



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>HM/A-22:262</b>	<b>SUBJECT PROPERTY:</b>	11 ARCHIBALD STREET, HAMILTO
<b>ZONE:</b>	“C” (Urban Protected Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Hamilton 6593, as Amended

**APPLICANTS:** Owner – Spencer Patterson  
Agent – Matthew Fratarcangeli

The following variances are requested:

1. A northly side yard width of 0.75m shall be provided instead of the minimum required 1.2m side yard width.
2. A southerly side yard width of 0.8m shall be provided instead of the minimum required 1.2m side yard width.
3. A roofed over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters shall be permitted to project into a required front yard 4.35m, instead of the maximum 3.0m encroachment permitted.

**PURPOSE & EFFECT:** To permit the construction of a new front yard unenclosed porch, replacing the existing unenclosed front yard porch.

**Notes:**

1. An eave/gutter may project a maximum of one half of a side yard or 1.0m whichever is the lesser amount. If the requested side yard variances are approved, an eave/gutter may project a maximum of 0.375m into the required northerly side yard and 0.4m into the required southerly side yard.
2. Details for the proposed covered porch have not been provided for the Minor Variance application to address the setback/ encroachment details for the stairs provided in the required front yard, as such, further variances may be required at such a time that a complete review of the front yard encroachments

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, September 8, 2022</b>
<b>TIME:</b>	<b>2:45 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 Subject Lands

DATED: August 23, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



1 AREA MAP  
A0.01 NTS



2 11 ARCHIBALD STREET  
A0.01 NTS

**PROJECT DESCRIPTION:**

- THESE DRAWINGS OUTLINE A RENOVATION OF A FRONT PORCH AT 11 ARCHIBALD STREET, HAMILTON, ONTARIO.
- THERE ARE NO CHANGES TO THE EXISTING BUILDING OR SITE CONDITIONS UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- EXISTING SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED. MINIMUM 24" AROUND PROPERTY LINE TO REMAIN UNCHANGED - GRADES TO MATCH.

**PROJECT NOTES:**

1. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT O.B.C. AND THE ONTARIO CONSTRUCTION SAFETY ACT.
2. CONTRACTOR TAKE NECESSARY PRECAUTIONS TO COMPLY WITH LOCAL SAFETY AUTHORITIES HAVING JURISDICTION (I.E. OCCUPATIONAL HEALTH AND SAFETY ACT).
3. CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE FROM DRAWINGS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBORING PROPERTIES.
6. ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED. ANY DAMAGED OR DISTURBED UTILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTORS EXPENSE.
7. SAFEGUARD ALL EXISTING STRUCTURES, SERVICES, AND ADJACENT PROPERTY AFFECTED BY THE CONSTRUCTION.
8. ALL CONCRETE WORK, INCLUDING FORMING, REINFORCING, PREPARATION, MIXING, PLACING, CURING AND FINISHING SHALL CONFORM TO CSA CAN 3-A23.1-M90 (M94).

9. ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH CAN3-5304-M90.
10. IF THERE ARE ANY DEVIATIONS NOTED FROM WHAT IS DEPICTED ON THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY TENHOUSE BUILDING WORKSHOP AND SEEK INSTRUCTION BEFORE PROCEEDING.
11. DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH CSA S350-M1980(R2003) AND MINISTRY OF LABOUR REQUIREMENTS.
12. IF REQUIRED, CONTRACTOR IS TO PROVIDE SUPPORTS OR SHORING WHERE NECESSARY, BEFORE ANY CLEANUP, DEMOLITION, OR REPAIR ACTIVITIES.
13. ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
14. ALL DIMENSION LUMBER TO BE SPRUCE, PINE, FIR (SPF) NO. 1 OR NO. 2 GRADE.
15. THE CONTRACTOR SHALL SEEK FURTHER DIRECTION, IF REQUIRED, REGARDING DETAILS OR MATERIAL SELECTION. TENHOUSE BUILDING WORKSHOP DOES NOT TAKE RESPONSIBILITY FOR DETAILS NOT INCLUDED IN THESE DRAWINGS.
16. ALL SPECIFICATIONS AND MATERIALS PROPOSED BY ENGINEERS SHALL BE USED IN PLACE OF SPECIFICATIONS AND MATERIALS IDENTIFIED IN THE CONSTRUCTION NOTES.
17. ALL MANUFACTURED ITEMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS. SUBMIT ALL INSTALLATION INSTRUCTIONS TO OWNER UPON COMPLETION OF JOB.
18. ALL HAZARDOUS MATERIALS TO BE IDENTIFIED BY THE CONTRACTOR AND PROPERLY DISPOSED OF.
19. ALL WORK AND TRADES SHALL BE COORDINATED BY THE GENERAL CNTRACTOR TO ENSURE ALL WORK IS COMPLETED TO THE HIGHEST LEVEL OF STANDARD.
20. GENERAL CONTRACTOR IS RESPONSIBLE OF OBTAIN ALL NESSCESSARY AND REQUIRED INSPECTIONS.
21. ALL MATERIALS TO BE NEW AND FREE OF DEFECTS.

**ABBREVIATIONS:**

AFF	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD
ALUM	ALUMINUM	HB	HOSE BIB
BBSE	BEAM BY STRUCTURAL ENGINEER	INSUL	INSULATED OR INSULATION
BM	BEAM	INT	INTERIOR
CLG	CEILING	JST	JOIST
CRF	CONVENTIONAL ROOF FRAMING	LVL	LAMINATED VENEER LUMBER
CMU	CONCRETE MASONRY UNIT	LSL	LAMINATED STRAND LUMBER
COL	COLUMN	MAX	MAXIMUM
CONC	CONCRETE	MIN	MINIMUM
CONT	CONTINUOUS	MTL	METAL
CW	COMPLETE WITH	OBC	ONTARIO BUILDING CODE
DEMO	DEMOLISH	OC	ON CENTER
DIM	DIMENSION	OSB	ORIENTED STRAND BOARD
DJ	DOUBLE JOIST	OTA	OPEN TO ABOVE
DN	DOWN	OTB	OPEN TO BELOW
DO	DO OVER	PT	PRESSURE TREATED
DR	DOOR	PTD	PAINT OR PAINTED
DROP	DROPPED	REQD	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DWG	DRAWING	RT	ROOF TRUSS
EA	EACH	RWL	RAIN WATER LEADER
EIFS	EXTERIOR INSULATED FINISH SYSTEM	SB	SOLID BEARING
ELEV	ELEVATION	SBFA	SOLID BEARING FROM ABOVE
ENC	ENCLOSED	SJ	SINGLE JOIST
ENG	ENGINEER OR ENGINEERED	SPEC	SPECIFIED OR SPECIFICATION
EQ	EQUAL	SPF	SPRUCE, PINE, FIR
EST	ESTIMATED	STL	STEEL
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN	TJ	TRIPLE JOIST
FG	FIXED GLASS	T/O	TOP OF
FL	FLUSH	TYP	TYPICAL
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	U/S	UNDERSIDE
GALV	GALVANIZED	WIC	WALK-IN CLOSET
		WP	WEATHER PROOF

**TENHOUSE**  
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP  
107 GLADSTONE AVENUE  
HAMILTON, ON L8M 2H8  
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

**QUALIFICATION INFORMATION**  
MATTHEW FRATARCANGELI  
BCIN#:44839

*Matthew Fratarcangeli*

**REGISTRATION INFORMATION**  
TENHOUSE BUILDING WORKSHOP  
BCIN#:112916

NO.	DATE	REVISION/ISSUE
0	07-11-2022	FOR PERMIT APPLICATION

**PROJECT:**

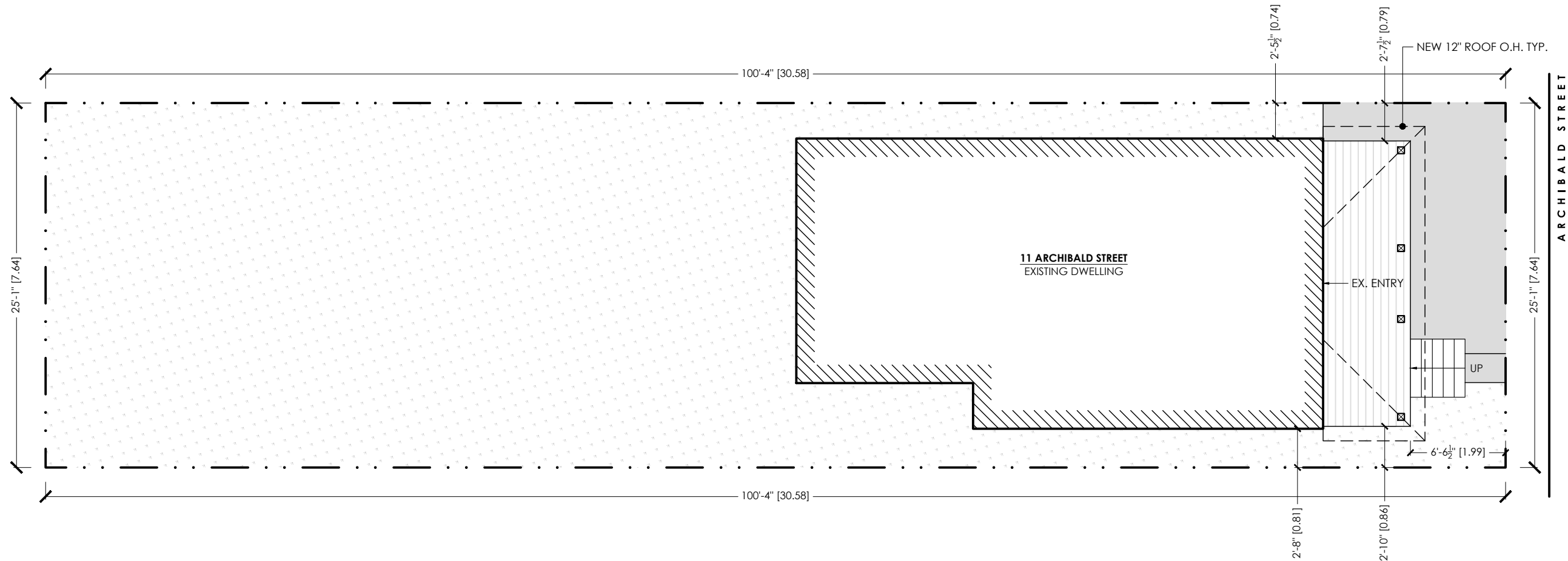
REBUILD FRONT PORCH  
AT 11 ARCHIBALD STREET,  
HAMILTON, ON

<b>DRAWN:</b> J.T	<b>APPROVED:</b> M.D.F
<b>FILE NO:</b> 2022-021	<b>CHECKED:</b> M.D.F
<b>REVISION:</b> 0	<b>DATE:</b> 07-11-2022



**LEGEND:**

-  EXISTING SOFTSCAPE
-  EXISTING HARDSCAPE
-  NEW FRONT PORCH
-  NEW POST



**GENERAL SITE PLAN NOTES:**

1. ONLY SITE WORK RELATED TO THE CONSTRUCTION OF THE SUBJECT FRONT PORCH TO BE CARRIED OUT.
2. EXISTING SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED. MINIMUM 24" AROUND PROPERTY LINE TO REMAIN UNCHANGED - GRADES TO MATCH
3. ALL DOWNSPOUTS ON SITES DRAINS DIRECTLY INTO SOFT LANDING. NO DOWNSPROUTS ARE TO CROSS WALKWAYS OR PATIOS OR DRAIN ONTO/ACROSS WALKWAYS OR PATIOS.

**LOT STATS:**

LOT AREA:	<b>2514.77</b>	<b>SQ. FT.</b>	<b>[233.63</b>	<b>SQ. M.]</b>
HOUSE	<b>684.58</b>	<b>SQ. FT.</b>	<b>[63.60</b>	<b>SQ. M.]</b>
NEW FRONT PORCH	<b>118.83</b>	<b>SQ. FT.</b>	<b>[11.04</b>	<b>SQ. M.]</b>

1
**PROPOSED SITE PLAN**  
 SP1.01 3/32"=1'-0"



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PROPOSED SITE PLAN  
**SP1.01**

**STRUCTURAL FRAMING:**

1. ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23, U.N.O. ON THE DRAWINGS.
2. LUMBER SHALL BE SPF No. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
3. LUMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD WITHOUT PERMISSION OF TENHOUSE BUILDING WORKSHOP.
4. ENGINEERED LUMBER (TJI, LVL) MAY BE DRILLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND DETAILS.
5. WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION. PROVIDE EITHER PRESSURE TREATED LUMBER, SUITABLE WOOD PRESERVATIVE OR 6 MIL (0.152mm) POLYETHYLENE SHEET.
6. SOLID HORIZONTAL BRIDGING SHALL BE PROVIDED AT 1200mm (4'-0") O.C. IN THE FIRST TWO JOIST SPACES ADJACENT TO THE EXTERIOR WALLS. BRIDGING SHALL BE ATTACHED TO THE EXTERIOR WALL TO PROVIDE LATERAL STABILITY.
7. PROVIDE 38mm x 38mm (2X2) DIAGONAL CROSS BRIDGING OR SOLID BLOCKING AT MAXIMUM 2.1m (82") O.C. FOR ALL SAWN JOIST LOCATIONS.
8. PROVIDE SOLID WOOD HORIZONTAL BLOCKING AT MAXIMUM 3.0m (10'-0") O.C. FOR ALL FRAMED WALLS. INSTALL MORE FREQUENTLY WHEN SO NOTED ON THE ARCHITECTURAL OR STRUCTURAL WALL DRAWINGS (EG. FOR BLOCKING OF SHEAR WALLS, OR FOR LATERAL STUD SUPPORT).
9. ALL NAILS USED SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA STANDARD B111 "WIRE NAILS, SPIKES AND STAPLES" UNLESS NOTED OTHERWISE.
10. STEEL BEAMS AND COLUMNS SHALL BE TO ASTM A992/992M, GRADE 50W (Fy = 345 MPa).
11. ALL STEEL CONNECTORS (UPLIFT CLIPS, BRACKETS, JOIST HANGERS etc.) SHALL BE SIMPSON STRONG TIE CONNECTORS UNLESS NOTED OTHERWISE.
12. FOR SOLID AND BUILT UP MEMBERS (TRUSSES, BEAMS, LINTELS) PROVIDE A BUILT UP POST WITH AN EQUAL OR GREATER THICKNESS UNLESS NOTED OTHERWISE. ALL BUILT UP POSTS TO BE CONTINUOUS (INCLUDING TRANSFER BLOCKING AT FLOORS) DOWN TO THE FOUNDATIONS.
13. ALL BUILT UP MEMBERS TO BE FASTENED TOGETHER WITH TWO 75mm (3") SPIRAL NAILS AT 300mm (12") O.C. FOR EVERY PLY UNLESS NOTED OTHERWISE. MULTI-PLY ENGINEERED LUMBER BEAMS TO BE FASTENED AS PER THE MANUFACTURER'S SPECIFICATIONS.
14. ALL PRE-ENGINEERED STEEL CONNECTORS (EG. SIMPSON STRONG TIE) ARE TO HAVE THE CORRECT NUMBER AND SIZE OF FASTENERS, AS PER THE MANUFACTURER'S PRODUCT CATALOGUE.
15. PROVIDE SOLID BLOCKING OR MECHANICAL CONNECTIONS AT THE TOP AND BOTTOMS OF BEAMS AT BEARING POINTS TO PREVENT MOVEMENT OR ROTATION.

**POST SCHEDULE**

- P1 - 12" Ø POURED CONCRETE PIER  
MIN. 4' DEEP ON UNDISTURBED SOIL
- P2 - PRESSURE TREATED 6" x 6" POST  
PROVIDE METAL POST TO BEAM CONNECTOR AT TOP AND BOTTOM
- P3 - 3-PLY 2" x 4" POST  
W/ TRANSFER BLOCKING TO SOLID CMU FOUNDATION

PLFA - POINT LOAD FROM ABOVE

**DECK JOIST SCHEDULE**

- F1 - 2" x 6" PRESSURE TREATED DECK JOISTS AT 16" O.C.  
1 ROW BLOCKING AT MID SPAN  
5/4 DECK BOARDS

**ROOF SCHEDULE**

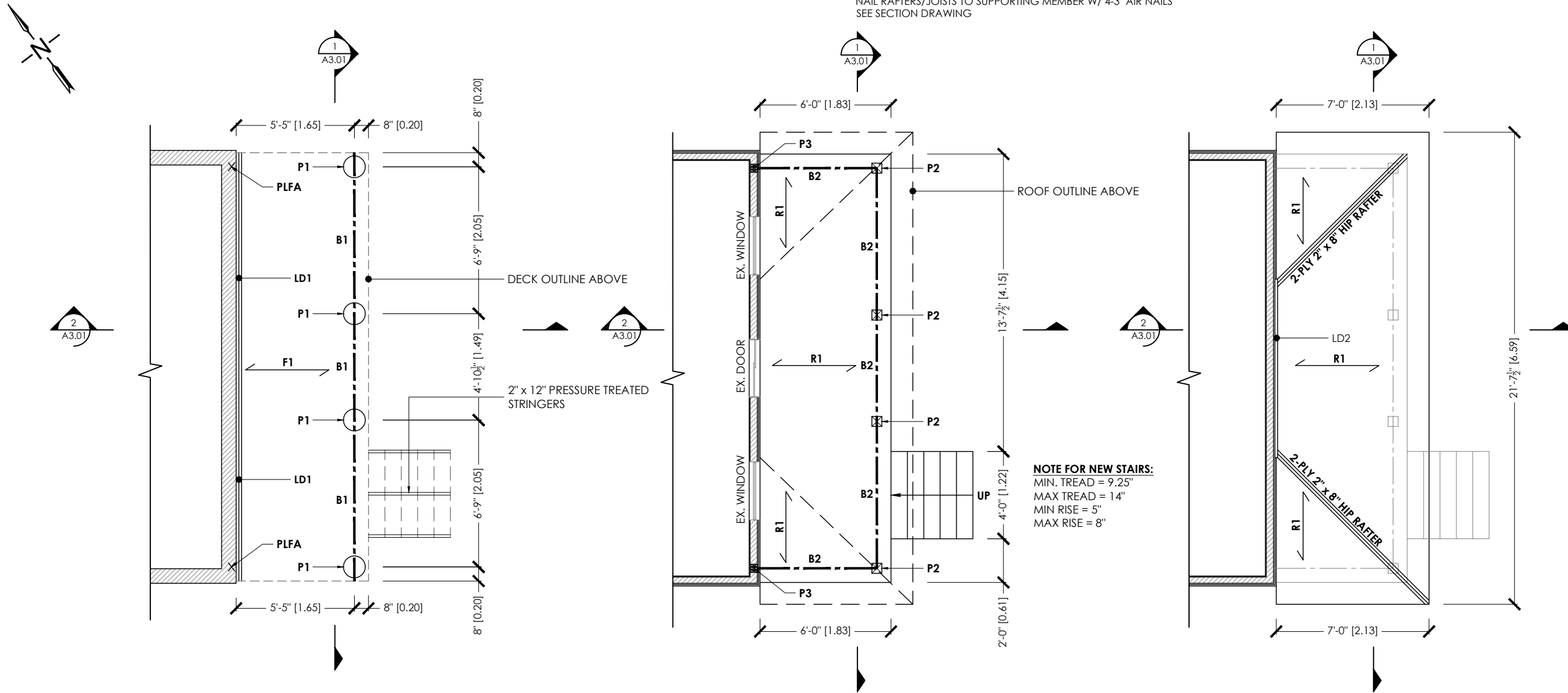
- R1 - ROOF  
ASPHALT SHINGLE W/ SHINGLE UNDERLAYMENT AS PER MANUFACTURER  
1/2" ROOF SHEATHING  
2" x 6" AT 16 O.C ROOF RAFTERS W/ BIRD MOUTH CUT  
2" x 4" AT 16 O.C CEILING JOISTS  
NAIL RAFTERS/JOISTS TO SUPPORTING MEMBER W/ 4-3" AIR NAILS  
SEE SECTION DRAWING

**LEDGER BOARD SCHEDULE**

- LD1 - NEW DROPPED P.T 2-2" x 8" LEDGER BOARD LAG BOLTED W/  
EXPANSION SLEEVE TO EXISTING SOLID CMU FOUNDATION  
W/ 1/2" Ø BOLTS W/ MIN 4" EMBEDMENT  
AT 16" O.C., STAGGERED
- LD2 - NEW 2" x 8" LEDGER BOARD NAILED TO EXISTING WALL FRAMING  
W/ 3 NAILS PER STUD AND MIN 1.5" EMBEDMENT  
PROVIDE METAL JOIST HANGERS FOR ROOF RAFTERS

**BEAM SCHEDULE**

- B1 - DECK BEAM  
PRESSURE TREATED 3-PLY 2" x 8" DROPPED BEAM  
METAL BEAM SADDLE ANCHORED TO CONCRETE PIER  
MIN 4" EMBEDMENT INTO PIER FOR BEAM SADDLE
- B2 - ROOF BEAM  
PRESSURE TREATED 3-PLY 2" x 8" DROPPED BEAM  
PROVIDE METAL POST TO BEAM CONNECTOR



1 FOUNDATION PLAN  
A1.01 1/8"=1'-0"

2 FRAMING PLAN  
A1.01 1/8"=1'-0"

3 ROOF PLAN  
A1.01 1/8"=1'-0"



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

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*Matthew Fratarcangeli*

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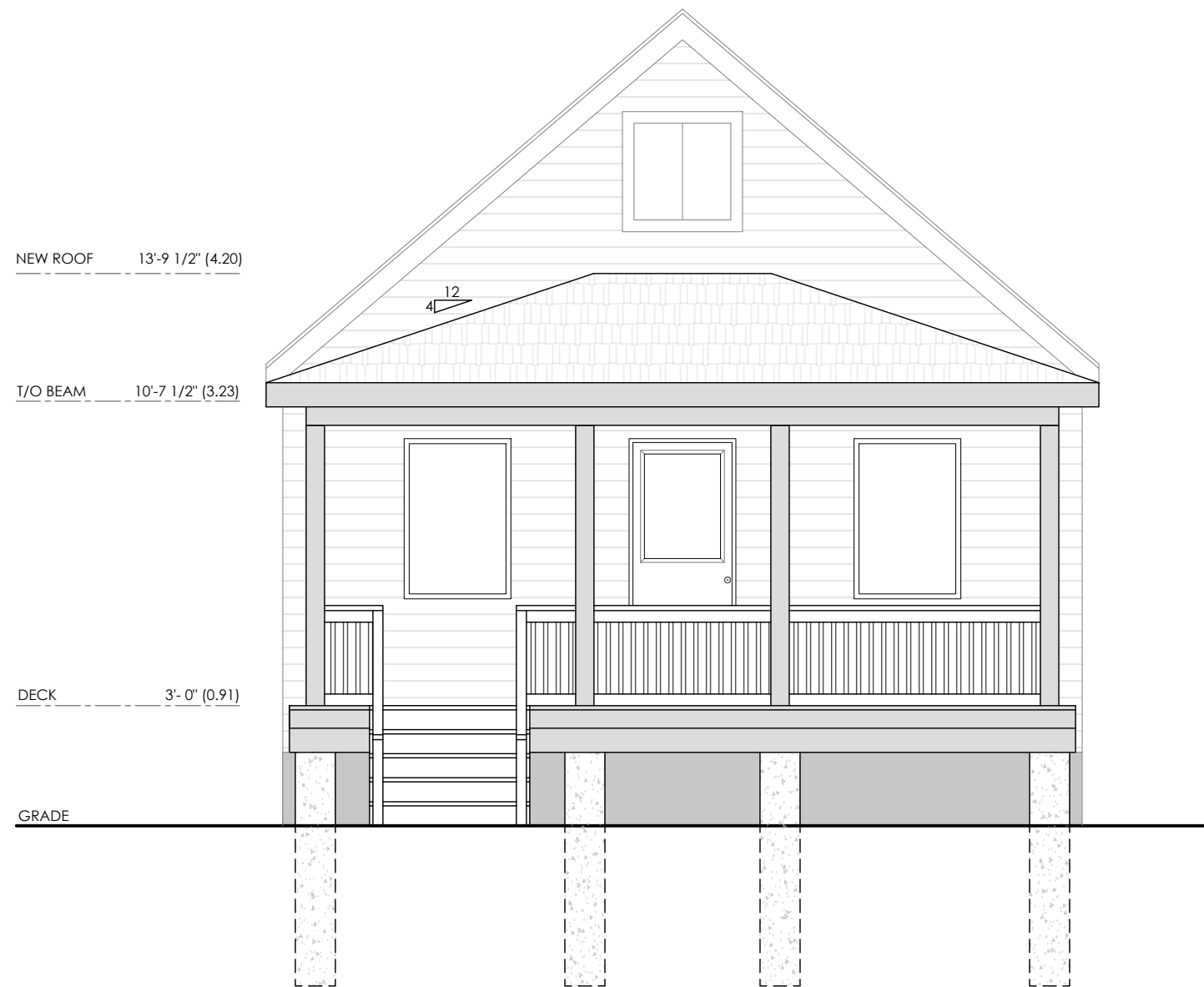
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FOUNDATION & FRAMING AND ROOF PLAN  
**A1.01**





1 FRONT ELEVATION  
A2.01 3/8"=1'-0"



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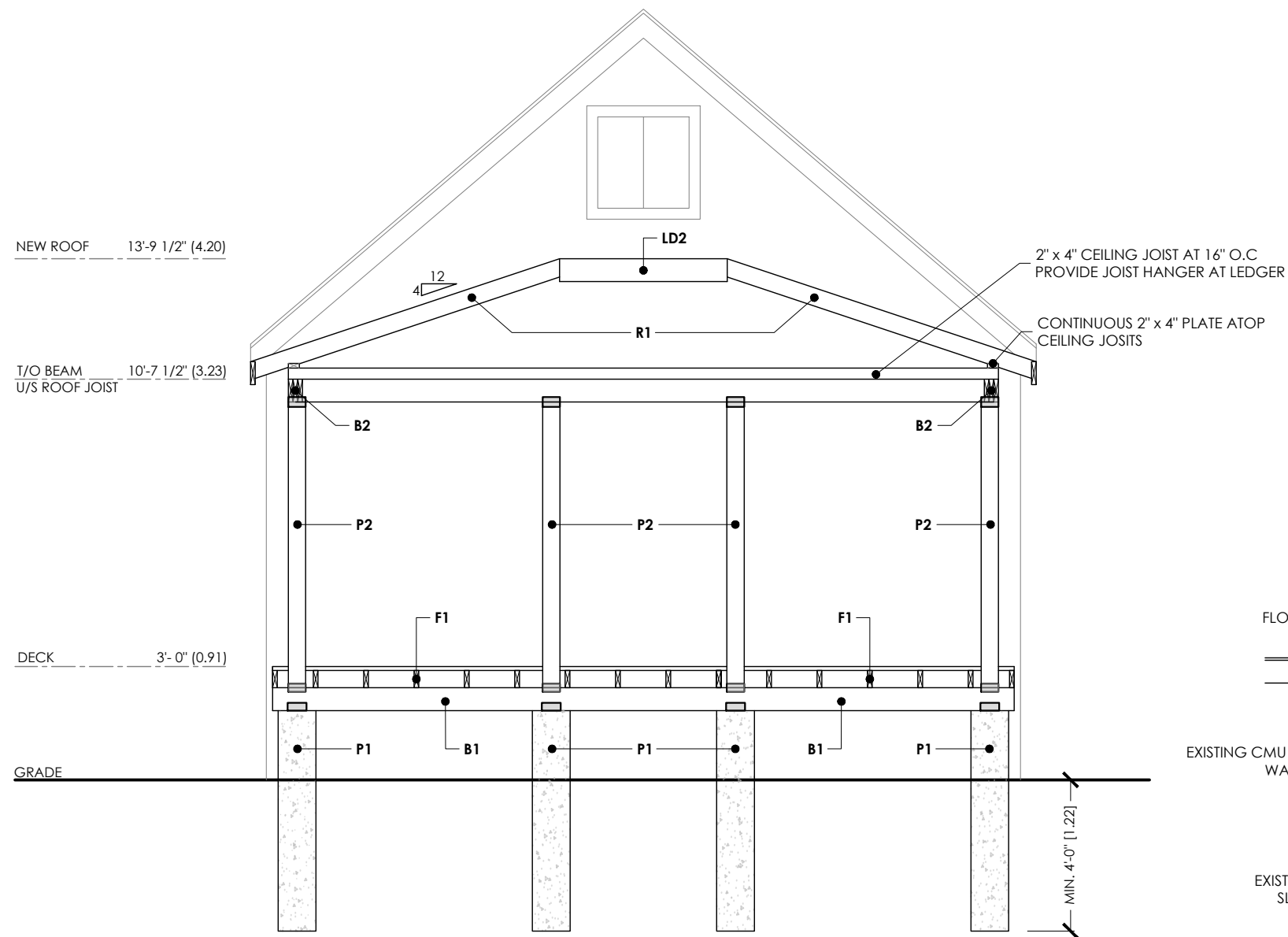
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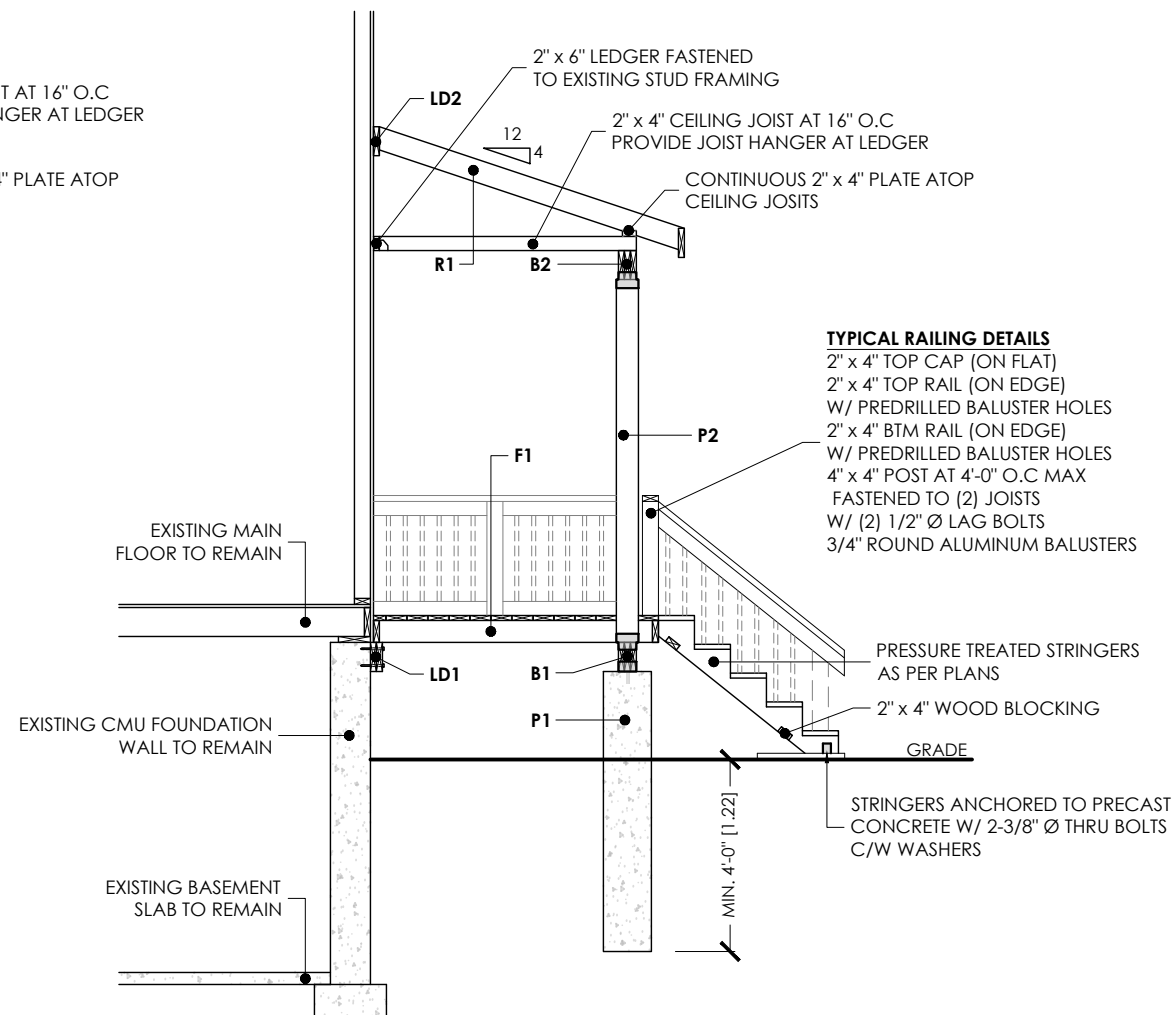
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FRONT ELEVATION  
**A2.01**



1 SECTION A  
A3.01 1/4"=1'-0"



2 SECTION B  
A3.01 1/4"=1'-0"



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SECTION A & B  
**A3.01**



Hamilton

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
<b>Registered Owners(s)</b>	SPENCER PATTERSON	
<b>Applicant(s)*</b>	MATTHEW FRATARCANGELI	
<b>Agent or Solicitor</b>	MATTHEW FRATARCANGELI	

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Tandia Financial Credit Union
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**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

DECREASE THE MINIMUM FRONT AND SIDE YARD SETBACKS  
MIN.SET BACKS REQUIREMENT: (FRONT: 3 M) (SIDE:1.2)  
PROPOSED SETBACKS: (FRONT:1.99 METERS) (SIDE YARD: 0.79)

Second Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

THE FRONT PORCH IS EXISTING AND TO BE REBUILT TO CLOSELY MATCH THE CURRENT GEOMETRY DUE TO STRUCTURAL DEFECIENCIES. THE PORCH IS ALSO BEING BUILT SLIGHTLY SMALLER THAN THE EXISTING.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

11 ARCHIBALD STREET

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial

Agricultural       Vacant

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes       No       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes       No       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes       No       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes       No       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes       No       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes       No       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes       No       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes       No       Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

LOCATION OF PROPERTY AND HISTORY AS PROVIDED BY OWNER

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

### 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2022-07-25

Date

*S. Patterson*

Signature Property Owner(s)

SPENCER PATTERSON

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 7.64 METERS  
Depth 30.58 METERS  
Area 233.63 SQUARE METERS  
Width of street \_\_\_\_\_

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

HOUSE FOOTPRINT: 63.60 SQUARE METERS  
GROSS FLOOR AREA: 127.20 SQUARE METERS  
FRONT PORCH: 12.73 SQUARE METERS

Proposed

NEW FRONT PORCH: FLOOR AREA: 11.04 SQUARE METERS, (1.83 METERS WIDE x 5.98 LONG), (3.00 METERS HIGH)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

HOUSE: LEFT SIDE: 0.74 METERS, RIGHT SIDE: 0.81 METERS, FRONT: 3.82 METERS, REAR: 15.72 METERS  
FRONT PORCH: 0.79 METERS, RIGHT SIDE: 0.86 METERS, FRONT: 1.69 METERS, REAR: 26.76 METERS

Proposed:

NEW FRONT PORCH: LEFT SIDE: 0.79 METERS, RIGHT SIDE: 0.86 METERS, FRONT: 1.99 METERS, REAR: 26.76 METERS

**PART 25 AFFIDAVIT OR SWORN DECLARATION**

This declaration to be sworn by a Commissioner of Oaths.

I, MATTHEW FRATARCANGELI of the CITY of HAMILTON  
in the PROVINCE of ONTARIO solemnly declare that:

All of the above statements are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Declared before me at the  
at the CITY of HAMILTON )  
in the PROVINCE )  
of ONTARIO )

[Signature]  
Applicant

this 20th day of JULY A.D. 2022 )  
[Signature]  
A Commissioner, etc.

Christopher Matthew Newman,  
a Commissioner, etc.,  
Province of Ontario, for the City of Hamilton.  
Expires May 21, 2024

**PART 26 OWNERS AUTHORIZATION**

As of the date of this application, I (NAME) SPENCER PATTERSON am the registered Owner(s) of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

MATTHEW FRATARCANGELI of TENHOUSE BUILDING WORKSHOP

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE 2022-07-25 SIGNED S. Patterson

**PART 27 CONSENT OF THE OWNER**

Complete the consent of the owner concerning personal information set out below.

Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

I, SPENCER PATTERSON, the Owner(s), hereby agree and acknowledge  
(Print name of Owner(s))

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

2022-07-25  
Date

S. Patterson  
Signature of Owner(s)