

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-22:284	SUBJECT PROPERTY:	43 WEST AVENUE S, HAMILTON,
ZONE:	D5 (Downtown Residential)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: 2809628 Ontario Inc.
Agent: King Homes Inc. – Ken Bekendam

The following variances are requested:

1. A minimum lot area of 241.78m² shall be permitted instead if the minimum required 300.0m² required.
2. A minimum lot width of 6.52m shall be permitted instead of the minimum required 12.0m required.
3. A Maximum front yard of 5.06m instead of the maximum 4.5m front yard required.
4. No parking maneuvering space shall be provided instead of the minimum 6.0m maneuvering space for 90-degree parking spaces required.

PURPOSE & EFFECT: To permit the construction of a new 2 storey rear addition, adding 2 dwelling units within the existing building and 3 dwelling units in the new rear addition. Total of 5 units and adding 2 parking spaces off the rear laneway.

Notes:

1. Information regarding mechanical and unitary equipment was not provided, as such additional variances may be required as details of mechanical equipment become available.
2. Variances written exactly as requested by the applicant.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, October 6, 2022
TIME:	1:40 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: September 20, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Please include your name and address, hearing date, and file number. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

43 WEST AVENUE SOUTH, HAMILTON - ON

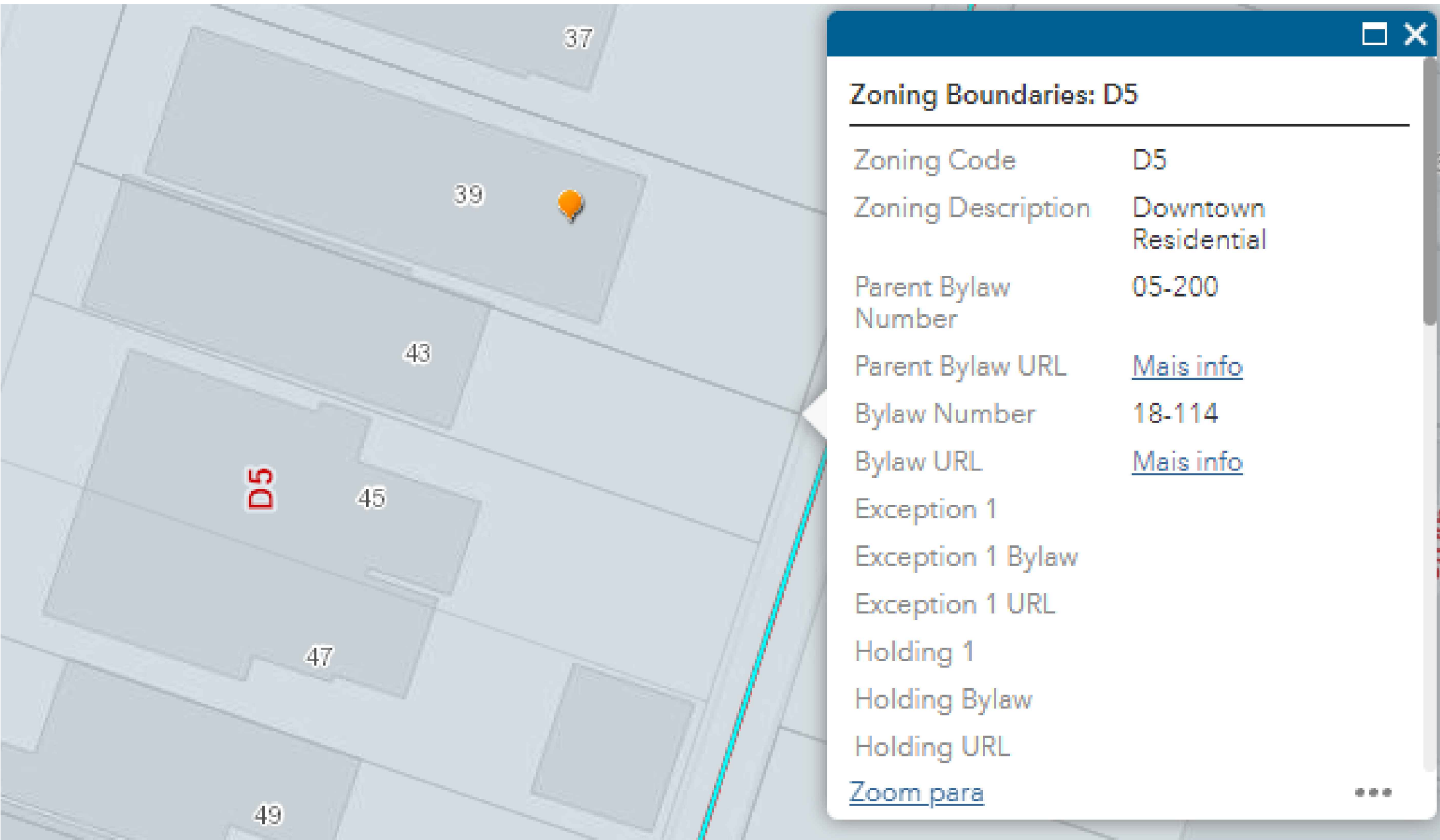
MULTI-UNIT CONVERSION AND REAR ADDITION



EXISTING BUILDING IMAGE



AERIAL MAP



ZONING MAP

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES
ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCON, L.T.
kenbekendam@gmail.com

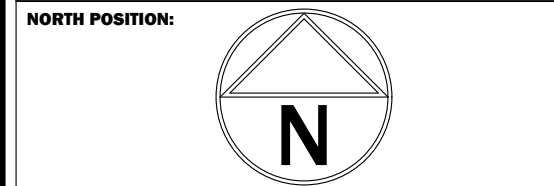
CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E, HAMILTON, ON
OFFICE PHONE:
855-546-4467
CELL PHONE:
905-961-0647

LEAD ENGINEER:
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE SIGN NUMBER AND ORIGINAL SIGNATURE.)
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:			
NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

<input type="checkbox"/> EXHAUST FAN
<input type="checkbox"/> SMOKE ALARM
<input type="checkbox"/> CARBON MONOXIDE ALARM
<input type="checkbox"/> PLUMBING STACK
<input type="checkbox"/> WATER METER
<input type="checkbox"/> FLOOR DRAIN
<input type="checkbox"/> STRUCTURAL BEAM OR WALL



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:
TITLE PAGE

SCALE: 3/32"=1'-0"	DATE: 25/AUGUST/2022
PROJECT NO. 22-18	REVIEWED BY: KEN BEKENDAM
DRAWN BY: DANILLO CEOLA	

SHEET NO.
A0.01

GENERAL NOTES:

- ALL CONSTRUCTION TO COMPLY WITH THE CURRENT ONTARIO BUILDING CODE (REVISED 2012 OBC - DEC 19, 2017).
- ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING, MASONRY, OR CONCRETE SURFACES U.O.N.
- ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENING.
- CONTRACTOR SHALL VERIFY WINDOW OPENINGS WITH THE MANUFACTURER PRIOR TO WORK.
- READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ELECTRICAL PLANS SUPPLIED BY LICENSED ELECTRICAL CONTRACTOR.
- ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING FABRICATION.
- THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
- PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
- THE CONTRACTOR IS NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.
- EXISTING DRAINAGE PATTERNS TO REMAIN. ANY NEW SUMP PUMP INSTALLATIONS TO DISCHARGE IN REAR YARD.
- BUILDING FROM THESE SHALL PROCEED ONLY WHEN MARKED "ISSUED FOR CONSTRUCTION."
- EXISTING STRUCTURE NOTE:
- OWNER AND CONTRACTOR ARE FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING GENERAL AND STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO SUITE ADDITIONS INC. PRIOR TO ANY WORK.
- OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK IF REQUIRED.

CODE REFERENCES AND SPECIFICATIONS

1. FIRE PROTECTION MEASURES
ALL FIRE PROTECTION MEASURES MUST COMPLY WITH OBC 9.10. (U.O.N.)

2. CEILING HEIGHTS
CEILING HEIGHTS SHALL COMPLY WITH OBC 9.5.3.1. AND PART 11 - C102 OF TABLE 11.5.1.1.C.

PART 9:
BASEMENT SPACE - 2 100 mm (6'-10 3/4") over at least 75% of the basement area except that under beams and ducts the clearance is permitted to be reduced to 1 950 mm (6'-4 7/8")

PART 11 (COMPLIANCE ALTERNATIVE):

- (a) minimum room height shall not be less than 1 950 mm (6'-4 7/8") over the required floor area and in any location that would normally be used as a means of egress, or
- (b) minimum room height shall not be less than 2 030 mm (6'-8") over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1 400 mm (4'-7 1/8") shall not be considered in computing the required floor area.

3. EGRESS FROM DWELLING UNIT
EGRESS FROM DWELLING UNIT SHALL COMPLY WITH OBC 9.9.9 AND PART 11 COMPLIANCE - C136 OF TABLE 11.5.1.1.C.

PART 9:

9.9.9.1. Travel Limit to Exits or Egress Doors

- (1) Except as provided in Sentences (2) and (3), every dwelling unit containing more than 1 storey shall have exits or egress doors located so that it shall not be necessary to travel up or down more than 1 storey to reach a level served by,
- (a) an egress door to a public corridor, enclosed exit stair or exterior passageway, or
- (b) an exit doorway not more than 1 500 mm above adjacent ground level.
- (2) Where a dwelling unit is not located above or below another suite, the travel limit from a floor level in the dwelling unit to an exit or egress door is permitted to exceed 1 storey where that floor level is served by an operable window or door,
- (a) providing an unobstructed opening of not less than 1 000 mm in height and 550 mm in width, and
- (b) located so that the sill is not more than,
- (i) 1 000 mm above the floor, and
- (ii) 7 m above adjacent ground level.
- (3) The travel limit from a floor level in a dwelling unit to an exit or egress door is permitted to exceed 1 storey where that floor level has direct access to a balcony.
- 9.9.9.2. Two Separate Exits
- (1) Except as provided in Sentence 9.9.7.3.(1), where an egress door from a dwelling unit opens onto a public corridor or exterior passageway it shall be possible from the location where the egress door opens onto the corridor or exterior passageway to go in opposite directions to two separate exits unless the dwelling unit has a second and separate means of egress.

9.9.9.3. Shared Egress Facilities

- (1) A dwelling unit shall be provided with a second and separate means of egress where an egress door from the dwelling unit opens onto,
- (a) an exit stairway serving more than one suite,
- (b) a public corridor,
- (i) serving more than one suite, and
- (ii) served by a single exit,
- (c) an exterior passageway,
- (i) serving more than one suite,
- (ii) served by a single exit stairway or ramp, and
- (iii) more than 1.5 m above adjacent ground level, or
- (d) a balcony,
- (i) serving more than one suite,
- (ii) served by a single exit stairway or ramp, and
- (iii) more than 1.5 m above adjacent ground level.

PART 11 (COMPLIANCE ALTERNATIVE):

- In a house, exit requirements are acceptable if at least one of the following conditions exists:
- (A) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,
- (b) an exit that is accessible to more than one dwelling unit and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another
- (c) access to an exit from one dwelling unit which leads through another dwelling unit where,
- (i) an additional means of escape is provided through a window that conforms to the following:
- (A) the sill height is not more than 1 000 mm above or below adjacent ground level,
- (B) the window can be opened from the inside without the use of tools,
- (C) the window has an individual unobstructed open portion having a minimum area of 0.38 m² with no dimension less than 460 mm
- (D) the sill height does not exceed 900 mm above the floor or fixed steps,
- (E) where the window opens into a window well, a clearance of not less than 1 000 mm shall be provided in front of the window, and
- (F) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected,
- (ii) an additional means of escape is provided through a window that conforms to the following:
- (A) the window is a casement window not less than 1 060 mm high, 560 mm wide, with a sill height not more than 900 mm above the inside floor,
- (B) the sill height of the window is not more than 5 m above adjacent ground level, and
- (C) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected, or (iii) the building is sprinklered and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.

10. EGRESS FROM BEDROOMS
EGRESS FROM BEDROOMS SHALL COMPLY WITH OBC 9.9.10.1

PART 9:

- (1) Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level containing a bedroom in a suite shall be provided with at least one outside window that,
- (a) is operable from the inside without the use of tools,
- (b) provides an individual, unobstructed open portion having a minimum area of 0.35 m² with no dimension less than 380 mm, and
- (c) maintains the required opening described in Clause (b) without the need for additional support.
- (2) Except for basement areas, the window required in Sentence (1) shall have a maximum sill height of

- 1000 mm above the floor.
- (3) When sliding windows are used, the minimum dimension described in Sentence (1) shall apply to the operable portion of the window.
- (4) Where the sleeping area within a live/work unit is on a mezzanine with no obstructions more than 1 070 mm above the floor, the window required in Sentence (1) may be provided on the main level of the live/work unit provided the mezzanine is not more than 25% of the area of the live/work unit or 20 m², whichever is less, and an unobstructed direct path of travel is provided from the mezzanine to this window.
- (5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 550 mm shall be provided in front of the window.
- (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall not reduce the clearance in a manner that would restrict escape in an emergency.
- (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be operable from the inside without the use of keys, tools or special knowledge of the opening mechanism.

5. SMOKE ALARMS
SMOKE ALARMS SHALL COMPLY WITH OBC 9.10.19. AND PART 11 COMPLIANCE - C175 OF TABLE 11.5.1.1.C.

PART 9:

- 9.10.19.1. Required Smoke Alarms
- (2) Smoke alarms conforming to CAN/ULC-S531, "Smoke Alarms", shall be installed in each dwelling unit and in each sleeping room not within a dwelling unit.
- (3) Smoke alarms required in Sentence (1) shall have a visual signalling component conforming to the requirements in 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, "National Fire Alarm and Signaling Code".
- (4) The visual signalling component required in Sentence (2) need not, (a) be integrated with the smoke alarm provided it is interconnected to it, (b) be on battery backup, or (c) have synchronized flash rates, when installed in a dwelling unit.
- (5) The luminous intensity for visual signalling components required in Sentence (2) that are installed in sleeping rooms shall be a minimum of 175 cd.
- (6) Smoke alarms required in Sentence (1) shall be installed on or near the ceiling.
- 9.10.19.3. Location of Smoke Alarms
- (1) Within dwelling units, sufficient smoke alarms shall be installed so that,
- (a) there is at least one smoke alarm installed on each storey, including basements, and
- (b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed,
- (i) in each sleeping room, and
- (ii) in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.
- (2) Within a house that contains an interior shared means of egress or common area, a smoke alarm shall be installed in each shared means of egress and common area.
- (3) A smoke alarm required in Sentences (1) and (2) shall be installed in conformance with CAN/ULC-S553, "Installation of Smoke Alarms".
- 9.10.19.1. Power Supply
- (1) Except as provided in Sentences (2) and (3), smoke alarms required in Sentences 9.10.19.1.(1) and 9.10.19.3.(2) shall,
- (a) be installed with permanent connections to an electrical circuit,
- (b) have no disconnect switch between the overcurrent device and the smoke alarm, and
- (c) in case the regular power supply to the smoke alarm is interrupted, be provided with a battery as an alternative power source that can continue to provide power to the smoke alarm for a period of not less than 7 days in the normal condition, followed by 4 min of alarm.
- 9.10.19.1. Interconnection of Smoke Alarms
- (1) Where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound.

PART 11 (COMPLIANCE ALTERNATIVE):

Smoke alarms may be battery operated.

10. CARBON MONOXIDE ALARMS
CARBON MONOXIDE ALARMS SHALL COMPLY WITH OBC 9.33.4. AND PART 11 COMPLIANCE - C197 OF TABLE 11.5.1.1.C.

PART 9:

- 9.33.4.1. Application
- (1) This Subsection applies to every building that,
- (a) contains a residential occupancy, and
- (b) contains a fuel-burning appliance or a storage garage.
- 9.33.4.1. Location of Carbon Monoxide Alarms
- (1) Where a fuel-burning appliance is installed in a suite of residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the suite.
- (2) Where a fuel-burning appliance is installed in a service room that is not in a suite of residential occupancy, a carbon monoxide alarm shall be installed,
- (a) adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the service room, and
- (b) in the service room.
- (3) Where a storage garage is located in a building containing a residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the storage garage.
- (4) Where a storage garage serves only the dwelling unit to which it is attached or built in, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the dwelling unit.
- (5) A carbon monoxide alarm shall be mechanically fixed,
- (a) at the manufacturer's recommended height, or
- (b) in the absence of specific instructions, on or near the ceiling.
- 9.33.4.1. Installation and Conformance to Standards
- (1) The carbon monoxide alarm required by Article 9.33.4.2. shall,
- (a) except as permitted in Sentence (2), be permanently connected to an electrical circuit and shall have no disconnect switch between the overcurrent device and the carbon monoxide alarm,
- (b) be wired so that its activation will activate all carbon monoxide alarms within the suite, where located within a suite of residential occupancy,
- (c) be equipped with an alarm that is audible within bedrooms when the intervening doors are closed, where located adjacent to a sleeping area, and
- (d) conform to
- (i) CAN/CSA-6.19, "Residential Carbon Monoxide Alarming Devices", or
- (ii) UL 2034, "Single and Multiple Station Carbon Monoxide Alarms".
- (2) Where the building is not supplied with electrical power, carbon monoxide alarms are permitted to be battery operated.

PART 11 (COMPLIANCE ALTERNATIVE):

Carbon monoxide alarms may be battery operated or plugged into an electrical outlet.

10. FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES
FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES SHALL COMPLY WITH OBC 9.10.8.3 AND PART 11 COMPLIANCE - C147 OF TABLE 11.5.1.1.C.

PART 9:

- (1) Except as otherwise provided in this Subsection, all load bearing walls, columns and arches in the storey immediately below a floor or roof assembly shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly.
- PART 11 (COMPLIANCE ALTERNATIVE):
- (a) Except as provided in (b) and (c), 30 min rating is acceptable.
- (b) In a house, 15 min horizontal fire separation is acceptable where,
- (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and
- (ii) smoke alarms are interconnected.
- (c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

11. SEPARATION OF SERVICE ROOMS
SEPARATION OF SERVICE ROOMS SHALL COMPLY WITH OBC 9.10.10.4

PART 9:

- 9.10.10.1. Appliances and Equipment to be Located in a Service Room
- (1) Except as provided in Sentences (2) and (3) and Article 9.10.10.5., fuel-fired appliances shall be located in a service room separated from the remainder of the building by a fire separation having not less than a 1 h fire-resistance rating.
- (2) Except as required in the appliance installation standards referenced in Sentences 6.2.1.4.(1) and 9.33.1.2.(1), fuel fired spaceheating appliances, space-cooling appliances and service water heaters need not be separated from the remainder of the building as required in Sentence (1) where the equipment serves,
- (a) not more than one room or suite,
- (b) a house, or
- (c) a building, other than a house, with a building area of not more than 400 m² and a building height of not more than 2 storeys.
- (3) Sentence (1) does not apply to fireplaces and cooking appliances.

9. SEPARATION OF RESIDENTIAL SUITES

SEPARATION OF RESIDENTIAL SUITES SHALL COMPLY WITH OBC 9.10.9.14 AND PART 11 COMPLIANCE - C152 OF TABLE 11.5.1.1.C.

PART 9:

- (1) Except as provided in Sentences (2) and (3) and Article 9.10.21.2., suites in residential occupancies shall be separated from adjacent rooms and suites by a fire separation having a fire-resistance rating of not less than 45 min.
- (2) Sleeping rooms in boarding, lodging or rooming houses where sleeping accommodation is provided for not more than 8 boarders or lodgers shall be separated from the remainder of the floor area by a fire separation having a fire-resistance rating of not less than 30 min where the sleeping rooms form part of the proprietor's residence and do not contain cooking facilities.
- (3) Except as provided in Sentences (4) and (5), dwelling units that contain 2 or more storeys including basements shall be separated from the remainder of the building by a fire separation having a fire-resistance rating of not less than 1 h.
- (4) Except as provided in Sentence (5), dwelling units in a house shall be separated from each other and common areas by a fire separation having a fire-resistance rating of not less than 45 min.
- (5) The fire-resistance rating of the fire separation required in Sentence (4) is permitted to be waived where the house is sprinklered.

PART 11 (COMPLIANCE ALTERNATIVE):

- (a) Except as provided in (b) and (c), 30 min fire separation is acceptable.
- (b) In a house, 15 min horizontal fire separation is acceptable where,
- (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
- (ii) smoke alarms are interconnected.
- (c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

10. CLOSURES (DOORS):
CLOSURES SHALL COMPLY WITH OBC 9.10.13.1 AND PART 11 COMPLIANCE - C155 OF TABLE 11.5.1.1.C.

PART 9:

- (1) Except as provided in Article 9.10.13.2., openings in required fire separations shall be protected with a closure conforming to Table 9.10.13.1. and shall be installed in conformance with NPA 80.- Fire Doors and Other Opening Protectives , unless otherwise specified in this Part.

PART 11 (COMPLIANCE ALTERNATIVE):

Existing functional closures are acceptable subject to C.A.'s C8 and C156.

- (a) Existing functional and sound doors in existing buildings that are either hollow metal or kalamein and containing wired glass at least 6 mm thick and conforming to Sentence 3.1.8.14.(2) are permitted in lieu of doors not required to exceed 45 min,
- (b) all existing functional and sound hollow metal or kalamein doors which carry existing 1.5 h labels are acceptable in lieu of current 1.5 h labels and may contain wired glass panels not exceeding 0.0645 m², at least 6 mm thick and conforming to Sentence 3.1.8.14.(2), and
- (c) every fire door, window assembly or glass block used as a closure in a required fire separation shall be installed in conformance with good engineering practice. In a house, existing unlabelled doors at least 45 mm solid core wood or metal clad are acceptable. For existing closures, ratings of 20 min will not be required where the entire floor area is sprinklered.

11. LAUNDRY FIXTURES

LAUNDRY FIXTURES SHALL COMPLY WITH OBC 9.31.4.2.

PART 9:

- (1) Laundry facilities or a space for laundry facilities shall be provided in every dwelling unit or grouped elsewhere in the building in a location conveniently accessible to occupants of every dwelling unit.

12. NATURAL VENTILATION

NATURAL VENTILATION SHALL COMPLY WITH OBC 9.32.2.1 AND PART 11 COMPLIANCE - C194 OF TABLE 11.5.1.1.C.

PART 9:

- (1) The unobstructed operable ventilation area to the outdoors for rooms and spaces in a residential occupancy ventilated by natural means shall conform to Table 9.32.2.1.

PART 11 (COMPLIANCE ALTERNATIVE):

In a house, rooms or spaces to be ventilated by natural means in accordance with Subsection 9.32.2. or by providing adequate mechanical ventilation.

13. ELECTRICAL FACILITIES

ELECTRICAL FACILITIES SHALL COMPLY WITH OBC 9.34.

14. INTERCONNECTION OF SYSTEMS

INTERCONNECTION OF SYSTEMS SHALL COMPLY WITH OBC 6.2.3.9 AND PART 11 COMPLIANCE - C91 OF TABLE 11.5.1.1.C.

PART 6:

- (1) In a residential occupancy, air from one suite shall not be circulated to any other suite or to a public corridor or public stairway.

PART 11 (COMPLIANCE ALTERNATIVE):

In a building containing not more than four dwelling units or residential suites, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit or suite, provided smoke alarms are installed in each dwelling unit or suite and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.

15. PENETRATIONS

PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A FIRE SEPARATION MUST BE NON COMBUSTIBLE AND FIRE STOPPED.

16. PLUMBING

ALL PLUMBING MUST CONFORM TO O.REG.332/12, DIV. B PART 7 OF THE BUILDING CODE

17. HANDRAILS AND GUARDRAILS

INSTALL HANDRAILS AND GUARDRAILS IN ACCORDANCE WITH 9.8.7. AND 9.8.8 OF THE BUILDING CODE RESPECTIVELY

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES

LEAD DESIGNER & CONSULTANT KEN BEKENDAM, B.A. BUSCON, L.T. kenbekendam@gmail.com	CONTACT INFORMATION: OFFICE: 973 MAIN ST. E, HAMILTON, ON OFFICE PHONE: 855-546-4467 CELL PHONE: 905-961-0647
---	---

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
5. USE LATEST REVISED DRAWINGS.
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOIN NUMBER AND ORIGINAL SIGNATURE).
8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

1	CHAUSET FAN
2	SMOKE ALARM
3	CARBON MONOXIDE ALARM
4	PLUMBING STACK
5	WATER METER
6	FLOOR DRAIN
7	STRUCTURAL BEAM OR WALL

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:

CONSTRUCTION NOTES

SCALE: 3/32"=1'-0"	
PROJECT NO. 22-18	DATE: 25/AUGUST/2022
DRAWN BY: DANILLO CEOLA	REVIEWED BY: KEN BEKENDAM
SHEET NO.	

A0.02

SITE INFORMATION & STATISTICS	
ADDRESS:	43 WEST AVENUE SOUTH - HAMILTON, ON.
ZONING TYPE:	D5
LOT AREA:	2602.53 SQ FT (241.78 SQ M)
LOT FRONTAGE:	21.42' (6.52m)

GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING. FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

EXISTING STRUCTURE NOTE:

OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

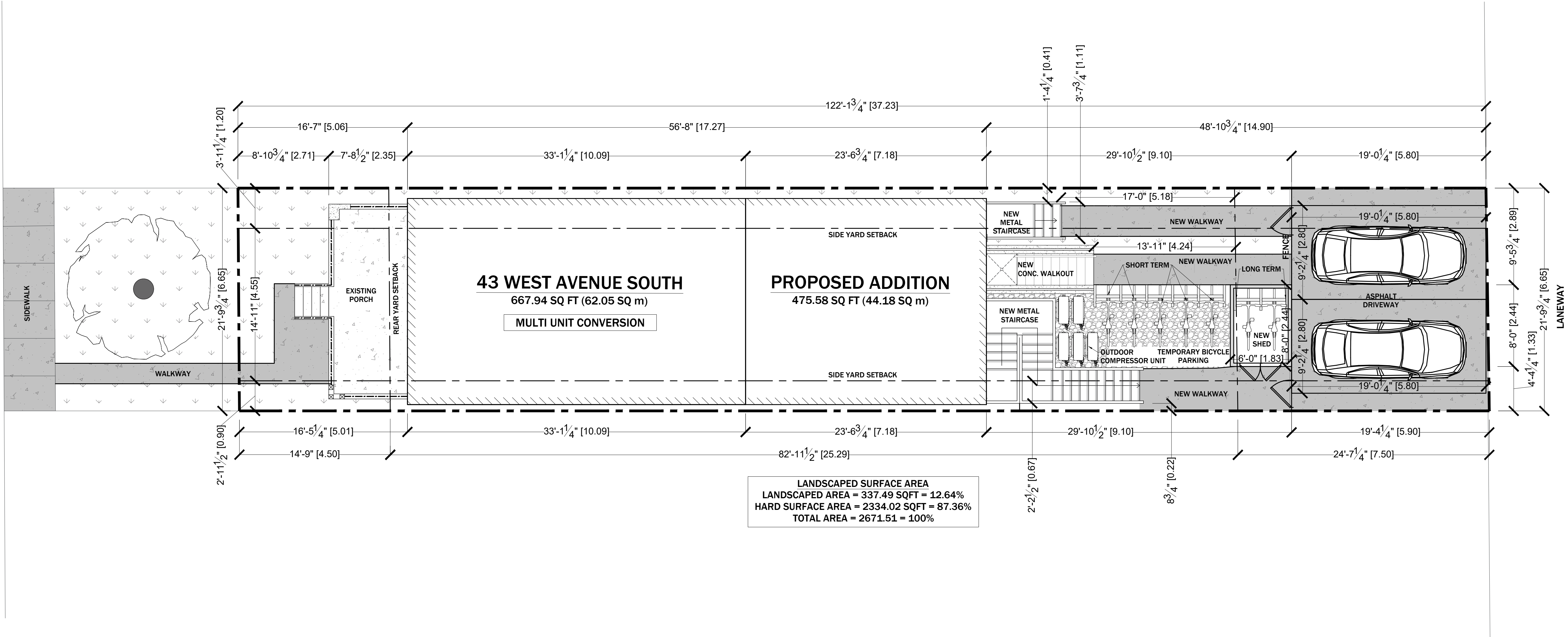
BUILDING CODE COMPLIANCE NOTE:

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

SITE PLAN:

BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES.

NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES



CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

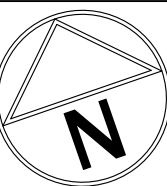
LEAD DESIGNER & CONSULTANT	CONTACT INFORMATION:
KEN BEKENDAM, B.A. BUSCOM, L.T. kenbekendam@gmail.com	OFFICE: 973 MAIN ST. E, HAMILTON, ON 855-546-4467
LEAD ENGINEER	OFFICE PHONE: 855-546-4467
ROBERT MENDEZ, P. ENG. robertmendez@yahoo.com	CELL PHONE: 905-961-0647

- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 5. USE LATEST REVISED DRAWINGS.
 6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOX NUMBER AND ORIGINAL SIGNATURE).
 8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

1	EXHAUST FAN
2	SMOKE ALARM
3	CARBON MONOXIDE ALARM
4	FLUVENT STACK
5	WATER METER
6	FLOOR DRAIN
7	STRUCTURAL BEAM OR WALL

NORTH POSITION:



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

43 WEST AVENUE SOUTH,
HAMILTON - ON

SHEET NAME:

SITE PLAN

SCALE:

3/16"=1'-0"

PROJECT NO.

DATE:

22-18

25/AUGUST/2022

DRAWN BY:

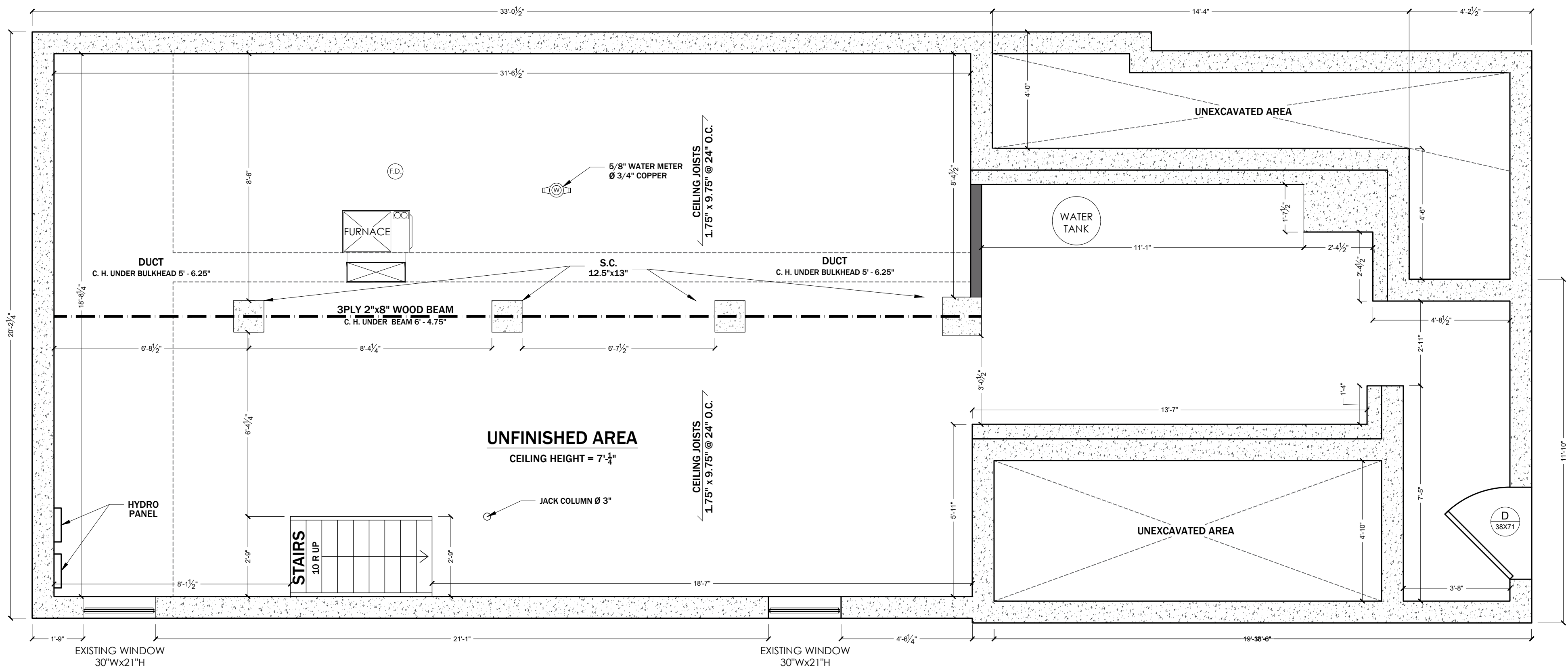
REVIEWED BY:

DANILO CEOLA

KEN BEKENDAM

SHEET NO.

SP1.01



CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES, INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

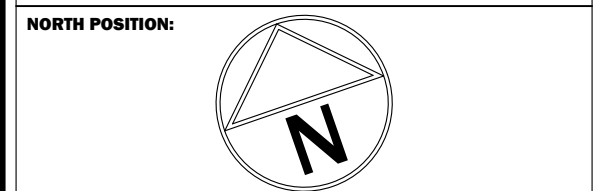
CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E, HAMILTON, ON
OFFICE PHONE:
855-546-4467
CELL PHONE:
905-961-0647

LEAD ENGINEER:
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE SIGN NUMBER AND ORIGINAL SIGNATURE).
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:			
NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

1	EXHAUST FAN
2	SMOKE ALARM
3	CARBON MONOXIDE ALARM
4	PLUMBING STACK
5	WATER METER
6	FLOOR DRAIN
7	STRUCTURAL BEAM OR WALL



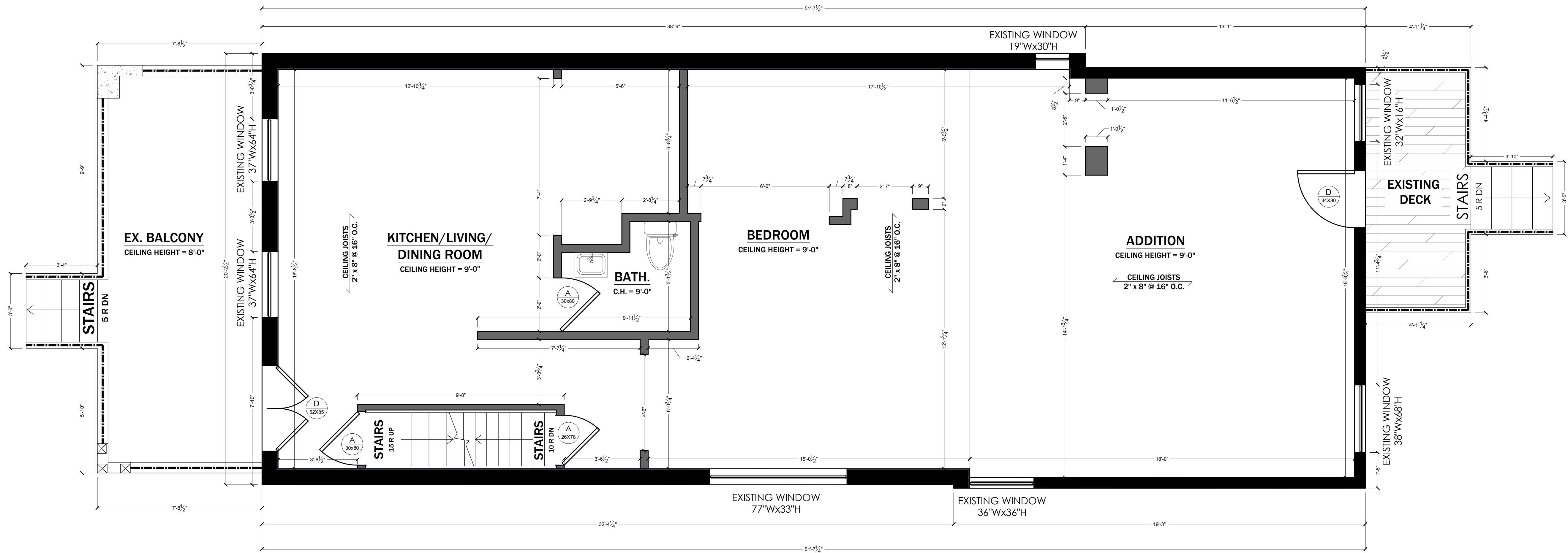
ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:
EXISTING BASEMENT

SCALE: 3/8"=1'-0"	
PROJECT NO. 22-18	DATE: 25/AUGUST/2022
DRAWN BY: DANILO CEOLA	REVIEWED BY: KEN BEKENDAM

SHEET NO.
A1.01



CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES
ARE OWNED AND OPERATED BY KING HOMES, INC.

LEGAL DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E, HAMILTON, ON
855-546-4467

LEAD ENGINEER:
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

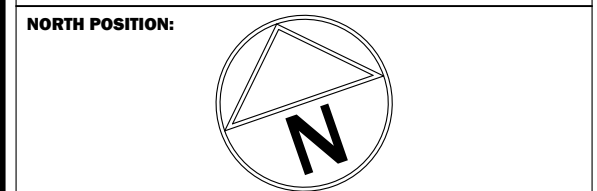
OFFICE PHONE:
855-546-4467

CELL PHONE:
905-961-0647

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOM NUMBER AND ORIGINAL SIGNATURE.)
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:			
NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

1	EXHAUST FAN
2A	SMOKE ALARM
2A+	CARBON MONOXIDE ALARM
2A+	FLUISING STACK
2A+	WATER METER
2A+	FLOOR DRAIN
2A+	STRUCTURAL BEAM OR WALL



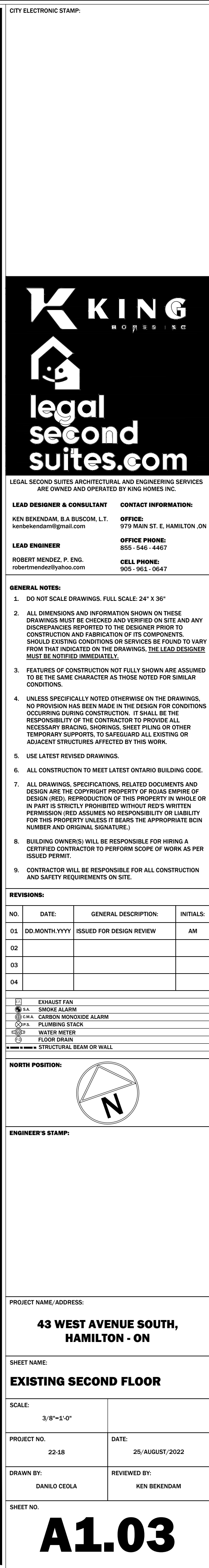
ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:
EXISTING GROUND FLOOR

SCALE: 3/8"=1'-0"	
PROJECT NO. 22-18	DATE: 25/AUGUST/2022
DRAWN BY: DANILLO CEOLA	REVIEWED BY: KEN BEKENDAM

SHEET NO.
A1.02





LEAD DESIGNER & CONSULTANT
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com

CONTACT INFORMATION:
OFFICE:
979 MAIN ST. E. HAMILTON, ONT.

LEAD ENGINEER

ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com








OFFICE PHONE:
855 - 546 - 4467

CELL PHONE:
006 001 0047

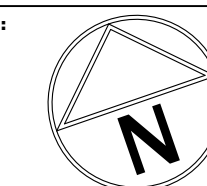
GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCY REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONDITIONS, PERMITS, AND APPROVALS FROM THAT INDICATED ON THE DRAWINGS. THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
4. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE OF THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
5. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITION OR CORRECTION OF EXISTING CONDITIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SHIELDING, SHIELDING MATERIALS, AND OTHER TEMPORARY STRUCTURES, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
7. USE LATEST REVISIONED DRAWINGS.
8. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
9. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND ANY OTHER COPYRIGHTED MATERIALS OF PUBLIC ENGINEERING DESIGN (RED, REPRODUCTION OF THIS PROJECT IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION). THE CONTRACTOR ASSUMES RESPONSIBILITY FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THIS PROJECT. UNLESS IT BEARS THE APPROPRIATE BUREAU OF ORIGINAL SIGNATURE.
10. BUILDING OWNERS' WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPED WORK AS PER ISSUED PERMIT.
11. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND MAINTENANCE OF THE PROJECT.

REVISIONS:			
NO.	DATE:	GENERAL DESCRIPTION:	INITIALS
01	DD.MONTH.YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

	EXHAUST FAN
	S.M.A. SMOKE ALARM
	C.M.A. CARBON MONOXIDE ALARM
	P.F.S. PLUMBING STACK
	W.M. WATER METER
	F.D. FLOOR DRAIN
	STRUCTURAL BEAM OR WALL

NORTH POSITION



ENGINEER'S STAMP

PROJECT NAME/ADDRESS

**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:

PROPOSED BASEMENT

SCALE

3/8"=1'-0"

PROJECT NO.

22-18

DRAWN BY:

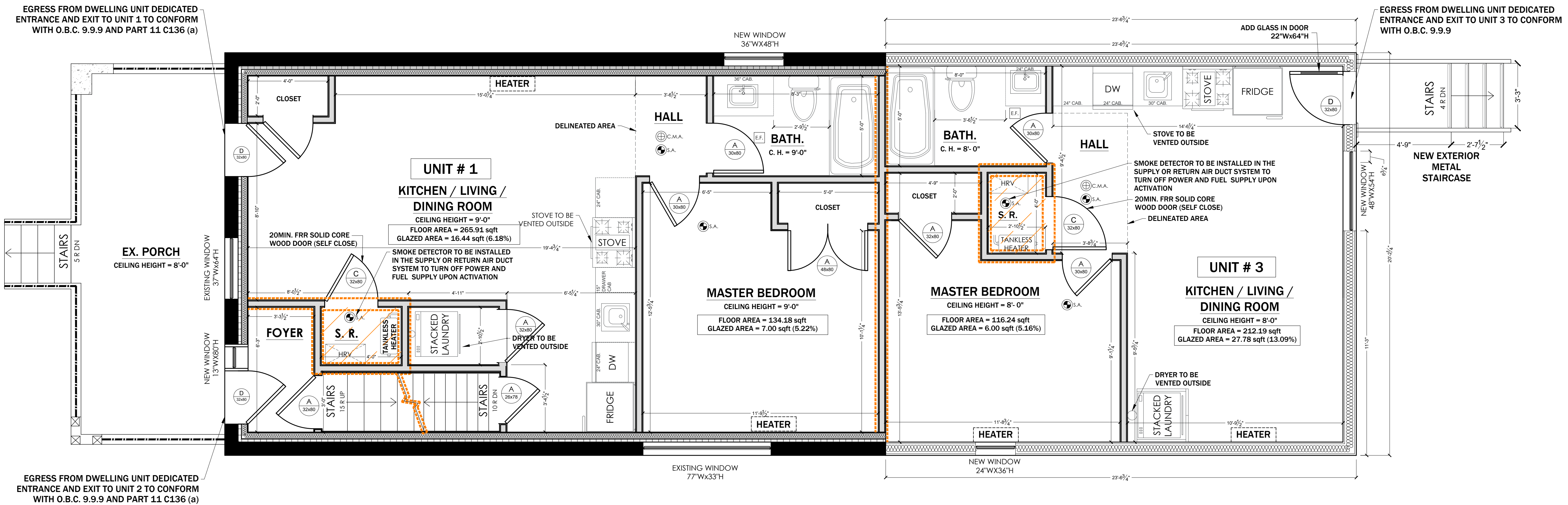
DANILO CEOL

SHEET NO.

A104

A104

Abstract



CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT
KEN BEKENDAM, B.A. BUSCON, L.T.
kenbekendam@gmail.com

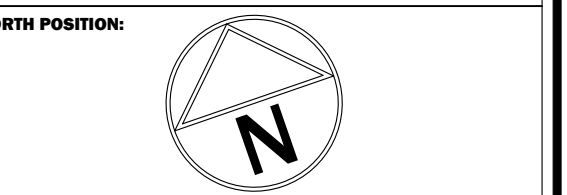
CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E. HAMILTON, ON
OFFICE PHONE:
855-546-4467
CELL PHONE:
905-961-0647

LEAD ENGINEER
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOIN NUMBER AND ORIGINAL SIGNATURE).
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

1	EXHAUST FAN
2	SMOKE ALARM
3	CARBON MONOXIDE ALARM
4	PLUMBING STACK
5	WATER METER
6	FLOOR DRAIN
7	STRUCTURAL BEAM OR WALL



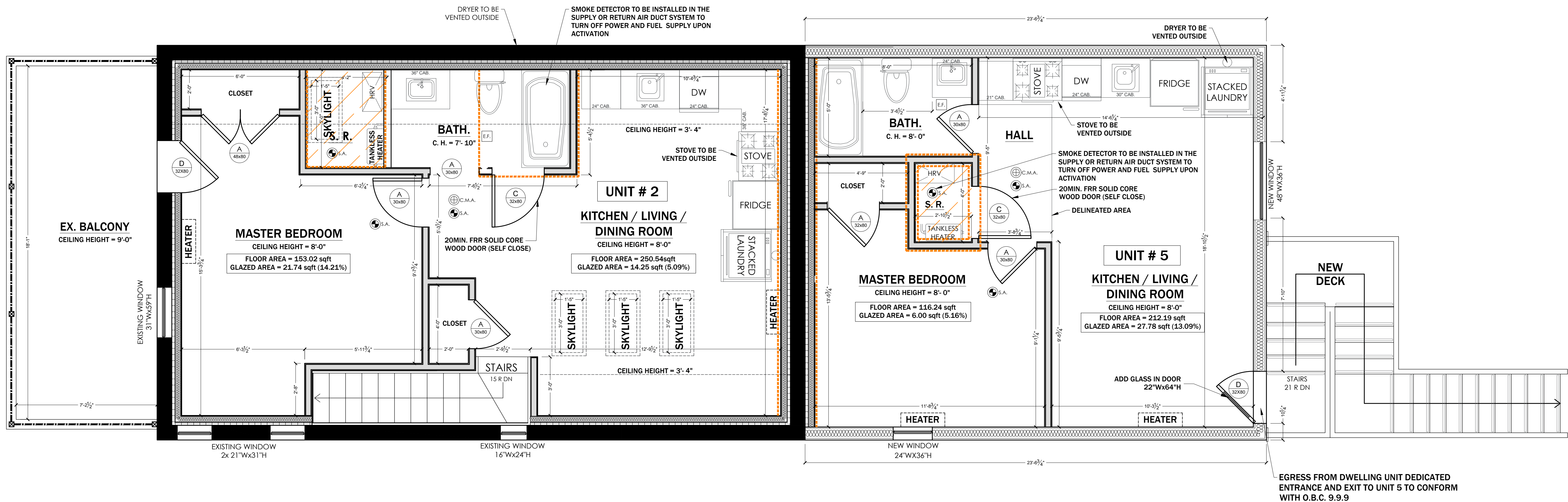
ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:
PROPOSED GROUND FLOOR

SCALE: 3/8"=1'-0"	
PROJECT NO. 22-18	DATE: 25/AUGUST/2022
DRAWN BY: DANILO CEOLA	REVIEWED BY: KEN BEKENDAM

SHEET NO.
A1.05



CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

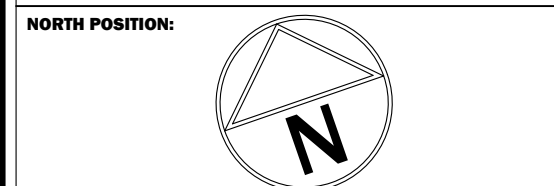
CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E, HAMILTON, ON
OFFICE PHONE:
855-546-4467
CELL PHONE:
905-961-0647

LEAD ENGINEER:
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOM NUMBER AND ORIGINAL SIGNATURE).
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

1 CHAUFFEUR FAN
2A SMOKE ALARM
2A CARBON MONOXIDE ALARM
2A PLUMBING STACK
2A WATER METER
2A FLOOR DRAIN
2A STRUCTURAL BEAM OR WALL



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:
PROPOSED SECOND FLOOR

SCALE:
3/8"=1'-0"

PROJECT NO.
22-18

DATE:
25/AUGUST/2022

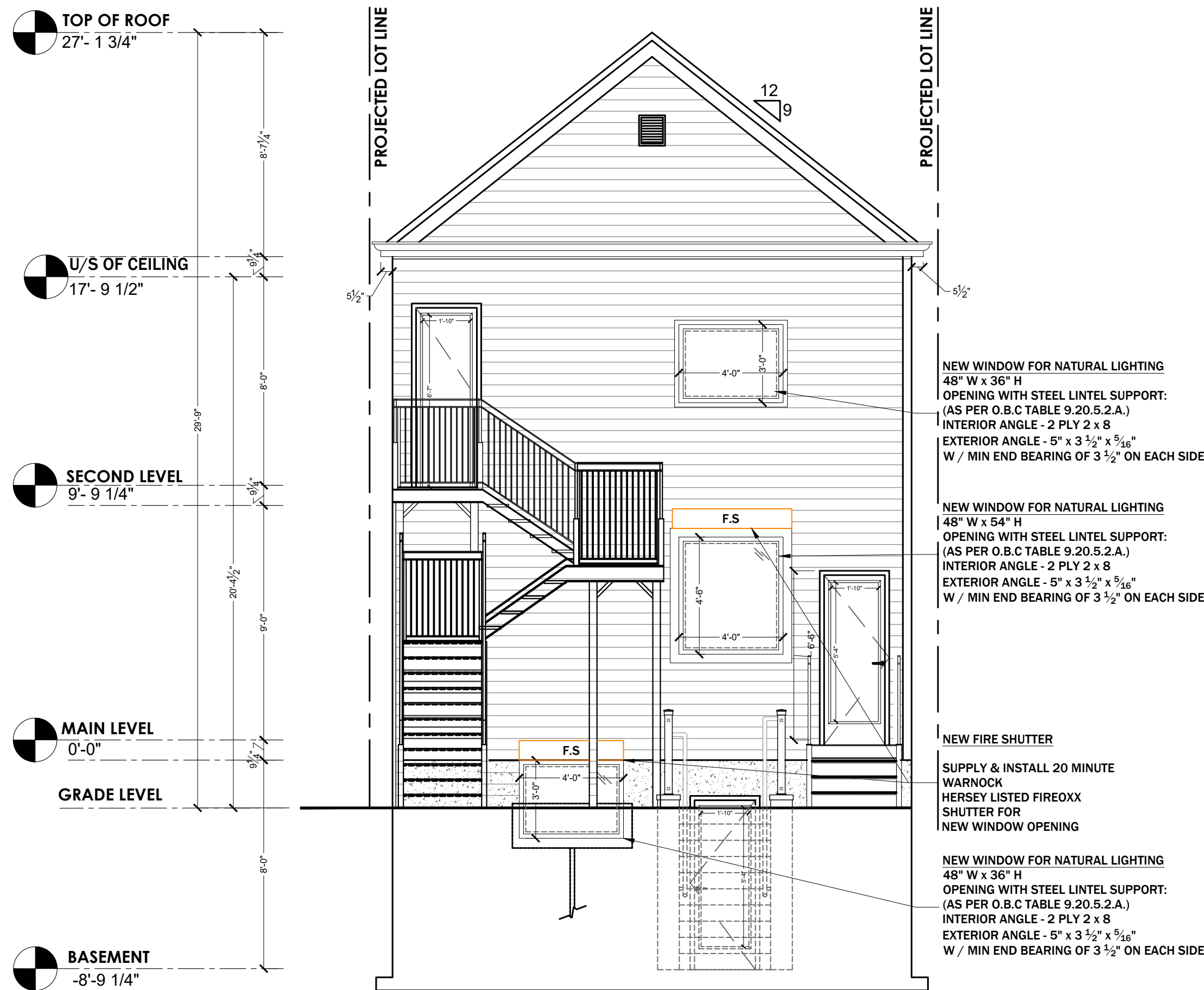
DRAWN BY:
DANILLO CEOLA

REVIEWED BY:
KEN BEKENDAM

SHEET NO.
A1.06



FRONT ELEVATION



REAR ELEVATION

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES
ARE OWNED AND OPERATED BY KING HOMES, INC.

LEAD DESIGNER & CONSULTANT
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E, HAMILTON, ON
OFFICE PHONE:
855-546-4467
CELL PHONE:
905-961-0647

LEAD ENGINEER
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOIN NUMBER AND ORIGINAL SIGNATURE.)
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:			
NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

<input type="checkbox"/> EXHAUST FAN
<input checked="" type="checkbox"/> S.A. SMOKE ALARM
<input checked="" type="checkbox"/> C.A. CARBON MONOXIDE ALARM
<input checked="" type="checkbox"/> F.L. PLUMBING STACK
<input checked="" type="checkbox"/> W.M. WATER METER
<input checked="" type="checkbox"/> F.L. FLOOR DRAIN
<input checked="" type="checkbox"/> S.B. STRUCTURAL BEAM OR WALL

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:

FRONT/REAR ELEVATION

SCALE:

1/4"=1'-0"

PROJECT NO.

22-18

DRAWN BY:

DANILLO CEOLA

DATE:

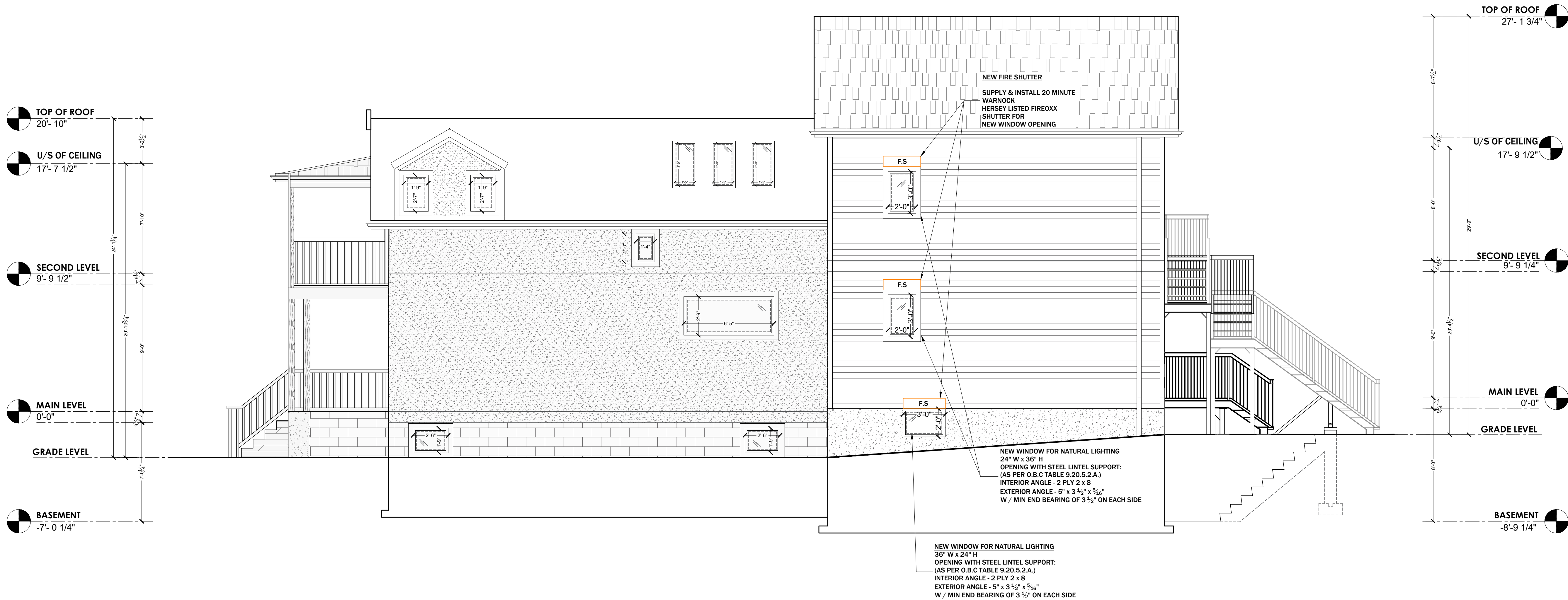
25/AUGUST/2022

REVIEWED BY:

KEN BEKENDAM

SHEET NO.

A2.01



CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES
ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E. HAMILTON, ON
OFFICE PHONE:
855-546-4467
CELL PHONE:
905-961-0647

LEAD ENGINEER:
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOM NUMBER AND ORIGINAL SIGNATURE.)
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:			
NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

[Symbol] EXHAUST FAN
[Symbol] SMOKE ALARM
[Symbol] CARBON MONOXIDE ALARM
[Symbol] PLUMBING STACK
[Symbol] WATER METER
[Symbol] FLOOR DRAIN
[Symbol] STRUCTURAL BEAM OR WALL

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:

LEFT ELEVATION

SCALE:

1/4"=1'-0"

PROJECT NO.

22-18

DRAWN BY:

DANILLO CEOLA

DATE:

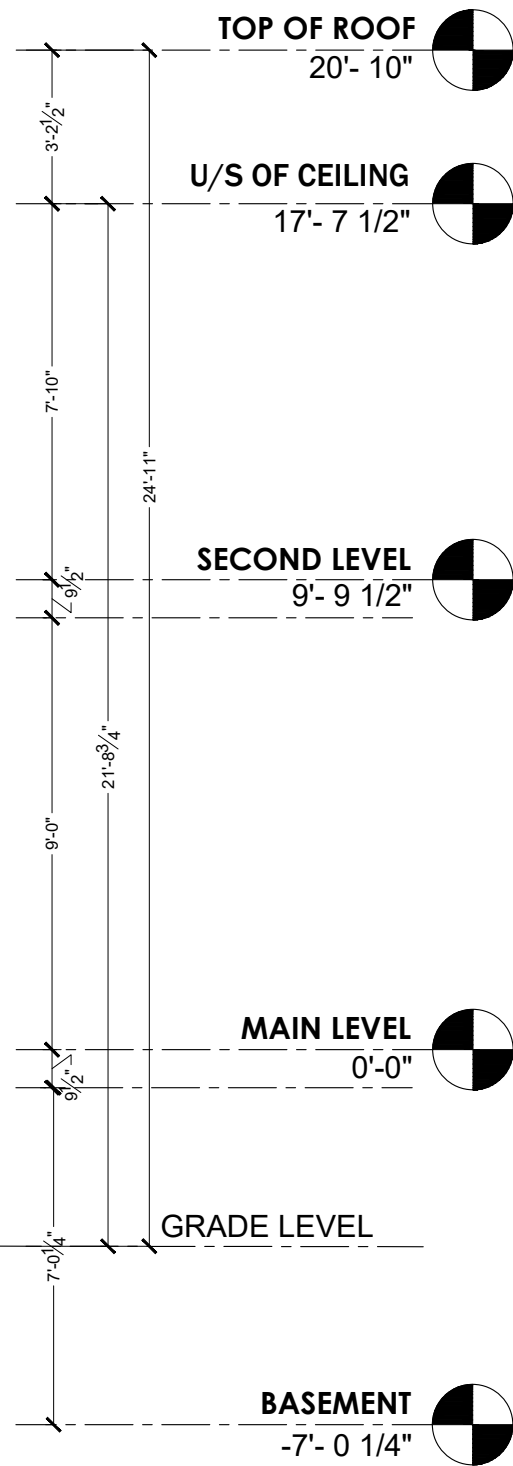
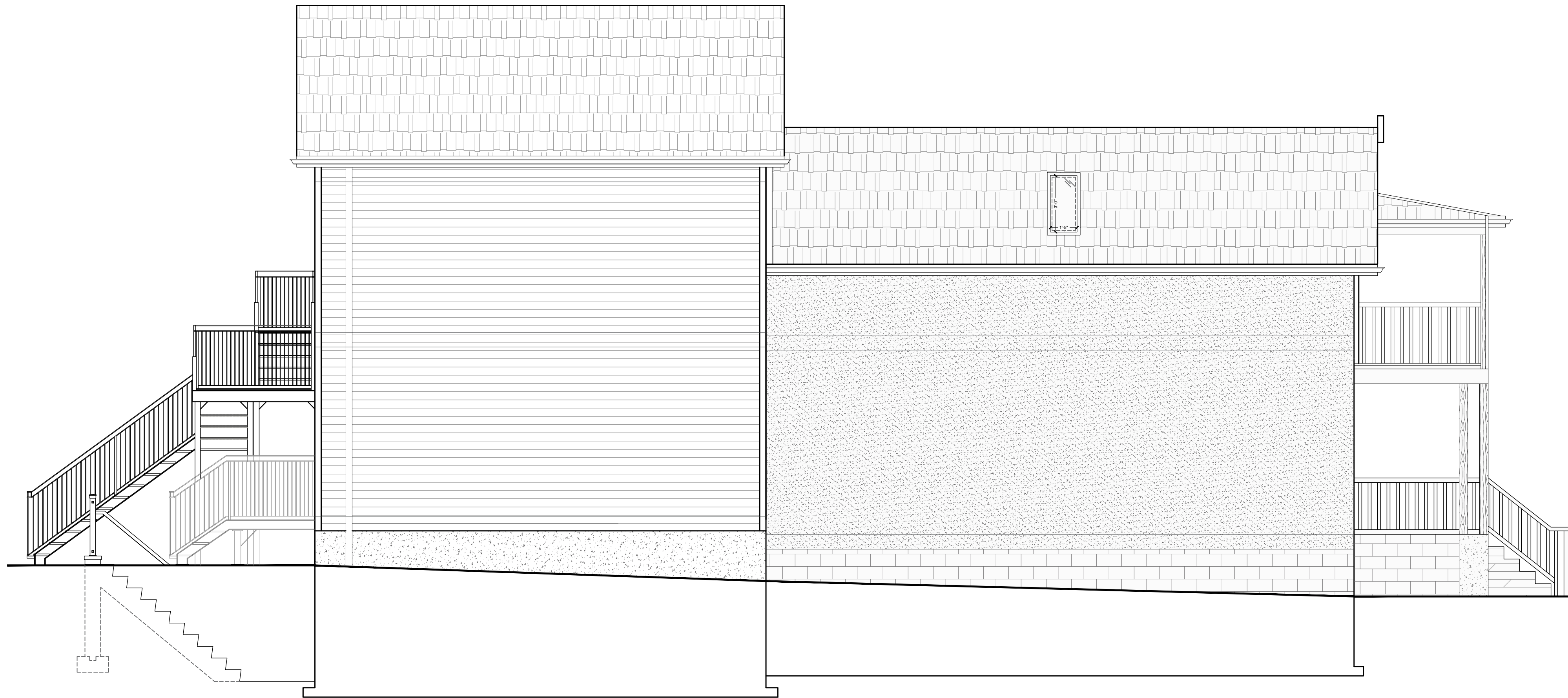
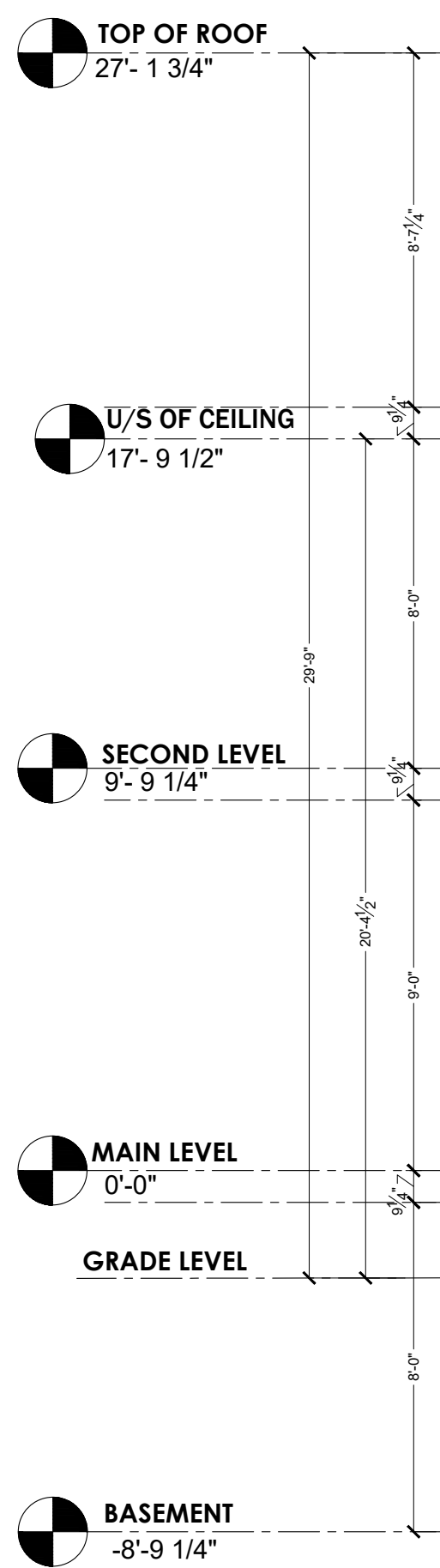
25/AUGUST/2022

REVIEWED BY:

KEN BEKENDAM

SHEET NO.

A2.02



CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES, INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E, HAMILTON, ON
OFFICE PHONE:
855 - 546 - 4467
CELL PHONE:
905 - 961 - 0647

LEAD ENGINEER:
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOM NUMBER AND ORIGINAL SIGNATURE.)
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:			
NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

<input type="checkbox"/> EXHAUST FAN
<input checked="" type="checkbox"/> SMOKE ALARM
<input checked="" type="checkbox"/> CARBON MONOXIDE ALARM
<input checked="" type="checkbox"/> PLUMBING STACK
<input checked="" type="checkbox"/> WATER METER
<input checked="" type="checkbox"/> FLOOR DRAIN
<input checked="" type="checkbox"/> STRUCTURAL BEAM OR WALL

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:

RIGHT ELEVATION

SCALE:

1/4"=1'-0"

PROJECT NO.

DATE:

22-18

25/AUGUST/2022

DRAWN BY:

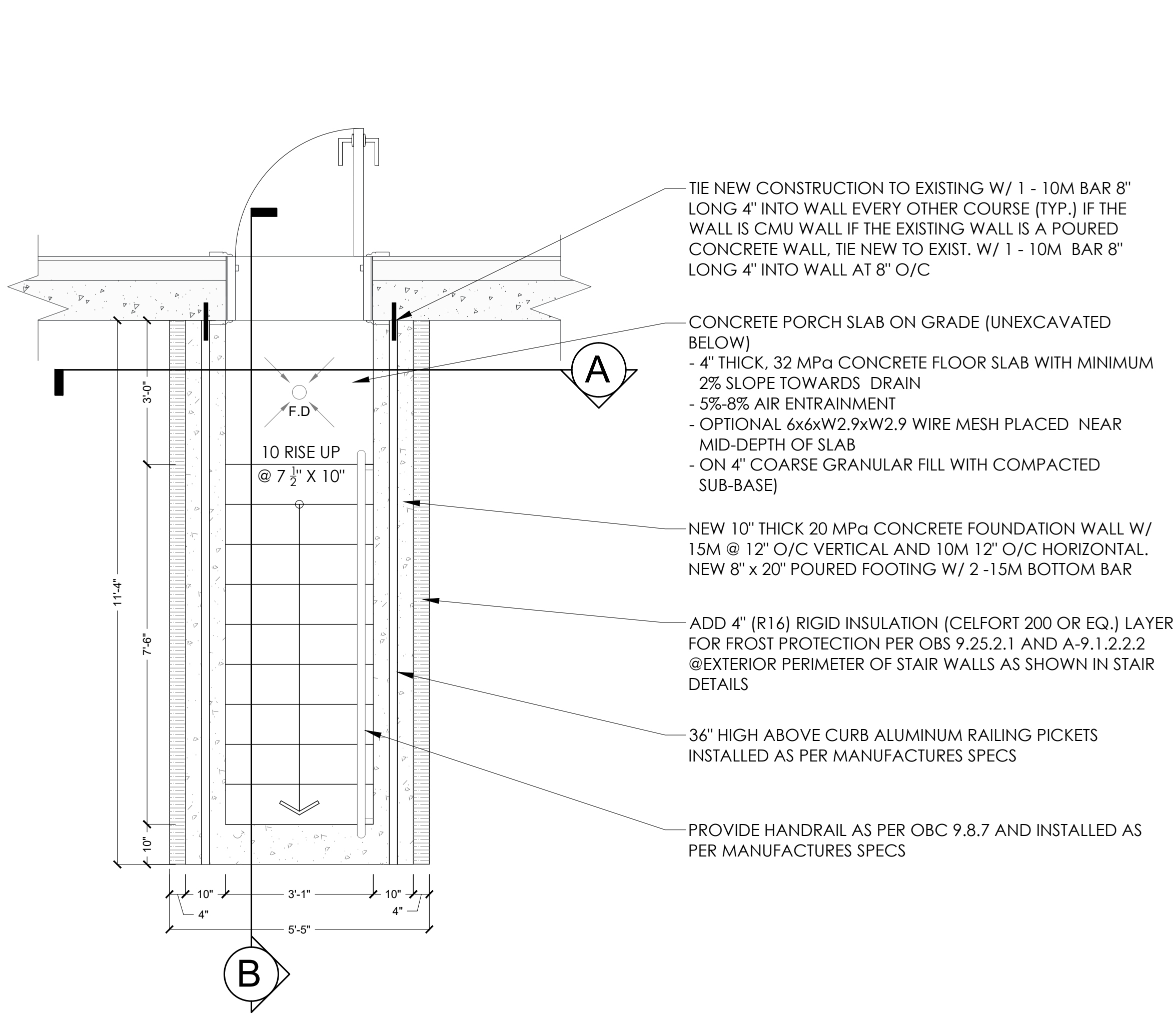
REVIEWED BY:

DANILO CEOLA

KEN BEKENDAM

SHEET NO.

A2.03

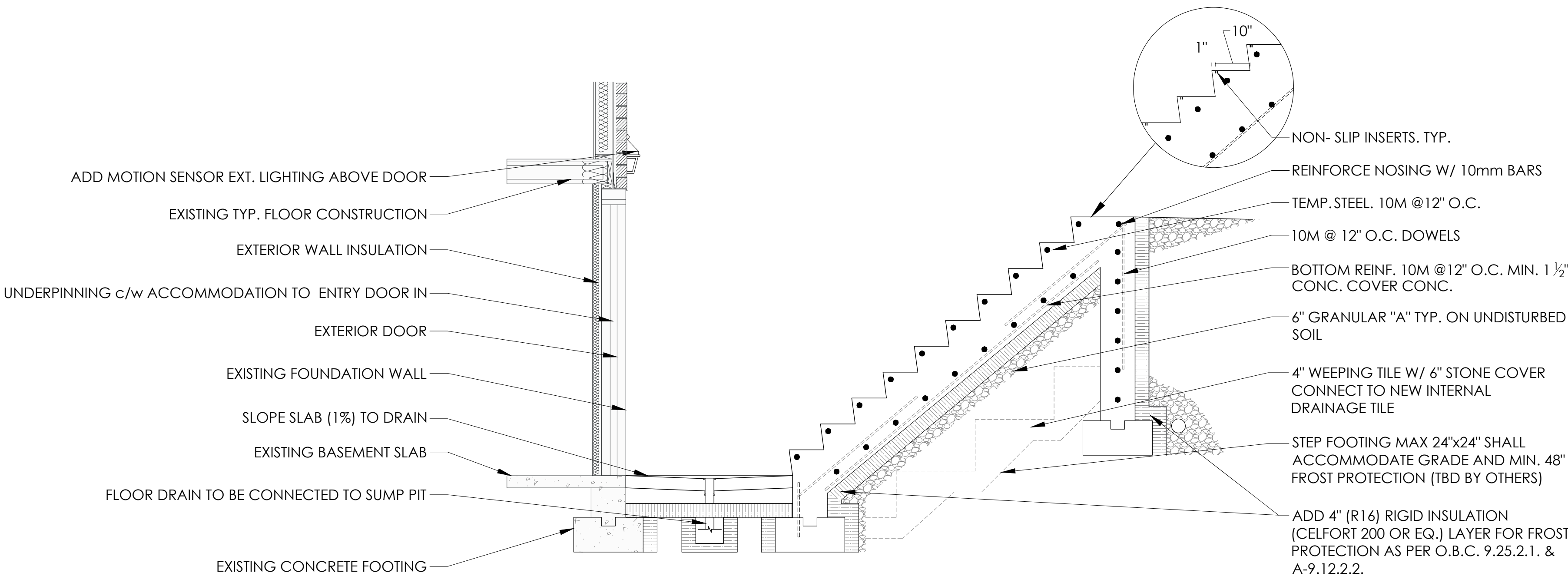


- TIE NEW CONSTRUCTION TO EXISTING W/ 1 - 10M BAR 8" LONG 4" INTO WALL EVERY OTHER COURSE (TYP.) IF THE WALL IS CMU WALL IF THE EXISTING WALL IS A POURED CONCRETE WALL, TIE NEW TO EXIST. W/ 1 - 10M BAR 8" LONG 4" INTO WALL AT 8" O/C
- CONCRETE PORCH SLAB ON GRADE (UNEXCAVATED BELOW)
- 4" THICK, 32 MPa CONCRETE FLOOR SLAB WITH MINIMUM 2% SLOPE TOWARDS DRAIN
 - 5%-8% AIR ENTRAINMENT
 - OPTIONAL 6x6xW2.9xW2.9 WIRE MESH PLACED NEAR MID-DEPTH OF SLAB
 - ON 4" COARSE GRANULAR FILL WITH COMPACTED SUB-BASE)
- NEW 10" THICK 20 MPa CONCRETE FOUNDATION WALL W/ 15M @ 12" O/C VERTICAL AND 10M 12" O/C HORIZONTAL. NEW 8" x 20" POURED FOOTING W/ 2 - 15M BOTTOM BAR
- ADD 4" (R16) RIGID INSULATION (CELFORT 200 OR EQ.) LAYER FOR FROST PROTECTION PER OBS 9.25.2.1 AND A-9.1.2.2.2 @EXTERIOR PERIMETER OF STAIR WALLS AS SHOWN IN STAIR DETAILS
- 36" HIGH ABOVE CURB ALUMINUM RAILING PICKETS INSTALLED AS PER MANUFACTURES SPECS
- PROVIDE HANDRAIL AS PER OBC 9.8.7 AND INSTALLED AS PER MANUFACTURES SPECS

GUARD / HAND RAIL NOTES:

- FACTORY HOT-DIP. GALV. STEEL BRACKET AND RAIL SEAT TO SUIT
- 2" DIA FACTORY HOT-DIP. GALV. STEEL PIPE RAILING.
- FACTORY HOT-DIP. GALV. STEEL MOUNTING PLATE SECURED TO WALL FACE
- 2" DIA FACTORY HOT-DIP. GALV. STEEL PIPE RAILING.
- FACTORY HOT-DIP. GALV. STEEL MOUNTING PLATE SECURED TO WALL FACE
- GALVANIZED STEEL SCREWS IN LEAD PLUGS
- FACE OF CONCRETE OR MASONRY

NOTES: 4" MAX SPACE BETWEEN PICKETS, OPENING THROUGH ANY GUARD SHALL BE OF SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4". GUARDS SHALL BE DESIGNED AND INSTALLED SO THAT NO MEMBER ATTACHED ON WALKING SURFACE WILL FACILITATE CLIMBING. GUARDS TO RESIST LOADS AS PER O.B.C. 9.8.7.7.(1)(a)

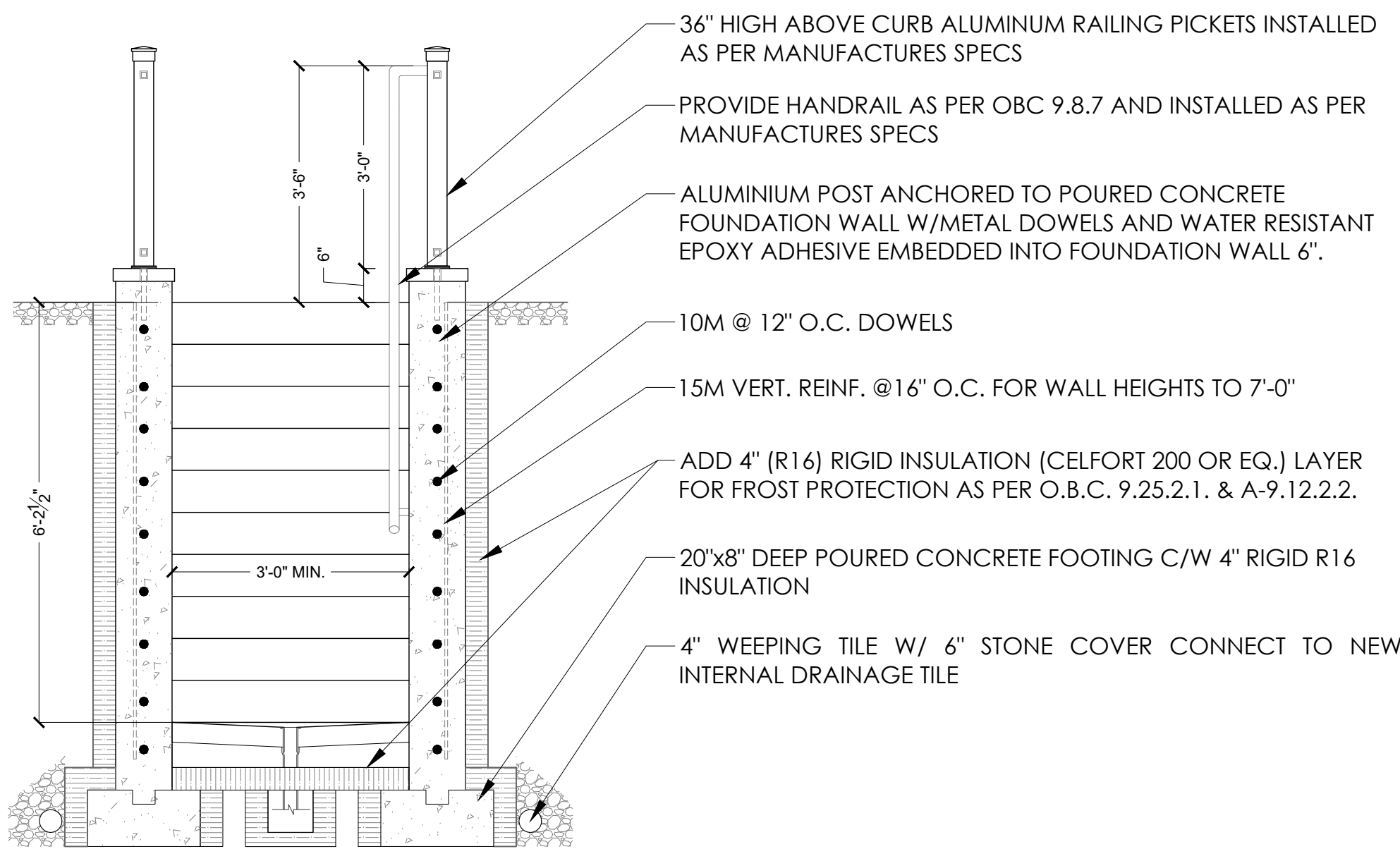
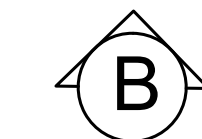


- ADD MOTION SENSOR EXT. LIGHTING ABOVE DOOR
- EXISTING TYP. FLOOR CONSTRUCTION
- EXTERIOR WALL INSULATION
- UNDERPINNING c/w ACCOMMODATION TO ENTRY DOOR IN
- EXTERIOR DOOR
- EXISTING FOUNDATION WALL
- SLOPE SLAB (1%) TO DRAIN
- EXISTING BASEMENT SLAB
- FLOOR DRAIN TO BE CONNECTED TO SUMP PIT
- EXISTING CONCRETE FOOTING

NEW CONCRETE WALKOUT
STEP RUN = 10"
STEP RISER = 6 1/2"

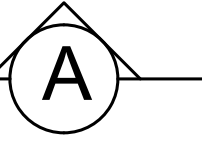
NOTE: POURED CONC. FOOTING ON NATURAL UNDISTUBED SOIL OR COMPACTED ENGINEERED FILL WITH A BEARING CAPACITY OF 75 kPa.

NOTE: SEE FLOOR PLAN FOR ACCURATE QUANTITY OF RISERS REQUIRED. EXISTING SITE CONDITIONS TO BE REVIEWED TO ENSURE EACH RISER HAS A MAXIMUM RISE ENSURE EACH RISER HAS A MAXIMUM RISE REPORTED TO THE DESIGNER.



NOTE: POURED CONC. FOOTING ON NATURAL UNDISTUBED SOIL OR COMPACTED ENGINEERED FILL WITH A BEARING CAPACITY OF 75 kPa.

NOTE: SEE FLOOR PLAN FOR ACCURATE QUANTITY OF RISERS REQUIRED. EXISTING SITE CONDITIONS TO BE REVIEWED TO ENSURE EACH RISER HAS A MAXIMUM RISE ENSURE EACH RISER HAS A MAXIMUM RISE REPORTED TO THE DESIGNER.



CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES
BIE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCON, L.T.
kenbekendam@gmail.com

CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E. HAMILTON, ON
855-546-4467

LEAD ENGINEER:
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

OFFICE PHONE:
855-546-4467

CELL PHONE:
905-961-0647

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BORN NUMBER AND ORIGINAL SIGNATURE).
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

1	EXHAUST FAN
2	SMOKE ALARM
3	CARBON MONOXIDE ALARM
4	FLUMLING STACK
5	WATER METER
6	FLOOR DRAIN
7	STRUCTURAL BEAM OR WALL

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:

CONCRETE WALKOUT DETAILS

SCALE:

1/2"=1'-0"

PROJECT NO.

22-18

DATE:

25/AUGUST/2022

DRAWN BY:

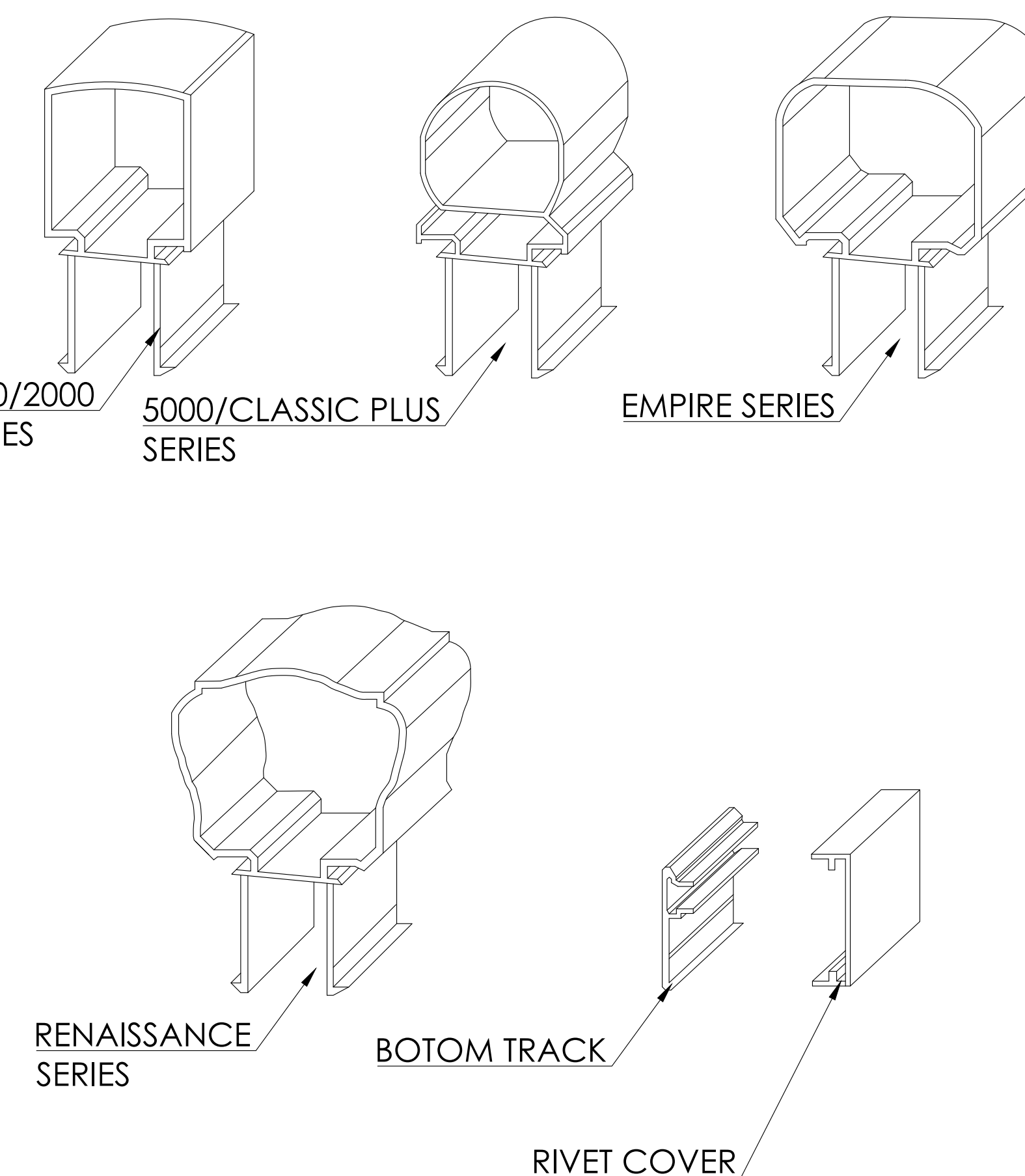
DANILO CEOLA

REVIEWED BY:

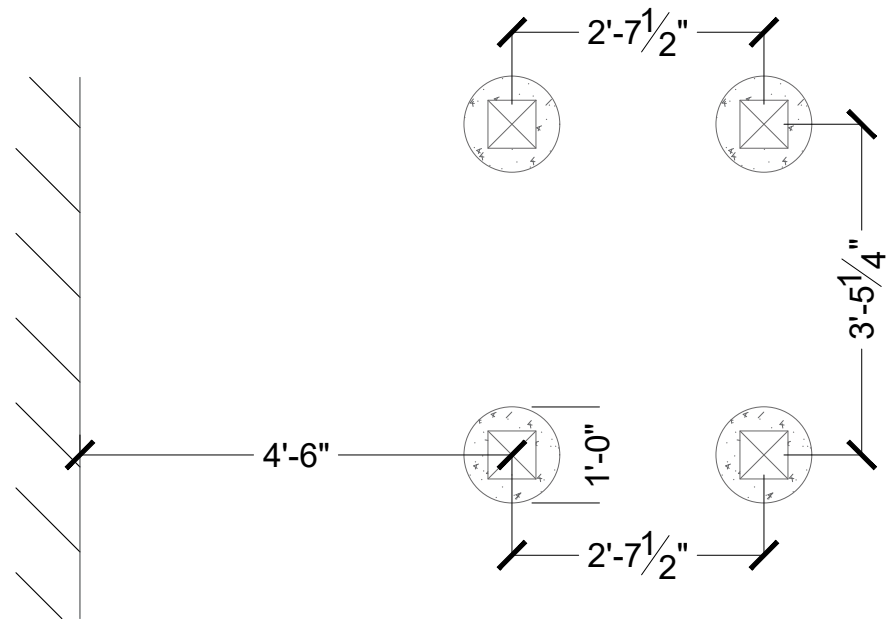
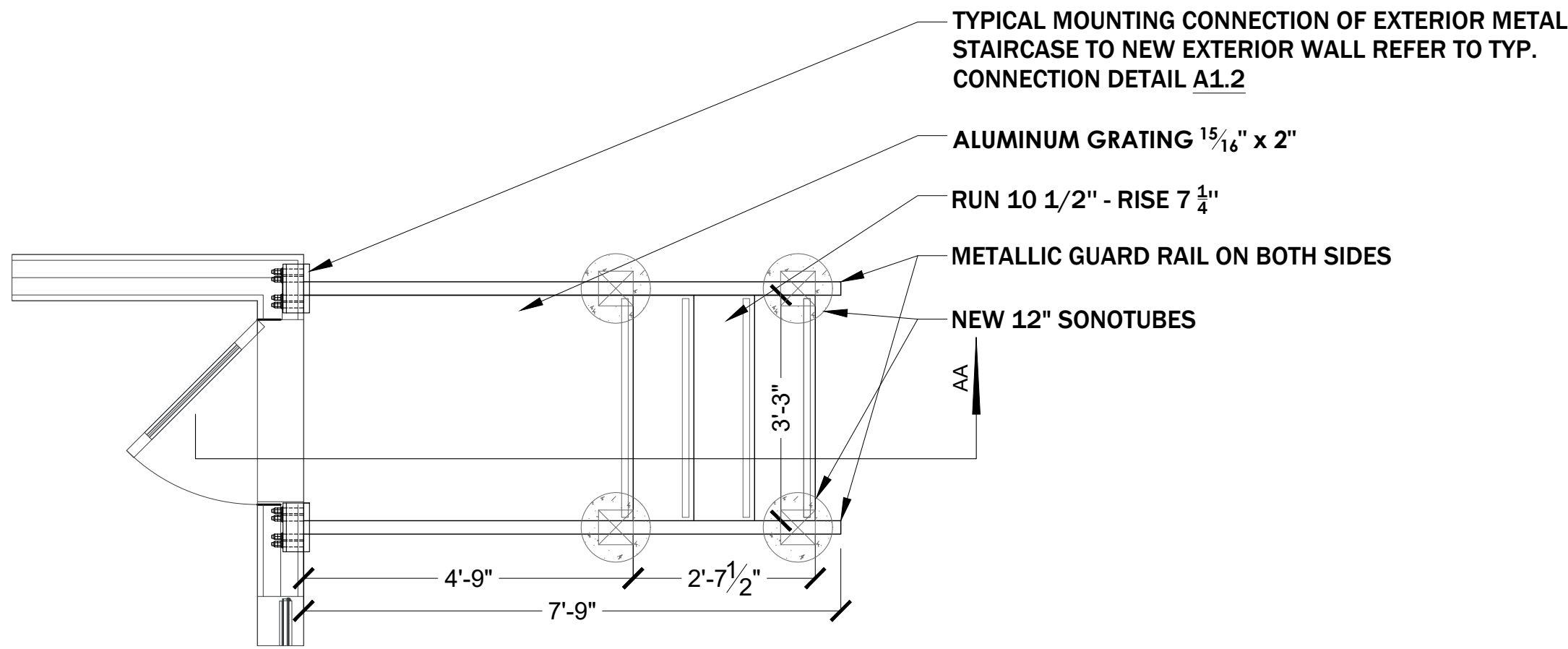
KEN BEKENDAM

SHEET NO.

A3.01



A3.02

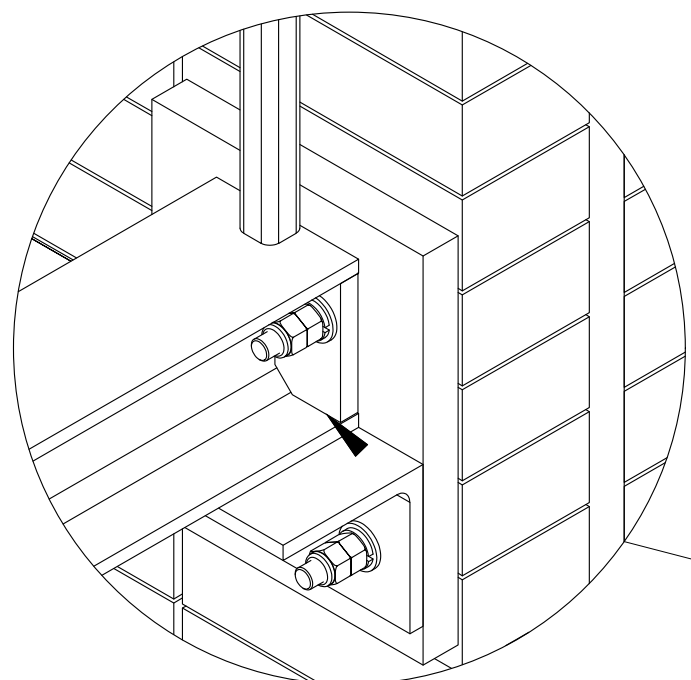


DESIGN LIVE LOADS FOR STAIR STRUCTURE
CONCENTRATED LOAD: 300 lbs = 1.34 kN
UNIFORM LOAD: 100 psf = 4.8 kPa

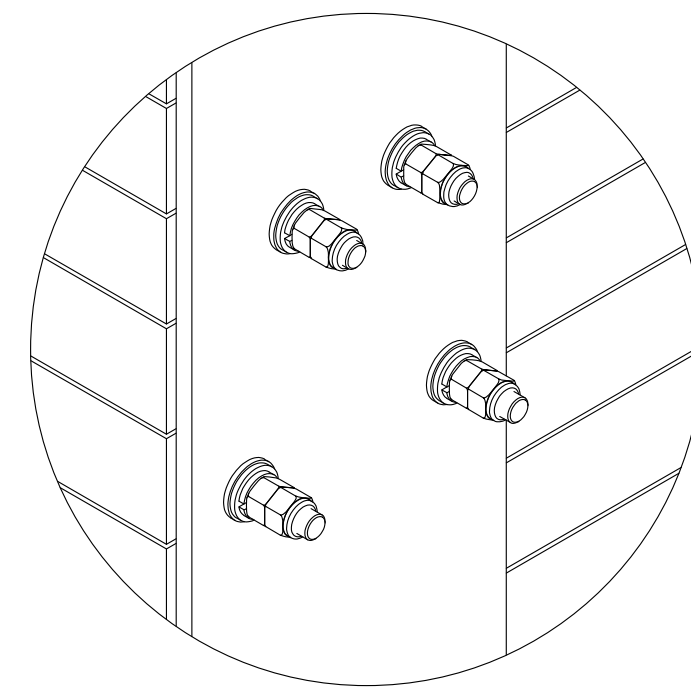
DESIGN LIVE LOADS FOR HANDRAILS
CONCENTRATED LOAD: 203.3 lb = 0.9kN
UNIFORM LOAD: 48 lb/ft = 0.7 kN/m



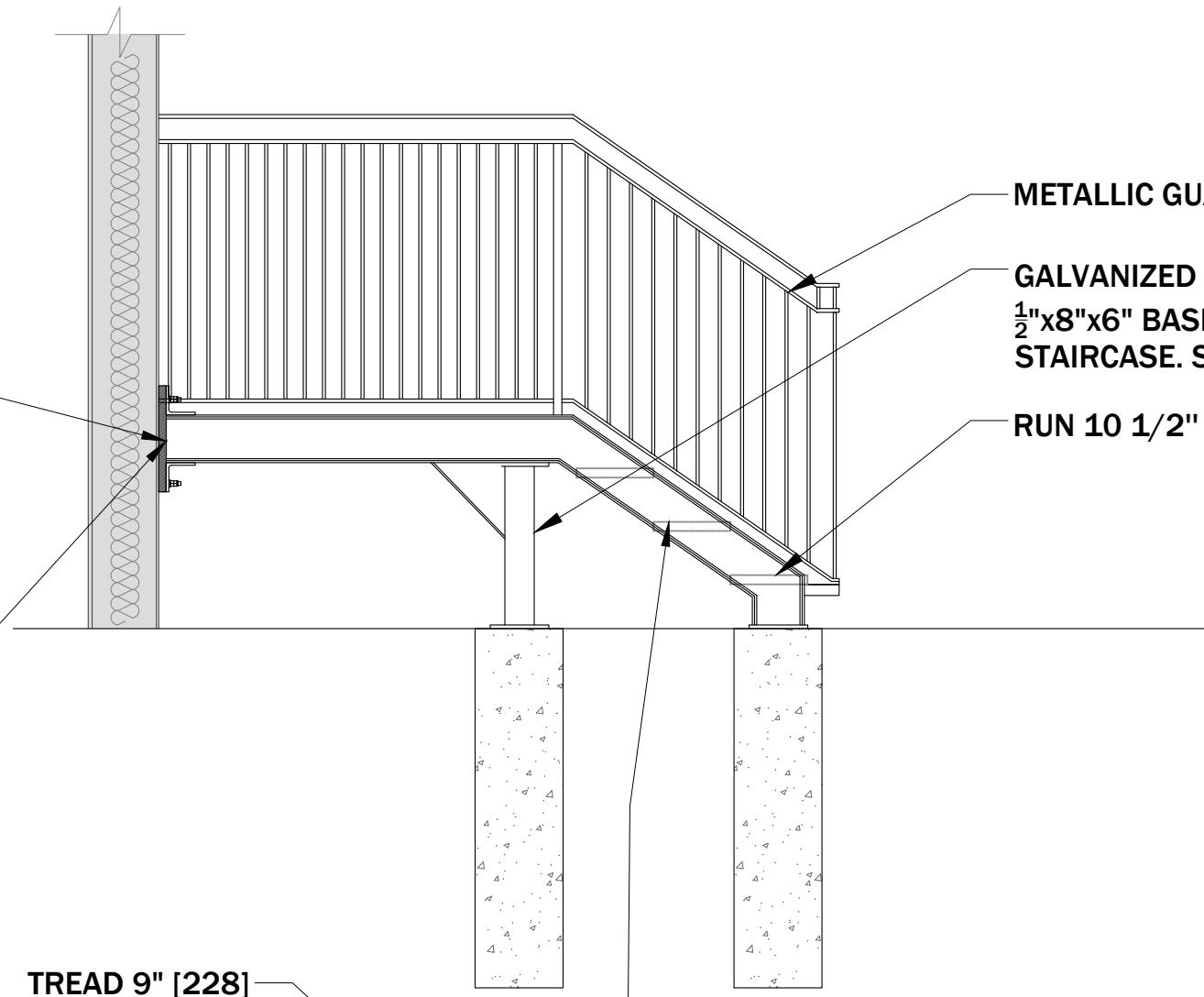
TYPICAL FRAME WELDMENT
SC6@7.8x C-CHANNEL REF.
WELDED TO 4x4"x $\frac{1}{2}$ " H.S.S.TUBE w/ GRATED HD GALV. STEPS 1-1/4"x $\frac{3}{16}$ " x 9-3/4" TREAD PER 9.8.4.1
w/ MOUNTING PL.(SIDE) CHECKER PLATE NOSING REFER TO REFERENCE



FRONT ELE.



REAR ELE.



TREAD 9" [228]
EXCL. NOSING

PT. #2

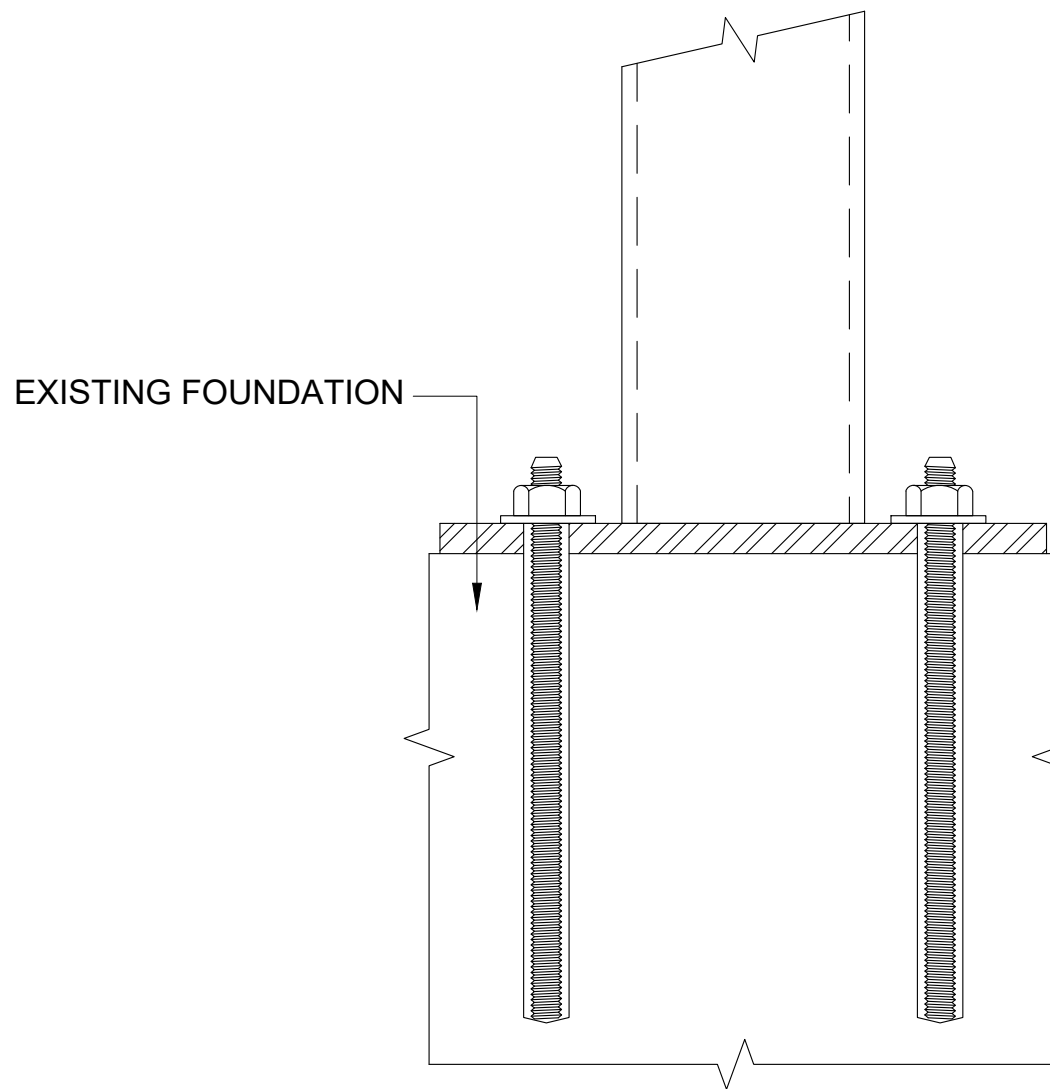
7.5" [190.5]
RISE

PT. #1

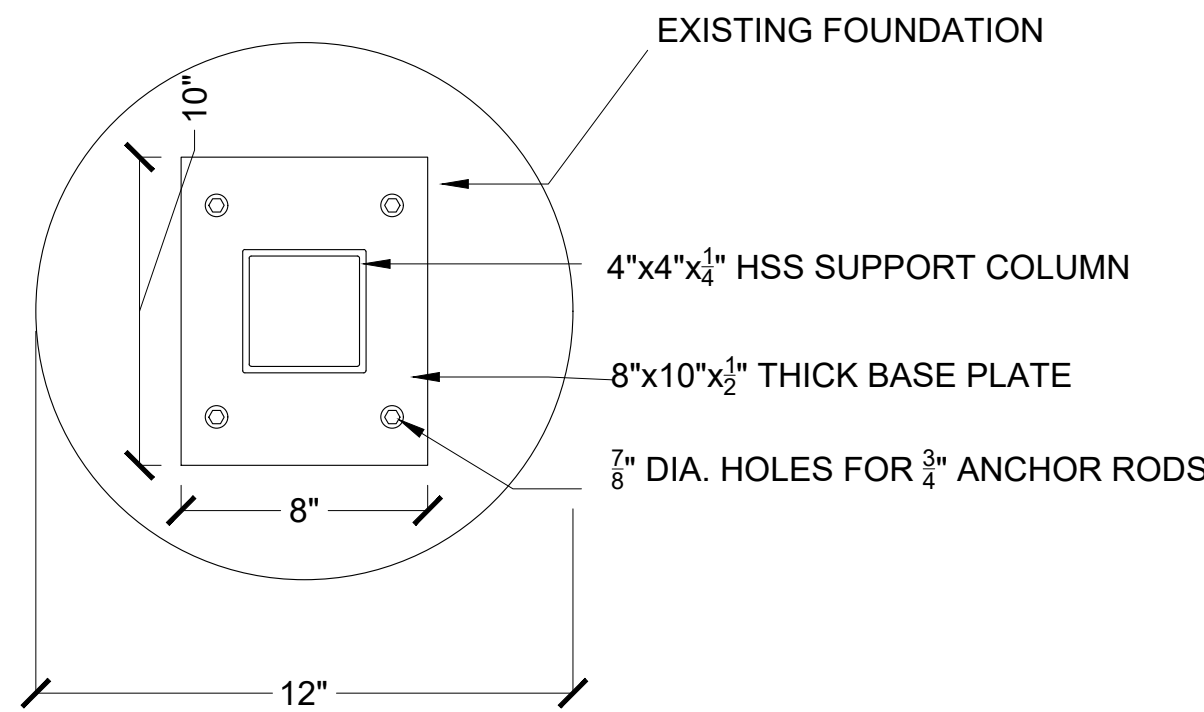
10" [254]
RUN

SECTION AA

A-A IDENTIFIES THE MOUNTING OF THE METAL STAIRCASE STRUCTURE TO SECURED TO EXTERIOR
WALL SEE DETAIL A1.1
ALUM. GRATING CONT. METAL STAIR FINISH: MILL SECURED TO NEW FLOOR AND NEW WALL
-BEARING MEM. I BEAM W4x13 (GALV. STEEL)
C-CHANNEL C6@8.2LB/FT (GALV. STEEL)



HSS TO CONCRETE FOUNDATION CONNECTION DETAIL-'D':
ELEVATION VIEW



PLAN VIEW

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES
ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT CONTACT INFORMATION:
KEN BEKENDAM, B.A BUSCOM, L.T. OFFICE:
kenbekendam@gmail.com 579 MAIN ST. E. HAMILTON, ON

LEAD ENGINEER OFFICE PHONE:
ROBERT MENDEZ, P. ENG. 855-546-4467
robertmendez@yahoo.com CELL PHONE:
905-961-0647

- GENERAL NOTES:
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOM NUMBER AND ORIGINAL SIGNATURE).
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:			
NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01			
02			
03			
04			

<input type="checkbox"/> EXHAUST FAN
<input checked="" type="checkbox"/> A.A. SMOKE ALARM
<input type="checkbox"/> C.F.A. CARBON MONOXIDE ALARM
<input type="checkbox"/> P.L.B. PLUMBING STACK
<input type="checkbox"/> W.M. WATER METER
<input type="checkbox"/> FLOOR DRAIN
<input type="checkbox"/> STRUCTURAL BEAM OR WALL

NORTH POSITION:

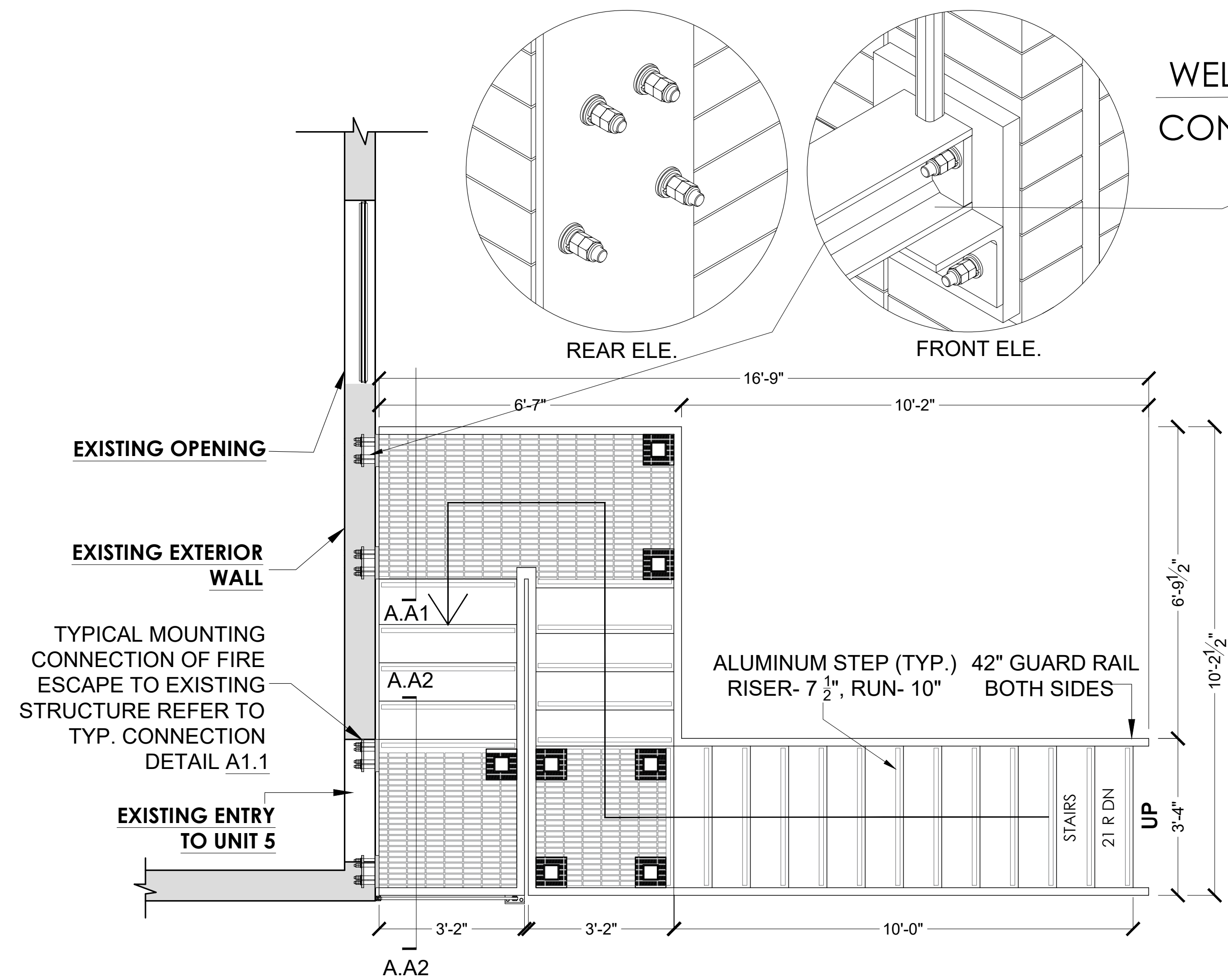
ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:
METAL FIRE ESCAPE - PLAN VIEW

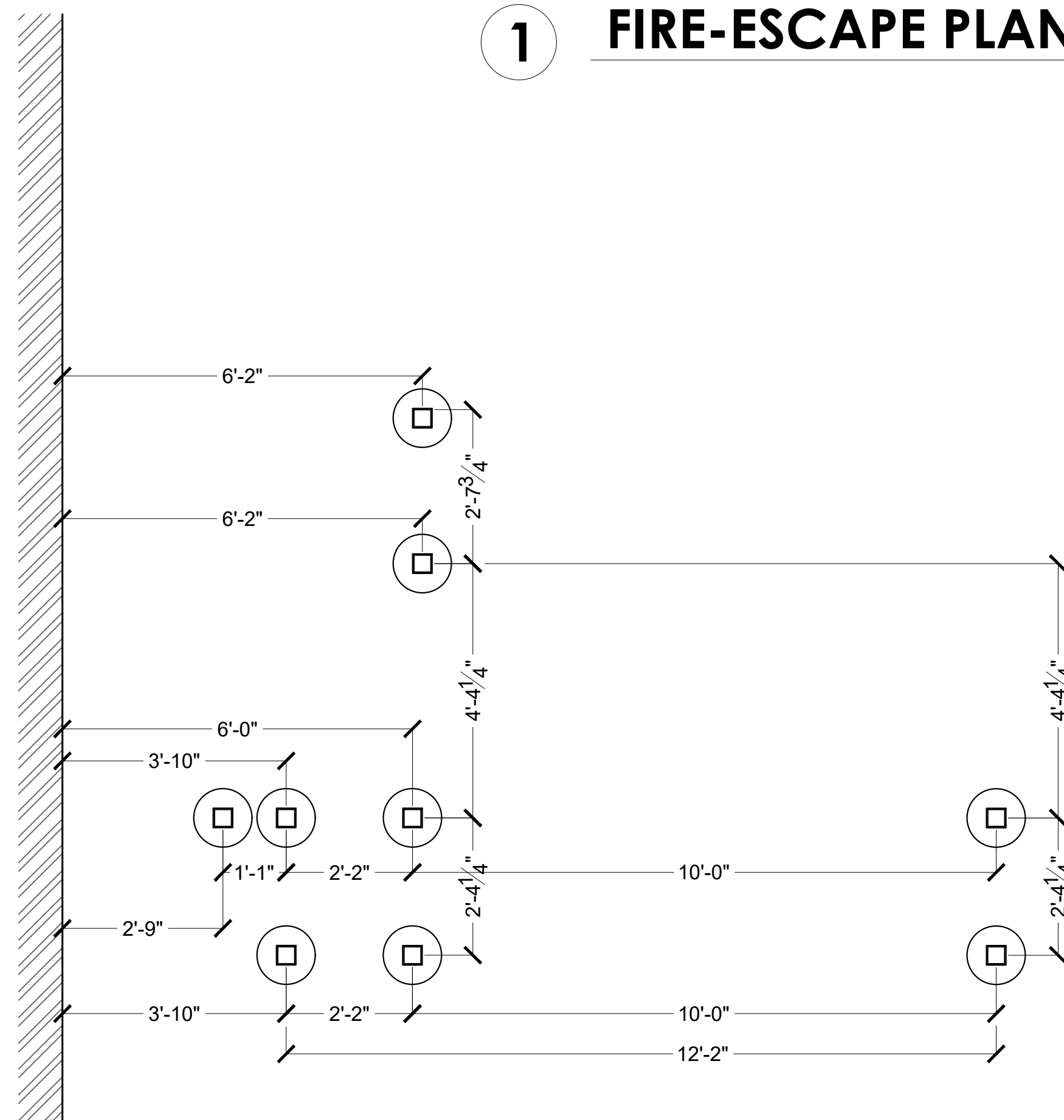
SCALE: 1/2"=1'-0"	
PROJECT NO. 22-48	DATE: 25/AUGUST/2022
DRAWN BY: DANILO CEOLA	REVIEWED BY: KEN BEKENDAM

SHEET NO.
A3.03

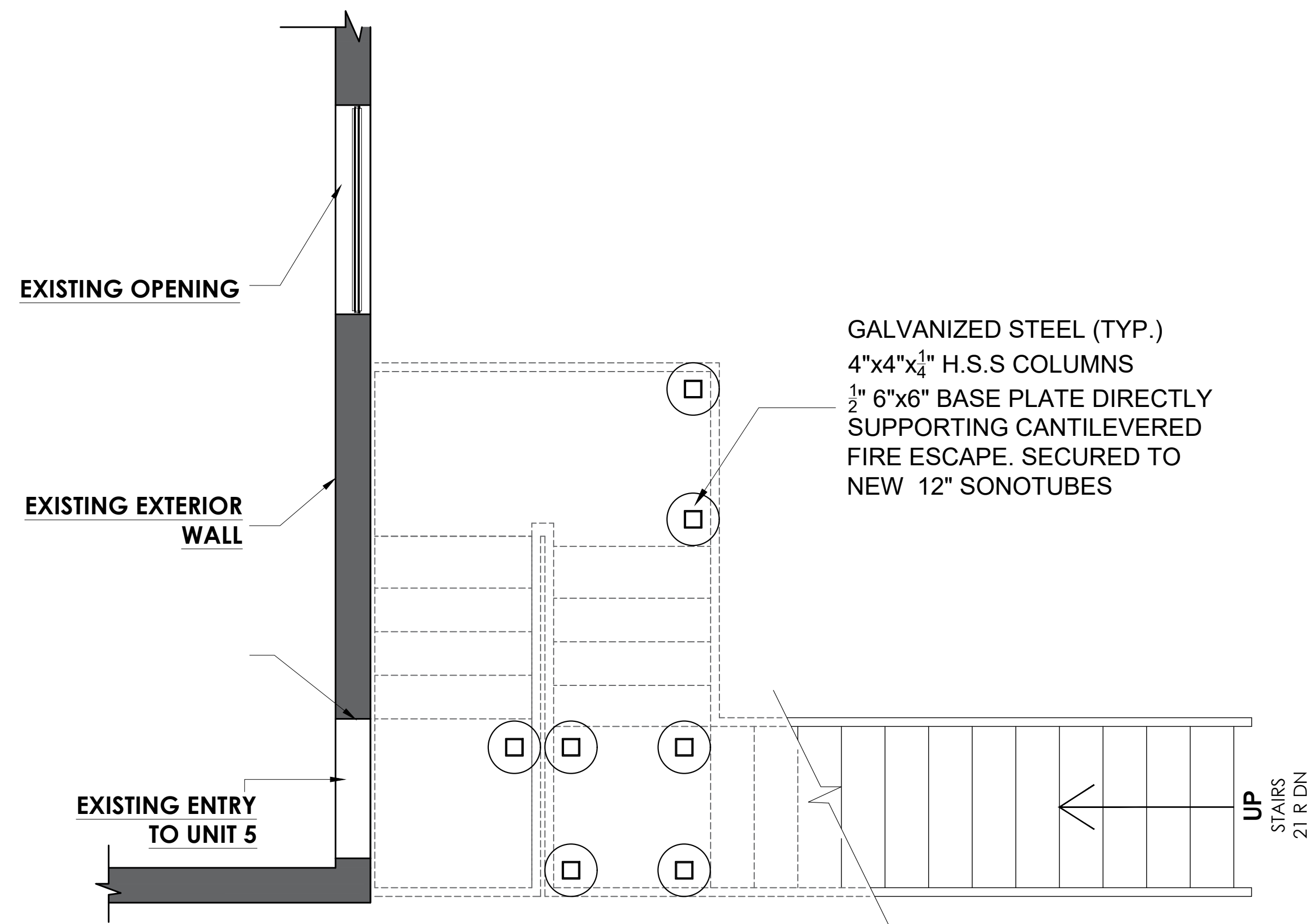


TYPICAL FRAME WELDMENT
SC6@7.8x C-CHANNEL REF.
WELDED TO 4"x4"x¹/₄" H.S.S.TUBE w/ GRATED HD GALV. STEPS
1-1/4"x³/₁₆" x 9-³/₄" TREAD PER 9.8.4.1 w/ MOUNTING PL.(SIDE)
CHECKER PLATE NOSING REFER TO REFERENCE

1 FIRE-ESCAPE PLAN VIEW



2 FOOTING - FIRE-ESCAPE PLAN VIEW



3 GRAD LEVEL - FIRE-ESCAPE PLAN VIEW

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T. OFFICE: 979 MAIN ST. E, HAMILTON, ON kenbekendam@gmail.com
LEAD ENGINEER: ROBERT MENDEZ, P. ENG. robertmendez@yahoo.com OFFICE PHONE: 855-546-4467 CELL PHONE: 905-961-0647

- GENERAL NOTES:
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE.)
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:			
NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

EXHAUST FAN
SMOKE ALARM
CARBON MONOXIDE ALARM
PLUMBING STACK
WATER METER
FLOOR DRAIN
STRUCTURAL BEAM OR WALL

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:
METAL FIRE ESCAPE - PLANS

SCALE:
1/2"=1'-0"

PROJECT NO. 22-18 DATE: 25/AUGUST/2022

DRAWN BY: DANILO CEOLA REVIEWED BY: KEN BEKENDAM

SHEET NO.

A3.04

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROADS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCIN NUMBER AND ORIGINAL SIGNATURE).
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

<input checked="" type="checkbox"/>	EXHAUST FAN
<input checked="" type="checkbox"/>	S.A. SMOKE ALARM
<input checked="" type="checkbox"/>	CARBON MONOXIDE ALARM
<input checked="" type="checkbox"/>	PLUMBING STACK
<input checked="" type="checkbox"/>	WATER METER
<input checked="" type="checkbox"/>	FLOOR DRAIN
<input checked="" type="checkbox"/>	STRUCTURAL BEAM OR WALL

NORTH POSITION:**ENGINEER'S STAMP:****PROJECT NAME/ ADDRESS:**

**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:

FIRE ESCAPE - DETAILS

SCALE:

1/2"=1'-0"

PROJECT NO.

22-18

DRAWN BY:

DANILO CEOLA

DATE:

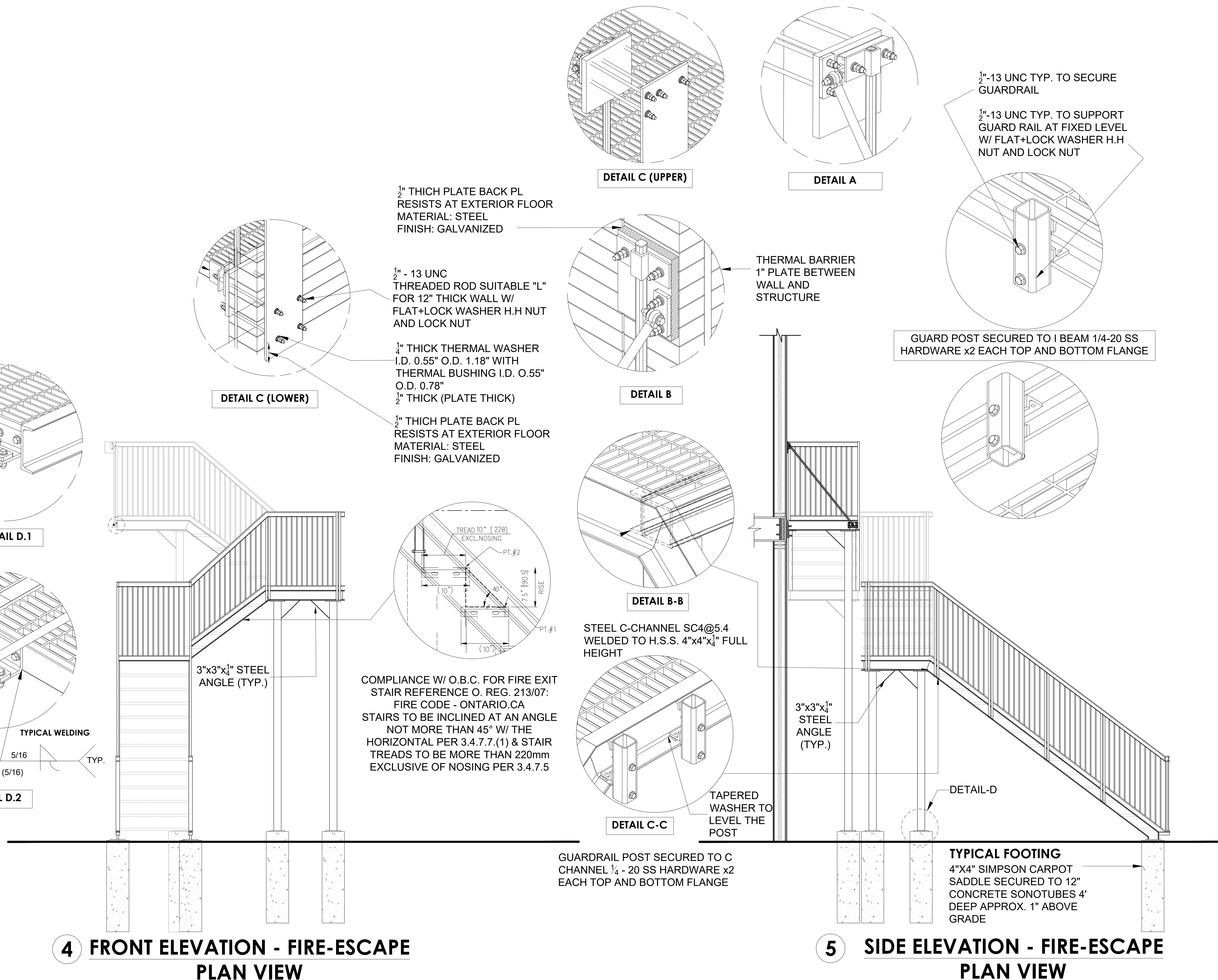
25/AUGUST/2022

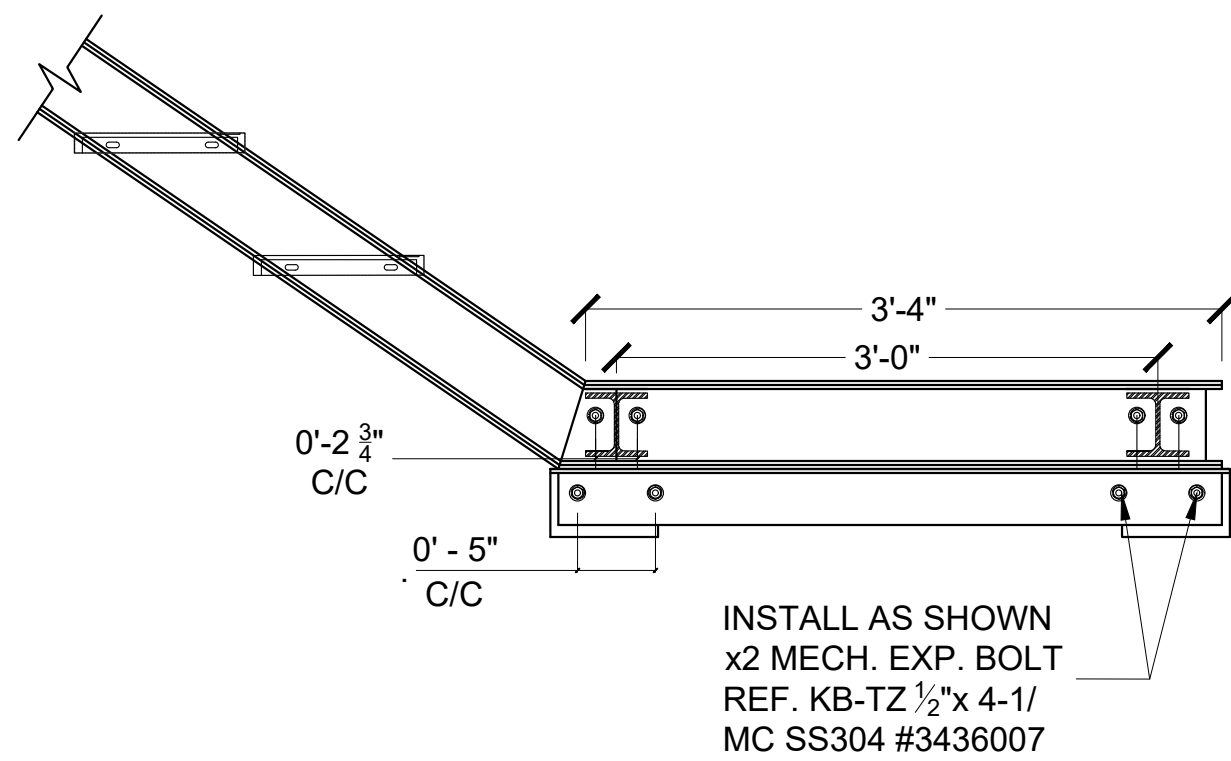
REVIEWED BY:

KEN BEKENDAM

SHEET NO.

A3.05

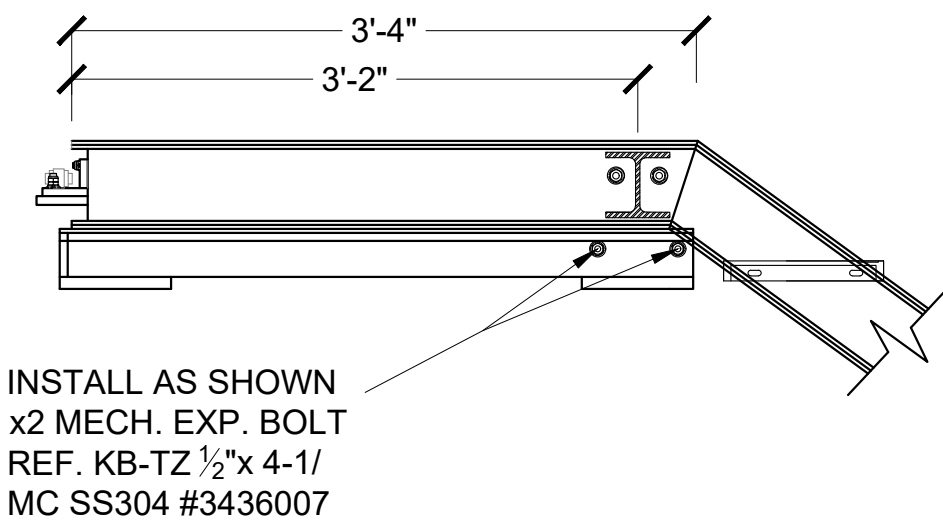




SECTION A.A1

A-A IDENTIFIES THE MOUNTING OF THE METAL STAIRCASE STRUCTURE TO SECURED TO EXTERIOR WALL SEE DETAIL A1.1

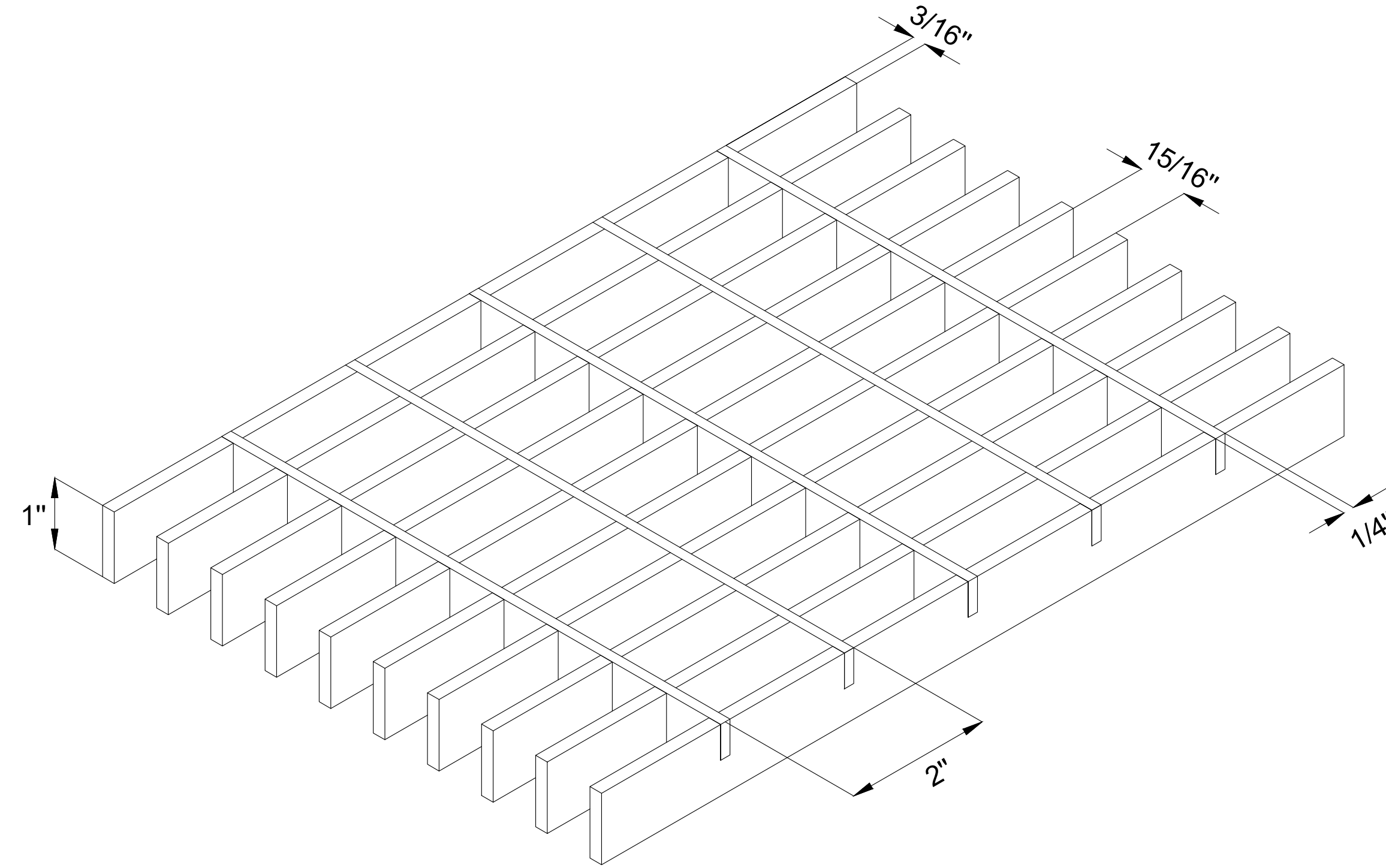
ALUM. GRATING CONT. METAL STAIR FINISH: MILL
SECURED TO NEW FLOOR AND NEW WALL
-BEARING MEM. 1 BEAM W4x13 (GALV. STEEL)
C-CHANNEL C6@8.2LB/FT (GALV. STEEL)



SECTION A.A2

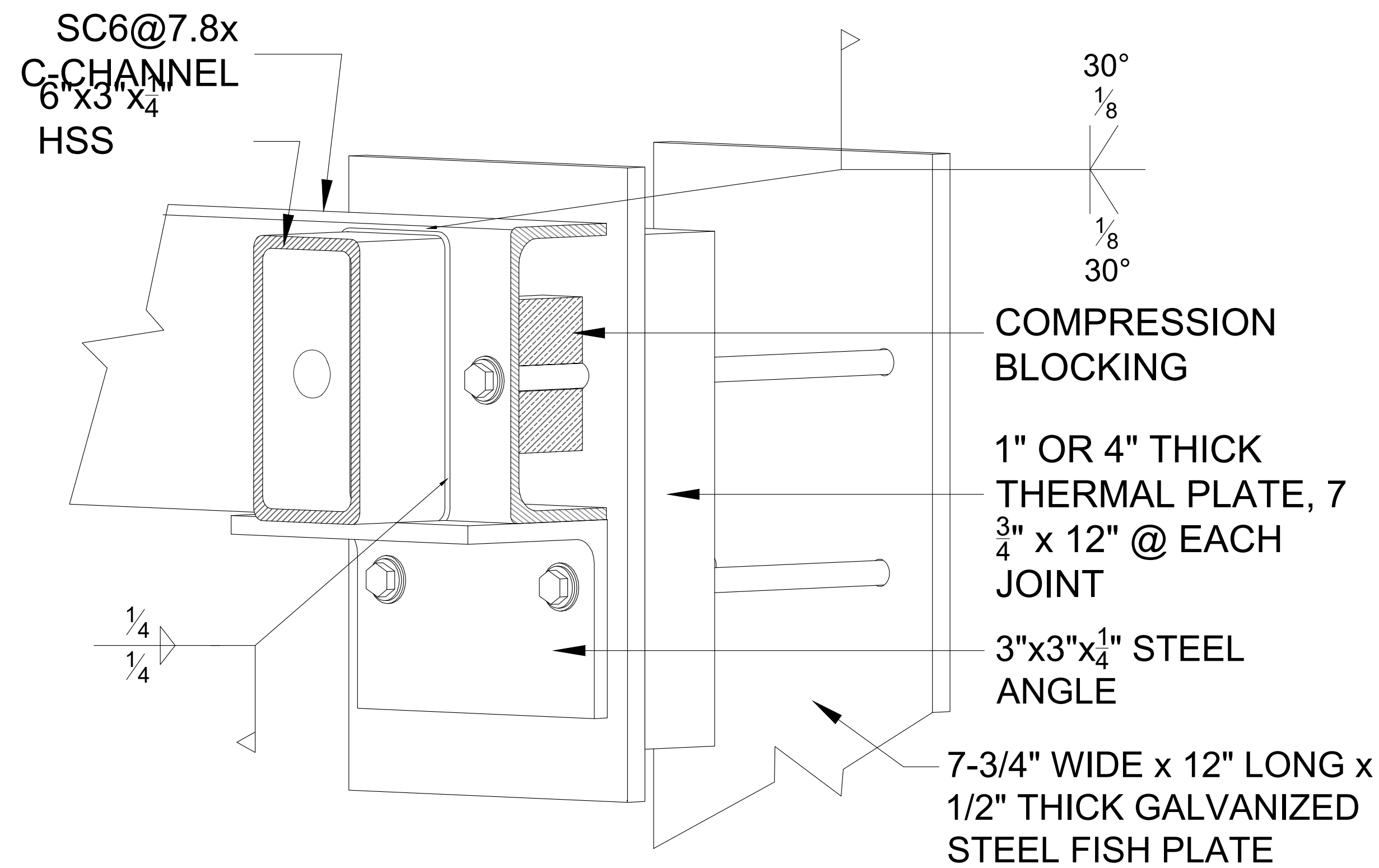
A-A IDENTIFIES THE MOUNTING OF THE METAL STAIRCASE STRUCTURE TO SECURED TO EXTERIOR WALL SEE DETAIL A1.1

ALUM. GRATING CONT. METAL STAIR FINISH: MILL
SECURED TO NEW FLOOR AND NEW WALL
-BEARING MEM. 1 BEAM W4x13 (GALV. STEEL)
C-CHANNEL C6@8.2LB/FT (GALV. STEEL)

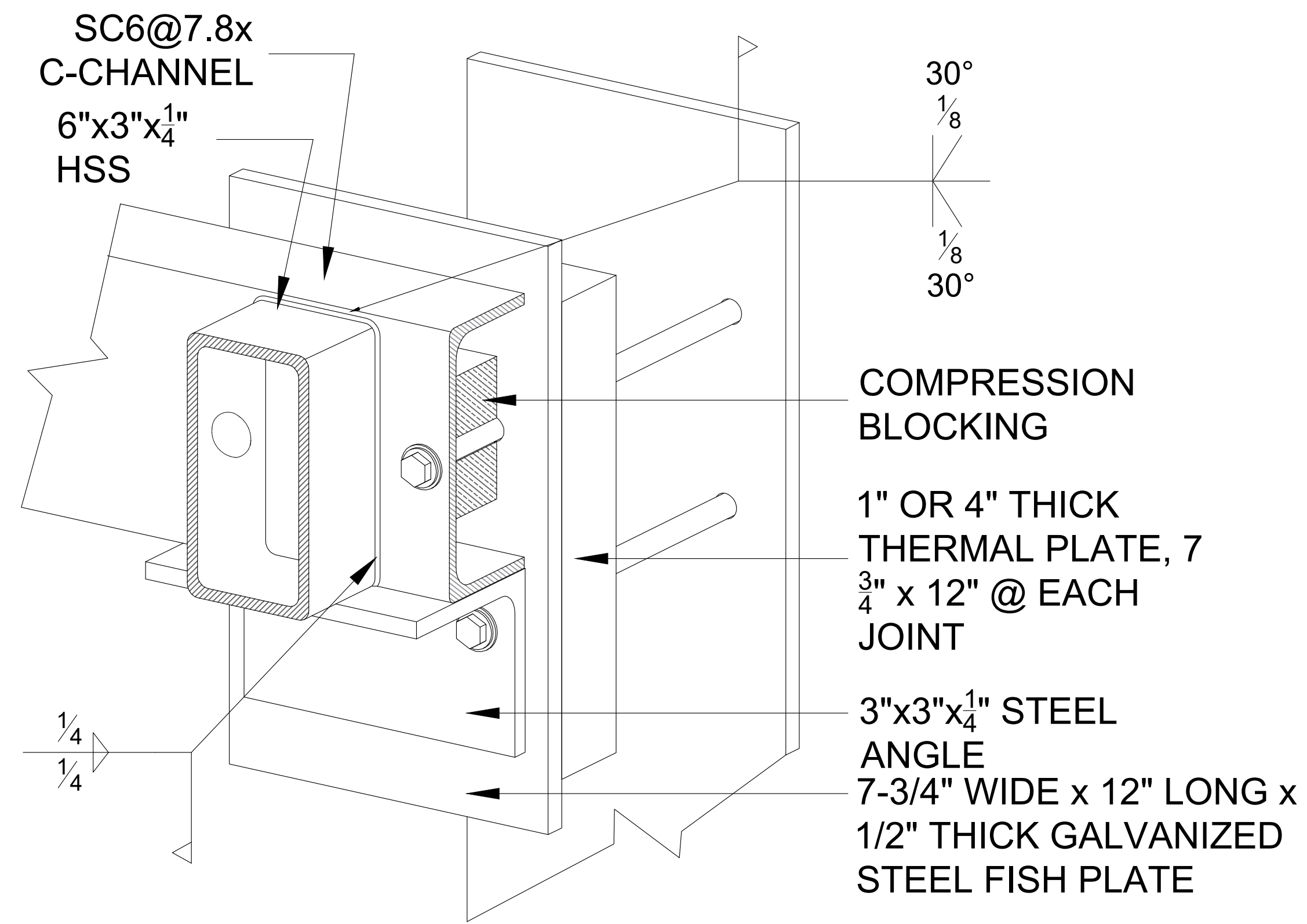


ALUMINUM GRATING $15/16$ " x 2" CENTERS SMOOTH FINISH
REF: (6701319912) McNICHOLS PRESS LOCKED SMOOTH 6.30 LB/FT

TYPICAL CONNECTION FRONT ELEV. A1.1



TYPICAL CONNECTION FRONT ELEV. A1.2



CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com
OFFICE:
979 MAIN ST. E. HAMILTON, ON
L8N 3K5
CELL PHONE:
855-546-4467
LEAD ENGINEER
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com
CELL PHONE:
905-961-0647

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROADS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCIN NUMBER AND ORIGINAL SIGNATURE).
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01			
02			
03			
04			

<input type="checkbox"/>	EXHAUST FAN
<input type="checkbox"/>	S.A. SMOKE ALARM
<input type="checkbox"/>	CARBON MONOXIDE ALARM
<input type="checkbox"/>	PLUMBING STACK
<input type="checkbox"/>	WATER METER
<input type="checkbox"/>	FLOOR DRAIN
<input type="checkbox"/>	STRUCTURAL BEAM OR WALL

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ ADDRESS:
**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:
FIRE ESCAPE - DETAILS

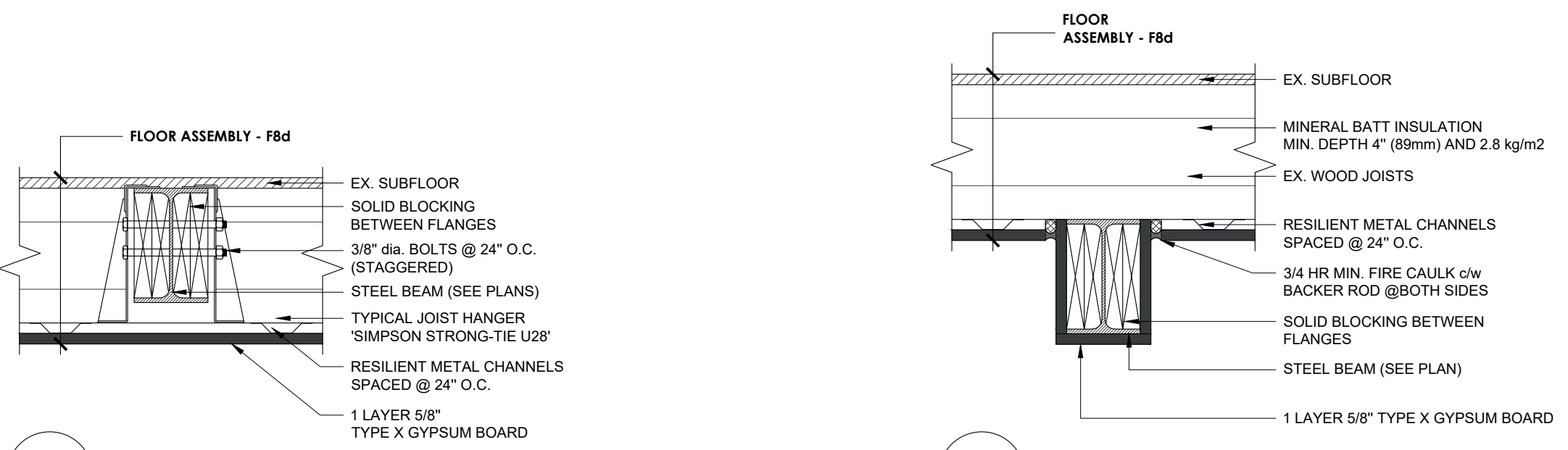
SCALE: 1/2"=1'-0"	
PROJECT NO. 22-18	DATE: 25/AUGUST/2022
DRAWN BY: DANILO CEOLA	REVIEWED BY: KEN BEKENDAM

SHEET NO.

A3.06



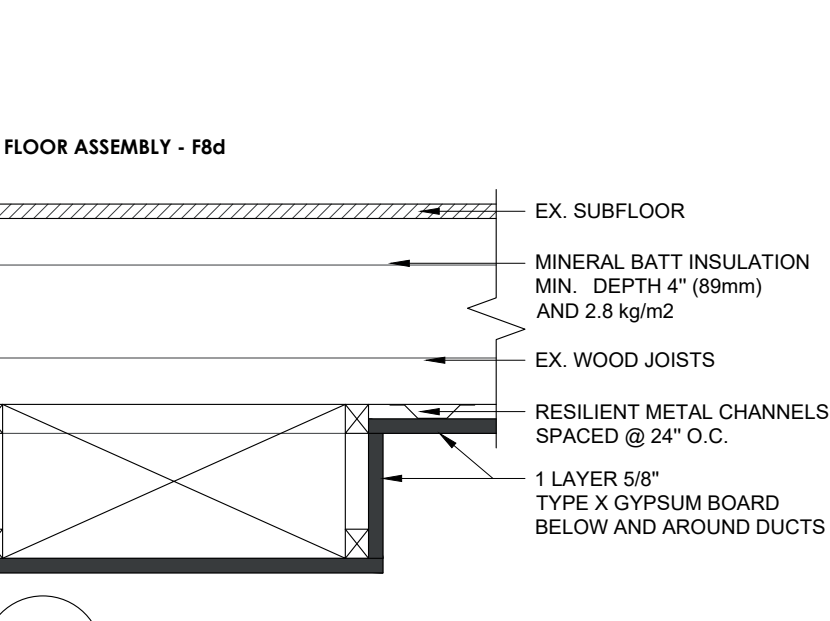
01 NEW: INTERIOR PARTITION WALL
WITH GWB BOTH SIDES



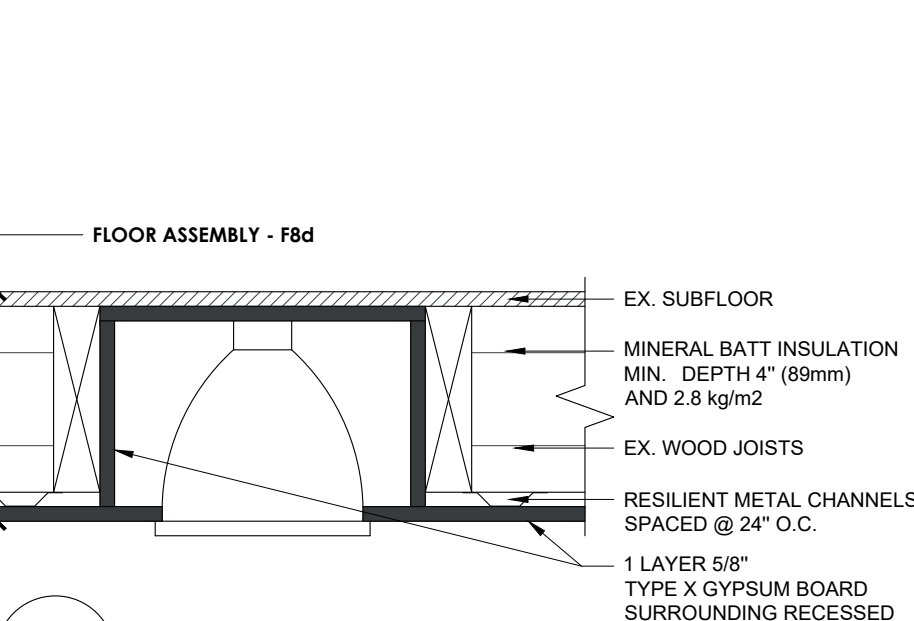
02 NEW: INTERIOR PARTITION WALL
WITH 1HR FIRE SEPARATION



03 VERTICAL FIRE SEPARATION
AT CEILING DETAIL



04 LVL BEAM DETAIL
FLUSH



05 WOOD BEAM FIRE RATED
DROPPED



06 STEEL BEAM FIRE RATED
FLUSH



07 STEEL BEAM FIRE RATED
DROPPED



08 DUCTS FIRE RATED



09 RECESSED LIGHTS FIRE RATED



10 VENTS RATED
BATH FANS, CLOTHES DRYERS & KITCHEN EXHAUSTS



11 EXTERIOR WALL
SPRAY FOAM



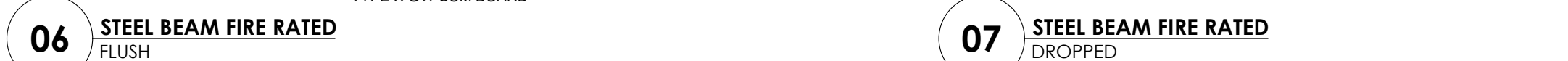
12 EXTERIOR WALL
BATT INSULATION



13 INTERIOR WALL - NON LOAD BEARING
FIRE SEPARATION



14 LOAD BEARING FIRE RATED
WALL AT CEILING DETAIL



15 STRUCTURAL COLUMNS
FIRE SEPARATION



16 FIRESTOP DETAIL FLOOR PENETRATION
SEE HILTI DETAILS



17 STAIR FIRE RATED



18 FIRESTOP DETAIL WALL PENETRATION
SEE HILTI DETAILS

CITY ELECTRONIC STAMP:

KING
ROBINS

legal second suites.com

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING ROBINS INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

OFFICE:
973 MAIN ST. E. HAMILTON, ON

OFFICE PHONE:
855-546-4467

LEAD ENGINEER:
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

CELL PHONE:
905-961-0647

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BOIN NUMBER AND ORIGINAL SIGNATURE).
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

- ☐ EXHAUST FAN
☒ SMOKE ALARM
☒ CARBON MONOXIDE ALARM
☒ PLUMBING STACK
☒ WATER METER
☒ FLOOR DRAIN
☒ STRUCTURAL BEAM OR WALL

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

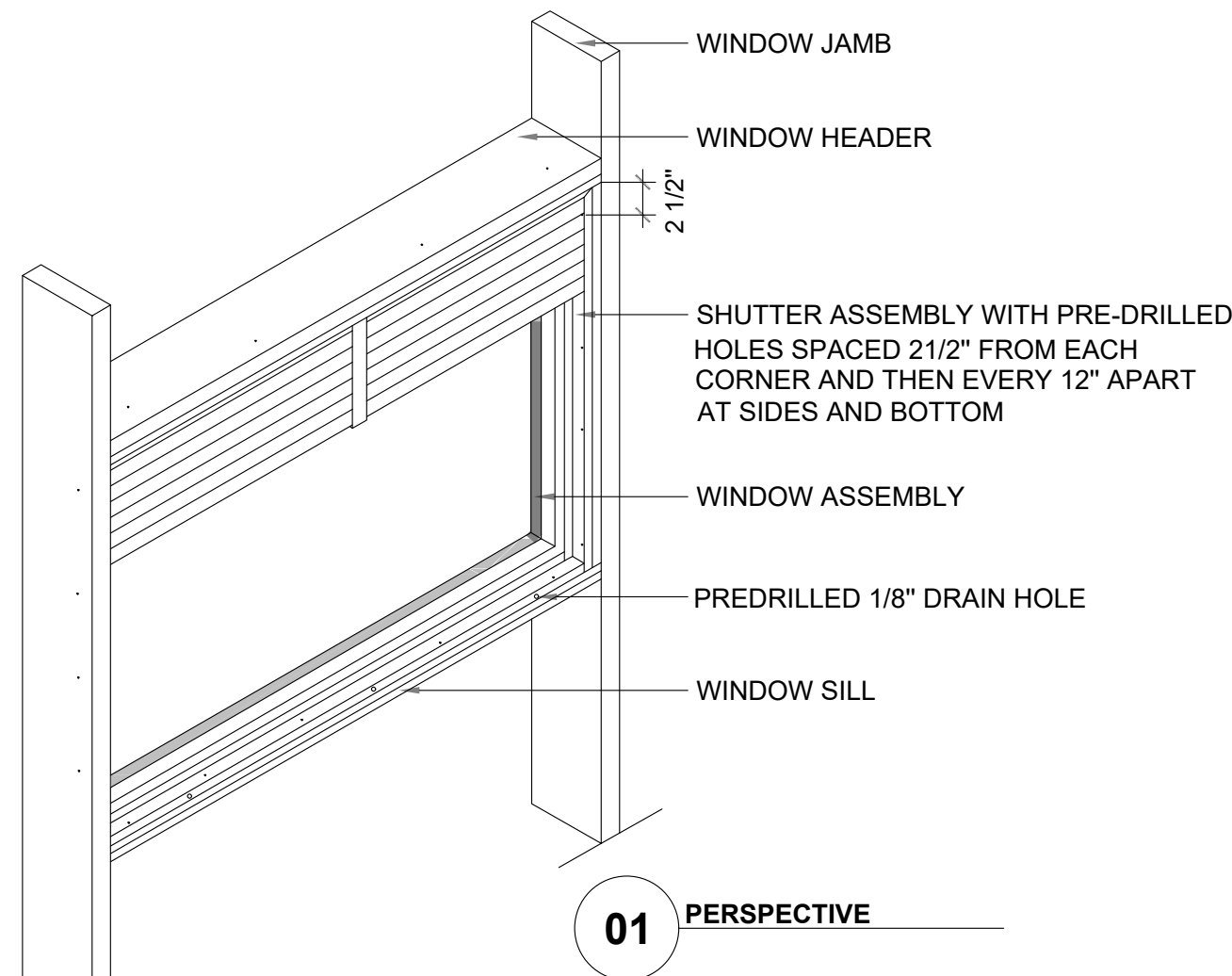
**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:

FIRE SEPARATION DETAILS

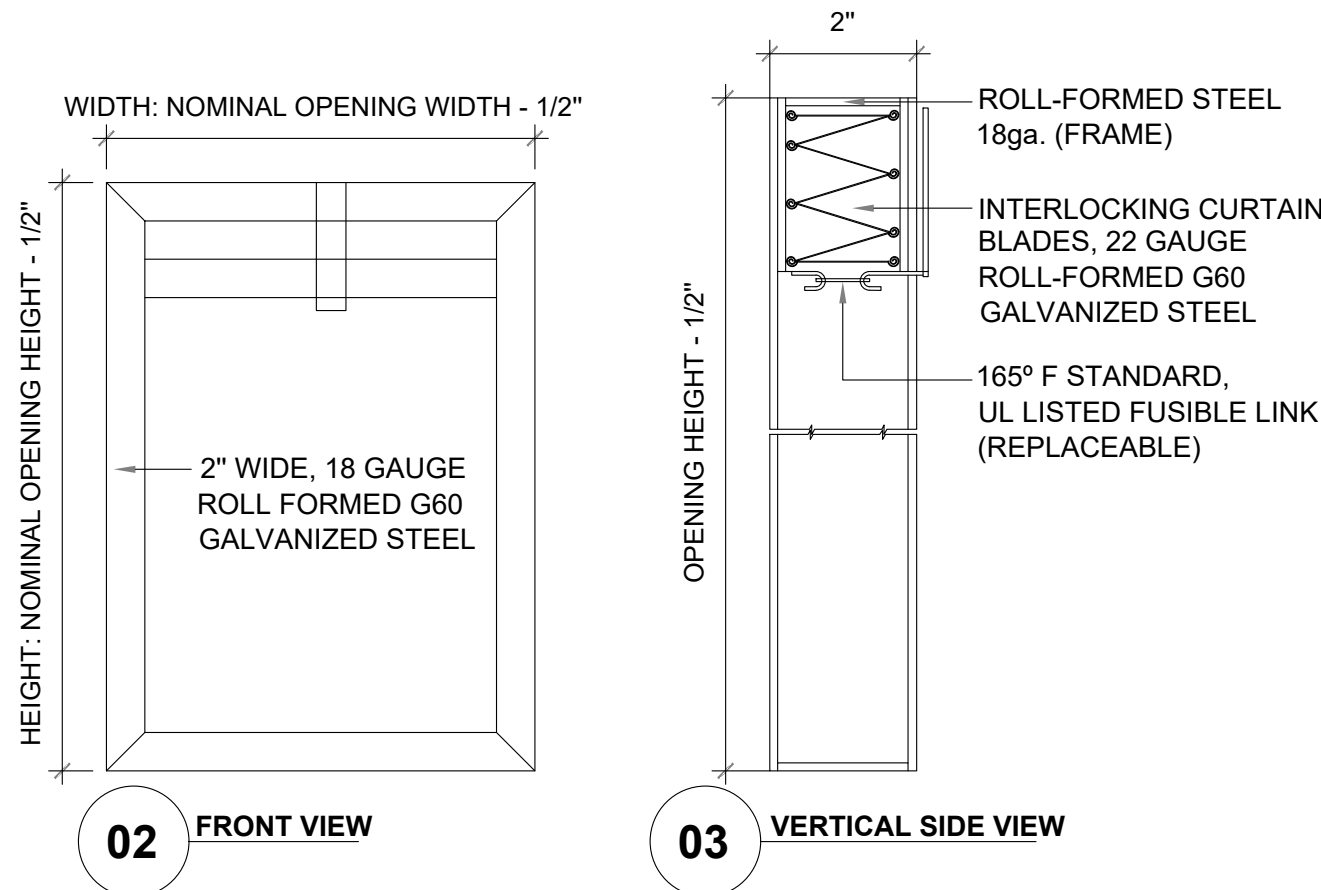
SCALE:	NTS
PROJECT NO.	22-18
DATE:	25/AUGUST/2022
DRAWN BY:	DANILLO CEOLA
REVIEWED BY:	KEN BEKENDAM
SHEET NO.	

A4.01



FIREOXX SHUTTER

WARNOCK HERSEY
LISTED 20 MINUTE
RATED FIRE SHUTTER
MEETS CAN/ULC
S104-10



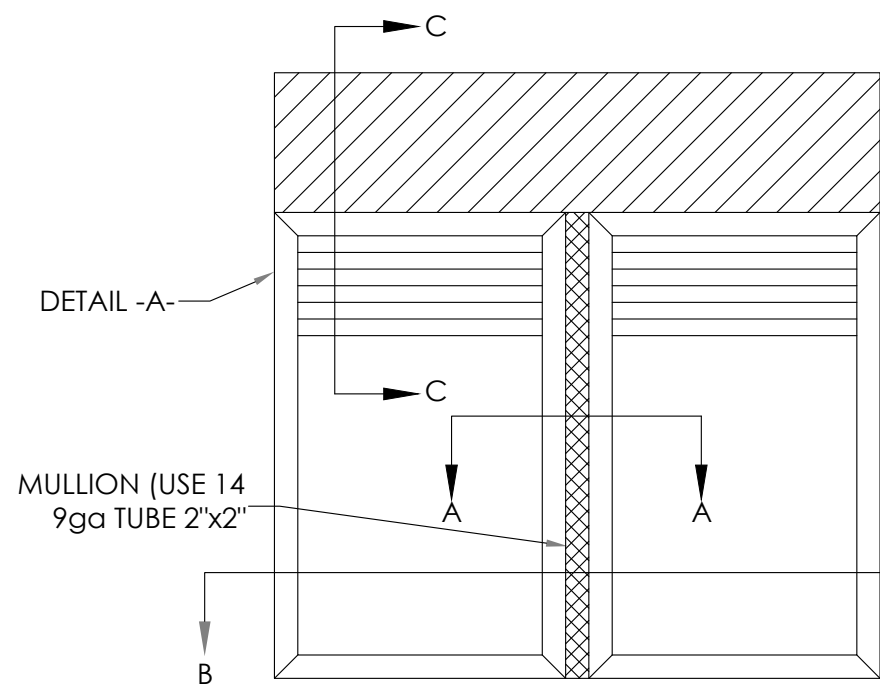
EXTERIOR JAMB MOUNTED FIRE SHUTTER INSTALLATION INSTRUCTIONS

SHUTTER SIZES TO A MAXIMUM OF 42" WIDE AND 60" HIGH
SHUTTER TO BE MOUNTED TO BRICK JAMB OR EQUIVALENT NON-COMPUSTABLE SURFACE

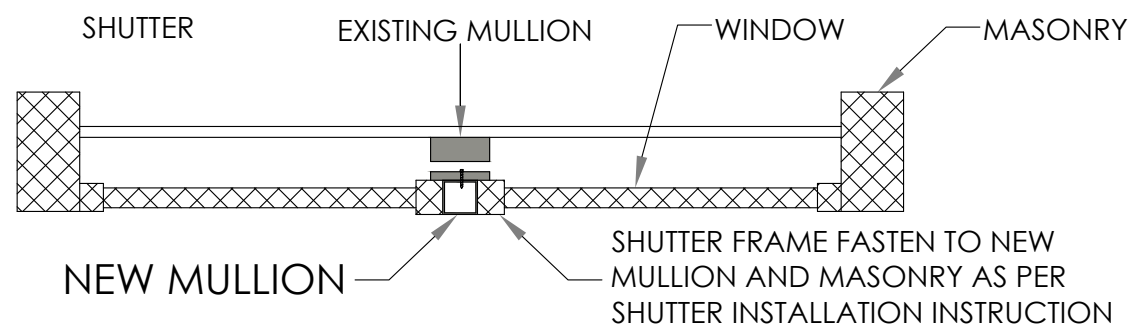
- PREPARE AND CLEAN THE EXTERIOR SIDE OF THE WINDOW OPENING.
 - PLACE FIRE SHUTTER WITH CORNER BRACKETS FACING THE WINDOW INTO THE WINDOW OPENING WITH A 1/4" SPACE FROM THE FACE OF THE WINDOW.
 - SHIM THE SHUTTER ASSEMBLY WITH A MINIMUM 1/4" GAP TO WINDOW OPENING AT BOTTOM AND SIDES. SHIM WHERE PRE-DRILLED HOLES ARE LOCATED TO PREVENT BENDING OF FRAME.
 - LOCATE PRE-DRILLED HOLES AT SIDES AND BOTTOM AND INSERT SCREWS AS REQUIRED TO SECURE SHUTTER ASSEMBLY. (SEE TABLE 1 FOR THE REQUIRED SCREWS).
 - TO INSTALL SCREWS AT TOP CORNER, CAREFULLY REMOVE THE FUSIBLE LINK HOLDING STRAP WITH ONE HAND AND HOLD BOTTOM OF CURTAIN BLADE WITH THE OTHER HAND ALLOWING CURTAIN TO DROP. INSTALL SCREWS AND RESET CURTAIN TO UPRIGHT POSITION AND RE-SET FUSIBLE LINK HOLDING STRAP.
- USE CAUTION WHEN LOWERING CURTAIN BLADE**
- REMOVE ALL SHIMS AND TIGHTLY FILL GAPS WITH RATED MINERAL WOOL AND APPLY A GOOD QUALITY CAULKING, FILLING ALL GAPS BETWEEN THE FIRE SHUTTER AND MOUNTING SURFACE.
 - TEST DROP CURTAIN TO ENSURE IT WILL FREE FALL WITHOUT OBSTRUCTION.
 - RESET CURTAIN IN UPRIGHT POSITION AND SECURE WITH FUSIBLE LINK STRAPING.
- NOTES:**
- INSTALL IN ACCORDANCE WITH INSTRUCTIONS TO MAINTAIN APPROVED LISTING.

TABLE 01

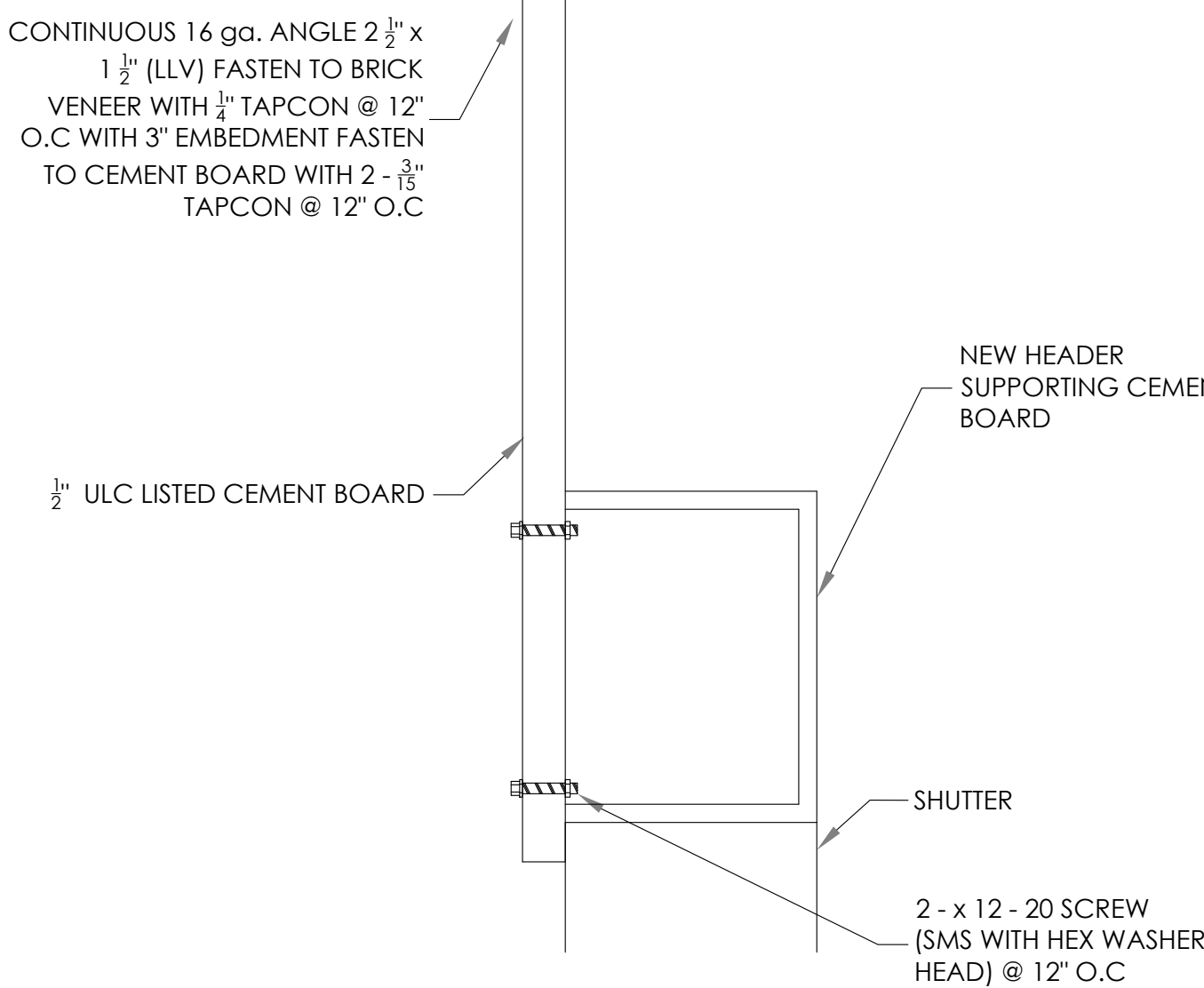
OPENING MATERIAL SCREW TYPE			SCREW HEAD TYPE	MIN. PENETRATION
CONCRETE	#8 DX-KWIK	OR EQUIVALENT	FLAT HEAD	1 1/2"
LIGHT GAUGE STEEL	#8 KWIK-PRO SELF DRILLING	OR EQUIVALENT	FLAT HEAD	1/2"
MASONRY	#8 DX-KWIK	OR EQUIVALENT	FLAT HEAD	1 1/2"
STEEL	#8 KWIK-PRO SELF DRILLING	OR EQUIVALENT	FLAT HEAD	1/2"
WOOD	#8 ROBERTSON SCREW	OR EQUIVALENT	FLAT HEAD	1 1/2"



DETAIL -1
GANG MOUNT OF SHUTTERS

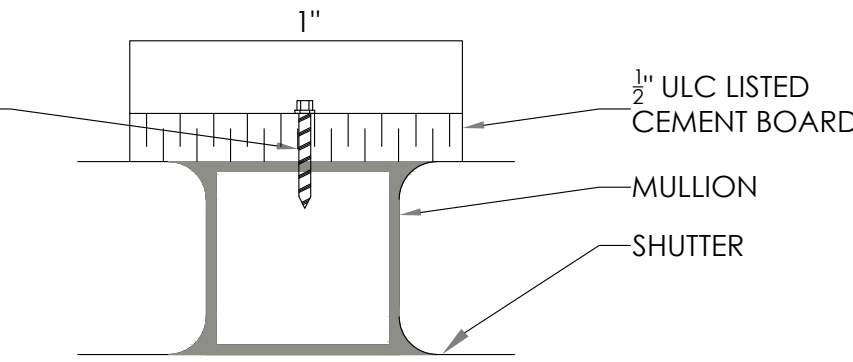


SECTION B-B

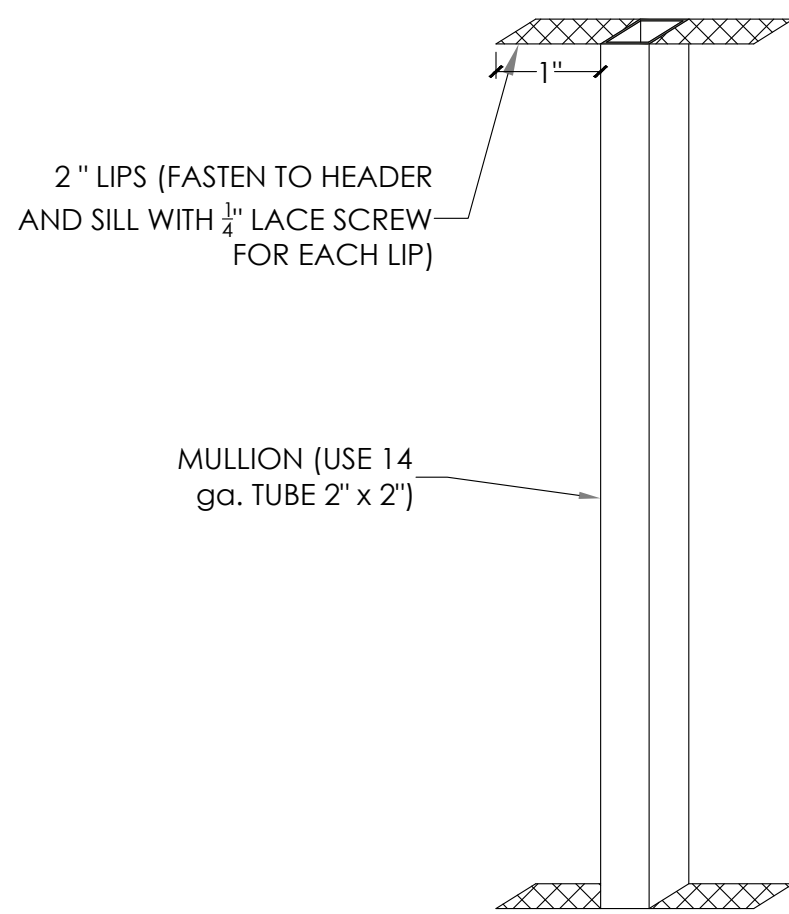


SECTION C-C

TRIM THE STUD FLANGE BEND THE WEB AND THE FASTEN TO THE BRICK VENEER WITH 3 - 1/4" TAPCON WITH 2" EMBEDMENT



SECTION A-A



MULLION DETAILS

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com

CONTACT INFORMATION:
OFFICE:
973 MAIN ST. E, HAMILTON, ON
OFFICE PHONE:
855-546-4467
CELL PHONE:
905-961-0647

LEAD ENGINEER
ROBERT MENDEZ, P. ENG.
robertmendez@yahoo.com

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE SIGN NUMBER AND ORIGINAL SIGNATURE).
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01	DO MONTH-YYYY	ISSUED FOR DESIGN REVIEW	AM
02			
03			
04			

1	EXHAUST FAN
2	SMOKE ALARM
3	CARBON MONOXIDE ALARM
4	FLUMLING STACK
5	WATER METER
6	FLOOR DRAIN
7	STRUCTURAL BEAM OR WALL

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

**43 WEST AVENUE SOUTH,
HAMILTON - ON**

SHEET NAME:

FIRE SHUTTER DETAILS

SCALE:

3/8"=1'-0"

PROJECT NO.

DATE:

22-18

25/AUGUST/2022

DRAWN BY:

REVIEWED BY:

DANILLO CEOLA

KEN BEKENDAM

SHEET NO.

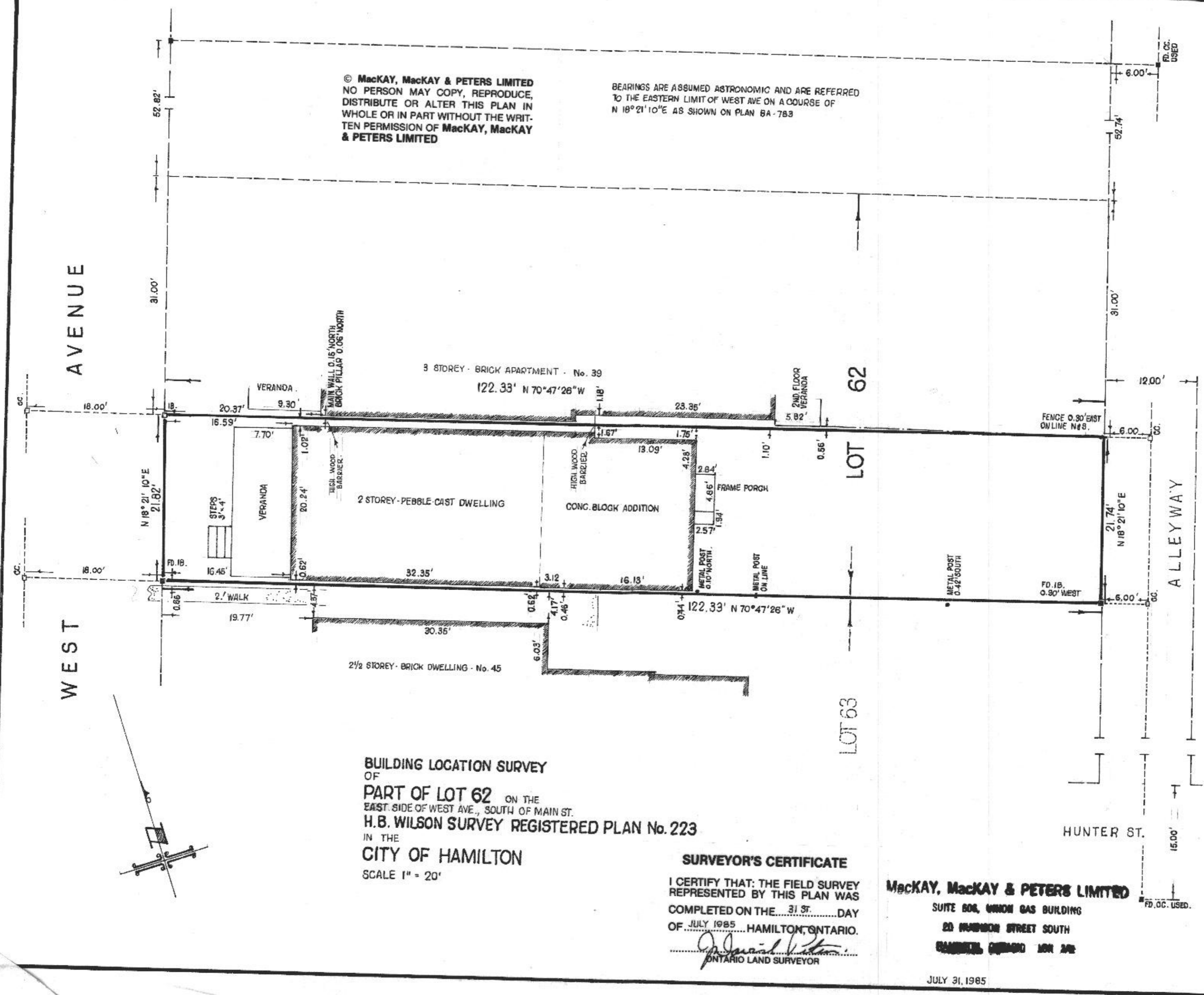
A4.02

AVENUE

WEST

© MacKAY, MacKAY & PETERS LIMITED
NO PERSON MAY COPY, REPRODUCE,
DISTRIBUTE OR ALTER THIS PLAN IN
WHOLE OR IN PART WITHOUT THE WRIT-
TEN PERMISSION OF MacKAY, MacKAY
& PETERS LIMITED

BEARINGS ARE ASSUMED ASTRONOMIC AND ARE REFERRED
TO THE EASTERN LIMIT OF WEST AVE ON A COURSE OF
N 18° 21' 10" E AS SHOWN ON PLAN 8A-783



BUILDING LOCATION SURVEY
OF
PART OF LOT 62 ON THE
EAST SIDE OF WEST AVE., SOUTH OF MAIN ST.
H.B. WILSON SURVEY REGISTERED PLAN No. 223
IN THE
CITY OF HAMILTON
SCALE 1" = 20'

SURVEYOR'S CERTIFICATE
I CERTIFY THAT: THE FIELD SURVEY
REPRESENTED BY THIS PLAN WAS
COMPLETED ON THE 31ST DAY
OF JULY 1985 HAMILTON, ONTARIO.
[Signature]
ONTARIO LAND SURVEYOR

MacKAY, MacKAY & PETERS LIMITED
SUITE 606, UNION GAS BUILDING
20 HAMBUR STREET SOUTH
HAMILTON, ONTARIO L8N 3A6
JULY 31, 1985

Y-19772



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	2809628 Ontario Inc c/o Steven and Sonia Tran		
Applicant(s)*	Ken Bekendam c/o King Homes Inc		
Agent or Solicitor	same as Applicant		Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

n/a

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

See additional sheet at bottom of applicant for list of required variances as identified through a Zoning Compliance Review Folder: 22-135048-00 ALR by Liam Tapp

☐ Second Dwelling Unit ☒ Reconstruction of Existing Dwelling

5. Why is it not possible to comply with the provisions of the By-law?

Existing site constraints

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

43 West Ave S, Hamilton

Legal description: Plan 223 PT LOT 62

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☒

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☐ Unknown ☒

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☐ Unknown ☒

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Existing Residential Use

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Aug 13th 2022

Date

Signature Property Owner(s)

Steven and Sonia Tran

Print Name of Owner(s)

I have authority to bind the corporation

10. Dimensions of lands affected:

Frontage	21.42m
Depth	121.50 m
Area	2602.53
Width of street	unknown

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

See Site Plan

Proposed

See Site Plan

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

See Site Plan

Proposed:

See Site Plan

13. Date of acquisition of subject lands:
2022
-
14. Date of construction of all buildings and structures on subject lands:
unknown
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Two Family Dwelling
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Residential
-
17. Length of time the existing uses of the subject property have continued:
Unknown
-
18. Municipal services available: (check the appropriate space or spaces)
 Water X Connected X
 Sanitary Sewer X Connected X
 Storm Sewers X
-
19. Present Official Plan/Secondary Plan provisions applying to the land:
 OP - Downtown Mixed Use SP - Downtown Residential
-
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
 D5
-
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
☐ Yes ☒ No
 If yes, please provide the file number:

- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
☐ Yes ☐ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.