



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### **NOTICE OF PUBLIC HEARING** **Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>HM/A-22:291</b>	<b>SUBJECT PROPERTY:</b>	47 WHITFIELD AVENUE, HAMILTON
<b>ZONE:</b>	"M5" (General Industrial)	<b>ZONING BY-LAW:</b>	Zoning By-law City of Hamilton 05-200, as Amended

**APPLICANTS:** Owner: Manuel Vieira  
Agent: Michael Sabelli

The following variances are requested:

1. The addition shall be permitted to be located 0.15m from a street instead of the minimum required 3.0m setback.

**PURPOSE & EFFECT:** So as to permit the construction of a front yard addition to an existing building.

#### **Notes:**

1. The 05-200 Hamilton Zoning By-law permits eaves, troughs or similar features to project a maximum of 0.6m into the required yard or to a maximum of half the distance of the required yard whichever is lesser. Insufficient information has been provided in order to determine zoning compliance. Further variances will be required if compliance cannot be achieved.
2. Insufficient information has been provided in order to determine compliance in regard to proposed internal layout, specifically any proposed office space. Further variances will be required if compliance cannot be achieved.
3. 4 parking spaces are proposed to be provided off site on the adjacent property 357 Gage Avenue North. The applicant shall ensure parking is in compliance with Section 5.1 a).
4. All proposed fences shall be in accordance with the 10-142 Fence By-law.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, October 6, 2022</b>
<b>TIME:</b>	<b>1:45 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 **Subject Lands**

DATED: September 20, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

## **PARTICIPATION PROCEDURES**

### **Written Submissions**

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Please include your name and address, hearing date, and file number. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### **Oral Submissions**

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### **1. Virtual Oral Submissions**

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### **2. In person Oral Submissions**

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.





1 Key Plan  
SP1.0 N.T.S.

# City of Hamilton

47 Whitfield Avenue

First Submission: April 30, 2019

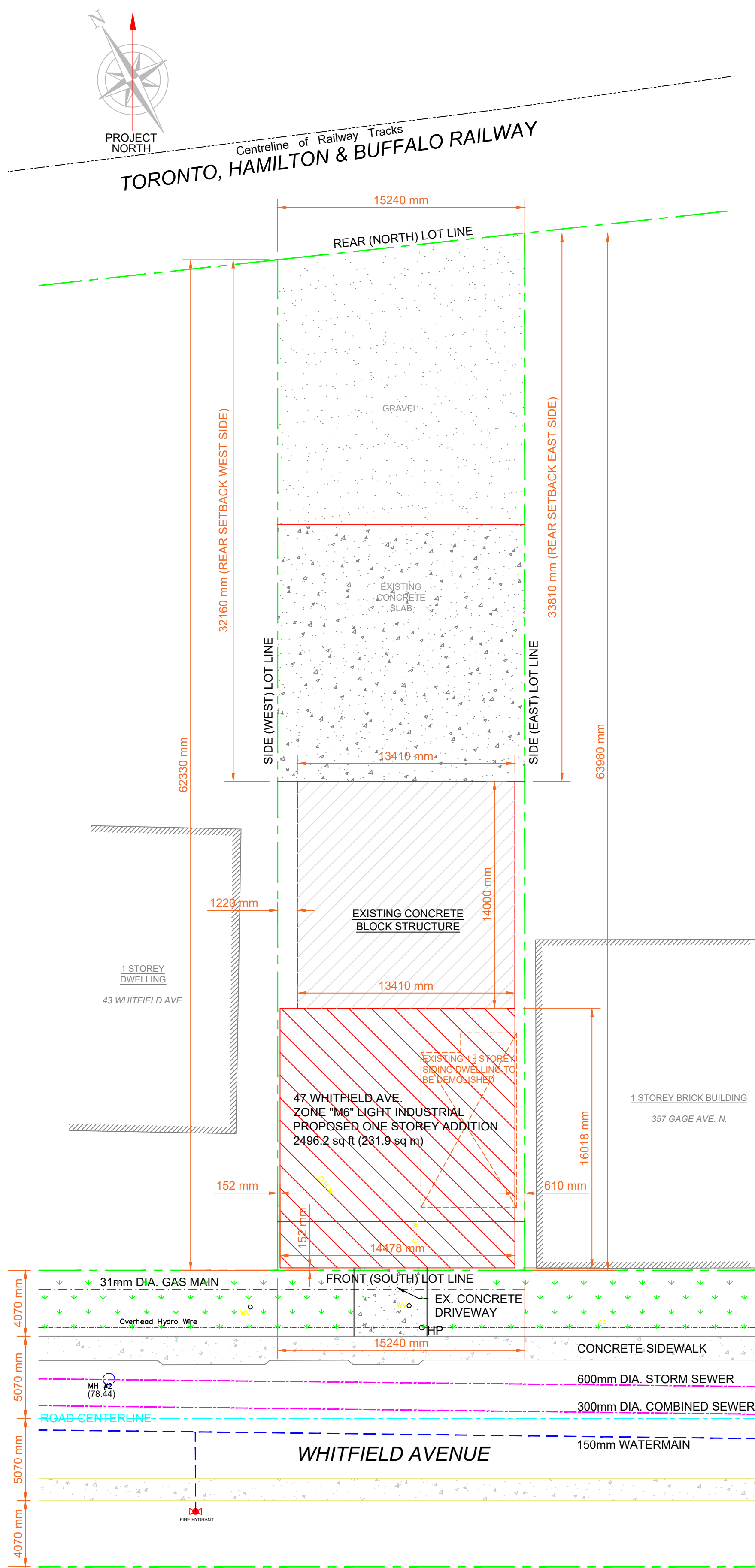
## SITE PLAN DRAWING LIST

- SP1.0 - KEY PLAN / SITE SERVICING PLAN
- SP1.1 - SITE GRADING / STORM DRAINAGE PLAN
- SP1.2 - EROSION & SEDIMENT CONTROL PLAN / DETAILS

### Site Statistics

Net Lot Area: 962.5 m<sup>2</sup>  
Gross Floor Area (max.): 427.1 m<sup>2</sup>  
Building Height Proposed (Permitted): 8.3m (27'-3")  
No. of units: 1  
No. of Parking Spaces Proposed (Required): 0 (4)  
-Contractors Establishment (1 spot per 115 sq.m.) - 427.1m<sup>2</sup> / 115 = 3.7 = 4 spaces required  
- Owner to enter into agreement with 357 Gage Avenue North (adjacent property) to provide 4 off-site parking spaces as per Hamilton Zoning By-Law No. 05-200, Section 5.1a)ii&iii

NO ADDITIONAL SEWER OR WATER SERVICES REQUIRED FOR THIS ADDITION



2 Site Servicing Plan  
SP1.0 1:200

### UNDERTAKING

- I, (We) \_\_\_\_\_, the owner(s) of the land, hereby undertake and agree without reservation,
- to comply with all the content of this plan and drawings(s) and not to vary therefrom;
  - to perform the facilities, works or matters mentioned in Section 41(7)(a) of The Planning Act shown on this plan and drawing(s) in accordance with the conditions of approval as set out in the letter of approval dated \_\_\_\_\_;
  - to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways;
  - in the event that the Owner does not comply with the plan dated \_\_\_\_\_, the owner agrees that the City may enter the land and do the required works, and further the Owner authorizes the City to use the security filed to obtain compliance with this plan;
  - the Owner agrees to affix the physical municipal number to the building so that it is large enough to be visible from the street; and,
  - the Owner shall contact Canada Post and negotiate a temporary and permanent location for the placement of a Centralized Mail box and install the required infrastructure in the manner deemed appropriate by Canada Post. The owner shall also include, in all offers of purchase and sale, a statement that advises the prospective purchaser that mail delivery will be from a designated Centralized Mail Box.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_

Witness (signature) \_\_\_\_\_ Owner (signature) \_\_\_\_\_ (seal)

Witness (print) \_\_\_\_\_ Owner (print) \_\_\_\_\_

Address of Witness \_\_\_\_\_

### Site Plan Notes:

- All work involved in the construction, relocation, repair of municipal services for the project shall be to the satisfaction of the Director of Planning and Chief Planner, Planning and Economic Development Department.
- Fire Route Signs and 3-Way Fire Hydrants shall be established
- Main driveway dimensions at the property line boundaries are plus or minus 7.5m unless otherwise stated.
- All driveways from property lines for the first 7.5m shall be within 5% maximum grade, thereafter, all driveways shall be within 10% maximum grades.
- The approval of this plan does not exempt the owner's bonded contractor from the requirements to obtain the various permits/approvals normally required to complete a construction project, such as, but not limited to the following:
  - Building Permit
  - Road Cut Permits
  - Approach approval permits
  - Encroachment Agreements
  - Sewer and water permits
  - Relocation of services
  - Committee of Adjustment
- Abandoned accesses must be removed and the curb and boulevard restored with sod at the owner's expense to the satisfaction of the Corridor Management Section, Public Works Department.
- All new signage must comply with Hamilton Sign By-law No. 10-197.
- All new fencing must comply with Hamilton Fence By-law No. 10-142.
- Lighting must be directed on site and must not spill over to adjacent properties or streets. Must provide 'house shields' where needed, to completely eliminate glare to adjacent properties.
- This property is ineligible for municipal collection of Garbage, Recycling, Organics, and Leaf and Yard Waste. Collection of Garbage, Recycling, Organics, and Leaf and Yard Waste must be provided through a Private Waste Hauler(s). Recycling is strongly encouraged.

### GENERAL SERVICE NOTES:

- PLUMBING AND SEWAGE SYSTEMS SHALL COMPLY WITH THE FOLLOWING O.B.C. STANDARDS:
  - PLUMBING - O.B.C. - PART 7
  - SEWAGE SYSTEMS - O.B.C. PART 8
- THE FOLLOWING CITY OF HAMILTON SPECIFICATIONS WILL APPLY:
  - FORM 400 - SPECIFICATION FOR THE INSTALLATION OF WATERMAINS
  - FORM 500 - SPECIFICATION FOR SEWER PIPE AND CCTV INSPECTION
  - FORM 600 - GRANULAR FILL MATERIALS
  - FORM 700 - SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
  - FORM 800 - SPECIFICATIONS FOR HOT-MIX ASPHALT
  - FORM 900 - SPECIFICATIONS FOR STANDARD COMPACTION REQUIREMENTS
  - FORM 1000 - AMENDMENTS TO O.P.S.S. AND O.P.S.D.
  - ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MATERIALS SPECIFICATIONS MANUAL (LATEST EDITION) AND MINISTRY OF THE ENVIRONMENT GUIDELINES (LATEST EDITION).
  - MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES/MAINS AND SEWER DRAINS AND MUNICIPAL SEWER MAINS SHALL BE 2.5m MEASURED FROM THE CLOSEST PIPE EDGE TO CLOSEST PIPE EDGE. VERTICAL SEPARATION WHERE WATER SERVICE/MAIN PASSES OVER A SEWER DRAIN OR MUNICIPAL SEWER MAIN MUST BE A MINIMUM OF 0.15m UNLESS GREATER SEPARATION IS REQUIRED TO PROVIDE FOR PROPER BEDDING AND STRUCTURAL SUPPORT. WATER SERVICES/MAINS PASSING UNDER SEWER DRAINS OR MUNICIPAL SEWER MAINS MUST HAVE A SEPARATION OF 0.5m BETWEEN THE INVERT OF THE SEWER MAIN/DRAIN AND THE CROWN OF THE WATER SERVICE/MAIN.
  - RESTORATION OF ROAD OVER UTILITY CUTS IN HAMILTON TO BE AS PER STANDARD DRAWINGS RD-100.01 AND RD-100.02, WITH GRANULAR 'A' BEDDING.
  - APPROVAL OF THIS DRAWING IS FOR MATERIAL ACCEPTABILITY AND COMPLIANCE WITH MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION BY THE CITY OF THE WORKS DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS AND IT IS THE OWNER'S RESPONSIBILITY TO HAVE THEIR ENGINEER CERTIFY THIS ACCORDINGLY.

### GRADING NOTES:

- ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5M SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS BUT NOT LIMITED TO THE FOLLOWING: ROAD CUT PERMITS, APPROACH APPROVAL PERMITS, COMMITTEE OF ADJUSTMENT, SEWER/WATER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS (IF REQUIRED).

### ROAD WORKS:

- ROAD MAKE-UP FOR FIRE ROUTE:  
40mm HM-3, 80mm HL3, 150mm GRANULAR 'A' & 300mm GRANULAR 'B' TYPE II  
100% CRUSHED AGGREGATE
- ROAD MAKE-UP FOR PARKING AREAS:  
65mm HM-3, ON 150m COMPACTED OPSS GRANULAR 'A' & 200mm COMPACTED OPSS GRANULAR 'B' TYPE II
- DRIVEWAY APPROACH SHALL BE INSTALLED AS PER CITY OF HAMILTON STANDARD DRAWING RD-108
- CONCRETE CURB SHALL BE AS PER OPSD 500.110 (BARRIER-TYPE), MINIMUM 30 MPA STRENGTH, (50M KEY TO BE PROVIDED AS REQUIRED)
- CONCRETE SIDEWALK SHALL BE AS PER OPSD 310.010 AND CITY OF HAMILTON STANDARD DRAWING RD-103
- 100MM FILTER WRAPPED CORRUGATED SUBDRAINS TO BE INSTALLED CONTINUOUSLY BELOW THE CURB AND GUTTER AND CONNECTED TO THE CBS AS PER HAMILTON STANDARD DRAWING RD-101.

### COMPACTION REQUIREMENTS:

- ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES, AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC., SHALL BE COMPACTED TO MINIMUM STANDARD PROCTOR DENSITY UNLESS OTHERWISE SPECIFIED.
- ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- FOR ALL SEWERS AND WATERMAINS IN FILL SECTIONS, THE COMPACTION SHALL BE VERIFIED PRIOR TO LAYING OF PIPE.

### SPECIAL NOTES:

- SN1. EXISTING UTILITIES AND UNDERGROUND SERVICES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THIS DRAWING DOES NOT INDICATE ALL POTENTIAL UTILITIES AND SERVICES. CONTRACTOR IS RESPONSIBLE TO HAVE ALL UTILITIES AND SERVICES STAKED OUT BY THEIR RESPECTIVE LOCATE AND SERVICING COMPANIES PRIOR TO COMMENCING WORK ON SITE.
- SN2. AT EXISTING UTILITIES, SERVICES, AND STRUCTURES, ETC. THAT ARE IN CONFLICT WITH PROPOSED SITE SERVICES TO BE RELOCATED BY OTHERS, UNLESS OTHERWISE INDICATED
- SN3. REMOVALS AN/OR RELOCATIONS OF THE EXISTING UTILITIES (I.E. HYDRO, COMMUNICATION, FIBER OPTIC CABLES, GAS, ETC.) SHALL BE IN STRICT ACCORDANCE WITH THE APPROVED AND "ISSUED FOR CONSTRUCTION" DRAWINGS PREPARED BY QUALIFIED PROFESSIONAL.
- SN4. CONTRACTOR TO CLEAN EXISTING ROADWAYS OF SEDIMENTS RESULTING FROM CONSTRUCTION TRAFFIC SITE EACH DAY

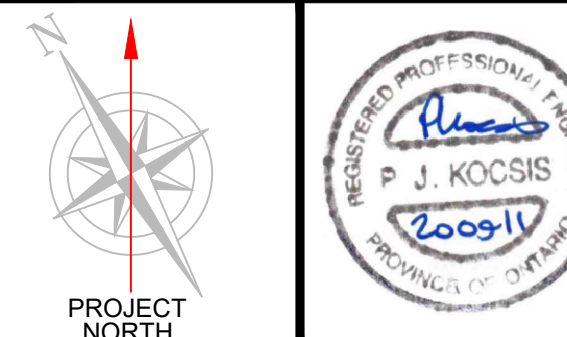
### CITY RIGHT-OF-WAY RESTORATIONS:

- ALL DISTURBED CURBS, BOULEVARD AND UTILITIES SHALL BE RESTORED TO SUIT ORIGINAL CONDITIONS OR BETTER.
- THROUGH ACCESS TO BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DETOUR SIGNS AS REQUESTED BY CITY OF HAMILTON AS REQUESTED.
- ALL WORKS SHALL BE TO THE SATISFACTION OF THE CITY OF HAMILTON

## Kocsis Engineering



Kocsis Engineering Inc. Phone: (905) 549-9040  
156 Parkdale Ave. N., Unit 1 Fax: (905) 296-1401  
Hamilton, ON, L8H 5X2 Email: pj@kocsis.com



### DRAWING NOTES

#### DO NOT SCALE DRAWINGS

The Engineer of Record noted above has exercised responsible control with respect to design activities.

Each Contractor must verify all dimensions on the drawings, investigate project site conditions, and report any discrepancies to the Engineer of Record before proceeding with the work.

Each Contractor must determine locations of all existing services.

This drawing must not be used for fabrication or construction until it has been sealed and signed by the Engineer of Record.

All drawings and specifications are instruments of service and the property of the Engineer. They must not be copied, reproduced, or altered without written permission from the Engineer.

### DRAWING REVISIONS

All previous issues of drawing are superseded by latest revision.

Description of Revision	No.	Date	By
Rev. per 1st Eng. Comments	1	19/10/01	PJK
Add Rear Setbacks	2	21/04/09	PJK

Description of Revision	No.	Date	By
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- ☐ ISSUED FOR REVIEW \_\_\_\_\_
- ☐ ISSUED FOR TENDER \_\_\_\_\_
- ☒ ISSUED FOR PERMIT \_\_\_\_\_ Sept. 11, 2020
- ☐ ISSUED FOR CONSTRUCTION \_\_\_\_\_

SCALE: AS NOTED

DATE: Sept. 11, 2020

DRAWN BY: PDK

CHECKED BY: PJK

PROJECT OWNER:

MUNICIPALITY OR ADDRESS:

47 Whitfield Avenue  
Hamilton, ON

PROJECT NAME:

Warehouse Addition

DRAWING TITLE:

Key Plan, Site Servicing  
Plan, and Notes

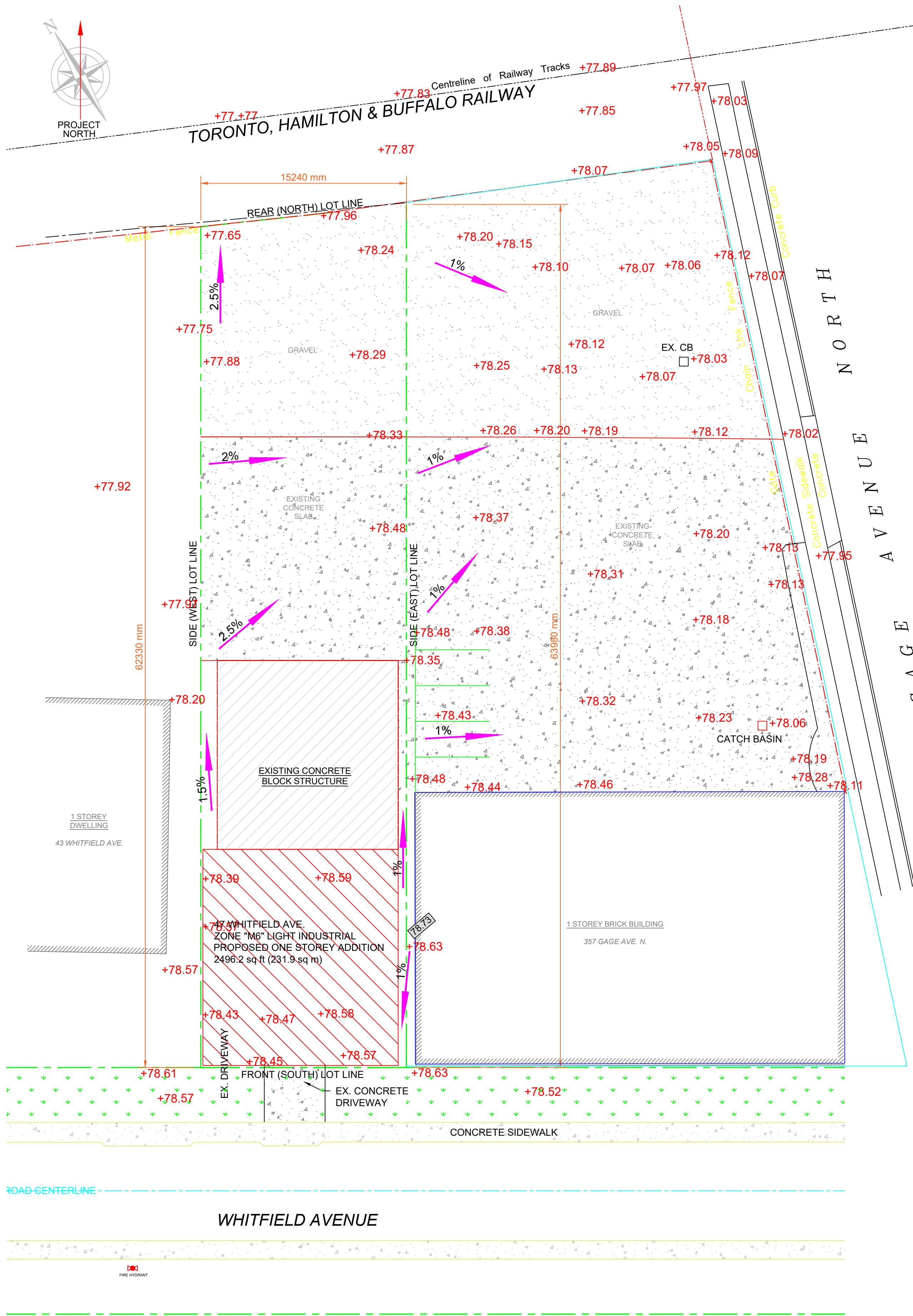
PROJECT NO.

180918

DRAWING NO.

SP1.0





- General Grading Notes:
1. Maximum driveway grades to be 8.0%.
  2. Along the adjoining properties grade to meet existing or proposed elevations with sodded slopes (min. 3H to 1V) and/or retaining walls as specified.
  3. All retaining walls, walkways, curves, etc., shall be set back from the property line as specified by the local Township. All walls one meter or higher shall be designed by a Professional Engineer.
  4. Should a retaining wall be required, the top of wall elevation shall be set to 150 mm above the proposed side yard swells.
  5. Retaining walls 0.6 m in height or greater require construction of a fence or guardrail at the top of the rear of the wall. Guards for retaining walls shall be design and constructed in accordance with the requirements of exterior guards as specified in the OBC.
  6. Slopes of ditches shall be no less than 0.5% grade and no greater than 6% grade.
  7. Slopes of swales shall be designed with 1% to 5% grade depending on flow and shall generally be 2% where possible. Swales cross-section profile shall be no greater than 33% grade (3:1 slopes).
  8. When matching to existing properties where a 2% grade cannot be achieved, a 1.5% grade is permitted provided a 150 mm sub drain is installed below the bottom of the swell and drained to a suitable outlet, (with a minimum 0.3 meter cover up of the sub- terrain), or other mitigation measures.
  9. Lots are to be designed with 5% grade from 1.5 m to 3.0 m from building foundation.
  10. Yard areas to be designed with 1% to 5% grades. Non-yard areas shall have a maximum grade of 30%.
  11. Unless otherwise noted, the ground between proposed elevations on site lots shall be graded as a straight line.
  12. Top of foundation walls for buildings shall be min. 150 mm minimum above finish grade.
  13. All fill placed on lots shall be compacted to a minimum 98% SPD, unless otherwise recommended by the geotechnical engineer). All materials shall be placed in layers not exceeding 300 mm lifts.
  14. Lot grading shall conform strictly with this plan. Any changes, unless approved prior to construction by the Township, shall result in nonacceptance by the Township.
  15. If grading is required on lands adjacent to the development which are not owned by the developer, then the developer must obtain written permission from the adjacent property owner to allow the developer to grade on adjacent lands, otherwise retaining walls must be used.
  16. The written permission required from the adjacent land owner shall be obtained prior to entering the lands. Shall permission not be obtained or is withdrawn prior to commencing the work, and developer shall limit his activities to the limits of the development site.

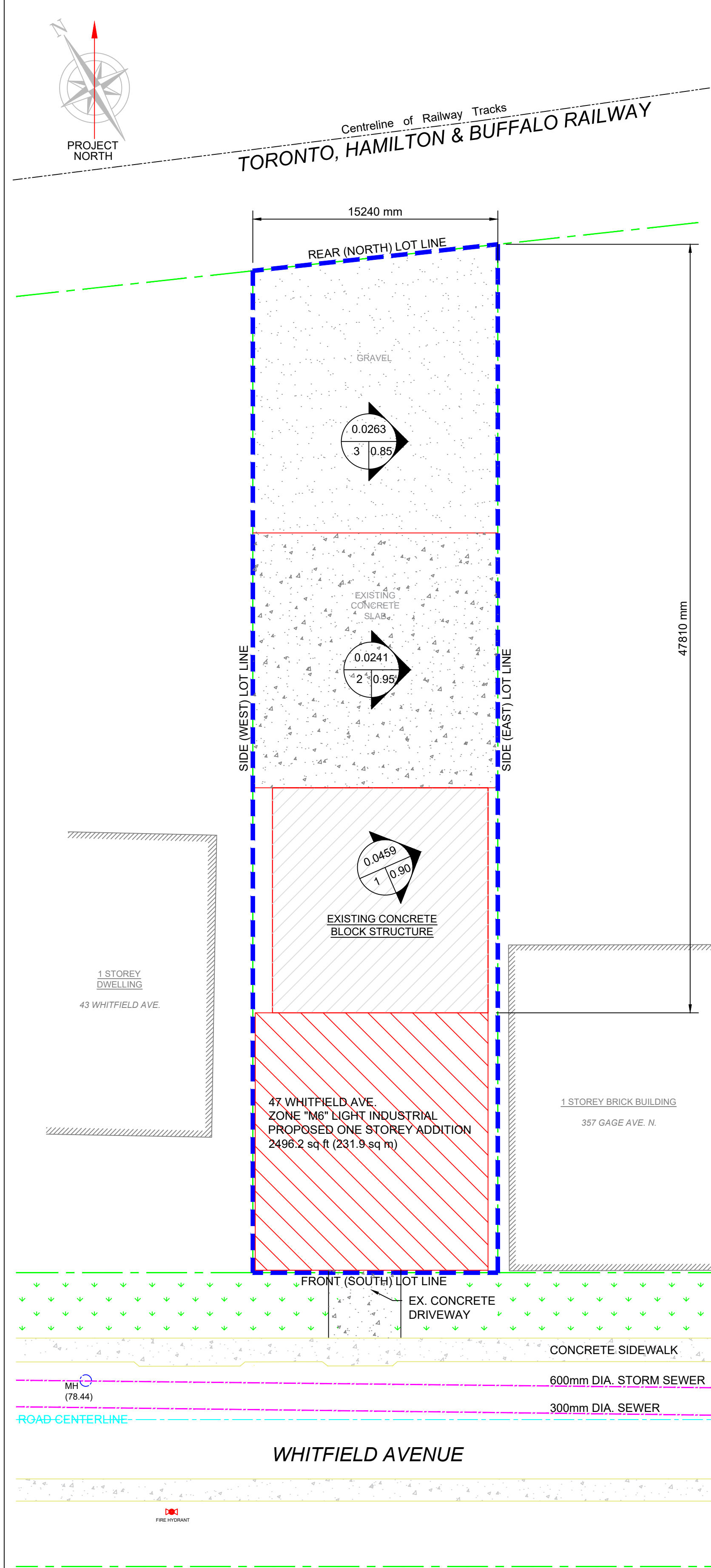
- Notes for Grading
1. All work involved in the construction, relocation, repair of municipal services for the project shall be to the satisfaction of the Township of Clearview. In addition, any changes in grade and catch basins require the approval of the Township.
  2. The fire route signs and three-way fire hydrants shall be established to the satisfaction of the Township of Clearview Fire Department and at the expense of the owner.
  3. All driveways from the property lines for the first 7.5 m shall be at 5% maximum grade, thereafter all driveways shall be within 10% maximum grade.
  4. The approval of this plan does not exempt the owner's bonded contractor from the requirements to obtain the various permits/approvals normally required to complete a construction project, such as but not limited to the following: road cut permits, approach approval permits, committee of adjustment, sewer/water permits, relocation of services, encroachment agreements (if required).
  5. Abandoned accesses must be removed and the curb and boulevard restored with sod at the owner's expense to the satisfaction of the Township of Clearview.

**LEGEND**

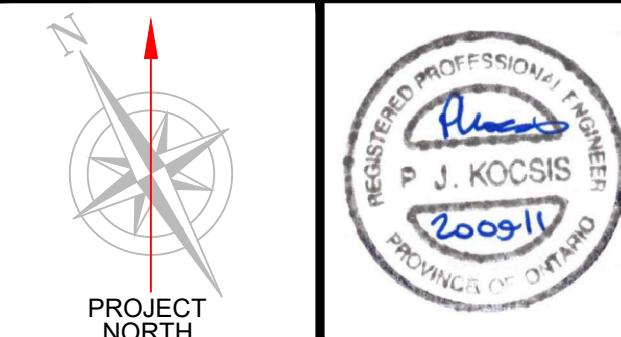
- PROPOSED ELEVATION
- EXISTING ELEVATION
- EXISTING SLOPE
- PROPOSED SLOPE

ELEVATIONS SHOWN ON THIS PLAN ARE REFERRED TO CITY OF HAMILTON BENCH MARK INDEXED AS No. 5-02. ELEVATION = 80.634m

BENCH MARK DESCRIPTION TAKEN FROM B.A. JACOBS SURVEYING LTD. JOB NO. 14s55



Kocsis Engineering Inc. Phone: (905) 549-9040  
156 Parkdale Ave. N., Unit 1 Fax: (905) 296-1401  
Hamilton, ON, L8H 5X2 Email: pj@kocsiseng.ca



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- ☐ ISSUED FOR TENDER
- ☒ ISSUED FOR PERMIT Sept. 11, 2020
- ☐ ISSUED FOR CONSTRUCTION

SCALE: AS NOTED  
DATE: Sept. 11, 2020

DRAWN BY: PDK  
CHECKED BY: PJK

PROJECT OWNER:

MUNICIPALITY OR ADDRESS:

47 Whitfield Avenue  
Hamilton, ON

PROJECT NAME:

Warehouse Addition

DRAWING TITLE:

Site Grading Plan  
Storm Drainage Plan

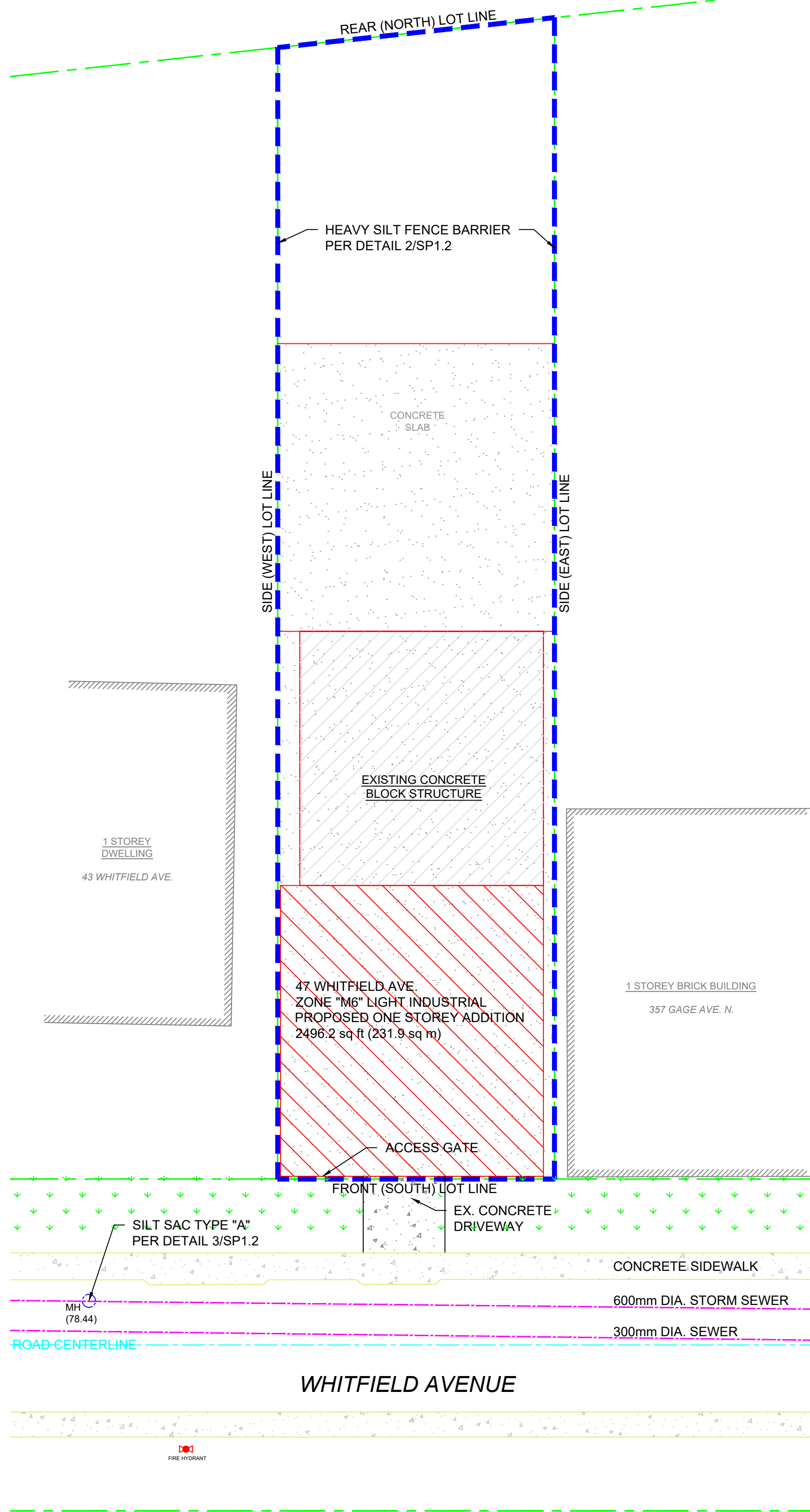
PROJECT NO.  
180918

DRAWING NO.  
SP1.1

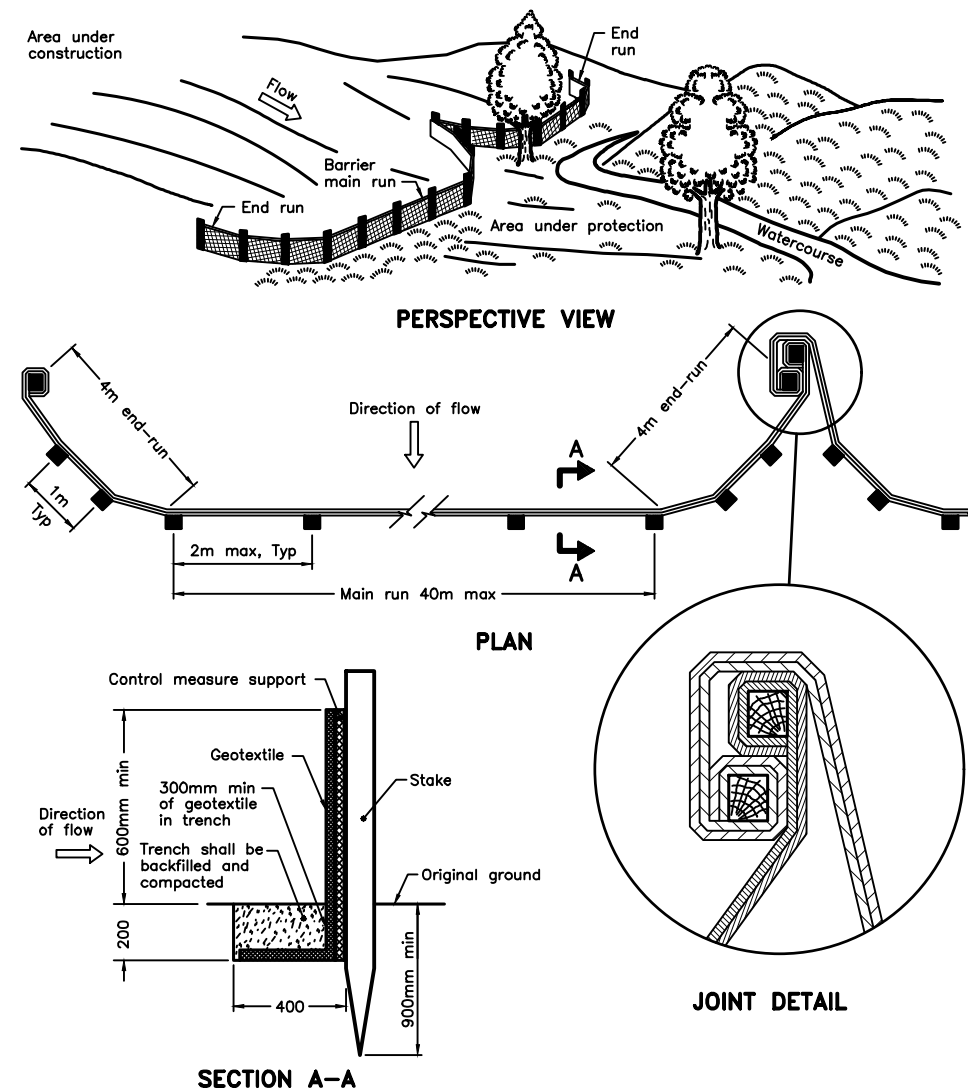




# TORONTO, HAMILTON & BUFFALO RAILWAY

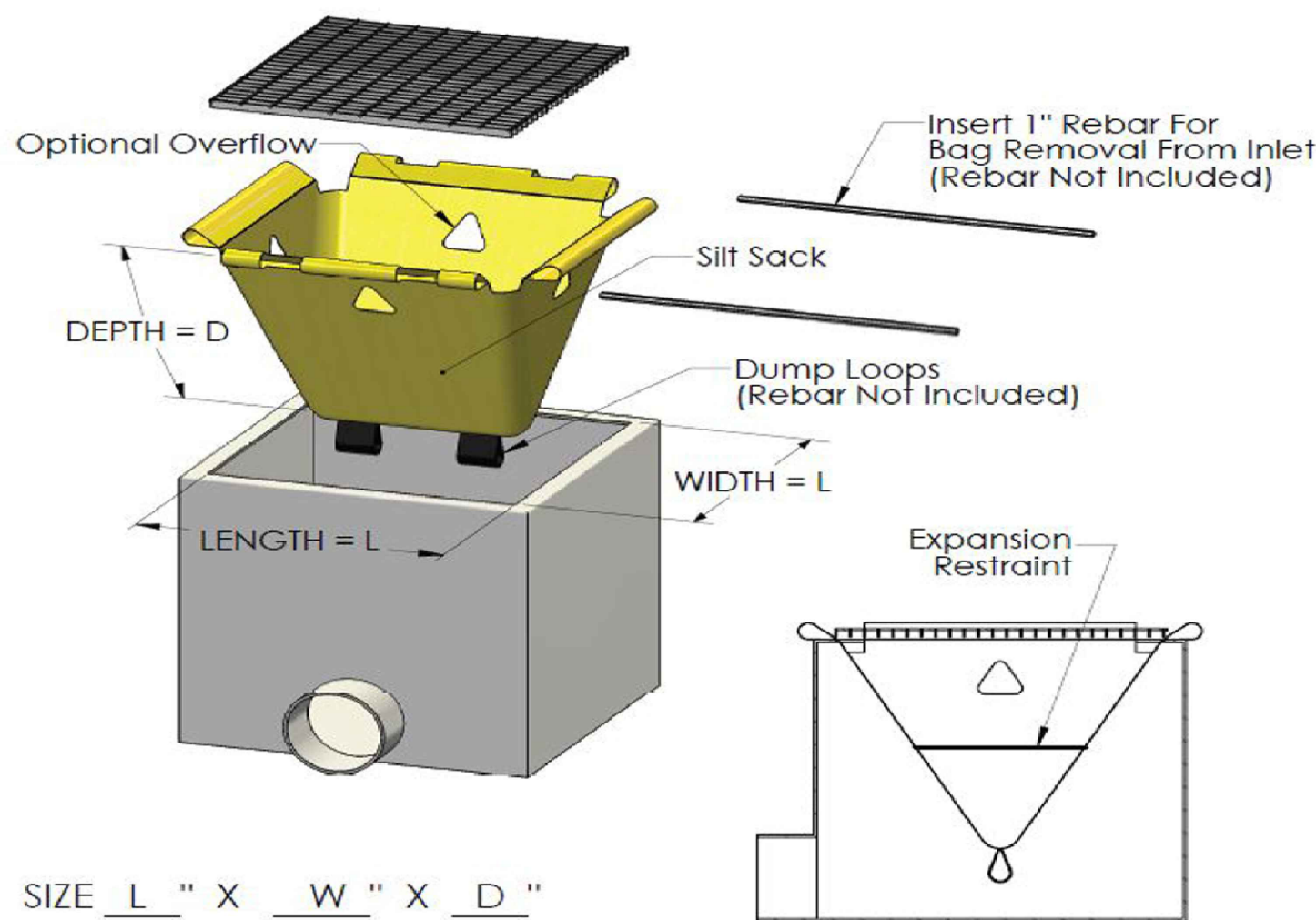


LEGEND	
	Sediment Control Fence (Non-Woven - Terrafix 270 R)



NOTE:  
A All dimensions are in millimetres unless otherwise shown.

2 Sediment Control Fence  
SP1.2 N.T.S.



3 Silt Sack - Type A  
SP1.2 N.T.S.

## Erosion and Sediment Control Notes

- All erosion and sediment control measures (temporary sediment control fences, storm sewer bulkheads, work limit fences, sediment basins, etc.) must be installed prior to development and maintained throughout the construction process, until all disturbed areas have been revegetated. All ESC measures shall be installed as detailed on engineering drawings as per 'Erosion & Sediment Control Guidelines for Urban Construction', GGHA CAs, December 2006.
- Temporary vehicle tracking controls to be constructed at all access points. Contractor shall maintain these as required and as directed by the City Engineering.
- Sediment control fences shall consist of non-woven filter cloth (Terrafix 270R or approved equivalent) buried 0.2m in the ground, 0.6m high and secured to wire farm fence with 'T' posts at minimum 2.4m centres as per Detail 'A' and shall be placed where detailed. If excessive sediment buildup/blockage occurs (visual inspection) then replacement of the filter cloth is required.
- Cut-off swales to be constructed where specified and periodically inspected to ensure that erosion does not occur.
- Catch basin sediment control device, i.e. 'Silt sack' by ACF Environmental or approved equivalent, to be placed as per manufacturer's recommendations (see Detail 'B'). Regular maintenance is required ('Silt sack' sumps shall be inspected for sediment accumulation and filter cloth blockage on a weekly basis). These sediment traps are not to be removed until the curbs have been constructed and the boulevards sodded. Sediment traps shall also be placed at all rear yard catch basins and maintained until ground cover is established (Detail 'C').
- Regular maintenance for all catch basins is required (sediment traps and sumps shall be inspected for sediment accumulation, trash build-up and filter cloth blockage on a weekly basis and after every major rainfall event). Accumulated sediment shall be removed by mechanical means. Flushing of sediment into the storm sewer system is prohibited. If standing water remains in the catch basin 24 hours (minimum) after a storm then cleaning or replacement of the filter cloth is required.
- Topsoil piles shall also be temporarily seeded to prevent erosion. Placement of vegetation shall be in accordance with OPSS.572. Where required, erosion control blankets shall be placed as per OPSS.572, at the direction of the City Engineer.
- All erosion and sediment control measures shall be visually inspected after each working day and maintained when required as directed by the Consultant and to the satisfaction of the City/HCA. The Consultant shall keep a daily record of inspection maintenance, etc. and present the City with a copy of the report on a monthly basis.
- Any disturbed subdivision areas not scheduled for further construction within 45 days will be provided with a suitable temporary mulch and seed cover within 7 days of the completion of that particular phase of construction.
- All disturbed external areas shall be revegetated with permanent cover (as detailed) within 7 days of the completion of that particular phase of construction.
- Work limit snow fence shall consist of plastic snow fence supported by steel "I" posts at minimum 2.4m centres.)
- Additional erosion and sediment control locations/measures may be required as determined by the City Engineer/HCA.

## Sediment Basins/Traps Maintenance Schedule

- Sediment basins/traps are to be inspected after every rainfall and maintained as directed by the Consultant and to the satisfaction of the City Engineer/HCA.
- Any signs of visible damage to the trap/basin outlet shall be repaired immediately. If portions of the dam have been eroded, i.e. overflow section, then replacement of stone and reshaping of the dam profile shall be carried out. Likewise, at the sediment basin inlets, the rock lining shall be inspected and repairs performed immediately.
- Trash and debris shall be removed from within the trap, basin areas and inlet chamber (where present).
- The sediment basin/trap sides and ditch side slopes shall be inspected to ensure that they have not eroded or settled. Remedial action shall be taken immediately to reshape and stabilize the slopes.
- When sediment accumulates to half the height of the sediment gasin/trap design depth, i.e. 0.5/0.25 metre respectively, then sediment removal is required. Care must be taken to avoid damaging the outlet and inlet during this maintenance operation. Disposal of the sediment shall be to a controlled area and stabilized (vegetated).
- If standing water remains in the sediment basin/trap 24 hours (minimum) after a storm it could indicate a blockage in the rock check dam. Visually inspect the gravel lining for signs of excessive sediment and/or trash buildup. If surface sediment and trash removal does not alleviate the problem then replacement of the granular material will be required.
- All works performed shall be to the satisfaction of the City Engineer/HCA.

## Staging Notes

- The sediment control fences and rock check dams (where specified) shall be in place prior to stripping of topsoil and commencement of construction. Likewise the adjacent sediment trap (where specified) shall be constructed immediately following topsoil removal and pregrading operations in the immediate area.
- Once roadways have been constructed, the sediment basins/traps can be reduced in size.
- Street catch basin sediment traps shall be installed once base asphalt has been placed. For atch basins in landscaped areas place sediment control traps after installation. For existing street catch basins, ditch inlets, etc., sediment traps shall be in place prior to stripping of topsoil. These are to be maintained until all building activity has been completed and satisfactory ground cover is established.
- After building construction commences, it may be necessary to relocate the sediment traps to the upstream side of the building activity. This may require constructing additional smaller ponds in order to fully capture and treat the runoff. The sizing for these traps/basins shall be determined at that time.

## Vegetation Restoration Notes

- All external and fringe areas disturbed by grading shall be seeded as follows:

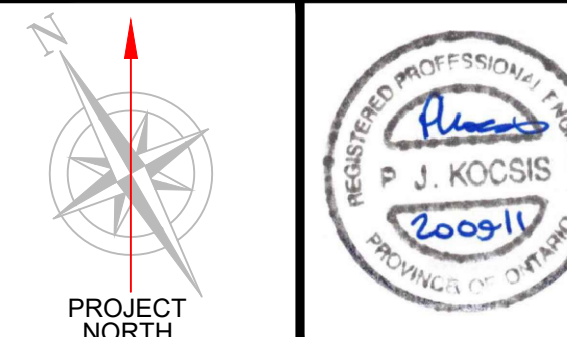
Creeping Red Fescue	30%
Perennial Rye	30%
Canada Bluegrass	20%
Red Top	20%

The applicant rate is 2.5 kg per 100 m<sup>2</sup>
- The contractor shall maintain these areas until satisfactory ground cover is established.

## Kocsis Engineering



Kocsis Engineering Inc. Phone: (905) 549-9040  
156 Parkdale Ave. N., Unit 1 Fax: (905) 296-1401  
Hamilton, ON, L8H 5X2 Email: pj@kocsis.com



## DRAWING NOTES

### DO NOT SCALE DRAWINGS

The Engineer of Record noted above has exercised responsible control with respect to design activities.

Each Contractor must verify all dimensions on the drawings, investigate project site conditions, and report any discrepancies to the Engineer of Record before proceeding with the work.

Each Contractor must determine locations of all existing services.

This drawing must not be used for fabrication or construction until it has been sealed and signed by the Engineer of Record.

All drawings and specifications are instruments of service and the property of the Engineer. They must not be copied, reproduced, or altered without written permission from the Engineer.

## DRAWING REVISIONS

All previous issues of drawing are superseded by latest revision.

Description of Revision	No.	Date	By
Rev. per 1st Eng. Comments	1	19/10/01	PJK

<input type="checkbox"/> ISSUED FOR REVIEW	_____
<input type="checkbox"/> ISSUED FOR TENDER	_____
<input checked="" type="checkbox"/> ISSUED FOR PERMIT	Sept. 11, 2020
<input type="checkbox"/> ISSUED FOR CONSTRUCTION	_____

SCALE: AS NOTED	DRAWN BY: PDK
DATE: Sept. 11, 2020	CHECKED BY: PJK

PROJECT OWNER:

MUNICIPALITY OR ADDRESS:  
47 Whitfield Avenue  
Hamilton, ON

PROJECT NAME:  
Warehouse Addition

DRAWING TITLE:  
Erosion & Sediment  
Control Plan and Details

PROJECT NO.  
180918

DRAWING NO.  
SP1.2



Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

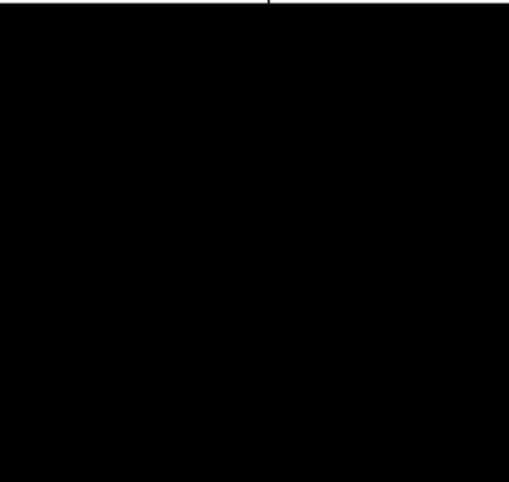
PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	MANUEL VIEIRA MANUEL VIEIRA	
Applicant(s)*		
Agent or Solicitor	MICHAEL SABELLI	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

TD CANADA TRUST 100 KING ST. WEST HAMILTON
---



Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

FRONT YARD SETBACK - REQ'D 3.0m PROVIDED - 0.15m  
ON-SITE PARKING REQUIRED - 4, PROVIDED - 0  
(OFF-SITE PARKING AGREEMENT TO BE REGISTERED)

☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

- LIMITED LOT SIZE

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Lot 96/97, Registered Plan 410  
47 Whitfield Ave., Hamilton, ON

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☒ Commercial ☐

Agricultural ☐ Vacant ☐

Other \_\_\_\_\_

- 8.1 If Industrial or Commercial, specify use F3 Light Industrial (Contractor's Warehouse)

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☐ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

~~Consultation with previous owner~~  
Consultation with previous owner

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

#### 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Aug 18/22  
Date

[Signature]  
Signature Property Owner(s)

Manuel G Vieira  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 15.24m  
Depth 63.98m  
Area 962.5 ~~975~~ m<sup>2</sup>  
Width of street 18.3m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

EXISTING RESIDENTIAL DWELLING TO BE DEMOLISHED.  
FRONT YARD - 16.018m EAST SIDE YARD - 0.61m  
WEST SIDE YARD - 1.22m REAR YARD - 33.96m

Proposed

FRONT YARD - 0.15m  
WEST SIDE  
PROPOSED ONE STOREY ADDITION

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

FRONT YARD - 16.018m REAR YARD - 33.96m  
WEST SIDE YARD - 1.22m  
EAST SIDE YARD - 0.61m

Proposed:

FRONT YARD - 0.15m REAR YARD - 33.98m  
WEST SIDE YARD - 0.15m  
EAST SIDE YARD - 0.61m



13. Date of acquisition of subject lands:  
June 2014
14. Date of construction of all buildings and structures on subject lands:  
House - unknown (probably 80 years) Warehouse
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Single family / contractor's warehouse - 2015 aprox
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
\_\_\_\_\_
17. Length of time the existing uses of the subject property have continued:  
House - aprox 80-100 years Warehouse - 7 years
18. Municipal services available: (check the appropriate space or spaces)  
Water       /       Connected       /        
Sanitary Sewer       /       Connected       /        
Storm Sewers       /
19. Present Official Plan/Secondary Plan provisions applying to the land:  
INDUSTRIAL
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
MS EXCEPTION 375
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)  
☐ Yes ☒ No  
If yes, please provide the file number:  
\_\_\_\_\_
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
☐ Yes ☐ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
☒ Yes ☐ No
23. Additional Information (please include separate sheet if needed)  
DA-19-104
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.