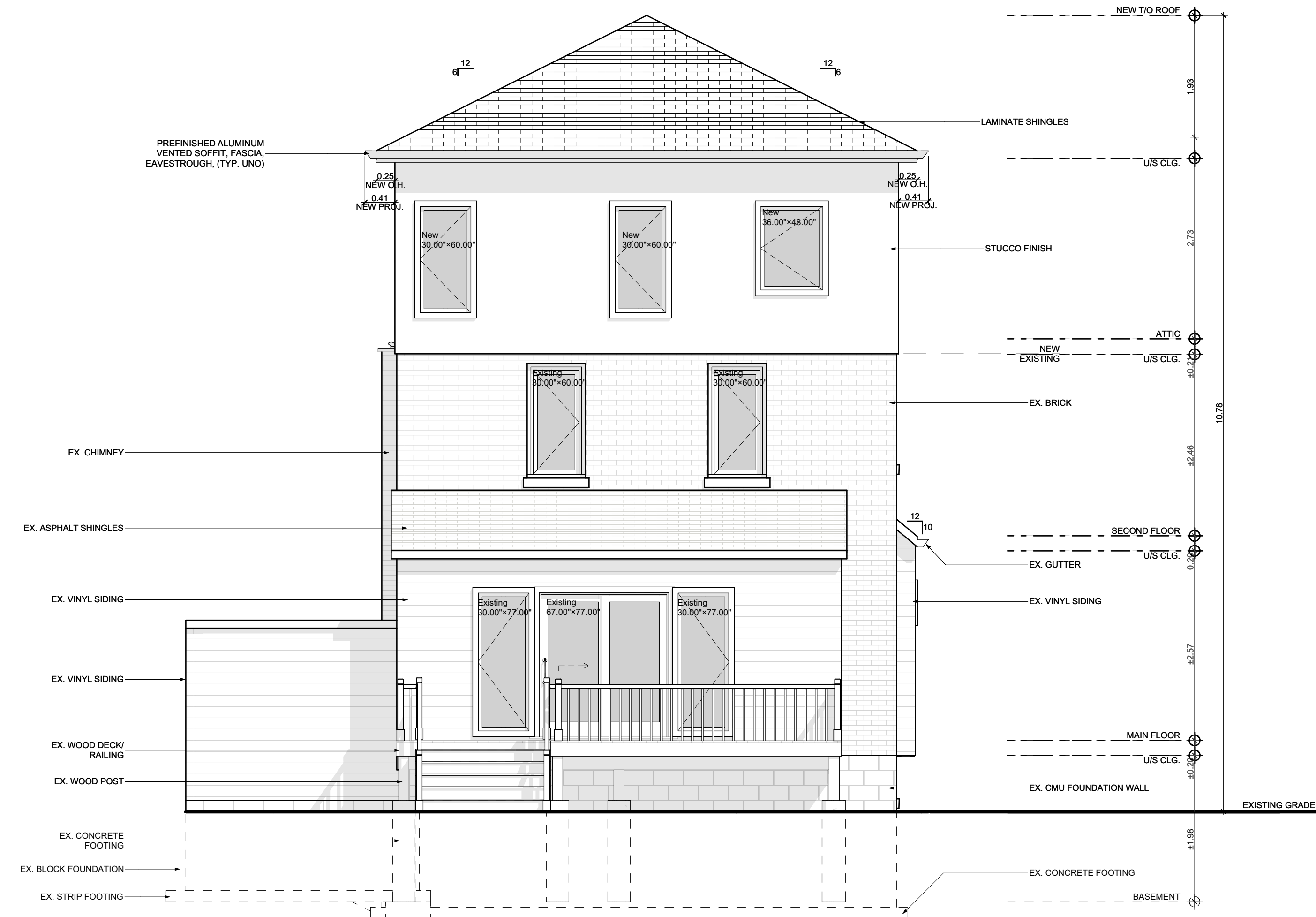
DATE: 2022-07-29

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:
A2.05

Printed: 2022-07-29 @ 10:15 AM



1 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

TEAM SHANE

790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

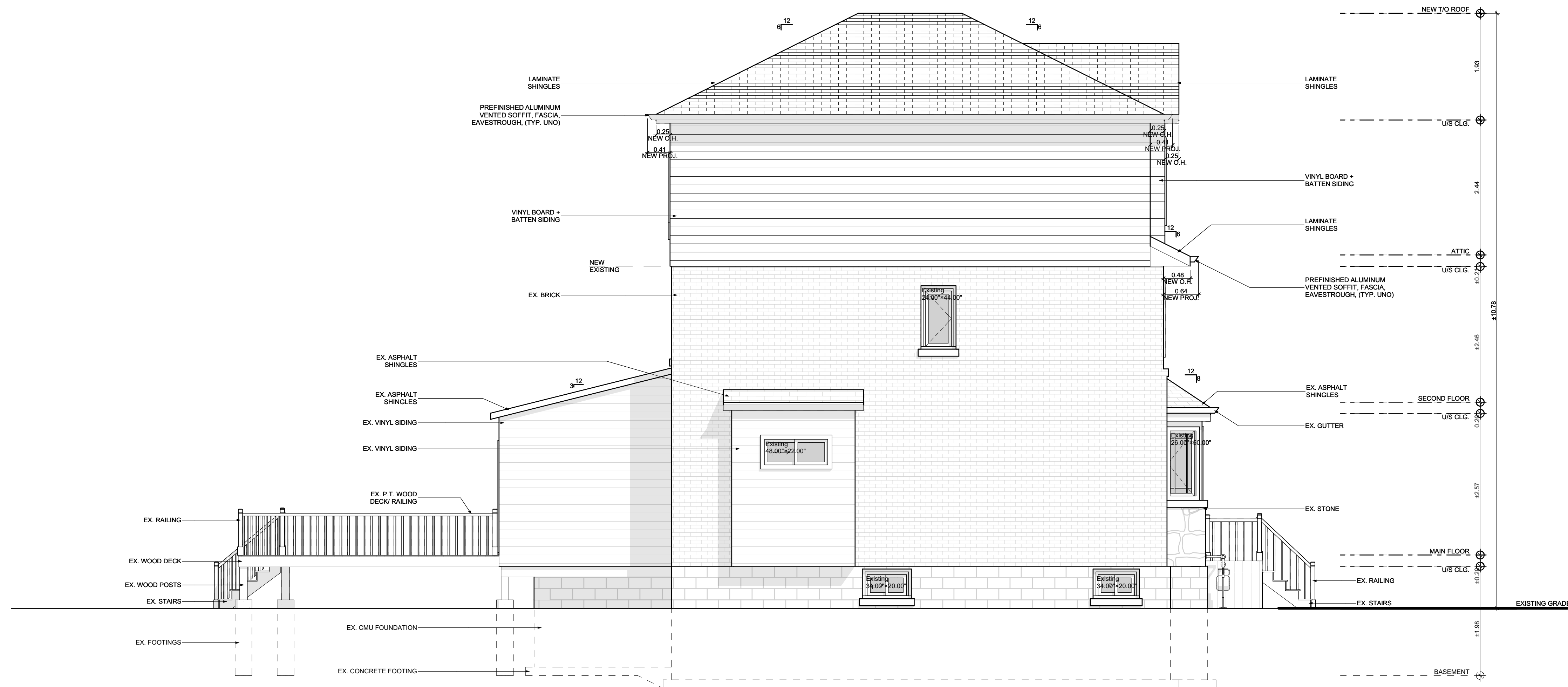
NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

DRAWING:
**PROPOSED REAR
ELEVATION**

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29	SCALE: AS NOTED	DRAWING NO: A2.06
	PROJECT NO: ---	



1

PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
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**DRAWING:
PROPOSED LEFT
ELEVATION**

**PROJECT:
KOFMAN**

**PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5**

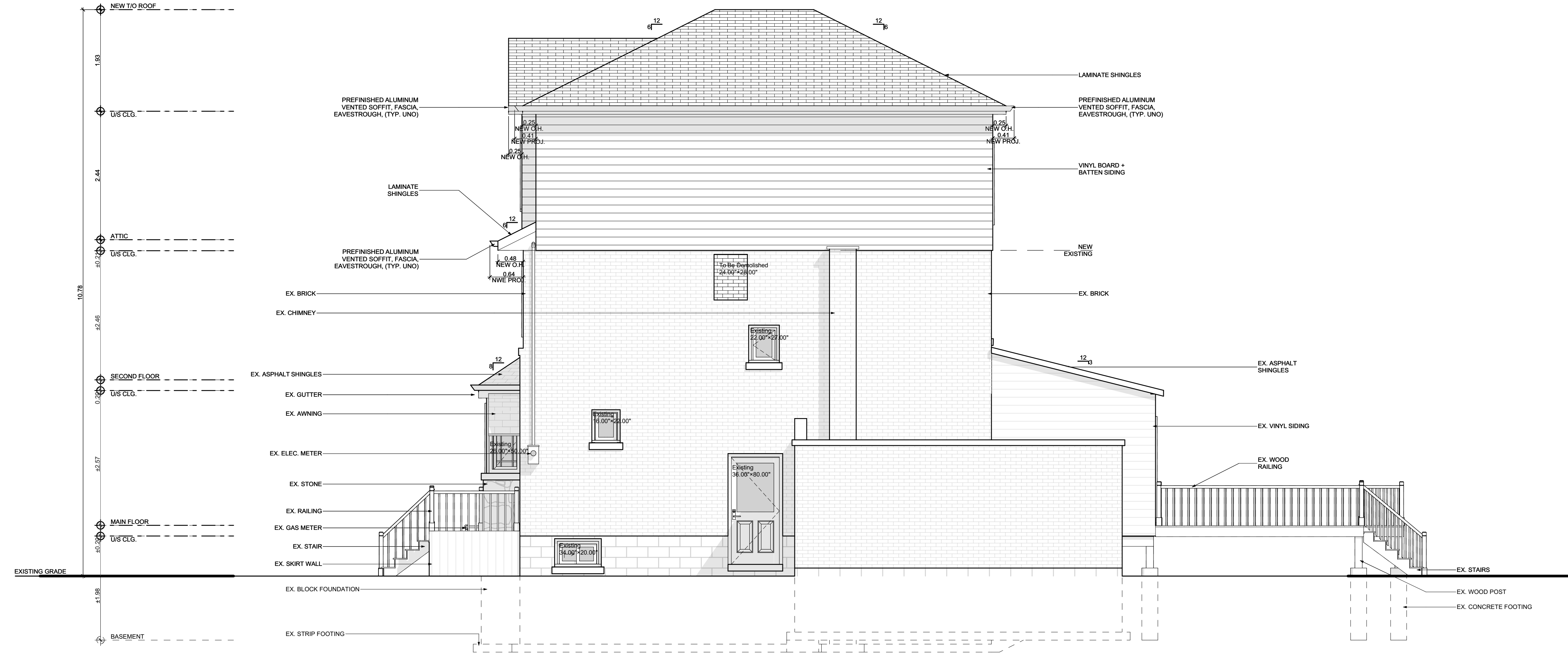
DATE: 2022-07-29

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:
A2.07

Printed: 2022-07-29 @ 10:15 AM



1 PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.2	2022.07.04
2	ISSUED FOR MINOR VARIANCE	2022.07.29

DRAWING:
**PROPOSED RIGHT
ELEVATION**

PROJECT:
KOFMAN

PROJECT ADDRESS:
93 Cline Avenue N Hamilton ON L8S 3Z5

DATE: 2022-07-29	SCALE: AS NOTED	DRAWING NO: A2.08
PROJECT NO: ---		



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	
Registered Owners(s)	LEONARD KOFMAN AND SONJA O'NEIL (OWNERS)	
Applicant(s)*	LOUIE SAYEGH (TEAM SHANE)	
Agent or Solicitor	LOUIE SAYEGH (TEAM SHANE)	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

BMO Bank of Montreal 100 King St W, Toronto ON M5X 1A3

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

• To allow a GFA of 81.39% instead of 45% as we are only increasing 8.75% from the existing non-conforming GFA of 72.66%. • To allow a max. number of stories of 3 instead of the required 2.5 stories. • To allow for the front (southerly) side setback to be 3.80 instead of the required 6.0 with its 0.43m roof projection • To allow for the left (westerly) side setback to be 0.43m instead of the required 1.2m and its 0.43m roof projection • Relief of front porch setback 1.16m instead of the min. required 1.50m • Allow maintaining 1 parking spot instead of the required 3 parking spots • Add any other required variances as per the site plan submitted with this application.

Second Dwelling Unit

Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The existing single family dwelling cannot comply with the current zoning by-law regulations due to the existing non-confirming condition.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

93 CLINE AVE N
PT LOTS 826 & 827 PLAN 652, AS IN VM223462
PIN #174630169

7. PREVIOUS USE OF PROPERTY

Residential

Industrial

Commercial

Agricultural

Vacant

Other N/A

8.1 If Industrial or Commercial, specify use N/A

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Previous uses of the subjected property.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No (N/A)

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

July 20, 2022
Date

Seán O'Neill Z B
Signature Property Owner(s)

Seán O'Neill Len Kofman
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 10.058 meters
Depth 30.480 meters
Area 306.57 meters
Width of street To be confirmed by the city.

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

See site plan.

Proposed

See site plan.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

See site plan.

Proposed:

See site plan.

13. Date of acquisition of subject lands:
2014
-
14. Date of construction of all buildings and structures on subject lands:
1928
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family Dwelling
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family Dwelling
-
17. Length of time the existing uses of the subject property have continued:
Since being built
-
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected YES
Sanitary Sewer YES Connected YES
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
N/A
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Bylaw #6593, Zone C
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:
N/A
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 N/A Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
N/A
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.