COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

| APPLICATION | HM/A-22:262 | SUBJECT | 11 ARCHIBALD STREET, |
|-------------|----------------------|------------|------------------------------|
| NO.: | | PROPERTY: | HAMILTO |
| ZONE: | "C" (Urban Protected | ZONING BY- | Zoning By-law former City of |
| | Residential) | LAW: | Hamilton 6593, as Amended |

APPLICANTS: Owner – Spencer Patterson

Agent - Matthew Fratarcangeli

The following variances are requested:

Hamilton

- A northly side yard width of 0.75m shall be provided instead of the minimum required 1.2m side yard 1. width.
- 2. A southerly side yard width of 0.8m shall be provided instead of the minimum required 1.2m side yard width.
- 3. A roofed over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters shall be permitted to project into a required front yard 4.35m, instead of the maximum 3.0m encroachment permitted.

PURPOSE & EFFECT: To permit the construction of a new front yard unenclosed porch, replacing

the existing unenclosed front yard porch.

Notes:

- 1. An eave/gutter may project a maximum of one half of a side yard or 1.0m whichever is the lesser amount. If the requested side yard variances are approved, an eave/gutter may project a maximum of 0.375m into the required northerly side yard and 0.4m into the required southerly side yard.
- 2. Details for the proposed covered porch have not been provided for the Minor Variance application to address the setback/ encroachment details for the stairs provided in the required front yard, as such, further variances may be required at such a time that a complete review of the front yard encroachments

HM/A-22:262

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

| DATE: | Thursday, September 8, 2022 | |
|--------|---|--|
| TIME: | 2:45 p.m. | |
| PLACE: | Via video link or call in (see attached sheet for details) | |
| | 2 nd floor City Hall, room 222 (see attached sheet for | |
| | details), 71 Main St. W., Hamilton | |
| | To be streamed (viewing only) at | |
| | www.hamilton.ca/committeeofadjustment | |

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, <u>including deadlines</u> for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



Subject Lands

DATED: August 23, 2022

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon two days before the Hearing.

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners <u>must register by noon the day</u> <u>before the hearing</u> to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

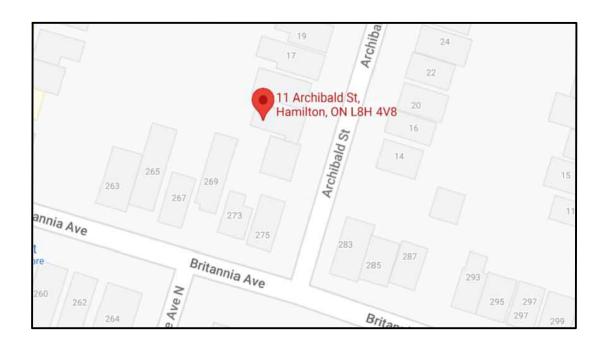
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.









1 ARCHIBALD STREET

PROJECT DESCRIPTION:

- THESE DRAWINGS OUTLINE A RENOVATION OF A FRONT PORCH AT 11 ARCHIBALD STREET, HAMILTON, ONTARIO.
- THERE ARE NO CHANGES TO THE EXISTING BUILDING OR SITE CONDITIONS UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- EXISTING SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED. MINIMUM 24" AROUND PROPERTY LINE TO REMAIN UNCHANGED - GRADES TO MATCH.

- 1. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT O.B.C. AND THE ONTARIO CONSTRUCTION SAFETY ACT.
- 2. CONTRACTOR TAKE NECESSARY PRECAUTIONS TO COMPLY WITH LOCAL SAFETY AUTHORITIES HAVING JURISDICTION (I.E. OCCUPATIONAL HEALTH AND SAFETY ACT).
- 3. CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE FROM DRAWINGS.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBORING PROPERTIES.
- 6. ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED. ANY DAMAGED OR DISTURBED UTILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTORS EXPENSE.
- 7. SAFEGUARD ALL EXISTING STRUCTURES, SERVICES, AND ADJACENT PROPERTY AFFECTED BY THE CONSTRUCTION.
- 8. ALL CONCRETE WORK, INCLUDING FORMING, REINFORCING, PREPARATION, MIXING, PLACING, CURING AND FINISHING SHALL CONFORM TO CSA CAN 3-A23.1-M90 (M94).

- 9. ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH CAN3-5304-M90.
- 10. IF THERE ARE ANY DEVIATIONS NOTED FROM WHAT IS DEPICTED ON THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY TENHOUSE BUILDING WORKSHOP AND SEEK INSTRUCTION BEFORE PROCEEDING.
- 11. DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH CSA S350-M1980(R2003) AND MINISTRY OF LABOUR REQUIREMENTS.
- 12. IF REQUIRED, CONTRACTOR IS TO PROVIDE SUPPORTS OR SHORING WHERE NECESSARY, BEFORE ANY CLEANUP, DEMOLITION, OR REPAIR ACTIVITIES.
- 13. ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
- 14. ALL DIMENSION LUMBER TO BE SPRUCE, PINE, FIR (SPF) NO. 1 OR NO. 2 GRADE.
- 15. THE CONTRACTOR SHALL SEEK FURTHER DIRECTION, IF REQUIRED, REGARDING DETAILS OR MATERIAL SELECTION. TENHOUSE BUILDING WORKSHOP DOES NOT TAKE RESPONSIBILITY FOR DETAILS NOT INCLUDED IN THESE DRAWINGS.
- 16. ALL SPECIFICATIONS AND MATERIALS PROPOSED BY ENGINEERS SHALL BE USED IN PLACE OF SPECIFICATIONS AND MATERIALS IDENTIFIED IN THE CONSTRUCTION
- 17. ALL MANUFACTURED ITEMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS, SUBMIT ALL INSTALLATION INSTRUCTIONS TO OWNER UPON COMPLETION OF JOB.
- 18. ALL HAZARDOUS MATERIALS TO BE IDENTIFIED BY THE CONTRACTOR AND PROPERLY DISPOSED OF.
- 19. ALL WORK AND TRADES SHALL BE COORDINATED BY THE GENERAL CNTRACTOR TO ENSURE ALL WORK IS COMPLETED TO THE HIGHEST LEVEL OF STANDARD.
- 20. GENERAL CONTRACTOR IS RESPONSIBLE OF OBTAIN ALL NESSCESSARY AND REQUIRED INSPECTIONS
- 21. ALL MATERIALS TO BE NEW AND FREE OF DEFECTS.

| ABBREVIA | | GWB | GYPSUM WALL BOARD |
|----------|----------------------------------|-------|----------------------------|
| AFF | ABOVE FINISHED FLOOR | HB | HOSE BIB |
| ALUM | ALUMINUM | INSUL | INSULATED OR INSULATION |
| BBSE | BEAM BY STRUCTURAL ENGINEER | INT | INTERIOR |
| BM | BEAM | JST | JOIST |
| CLG | CEILING | LVL | LAMINATED VENEER LUMBER |
| CRF | CONVENTIONAL ROOF FRAMING | LSL | LAMINATED STRAND LUMBER |
| CMU | CONCRETE MASONRY UNIT | MAX | MAXIMUM |
| COL | COLUMN | MIN | MINIMUM |
| CONC | CONCRETE | MTL | METAL |
| CONT | CONTINUOUS | OBC | ONTARIO BUILDING CODE |
| CW | COMPLETE WITH | OC | ON CENTER |
| DEMO | DEMOLISH | OSB | ORIENTED STRAND BOARD |
| DIM | DIMENSION | OTA | OPEN TO ABOVE |
| DJ | DOUBLE JOIST | OTB | OPEN TO BELOW |
| DN | DOWN | PT | PRESSURE TREATED |
| DO | DO OVER | PTD | PAINT OR PAINTED |
| DR | DOOR | REQD | REQUIRED |
| DROP | DROPPED | RM | ROOM |
| DS | DOWNSPOUT | RT | ROOF TRUSS |
| DWG | DRAWING | RWL | RAIN WATER LEADER |
| EA | EACH | SB | SOLID BEARING |
| EIFS | EXTERIOR INSULATED FINISH SYSTEM | SBFA | SOLID BEARING FROM ABOVE |
| ELEV | ELEVATION | SJ | SINGLE JOIST |
| ENC | ENCLOSED | SPEC | SPECIFIED OR SPECIFICATION |
| ENG | ENGINEER OR ENGINEERED | SPF | SPRUCE, PINE, FIR |
| EQ | EQUAL | STL | STEEL |
| EST | ESTIMATED | T&G | TONGUE AND GROOVE |
| EXT | EXTERIOR | TJ | TRIPLE JOIST |
| FD | FLOOR DRAIN | T/O | TOP OF |
| FG | FIXED GLASS | TYP | TYPICAL |
| FL | FLUSH | UNO | UNLESS NOTED OTHERWISE |
| FLR | FLOOR | U/S | UNDERSIDE |
| GA | GAUGE | WIC | WALK-IN CLOSET |
| GALV | GALVANIZED | WP | WEATHER PROOF |
| | | | |



107 GLADSTONE AVENUE HAMILTON, ON L8M 2H8 T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI BCIN#:44839

REGISTRATION INFORMATION

TENHOUSE BUILDING WORKSHOP BCIN#:112916

| NO. | DATE | REVISION/ISSUE |
|----------|------------|--|
| 0 | 07-11-2022 | FOR PERMIT APPLICATION |
| | | |
| PROJECT: | | REBUILD FRONT PORCH AT 11 ARCHIBALD STREET, HAMILTON, ON |

| DRAWN: J.T | APPROVED: M.D.F |
|---------------------------|--------------------------|
| FILE NO : 2022-021 | CHECKED: M.D.F |
| REVISION: | DATE : 07-11-2022 |

A0.01

GENERAL CONSTRUCTION NOTES:

CONCRETE

- 1.1. UNLESS SPECIFIED ELSEWHERE THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE SHALL BE NOT LESS THAN 15 MPA. AFTER 28 DAYS AS PER SENTENCE 9.3.1.6.(1).
- 1.2. GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLATWORK SHALL BE NOT LESS THAN 32 MPA CONCRETE WITH 5 TO 8 PERCENT AIR ENTRAINMENT AS PER SENTENCES 9.3.1.6.(1) AND (2).
- 1.3. PROVIDE BOND-BREAKING MATERIAL BETWEEN CONCRETE FLOOR SLAB AND FOOTINGS AS PER SENTENCE 9.16.4.4.(1)
- 1.4. WHERE DAMPPROOFING IS NOT PROVIDED, THE CONCRETE USED FOR FLOORS-ON-GROUND SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 25 MPA AFTER 28 DAYS AS PER SENTENCE 9.16.4.5.(1).
- 1.5. CONCRETE SLABS IN ATTACHED OR BUILT-IN GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR AS PER SENTENCE 9.35.2.2.(1).

2. EXCAVATION

- 2.1. EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES. UTILITIES. ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION SEE 9.12.1.4.(1).
- 2.2. THE TOPSOIL AND VEGETABLE MATTER IN ALL UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED SEE 9.12.1.1.(1).
- 2.3. THE BOTTOM OF EVERY EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL SEE 9.12.1.1.(3).
- 2.4. MATERIAL SHALL NOT BE PLACED NOR SHALL EQUIPMENT BE OPERATED OR PLACED IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS SEE 9.12.1.4 (2).
- 2.5. BACKFILL SHALL BE GRADED TO PREVENT DRAINAGE TOWARDS THE FOUNDATION AFTER SETTLING SEE 9.12.3.2.(1).
- 2.6. BACKFILL WITHIN 600 MM OF THE FOUNDATION SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS LARGER THAN 250 MM DIAMETER SEE 9.12.3.3.(1).

3. DRAINAG

- 3.1. THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES (9.14.6.1.).
- 3.2. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION (9.14.6.2.)
- 3.3. WHERE DOWNSPOUTS ARE PROVIDED AND ARE NOT CONNECTED TO A SEWER, EXTENSIONS SHALL BE PROVIDED TO CARRY RAINWATER AWAY FROM THE BUILDING IN A MANNER THAT WILL PREVENT SOIL EROSION (9.26.18.2.).

4. FOUNDATION

- 4.1. FOOTINGS AND FOUNDATIONS SHALL CONFORM TO SECTION 9.15.
- 4.2. PROVIDE 100MM PLASTIC WEEPING TILE WITH FILTER FABRIC AND 150MM CRUSHED STONE COVER.
- 4.3. ALL FOOTINGS SHALL REST ON UNDISTURBED SOILS WITH AN ALLOWABLE BEARING PRESSURE OF 75 KPA OR GREATER FOR BUILDINGS OF WOOD FRAME OR MASONRY CONSTRUCTION (SEE SOILS REPORT WHERE APPLICABLE)
- 4.4. FOOTING SIZES SHALL BE ADJUSTED AS PER SUBSECTION 9.15.3., WHERE APPLICABLE
- 4.5. WHERE STEP FOOTINGS ARE USED, THE VERTICAL RISE SHALL NOT EXCEED 600 MM, AND THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL BE NOT LESS THAN 600 MM AS PER ARTICLE 9.15.3.9.
- $4.6. \ \ MAXIMUM\ HEIGHT\ OF\ BACKFILL\ FOR\ FOUNDATION\ WALLS\ SHALL\ CONFORM\ TO\ SUBSECTION\ 9.15.4.$
- 4.7. EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150 MM ABOVE FINISHED GROUND LEVEL AS PER SENTENCE 9.15.4.6.(1).
- 4.8. EXTERIOR SURFACES OF CONCRETE BLOCK FOUNDATION WALLS SHALL BE PARGED WITH NOT LESS THAN 6 MM OF MORTAR, AND FINISHED AS PER SUBSECTION 9.15.6.
- 4.9. ROOF DRAINS, DOWN SPOUTS (ROOF GUTTERS) SHALL CONFORM TO SUBSECTION 9.26.18 (ALSO SEE DEFINITIONS IN ARTICLE 1.4.1.2. OF DIVISION A PART 1).
- 4.10.SURFACE AND SUBSURFACE DRAINAGE SHALL CONFORM TO SECTION 9.14.
- 4.11.DRAIN TILES OR PIPES SHALL BE INSTALLED AS PER ARTICLE 9.14.3.3.

5. MASONRY

- 5.1. WHERE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO INSTALL MASONRY EXTERIOR FACING, FILL VOIDS BETWEEN WALL AND FACING WITH MORTAR AS PER ARTICLE 9.15.4.7.
- 5.2. MASONRY SUPPORTING BEAMS AND COLUMNS SHALL CONFORM TO ARTICLE 9.20.8.4.
- 5.3. CORBELLING OF SOLID MASONRY UNITS SHALL CONFORM TO SUBSECTION 9.20.12.
- 5.4. PROVIDE WEEP HOLES SPACED NOT MORE THAN 800 MM APART IN MASONRY VENEER WALLS AS REQUIRED IN ARTICLE 9.20.13.8.
- 5.5. EXPOSED FLASHING MATERIALS SHALL CONFORM TO ARTICLE 9.20.13.1. PROVIDE FLASHING FOR WEEP HOLES IN MASONRY VENEER/MASONRY WALLS AS PER ARTICLES 9.20.13.5.
- 5.6. FLASHING BENEATH WEEP HOLES IN MASONRY VENEER OVER WOOD FRAME WALLS SHALL BE INSTALLED SO THAT IT EXTENDS FROM A POINT NOT LESS THAN 5 MM BEYOND THE OUTER FACE OF THE BUILDING ELEMENT BELOW THE FLASHING TO A POINT 150 MM UP THE WOOD FRAME WALL AS PER SENTENCE 9.20.13.6.(2).
- 5.7. PROVIDE DRIP EDGE AT WINDOWS SILLS AS PER ARTICLE 9.20.13.12.
- 5.8. MASONRY AND CONCRETE CHIMNEYS AND FLUES SHALL CONFORM TO SECTION 9.21
- 5.9. PROVIDE LATERAL STABILITY FOR CHIMNEYS PER ARTICLE 9.21.4.5. CHIMNEY CAPS SHALL CONFORM TO ARTICLE 9.21.4.6. BRICK THICKNESS FOR CHIMNEYS SHALL CONFORM TO ARTICLE 9.21.4.8.
- 5.10.MASONRY FIREPLACES CONSTRUCTED ON SITE SHALL CONFORM TO SECTION 9.22
- $5.11. INTERSECTIONS \ OF \ ROOFS \ AND \ MASONRY \ WALLS \ SHALL \ CONFORM \ TO \ ARTICLES \ 9.26.4.4. \ AND \ 9.26.4.6.$

6. BUILDING STRUCTURE

- 6.1. UNLESS NOTED OTHERWISE LUMBER AND WOOD PRODUCTS SHALL CONFORM TO SUBSECTION 9.3.2.
- 6.2. BUILT-UP WOOD COLUMNS SHALL CONFORM TO SENTENCE 9.17.4.2.(2)
- 6.3. ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY. SEE ARTICLE 9.23.2.1.
- 6.4. STEEL BEAMS SHALL AT LEAST MEET THE REQUIREMENTS FOR GRADE 350 W STEEL IN CAN/CSA G40.21, "STRUCTURAL QUALITY STEEL." SEE ARTICLE 9.23.4.3.
- $\textbf{6.5.} \ \ \textbf{PROVIDE LATERAL SUPPORT FOR STEEL BEAMS AS PER SENTENCE 9.23.4.3.(3)}.$
- 6.6. BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION, BY FASTENING THE SILL PLATE WITH 12.7 MM DIAM. ANCHOR BOLTS SPACED MAX. 2.4 M O.C. AND EMBEDDED MINIMUM 100 MM IN THE FOUNDATION. SEE ARTICLE 9.23.6.1.

- 6.7. PROVIDE A CONTINUOUS AIR BARRIER FROM EXTERIOR WALL, BELOW SILL PLATE AND SEALED TO INSIDE FACE OF FOUNDATION WALL.
- 6.8. COLUMNS SHALL BE SECURELY FASTENED TO THE BEAM TO PREVENT LATERAL MOVEMENT. ANCHORAGE OF EXTERIOR COLUMNS AND POSTS SHALL CONFORM TO ARTICLE 9.23.6.2.
- 6.9. PROVIDE ADEQUATE LEVEL BEARING FOR ALL BEAMS AT THE END SUPPORTS AS PER ARTICLE 9.23.8.1.
- 6.10.POSTS SUPPORTING BEAMS SHALL BE PROVIDED WITH CONTINUOUS SOLID SUPPORT TO THE TOP OF FOUNDATION WALL OR FOOTING.
- 6.11.NAILING/BOLTING PATTERNS FOR BUILT-UP WOOD BEAMS SHALL CONFORM TO SENTENCES 9.23.8.3.(7) AND (8).
- 6.12. JOISTS FRAMED INTO THE SIDE OF A STEEL BEAM SHALL CONFORM TO SENTENCES 9.23.9.2.(3),(4),(5).
- 6.13.PROVIDE JOIST TWISTING RESTRAINT AS PER ARTICLE 9.23.9.3.
- 6.14.NON-LOADBEARING WALLS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS AS PER ARTICLE 9.23.9.8.
- 6.15. THE SIZE AND SPACING OF WALL STUDS SHALL CONFORM TO TABLE 9.23.10.1. STUDS FOR WALLS NOT LISTED IN TABLE 9.23.10.1. AND SUPPORTING ROOF LOADS SHALL CONFORM TO TABLES A-30 TO A-33.
- 6.16.PROVIDE CONTINUITY OF STUDS AS PER ARTICLE 9.23.10.4
- 6.17.PROVIDE EDGE SUPPORT FOR SUBFLOOR AS PER ARTICLE 9.23.14.3.
- 6.18.ROOF SHEATHING SHALL CONFORM TO SUBSECTION 9.23.15, AND WALL SHEATHING SHALL CONFORM TO SUBSECTION 9.23.16.
- 6.19.SHEATHING MEMBRANE SHALL CONFORM TO CAN/CGSB-51.32-M, "SHEATHING, MEMBRANE, BREATHER TYPE" AS PER
- 6.20.INSTALLATION OF ROOF TRUSSES AND/OR ENGINEERED FLOOR FRAMING SYSTEMS SHALL CONFORM TO THE MANUFACTURER'S APPROVED SPECIFICATIONS AND THE OBC.
- 6.21.ALL CONVENTIONAL ROOF FRAMING MEMBERS THAT MEET OR CROSS OVER TRUSSES SHALL DISTRIBUTE THE ROOF LOADS UNIFORMLY TO THE ROOF BELOW AND SHALL BE SPACED AT MAXIMUM 600 MM O.C.
- 6.22.PROVIDE EAVES PROTECTION FOR SHINGLES. SHAKES OR TILE ROOFS AS PER SUBSECTION 9.26.5
- 6.23. WOOD FRAMING NOT TREATED WITH WOOD PRESERVATIVE, OR IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 MIL. POLYETHYLENE FILM NO.50 (45 LBS) ROLL FORMING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150 MM (6") ABOVE THE GROUND.
- 6.24.IN LOCATIONS WHERE TERMITES ARE KNOWN TO OCCUR, CLEARANCE BETWEEN STRUCTURAL WOOD ELEMENTS AND THE FINISHED GROUND LEVEL DIRECTLY BELOW THEM SHALL BE NOT LESS THAN 450MM (17-3/4") AND ALL SIDES OF SUPPORTING ELEMENTS SHALL BE VISIBLE TO INSPECTION.
- 6.25.LUMBER SHALL BE SPF No. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
- 6.26.ALL NAILS USED SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA STANDARD B111 "WIRE NAILS, SPIKES AND STAPLES" UNLESS NOTED OTHERWISE.
- 6.27.BOLTED CONNECTIONS SHALL BE MADE USING GRADE A307 BOLTS, UNLESS NOTED OTHERWISE.
- 6.28. ALL STEEL CONNECTORS (UPLIFT CLIPS, BRACKETS, JOIST HANGERS etc.) SHALL BE SIMPSON STRONG TIE CONNECTORS UNLESS NOTED OTHERWISE.

1. NOTCHING AND DRILLING

- 1.1. FOR NOTCHING AND DRILLING OF PREMANUFACTURED PRODUCTS, REFERENE MANUFACTURRS DOCUMENTATION.
- 1.2. HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE NOT LARGER THAN 1/4 THE DEPTH OF MEMBER AND NOT LESS
- 1.3. NOTCHES IN FLOOR, ROOF AND CEILING FRAMING MEMBERS ARE TO BE LOCATED ON THE TOP OF THE MEMBER WITHIN HALF THE JOIST DEPTH FROM THE EDGE OF BEARING AND IS NOT DEEPER THAN ONE-THIRD THE JOIST DEPTH (9.23.5.2.).
- 1.4. WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, AND 40MM IF NON-LOAD BEARING, UNLESS THE WEAKENED STUDS ARE SUITABLY REINFORCED (9.23.5.3.).
- 1.5. ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

2. DOORS WINDOWS AND INTERIOR FINISHES

- 2.1. ROOMS AND SPACES SHALL CONFORM TO SECTION 9.5.
- 2.2. FOR DOORS AND WINDOWS RESISTANCE TO FORCED ENTRY SEE ARTICLES 9.7.5.2. AND 9.7.5.3.
- 2.3. FLAME SPREAD RATING SHALL NOT EXCEED 150 ON WALLS AND CEILINGS. SEE ARTICLE 9.10.17.1.
- 2.4. DOORS BETWEEN GARAGES AND DWELLING UNITS SHALL BE TIGHT FITTING, WEATHERSTRIPPED AND HAVE A SELF-CLOSING DEVICE CONFORMING TO SENTENCES 9.10.13.15.(1) AND (2).
- 2.5. WATERPROOF FINISH SHALL BE PROVIDED ON WATER RESISTANT BACKING, AROUND SHOWERS AND BATHTUBS AS PER ARTICLES 9.29.2.2 AND 9.29.10.4.
- 2.6. CERAMIC SHALL BE SET IN A MORTAR BED OR APPLIED TO A SOUND SMOOTH BASE WITH A SUITABLE ADHESIVE AS PER SENTENCE 9.30.6.1.(1)
- 2.7. PANEL-TYPE SUBFLOOR TO WHICH CERAMIC TILE IS TO BE APPLIED WITH ADHESIVE SHALL HAVE ITS EDGES SUPPORTED ACCORDING TO ARTICLE 9.23.14.3.
- 2.8. EXCEPT FOR BATHROOMS OR WATER-CLOSET ROOMS, FINISHED ROOMS SHALL BE PROVIDED WITH A MINIMUM 0.28 M2 UNOBSTRUCTED OPENABLE VENTILATION AREA TO THE OUTDOORS WHERE SUCH ROOMS ARE NOT VENTILATED MECHANICALLY. SEE SUBSECTION 9.32.2. AND TABLE 9.32.2.1.
- 2.9. ALL WINDOW SIZES ON DRAWINGS REFER TO FINISHED DIMENSIONS. PLEASE REFER TO WINDOW MANUFACTURER'S SPECIFICATIONS FOR ALL REQUIRED ROUGH OPENING SIZES.

3. ELECTRICAL

3.1. ELECTRICAL FACILITIES SHALL CONFORM TO SECTION 9.34.

4. BEDROOM WINDOWS

- 4.1. BEDROOMS SHALL HAVE A MINIMUM UNOBSTRUCTED WINDOW GLASS AREA OF 5% OF AREA SERVED AS PER SENTENCE 9.7.2.3.(1) AND TABLE 9.7.2.3.
- 4.2. EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS OPENABLE FROM INSIDE WITHOUT THE USE OF TOOLS, WITH AN UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 M² WITH NO DIMENSION LESS THAN 380 MM. SEE ARTICLE 9.9.10.1.
- 4.3. PROVIDE A 1000 MM HIGH X 550 MM WIDE WINDOW OPENING WITH A SILL AT MAXIMUM 1000 MM ABOVE THE FLOOR AND MAXIMUM 7.0 M ABOVE THE ADJACENT GROUND LEVEL, WHERE IT IS NECESSARY TO TRAVEL DOWN MORE THAN ONE STOREY TO REACH AN EXIT DOOR FROM THAT STOREY. SEE SENTENCE 9.9.9.1.(2).

5. GUARDS

- 5.1 GUARDS SHALL CONFORM TO SUBSECTION 9.8.8
- 5.2. GUARDS SHALL BE DESIGNED TO RESIST THE LOADS SPECIFIED IN TABLE 9.8.8.2., OR CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS IN MMAH SUPPLEMENTARY STANDARD SB-7, "GUARDS FOR HOUSING AND SMALL BIJILDINGS." SEF SENTENCES 9.8.8.2 (1) AND (5).
- 5.3. GUARDS SHALL BE NOT LESS THAN 1070 MM HIGH. ALL GUARDS WITHIN DWELLING UNITS SHALL BE NOT LESS THAN 900 MM HIGH. EXTERIOR GUARDS SERVING NOT MORE THAN ONE DWELLING UNIT SHALL BE NOT LESS THAN 900 MM HIGH WHERE THE WALKING SURFACE SERVED BY THE GUARD IS NOT MORE THAN 1 800 MM ABOVE THE FINISHED GROUND LEVEL. GUARDS FOR EXTERIOR STAIRS AND LANDINGS MORE THAN 10 M ABOVE ADJACENT GROUND LEVEL SHALL BE NOT LESS THAN 1500 MM. SEE ARTICLE 9.8.8.3.
- 5.4. OPENINGS THROUGH ANY GUARD WHICH IS REQUIRED BY ARTICLE 9.8.8.1 SHALL BE OF THE SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 100 MM. SEE SENTENCE 9.8.8.5.(1).

6. STAIRS (INTERIOR/EXTERIOR)

- 6.1. AT LEAST ONE STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT, AND EXTERIOR STAIRS AND REQUIRED EXIT STAIRS SERVING A SINGLE DWELLING UNIT, SHALL HAVE A WIDTH OF NOT LESS THAN 860 MM. SEE SENTENCE 0.921 (2)
- 6.2. MINIMUM HEIGHT OVER STAIRS AND LANDINGS WITHIN DWELLING UNITS SHALL BE 1950 MM.
- 6.3. SEE SENTENCES 9.8.2.2.(1) AND 9.8.6.4.(1).

INTERIOR/EXTERIOR STAIRS IN SINGLE DWELLING UNITS (TABLE 9.8.4.1.)

| | | MAX (MM) | MIN (MN |
|---|------------|----------|---------|
| R | ISE | 200 | 125 |
| R | UN | 355 | 210 |
| Т | READ DEPTH | 355 | 235 |

- 6.4. CURVED STAIRS SHALL HAVE AN AVERAGE RUN OF NOT LESS THAN 200 MM AND A MINIMUM RUN OF 150 MM AS PER SENTENCE 9.8.4.3.(2).
- 6.5. HEIGHT OF HANDRAILS ON STAIRS AND RAMPS SHALL BE NOT LESS THAN 865 MM AND NOT MORE THAN 965 MM AS PER SENTENCE 9.8.7.4.(2).
- 6.6. HEIGHT OF HANDRAILS ON LANDINGS (WHERE GUARDS ARE REQUIRED) SHALL BE NOT MORE THAN 1070 MM AS PER SENTENCE 9.8.7.4.(3).
- 6.7. GUARDS FOR FLIGHTS OF STEPS, EXCEPT IN REQUIRED EXIT STAIRS, SHALL BE NOT LESS THAN 900 MM HIGH AS PER SENTENCE 9.8.8.3 (4)

7. SMOKE ALARMS AND CARBON MONOXIDE ALARMS

- 7.1. SMOKE ALARMS CONFORMING TO CAN/ULC-S531, "SMOKE ALARMS" SHALL BE INSTALLED IN EACH DWELLING UNIT, IN EACH SLEEPING ROOM NOT WITHIN A DWELLING UNIT, AND IN EACH INTERIOR SHARED MEANS OF EGRESS AND COMMON AREA IN A HOUSE. WITHIN DWELLING UNITS, THERE SHALL BE AT LEAST ONE SMOKE ALARM ON EACH STOREY, INCLUDING BASEMENTS, AND ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED IN EACH SLEEPING ROOM, AND IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY. SMOKE ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND. SMOKE ALARMS ARE REQUIRED TO BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SUPPLY. SMOKE ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT. SEE SUBSECTION 9.10.19.
- 7.2. CARBON MONOXIDE ALARMS CONFORMING TO SUBSECTION 6.2.12 AND/OR SUBSECTION 9.33.4 SHALL BE INSTALLED.

ROOFING

- 8.1. FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 12MM INTO ROOF SHEATHING.
- 8.2. EAVE PROTECTION SHALL BE PROVIDED ON SHINGLE, SHAKE OR TILE ROOFS, EXTENDING FROM THE EDGE OF THE ROOF A MINIMUM OF 900 MM UP THE ROOF SLOPE TO A LINE NOT LESS THAN 300 MM INSIDE THE INNER FACE OF THE PROPERTY OF T
- 8.3. ASPHALT SHINGLES ON SLOPES OF LESS THAN 1 IN 3 (4:12) SHALL CONFORM TO SECTION 9.26.8.
- 8.4. OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 600MM WIDE SEE 9.26.4.3.(5).
- 8.5. THE INTERSECTION OF SHINGLE ROOFS AND MASONRY WALLS OR CHIMNEYS SHALL BE PROTECTED WITH FLASHING SHALL CONFORM TO SECTION 9.26.4.4.
- 8.6. THE INTERSECTION OF SHINGLE ROOFS AND WALLS CLAD WITH OTHER THAN MASONRY SHALL BE PROTECTED WITH FLASHING SHALL CONFORM TO SECTION 9.26.4.5.

9. ROOF SPACES AND VENTILATION

- 9.1. EXCEPT WHERE IT CAN BE SHOWN TO BE UNNECESSARY, WHERE INSULATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE SHEATHING, AND VENTS SHALL BE INSTALLED TO PERMIT THE MOVEMENT OF AIR FROM THE SPACE TO THE EXTERIOR. THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA. NOT LESS THAN 25% OF THE VENTS SHALL BE LOCATED NEAR THE ROOF RIDGE. SEE ARTICLES 9.19.1.1 AND 9.19.1.2.
- 9.2. PROVIDE A NATURAL VENTILATION AREA OF 0.1M2 PER 50 M2 OF UNHEATED CRAWL SPACE AREA AS PER SENTENCE 9.18.3.1.(2).
- 9.3. PROVIDE MINIMUM 0.2 PER CENT OF UNFINISHED BASEMENT FLOOR AREA, AS UNOBSTRUCTED NATURAL VENTILATION TO THE OUTDOORS AS PER TABLE 9.32.2.1.
- 9.4. ATTIC ACCESS HATCH SHALL BE MINIMUM 0.32 M2 IN AREA WITH NO DIMENSION LESS THAN 545 MM, OR 500 MM X 700 MM. SEE ARTICLE 9.19.2.1.

10. BASEMENT WALKOUT AND LOOKOUT CONDITIONS

10.1.LATERAL STABILITY TO FOUNDATION WALLS SHALL CONFORM TO ARTICLES 9.15.4.2 AND 9.15.4.3. BRICK VENEER SHALL NOT BE LOADBEARING. PROVIDE A 1070 MM HIGH GUARD. AT WALKOUTS PROVIDE A THREE-WAY SWITCH AT THE BOTTOM OF THE BASEMENT STAIRS AND AT EXTERIOR DOORS. STRIP FOOTINGS SHALL CONFORM TO TABLE 9.15.3.4 AND ARTICLES 9.15.3.4. AND 9.15.3.5. PROVIDE ADEQUATE SIZE OF STEEL COLUMNS ON TOP OF THE FOUNDATION WALLS IN ORDER TO SUPPORT THE STEEL BEAMS. PROVIDE WOOD AND STEEL LINTELS OVER BASEMENT WINDOWS PER ARTICLES 9.23.12.3. AND TABLE 9.20.5.2.B.

11. STUD WALL REINFORCEMENT

11.1.PROVIDE STUD WALL REINFORCEMENT IN BATHROOMS CONFORMING TO ARTICLE 9.5.2.3 FOR THE INSTALLATION OF GRAB BARS.



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

107 GLADSTONE AVENUE

HAMILTON, ON L8M 2H8

T· 905-699-7371

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI BCIN#:44839

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP

BCIN#:112916

 NO.
 DATE
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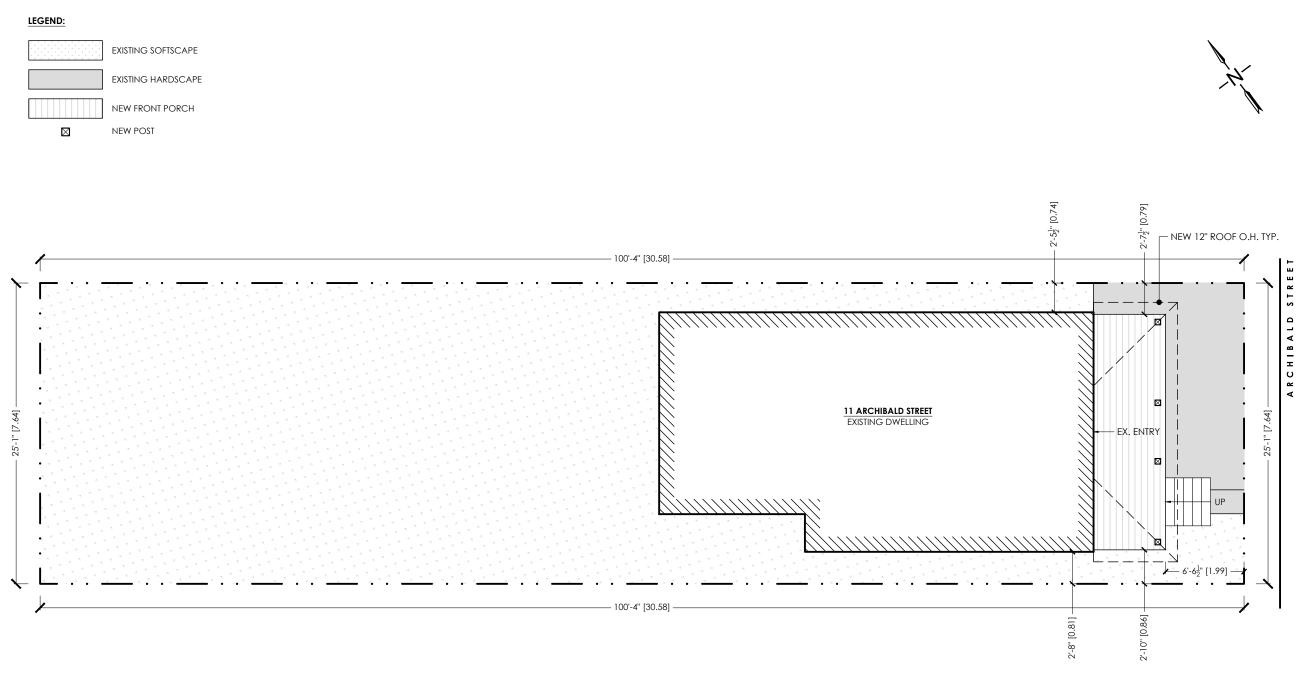
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 07-11-2022
 FOR PERMIT APPLICATION

REBUILD FRONT PORCH AT 11 ARCHIBALD STREET, HAMILTON, ON

| DRAWN: J.T | APPROVED : M.D.F |
|-------------------|----------------------------|
| FILE NO: 2022-021 | CHECKED: M.D.F |
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JENERAL CONSTRUC

A0.02



GENERAL SITE PLAN NOTES:

- ONLY SITE WORK RELATED TO THE CONSTRUCTION OF THE SUBJECT FRONT PORCH TO BE CARRIED OUT.
- 2. EXISTING SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED. MINIMUM 24" AROUND PROPERTY LINE TO REMAIN UNCHANGED GRADES TO MATCH
- 3. ALL DOWNSPOUTS ON SITES DRAINS DIRECTLY INTO SOFT LANDING. NO DOWNSPROUTS ARE TO CROSS WALKWAYS OR PATIOS OR DRAIN ONTO/ACROSS WALKWAYS OR PATIOS.

LOT STATS:

 LOT AREA:
 2514.77
 SQ. FT.
 [233.63]
 SQ. M.]

 HOUSE
 684.58
 SQ. FT.
 [63.60]
 SQ. M.]

 NEW FRONT PORCH
 118.83
 SQ. FT.
 [11.04]
 SQ. M.]





TENHOUSE BUILDING WORKSHOP 107 GLADSTONE AVENUE HAMILTON, ON L8M 2H8 T: 905-699-7371

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PROPOSED SITE PLAN

SP1.01

STRUCTURAL FRAMING:

- ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23. U.N.O. ON THE DRAWINGS.
- LUMBER SHALL BE SPF NO. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
- LUMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD WITHOUT PERMISSION OF TENHOUSE BUILDING WORKSHOP.

FOUNDATION PLAN

- ENGINEERED LUMBER (TJI, LVL) MAY BE DRILLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION. PROVIDE EITHER PRESSURE TREATED LUMBER, SUITABLE WOOD PRESERVATIVE OR 6 MIL (0.152mm) POLYETHYLENE SHEET.
- SOLID HORIZONTAL BRIDGING SHALL BE PROVIDED AT 1200mm (4-0") O.C. IN THE FIRST TWO JOIST SPACES ADJACENT TO THE EXTERIOR WALLS, BRIDGING SHALL BE ATTACHED TO THE EXTERIOR WALL TO PROVIDE LATERAL STABILITY.
- PROVIDE 38mm x 38mm (2X2) DIAGONAL CROSS BRIDGING OR SOLID BLOCKING AT MAXIMUM 2.1m (82") O.C. FOR ALL SAWN JOIST LOCATIONS, PROVIDE SOLID WOOD HORIZONTAL BLOCKING AT MAXIMUM 3.0m (10"-0") O.C. FOR ALL FRAMED WALLS. INSTALL MORE FREQUENTLY WHEN SO NOTED ON THE ARCHITECTURAL OR STRUCTURAL WALL DRAWINGS (EG. FOR BLOCKING OF SHEAR WALLS, OR FOR LATERAL STUD SUPPORT).
- ALL NAILS USED SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA STANDARD B111 "WIRE NAILS, SPIKES AND STAPLES" UNLESS NOTED OTHERWISE.
- STEEL BEAMS AND COLUMNS SHALL BE TO ASTM A992/992M, GRADE 50W (Fy = 345 MPa). ALL STEEL CONNECTORS (UPLIFT CLIPS, BRACKETS, JOIST HANGERS etc.) SHALL BE SIMPSON STRONG TIE CONNECTORS UNLESS NOTED OTHERWISE.
- 12. FOR SOLID AND BUILT UP MEMBERS (TRUSSES, BEAMS, LINTELS) PROVIDE A BUILT UP POST WITH AN EQUAL OR GREATER THICKNESS UNLESS NOTED OTHERWISE. ALL BUILT UP POSTS TO BE CONTINUOUS (INCLUDING TRANSFER BLOCKING AT FLOORS) DOWN TO THE FOUNDATIONS.
- ALL BUILT UP MEMBERS TO BE FASTENED TOGETHER WITH TWO 75mm (3") SPIRAL NAILS AT 300mm (12") O.C. FOR EVERY PLY UNLESS NOTED OTHERWISE. MULTI-PLY ENGINEERED LUMBER BEAMS TO BE FASTENED AS PER THE MANUFACTURER'S SPECIFICATIONS.
- ALL PRE-ENGINEERED STEEL CONNECTORS (E.G. SIMPSON STRONG TIE) ARE TO HAVE THE CORRECT NUMBER AND SIZE OF FASTENERS, AS PER THE MANUFACTURER'S PRODUCT CATALOGUE
- 15. PROVIDE SOLID BLOCKING OR MECHANICAL CONNECTIONS AT THE TOP AND BOTTOMS OF BEAMS AT BEARING POINTS TO PREVENT MOVEMENT OR ROTATION.

POST SCHEDULE

- P1 12" Ø POURED CONCRETE PIER MIN. 4' DEEP ON UNDISTURBED SOIL
- P2 PRESSURE TREATED 6" x 6" POST PROVIDE METAL POST TO BEAM CONNECTOR AT TOP AND BOTTOM
- W/ TRANSFER BLOCKING TO SOLID CMU FOUNDATION
- PLFA POINT LOAD FROM ABOVE

DECK JOIST SCHEDULE

F1 - 2" x 6" PRESSURE TREATED DECK JOISTS AT 16" O.C 1 ROW BLOCKING AT MID SPAN 5/4 DECK BOARDS

ROOF SCHEDULE

R1 - ROOF

ASPHALT SHINGLE W/ SHINGLE UNDERLAYMENT AS PER MANUFACTURER 1/2" ROOF SHEATHING 2" x 6" AT 16 O.C ROOF RAFTERS W/ BIRD MOUTH CUT

2" x 4" AT 16 O.C CEILING JOISTS NAIL RAFTERS/JOISTS TO SUPPORTING MEMBER W/ 4-3" AIR NAILS

LEDGER BOARD SCHEDULE

- ${f LD1}$ NEW DROPPED P.T 2-2" x 8" LEDGER BOARD LAG BOLTED W/ EXPANSION SLEEVE TO EXISTING SOLID CMU FOUNDATION W/ 1/2" Ø BOLTS W/ MIN 4" EMBEDMENT AT 16" O.C., STAGGERED
- LD2 NEW 2" x 8" LEDGER BOARD NAILED TO EXISTING WALL FRAMING W/ 3 NAILS PER STUD AND MIN 1.5" EMBEDMENT PROVIDE METAL JOIST HANGERS FOR ROOF RAFTERS

BEAM SCHEDULE

B1 - DECK BEAM

PRESSURE TREATED 3-PLY 2" x 8" DROPPED BEAM METAL BEAM SADDLE ANCHORED TO CONCRETE PIER MIN 4" EMBEDMENT INTO PIER FOR BEAM SADDLE

B2- ROOF BEAM

PRESSURE TREATED 3-PLY 2" x 8" DROPPED BEAM PROVIDE METAL POST TO BEAM CONNECTOR



107 GLADSTONE AVENUE HAMILTON, ON L8M 2H8 T: 905-699-7371

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REGISTRATION INFORMATION

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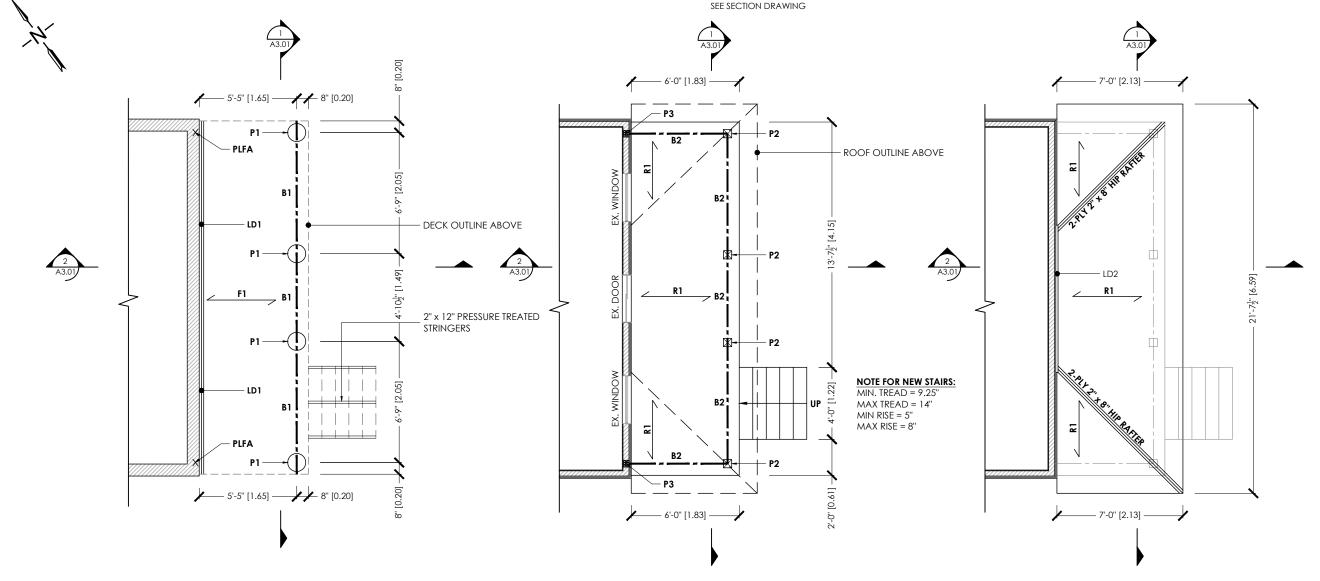
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| REBUILD FRONT PORCH AT 11 ARCHIBALD STREET, HAMILTON, ON | |
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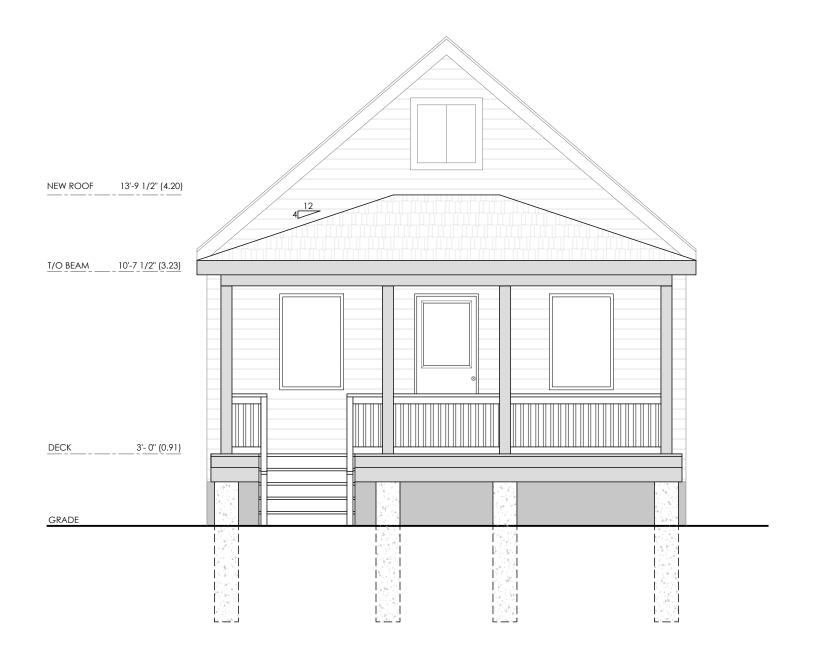
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|---------------------------|----------------------------|
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FOUNDATION & FRAMING AND ROOF PLAN

A1.01



FRAMING PLAN







TENHOUSE BUILDING WORKSHOP 107 GLADSTONE AVENUE HAMILTON, ON L8M 2H8 T: 905-699-7371

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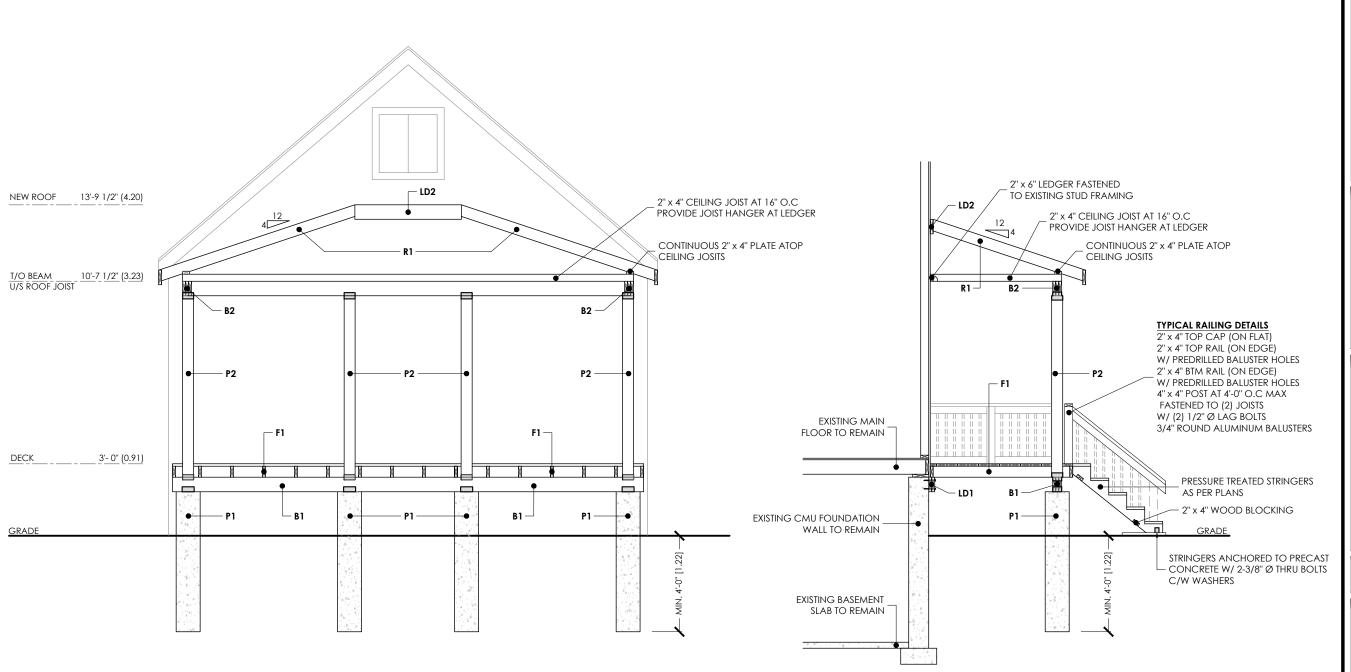
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| 0 | 07-11-2022 | FOR PERMIT APPLIC |
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| | | |
| PROJECT: | | REBUILD FRONT PORCH AT 11 ARCHIBALD STREET, HAMILTON, ON |

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|---------------------------|--------------------------|--|
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FRONT ELEVATION

A2.01









TENHOUSE BUILDING WORKSHOP 107 GLADSTONE AVENUE HAMILTON, ON L8M 2H8 T: 905-699-7371

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REBUILD FRONT PORCH AT 11 ARCHIBALD STREET, HAMILTON, ON

| | DRAWN: J.T | APPROVED : M.D.F | | |
|--|---------------------------|----------------------------|--|--|
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SECTION A & B

A3.01



Committee of Adjustment City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

| APPLICATION NO. | DAT | DATE APPLICATION RECEIVED | | | |
|-------------------------|----------------------------------|---|-------------------|--|--|
| PAID | DATE APPLICATION DEEMED COMPLETE | | | | |
| SECRETARY'S SIGNATURE | | | | | |
| | The | Planning Act | | | |
| | Application for Min | or Variance or for Permiss | ion | | |
| | nning Act, R.S.O. 1990, C | ttee of Adjustment for the Cit Chapter P.13 for relief, as des | | | |
| 1, 2 | NAME | MAILING ADDRESS | | | |
| Registered Owners(s) | SPENCER PATTERSON | | | | |
| Applicant(s)* | MATTHEW FRATARCANGELI | | | | |
| Agent or Solicitor | MATTHEW FRATARCANGELI | | | | |
| any. | · | l communications will be s | | | |
| | ddresses of any mortgage | es, holders of charges or oth | ner encumbrances: | | |
| i andia Finan | ciai Credit Union | | | | |

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

| 4. | d for: | | | |
|-----|---|--------------------------|--|--|
| | DECREASE THE MINIMUM FRONT AND SIDE YARD SETBACKS MIN.SET BACKS REQUIREMENT: (FRONT: 3 M) (SIDE:1.2) PROPOSED SETBACKS: (FRONT:1.99 METERS) (SIDE YARD: 0.79) | | | |
| | PROPOSED SE | : IBACKS: (FRC | DNT:1.99 METERS) (SIDE YARD: 0.79) | |
| | Second Dwel | | Reconstruction of Existing Dwelling | |
| 5. | Why it is not pos | sible to comply v | with the provisions of the By-law? | |
| | CURRENT GEC | METRY DUE T | ING AND TO BE REBUILT TO CLOSELY MATCH THE TO STRUCTURAL DEFECIENCIES. THE PORCH IS / SMALLER THAN THE EXISTING. | |
| 6. | Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number): | | | |
| | 11 ARCHIBALD | STREET | | |
| | | | | |
| 7. | PREVIOUS USE | OF PROPERT | Y | |
| | Residential | Industrial | Commercial | |
| | Agricultural | Vacant | | |
| | Other | | | |
| • • | | | | |
| 8.1 | If Industrial or Commercial, specify use | | | |
| 8.2 | Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred? | | | |
| | Yes 🗌 | No 🔳 | Unknown | |
| 8.3 | Has a gas station | n been located o No 🔳 | on the subject land or adjacent lands at any time? Unknown | |
| 8.4 | | | er fuel stored on the subject land or adjacent lands? | |
| 0.4 | Yes | No 🔳 | Unknown | |
| 8.5 | Are there or have subject land or a | | n underground storage tanks or buried waste on the | |
| | Yes 🗌 | No 🔳 | Unknown | |
| 8.6 | | | ever been used as an agricultural operation where n used as pesticides and/or sewage sludge was applied | |
| | Yes 🗌 No | ∑ Unkn | nown 🗌 | |
| 8.7 | | · | s ever been used as a weapon firing range? | |
| | Yes | No 🔳 | Unknown | |
| 8.8 | of an operational | /non-operational | ne application within 500 metres (1,640 feet) of the fill area all landfill or dump? | |
| | Yes | No 🔳 | Unknown | |
| 8.9 | | | existing buildings, are there any building materials ntially hazardous to public health (eg. asbestos, PCB's)? | |
| | Yes | No 🔳 | Unknown | |

| 8.10 Is there any reason to believe the subject land may have been contamination uses on the site or adjacent sites? | | | | | minated by former |
|--|---|--|---------------|---|--|
| | Yes N | o 🔳 Unkno | wn 🗌 | | |
| | | | | | |
| 8.11 | | d you use to determin | | | —————————————————————————————————————— |
| | LOCATION OF PR | OPERTY AND HIST | ORY AS PRO | VIDED BY (| OWNER |
| | | | | | |
| 8.12 | If previous use of pro | operty is industrial or | commercial or | if YES to an | v of 8.2 to 8.10. a |
| | If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed. | | | | |
| | Is the previous use i | nventory attached? | Yes | ☐ No | X |
| 9. | ACKNOWLEDGEM | ENT CLAUSE | | | |
| | I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application. | | | | |
| | 2022-07-25 | | S.P. | atterson | |
| | Date | | Signature Pro | perty Owner | ·(s) |
| | | | SPENCER P | ATTERSON | I |
| | | | Print Name of | Owner(s) | |
| 10. | Dimensions of lands | affected: | | | |
| 10. | Frontage | 7.64 METERS | | | |
| | Depth | 30.58 METERS | | , , | |
| | Area | 233.63 SQUARE N | METERS | | |
| | Width of street | | | • | |
| 44 | | dia | | | |
| Particulars of all buildings and structures on or proposed for the subject land ground floor area, gross floor area, number of stories, width, length, heigh | | | | ect lands: (Specify n. height, etc.) | |
| | Existing:_ | , | , | | , |
| | | NT: 63.60 SQUARE | METERS | | |
| | | REA: 127.20 SQUAF 2.73 SQUARE METI | | | |
| | PRONT PORCH. I | 2.73 SQUARE MET | =17.5 | | |
| | Proposed | | | | + |
| | NEW FRONT PORCH: FLOOR AREA: 11.04 SQUARE METERS, (1.83 METERS | | | | |
| | WIDE x 5.98 LONG), (3.00 METERS HIGH) | | | | |
| | | | | | |
| | l | | | | |
| 12. | | ngs and structures or ear and front lot lines | | or the subjec | t lands; (Specify |
| | Existing: | | | | |
| | | E: 0.74 METERS, RI | GHT SIDE: 0.8 | 81 METERS | , FRONT: 3.82 |
| | METERS, REAR: 15.72 METERS FRONT PORCH: 0.79 METERS, RIGHT SIDE: 0.86 METERS, FRONT: 1.69 | | | | |
| | METERS, REAR: 2 | 6.76 METERS | | | |
| | Proposed: | | | | |
| | | CH: LEFT SIDE: 0.7 METERS, FRONT: 1 | | ΡΕΔΡ: 26 7 | 76 METERS |
| | CONTROLL 0.00 | WEIERO, 110HI. | 1.00 METERO, | 116/11/12/11 | O MILITAGO |
| | | | | | 1 |

PART 25 AFFIDAVIT OR SWORN DECLARATION This declaration to be sworn by a Commissioner of Oaths. CITY **HAMILTON MATTHEW FRATARCANGELI** of the **PROVINCE ONTARIO** in the of solemnly declare that: All of the above statements are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath. Declared before me at the at the CIT of HAMILTON Applicant A.D. 2022) Christopher Matthew Newman. a Commissioner, etc., Province of Ontario, for the City of Hamilton. Expires May 21, 2024 **PART 26 OWNERS AUTHORIZATION** As of the date of this application, I (NAME) SPENCER PATTERSON am the registered Owner(s) of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize: MATTHEW FRATARCANGELI of TENHOUSE BUILDING WORKSHOP to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application. DATE 2022-07-25 SIGNED **CONSENT OF THE OWNER** Complete the consent of the owner concerning personal information set out below. Consent of Owner to the Disclosure of Application Information and Supporting Documentation Application information is collected under the authority of the Planning Act, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all Planning Act applications and supporting documentation submitted to the City. SPENCER PATTERSON _, the Owner(s), hereby agree and acknowledge (Print name of Owner(s)) that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this

application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their

Signature of Owner(s)

S.Patterson

request.

Date

2022-07-25