



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	HM/A-22:285	SUBJECT PROPERTY:	288 CHARLTON AVENUE W, HAMILTON
ZONE:	"D" (Urban Protected Residential – One- and Two-family Dwellings, Etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: Owners: Bridget Stark & Bryan Huff
Agent: Team Shane – Louie Sayegh

The following variances are requested:

1. An easterly side yard width of 0.0 metres shall be permitted instead of the minimum required side yard width of 2.7 metres.
2. A westerly side yard width of 0.6 metres shall be permitted instead of the minimum required side yard width of 2.7 metres.
3. An eave and gutter shall be permitted to project the entire width of the westerly side yard instead of the maximum permitted projection of not more than one-half the width of the required side yard.
4. No parking spaces shall be required to be provided instead of providing a minimum of three (3) parking spaces required to be provided for a single-family dwelling containing ten (10) habitable rooms.

PURPOSE & EFFECT: To facilitate the construction of a one (1) storey easterly side addition and a two (2) storey rear addition to the existing single-family dwelling.

Notes:

1. The existing dormers on the upper most level exceed to maximum width of 1.2 metres permitted to be located within a half-storey. As such, the existing dwelling is deemed to be a three-storey building.
2. The variance requested for the eave and gutter encroachment into the required easterly side yard as a minimum easterly side yard width of 0.0 metres is requested.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, October 6, 2022
TIME:	1:50 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 **Subject Lands**

DATED: September 20, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Please include your name and address, hearing date, and file number. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

RENOVATION TO: HUFF

288 Charlton Ave. W Hamilton ON L8P 2E5

GENERAL NOTES

- O.B.C. TO BE UNDERSTOOD AS ONTARIO BUILDING CODE 2012 LATEST EDITION AND AMENDMENTS.
- ALL STAGES OF CONSTRUCTION SHALL CONFORM WITH O.B.C.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER.
- ALL WALL & CEILINGS BETWEEN DWELLING UNIT AND GARAGE ARE TO BE GAS PROOFED AND INSULATED TO ENERGY EFFICIENCY SUMMARY
- SEE ELEVATIONS AND FLOOR PLANS FOR WALL AND CEILING HEIGHTS. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER.
- WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE SEPARATED WITH MINIMUM 2 MIL. POLY. UNLESS OTHER WISE NOTED ON DRAWINGS.
- SMOKE AND CO DETECTORS TO BE LOCATED AT EACH LEVEL. SMOKE ALARMS LOCATED IN EACH BEDROOM AND ARE TO BE INTERCONNECTED AS PER 9.10.19, 9.33.4.
- ALL LIGHTING AND ELECTRICAL AS PER O.B.C. 9.34.
- ATTIC ACCESS TO BE INSULATED MIN. R20 AND WEATHER STRIPPED.
- WHERE CERAMIC FLOORING IS INSTALLED THE SUB-FLOOR SHALL BE REINFORCED AS PER O.B.C. 9.30.6.3.
- PROVIDE MIN. 6"-5" HEADROOM BELOW ALL BEAMS & DUCTWORK.
- STUD WALL REINFORCEMENT SHALL BE INSTALLED IN 'MAIN BATHROOMS' WITHIN A DWELLING UNIT ACCORDING TO OBC 9.5.2.3
- BLOCKING IN WALLS - WHERE INDICATED, BLOCKING IS TO BE INSTALLED BETWEEN OR GRABSTICK STUDS IN THE WALLS ADJACENT TO THE TOILET, SHOWER AND/OR BATHTUB TO SUPPORT INSTALLATION OF GRAB BARS IN ACCORDANCE WITH OBC 9.5.2.3
- BLOCKING LOCATION IN WALLS TO BE IN ACCORDANCE WITH GRAB BAR REQUIREMENTS OF OBC 9.3.

MECHANICAL

- ALL EXHAUST FANS TO BE VENTED TO EXTERIOR. EXHAUST FAN DUCT SIZE AS PER OBC 9.32 OR PART 6 (F326 STANDARD). VENTED RANGE HOODS TO BE VENTED TO EXTERIOR WITH NON-COMBUSTIBLE DUCTING
- DRYER VENTING AS PER OBC 9.32.1.4.
- HVAC DRAWINGS TO BE DESIGNED BY OTHERS AS PER OBC DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING PRIOR TO FINALIZED WORKING DRAWINGS. DRAWINGS NOT FOR APPROVAL. JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
- HRV / ERV TO BE BALANCED POST CONSTRUCTION
- UNLESS EXEMPT BY ENERGY AUDIT, EACH DWELLING MUST HAVE A DRAIN WATER HEAT RECOVERY AS PER ENERGY EFFICIENCY PACKAGE SELECTED. ENSURE A MIN. OF (2) SHOWER DRAIN INTO ONE UNIT.
- EVERY STOREY WHERE PLUMBING IS OR MAY BE INSTALLED INCLUDING THE BASEMENT OF HOUSE EXTEND VENTING FOR FUTURE CONNECTIONS PROVIDE A VENT PIPE AT LEAST 1 1/2" IN SIZE AS PER OBC 7.5.5.5.5.(2)
- BACKWATER VALVE REQUIRED TO BE INSTALLED ON THE SANITARY BUILDING DRAIN AS PER OBC 7.4.6.4. (MAINLINE 'ADAPT-A-VALVE' OR APPROVED EQUAL)
- PROVIDE PUMP PIT AND SEALED COVER FOR DRAINAGE AS PER OBC 9.14

HABITABLE ROOMS CHART		
	EXISTING	PROPOSED
BASEMENT	/	/
MAIN FLOOR		
SECOND FLOOR		
THIRD FLOOR		
TOTALS	/	/

THIS CHART RELATES TO THE CITY OF HAMILTONS 6593 ZONING BY-LAW FOR PARKING SPACES IN DESIGNATED URBAN AREAS. FOR EVERY 8 HABITABLE ROOMS, 2 PARKING SPACES IS REQUIRED (2.7m X 0.6m). EVERY ADDITIONAL ROOMS REQUIRED 0.5 PARKING SPACES (ROUNDED UP). PLEASE NOTE THAT A VARIANCE WILL BE REQUIRED IF THE PARKING REQUIREMENT IS NOT MET

DESIGNER

- REGISTRATION: NAME OF REGISTRATION FIRM TBOUMA DESIGN INC. REGISTRATION NUMBER ASSIGNED BY DIRECTOR 104857
- CONTRACTOR IS TO OBTAIN QUALIFIED DESIGNERS FOR ALL ENGINEERED STRUCTURAL MEMBERS AND SYSTEMS WHERE INDICATED DESIGNED BY OTHERS ON DRAWINGS
- DESIGNER ASSUMES NO RESPONSIBILITY FOR FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DRAWINGS
- SINGLE PAGES OF THESE DRAWINGS NOT TO BE READ INDEPENDENTLY OF ALL PAGES OF THE WHOLE DRAWING SET.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORKING DRAWING SET. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK.
- ANY MODIFICATIONS TO THE DESIGN SHALL NOT BE MADE WITHOUT AGREEMENT BETWEEN DESIGNER AND CONTRACTOR. DOCUMENTATION SHALL BE THE ONLY FORM OF ACCEPTANCE.
- WHEN DRAWINGS ARE TO BE MODIFIED OR CHANGES ARE TO BE MADE THE BUILDING DEPARTMENT WILL BE NOTIFIED FOR PURPOSE OF REVIEW PRIOR TO CONSTRUCTION.
- UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR OR SUB-CONTRACTOR PROCEED IF THERE IS ANY UNCERTAINTY. DESIGNER SHALL BE CONTACTED.

STAIRS

	RISE		RUN		TREAD DEPTH		STAIR HEAD WIDTH ROOM	
STAIR TYPE	MAX	MIN	MAX	MIN	MAX	MIN	MAX	MIN
PRIVATE	7 7/8"	6"	14"	10"	14"	9 1/4"	33 7/8"	6'-5"
PUBLIC	7"	6"	N/A	11"	N/A	11"	35 1/2"	6'-9"

- ALL STAIR COMPONENTS TO CONFORM TO O.B.C. STANDARDS.
- MAX. NOSING = 1" UNIFORM RUN / RISE
- GUARDS:
 - MIN. HEIGHT = 36"
 - MAX. HEIGHT = 34"
 - MAXIMUM OPENINGS = 4"
 - NON-CLIMBABLE
- EXTERIOR GUARDS:
 - 2'-0" TO 5'-11" ABOVE FINISHED GRADE MIN. HEIGHT = 36"
 - OVER 5'-11" ABOVE GRADE MIN. HEIGHT = 42"
- ALL GUARDS TO BE CONSTRUCTED TO O.B.C. STANDARDS

DOORS AND WINDOWS

- ALL EXTERIOR DOORS TO BE METAL INSULATED OR WOOD WITH STORM DOOR WITH WEATHER STRIPPING
- DOOR BETWEEN GARAGE AND DWELLING TO BE WEATHER STRIPPED AND GAS TIGHT EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE.
- DOOR AT COLD STORAGE TO BE EXTERIOR TYPE DOOR.
- ALL WINDOWS AND DOORS AS PER ENERGY EFFICIENCY DESIGN SUMMARY OR ATTACHED BOP BY OTHERS.
- ALL EXTERIOR DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS. O.B.C. 9.7.2.2. AND 9.7.4.
- FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPERABLE WINDOW WITH A MINIMUM UNOBSTRUCTED OPEN AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15"
- MAIN ENTRANCE DOORS TO HAVE DOOR VIEWER UNLESS TRANSPARENT GLAZING IS PROVIDED IN DOOR OR A SIDE LIGHT.
- UNDERCUT ALL DOORS TO ROOMS WITHOUT RETURN AIR INLET.
- EGRESS WINDOWS / WELLS SHALL BE AS PER OBC 9.9.10.1

STRUCTURAL

- ALL LUMBER TO COMPLY WITH O.B.C SPECIFICATIONS AND STANDARDS.
- ALL STRUCTURAL LUMBER TO BE OF SPRUCE #2 OR BETTER.
- ALL PRE-ENGINEERED FLOOR AND ROOF TRUSS DESIGN AND LAYOUT TO BE DESIGNED BY OTHERS AND CONFORM TO O.B.C SPECIFICATIONS ALL DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING. NOT FOR APPROVAL. JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
- AS NOTED ON DRAWINGS STUDS TO BE USED AS BEARING POINTS WHERE IT IS APPLICABLE.
- ALL BEAMS TO HAVE MINIMUM 3 1/2" BEARING AT BOTH ENDS BEARING TO BE CONTINUOUS TO FOUNDATION
- DOUBLE JOISTS AROUND STAIRWELL UNLESS OTHER WISE NOTED BY PRE-ENGINEERED FLOOR DESIGNER.
- TRUSS FABRICATORS ENGINEER CERTIFIED DRAWINGS REQUIRED FOR APPROVAL BY BUILDING DEPARTMENT
- SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS IN WIDTH EQUAL TO WIDTH OF BEARING POINT OVER. VERIFY WITH TRUSS DRAWINGS

FOUNDATION

- CONTRACTOR TO VERIFY SOIL CONDITIONS PRIOR TO PLACING OF FOOTINGS. ANY ABNORMALITIES TO BE REPORTED TO DESIGNER
- STEP FOOTINGS TO BE DESIGNED AS PER O.B.C. 9.15.3.9.
 - MAX RISE SHALL NOT EXCEED 23 5/8"
 - MIN RUN SHALL NOT BE LESS THAN 23 5/8"
- ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL MIN. 4'-0" BELOW FINISHED GRADE AND MIN. BEARING CAPACITY OF 75 KPa
- WALL HEIGHTS AND THICKNESS TO CONFORM TO O.B.C. 9.15.4.

MASONRY

- ALL FLASHING TO CONFORM TO O.B.C. 9.20.13.
- ALL BRICK OR STONE SILLS TO BE FLASHED IN ACCORDANCE WITH THE O.B.C.
- ALL STEEL LINTELS FOR MASONRY TO HAVE MINIMUM 6" BEARING EACH END AND SUPPORTED BACK TO FOUNDATION
- WHERE NEW POINT LOAD(S) FROM ABOVE BEAR ON EXISTING BLOCK WALLS. FILL TOP COARSE SOLID MIN. 7 1/2" DEEP AS PER 9.15.5.2.

ENERGY EFFICIENCY COMPLIANCE DESIGN

SB-12, TABLE 3.1.1.21. (IP) (ZONE 1)	
THERMAL PERFORMANCE REQUIREMENTS FOR ADDITIONS TO EXISTING BUILDINGS FOR HEATING OTHER THAN ELECTRIC SPACE HEATING	
CEILING WITH ATTIC SPACE.....	R80
CEILING WITHOUT ATTIC SPACE.....	R51
EXPOSED FLOOR.....	R31
WALLS ABOVE GRADE.....	R19 + R6d
BASEMENT WALLS.....	R20d or R12 + R10d
BELOW GRADE SLAB.....	R5
EDGE OF BELOW GRADE SLAB.....	R10
HEATED SLAB.....	R10
WINDOWS AND SLIDING GLASS DOORS.....	MAX U-VALUE 1.6
SKYLIGHTS.....	ENERGY RATING 25
SPACE HEATING EQUIPMENT.....	MAX U-VALUE 2.8
HRV.....	MIN. APLF: 80%
DOMESTIC HOT WATER HEATER.....	MIN. SRE 75%
	MIN. EFF. 80%

AREA CALCULATIONS: CONFORMING TO OBC 3.1.1.(7).

TOTAL PROPOSED GROSS AREA OF WALLS:

RATIO(%):

NOTES:

- WHERE A MINIMUM R VALUE, MAXIMUM U VALUE, OR MINIMUM EFFECTIVE R VALUE ARE SPECIFIED FOR A COMPONENT, THE COMPONENT ONLY NEEDS TO CONFIRM TO ONE OF THE REQUIREMENTS
- d MEANS CONTINUOUS INSULATION
- WHERE A DWELLING UNIT HAS A WALKOUT BASEMENT, THE THERMAL PERFORMANCE OF THE EXTERIOR BASEMENT WALL SHALL BE NOT LESS THAN THAT REQUIRED FOR THE ABOVE GRADE WALL FOR:
 - a) THE BASEMENT WALL CONTAINING THE DOOR OPENING AND
 - b) ANY BASEMENT WALL THAT HAS AN EXPOSED WALL ABOVE THE GROUND LEVEL EXCEEDING 50% OF THAT BASEMENT WALL AREA.

FOR HOMES OLDER THAN 5 YEARS

- THE ENERGY EFFICIENCY OF EXISTING BUILDINGS SHALL COMPLY WITH PART 11 OF DIVISION B OF THE BUILDING CODE FOR RENOVATION SB-12, 11.5.1.1, ENERGY EFFICIENCY
- CONSTRUCTION MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF AN EXISTING BUILDING, BY THE REUSE, RELOCATION OR EXTENSION OF THE SAME OR SIMILAR MATERIALS OR COMPONENTS, TO RETAIN THE EXISTING CHARACTER, STRUCTURAL UNIQUENESS, HERITAGE VALUE, OR AESTHETIC APPEARANCE OF ALL OR PART OF THE BUILDING, IF THE CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING. AS PER 11.5.3.1, BASIC RENOVATION (SEE APPENDIX A)
- WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIER IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)

FLOOR AREA CALCULATION		
LEVEL	AREA	STATUS
BASEMENT		
	57.94	Existing
MAIN FLOOR		
	67.63	Existing
	32.33	New
SECOND FLOOR		
	58.68	Existing
	28.65	New
ATTIC		
	19.45	Existing
	264.88 m ²	

OWNER(S):

#Client Full Name
#Client Full Address

CONTRACTOR:

TEAM SHANE
790 SHAVER RD. ANCASTER L9G 3K9 ON
905-304-4009
info@teamshane.com
teamshane.com

DESIGNER:

TBOUMA DESIGN
1630 LONDON LINE
SARNA, ON N7T 7H2
(919) 339-1493
CONTACT: TRAVIS BOUMA

STRUCTURAL ENGINEER:

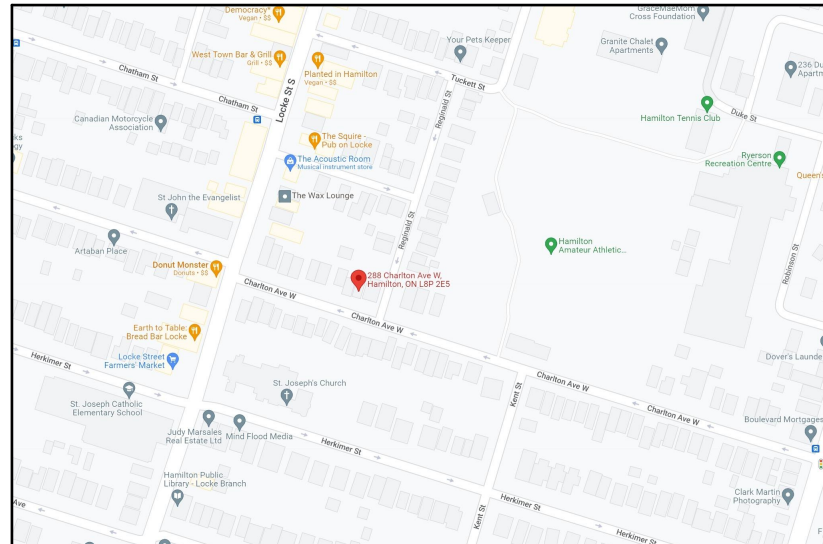
STRIK BALDENELLI MONIZ
1588 ADELAIDE ST. N. UNITS 301 & 203
LONDON, ON N5X 4E8
(919) 471-6867
CONTACT: DARRYL COWAN

MECHANICAL ENGINEER:

GLS TOTAL HVAC DESIGN
5149 WHITE CHURCH RD.
MT. HOPE ON L0R1W0
(905) 662-3522
CONTACT: GEORGE LEACH

SURVEYOR:

L.G. Woods Surveying Inc.
334 Hart St. Dundas, ON L9H 2H9
(905) 627-4978



KEY PLAN

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.06.28
2	DESIGN 1.1	2022.07.04
3	DESIGN 2.0	2022.07.14
4	DESIGN 3.0	2022.07.20
5	DESIGN 3.1	2022.07.25
6	DESIGN 4.0	2022.08.05
7	Issued for Variance	2022.08.17
8		
9		
10		

DRAWING:
TITLE SHEET / GENERAL
INFO

PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DRAWING LIST

No.	NAME
A0.01	TITLE SHEET / GENERAL INFO
SP0.01	SITE PLAN
A1.01	EXISTING BASEMENT PLAN
A1.02	EXISTING MAIN FLOOR PLAN
A1.03	EXISTING SECOND FLOOR PLAN
A1.04	EXISTING ATTIC FLOOR PLAN
A1.05	PROPOSED BASEMENT PLAN
A1.06	PROPOSED MAIN FLOOR PLAN
A1.07	PROPOSED SECOND FLOOR PLAN
A2.01	EXISTING FRONT & REAR ELEVATIONS
A2.02	EXISTING LEFT & RIGHT ELEVATION
A2.03	PROPOSED FRONT & REAR ELEVATI..
A2.04	PROPOSED LEFT & RIGHT ELEVATIO..

DATE: 8/26/2022

SCALE:

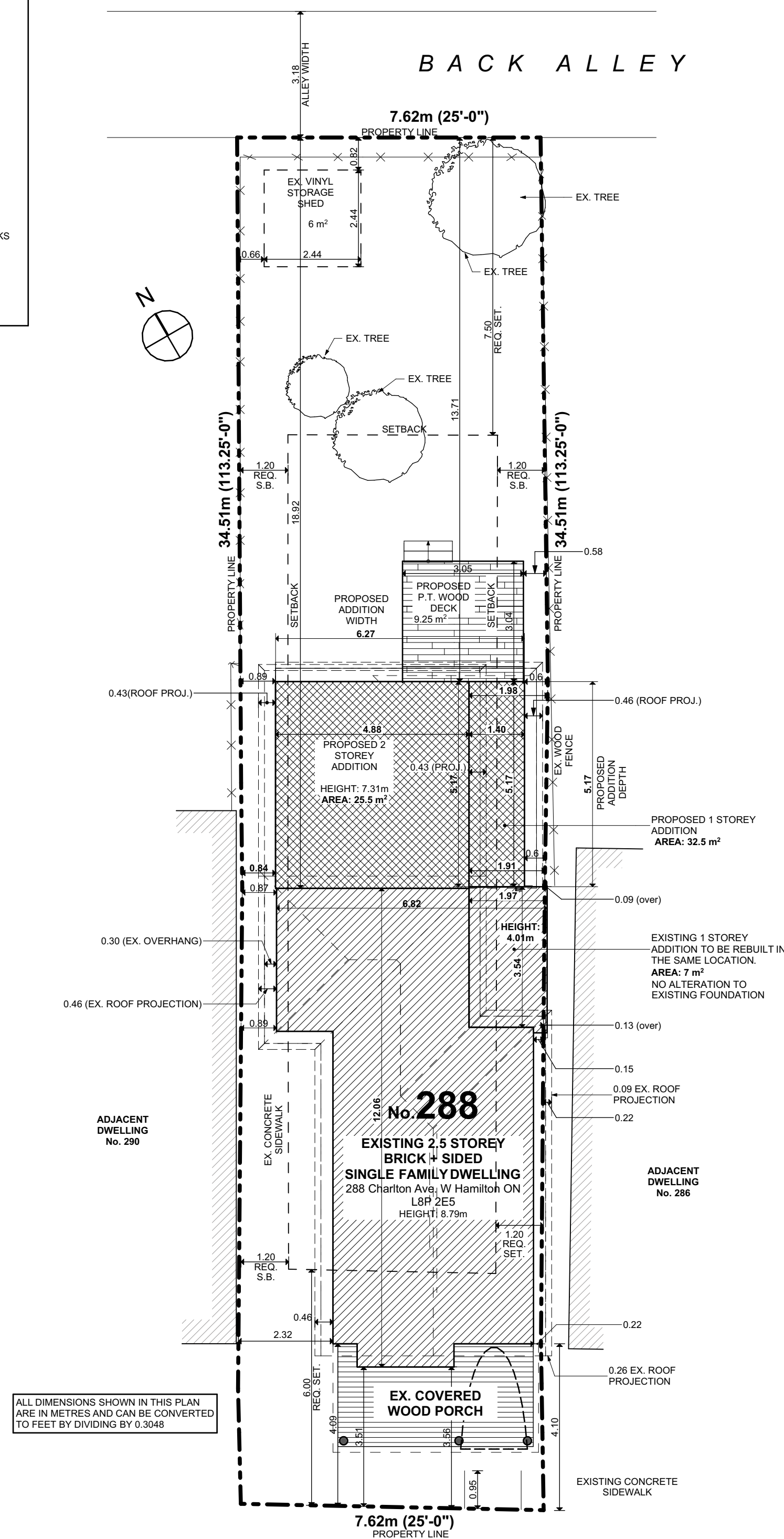
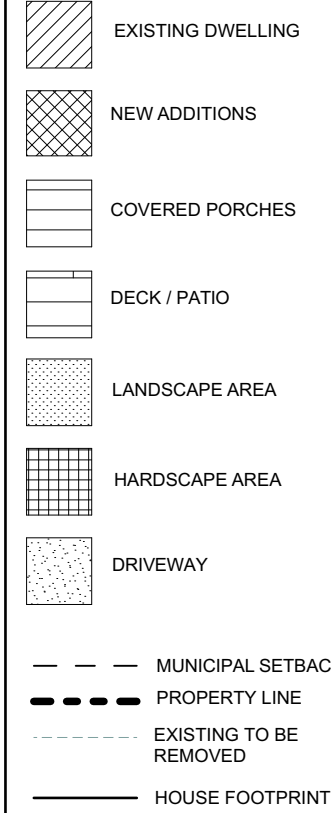
AS NOTED

PROJECT NO:

DRAWING NO:

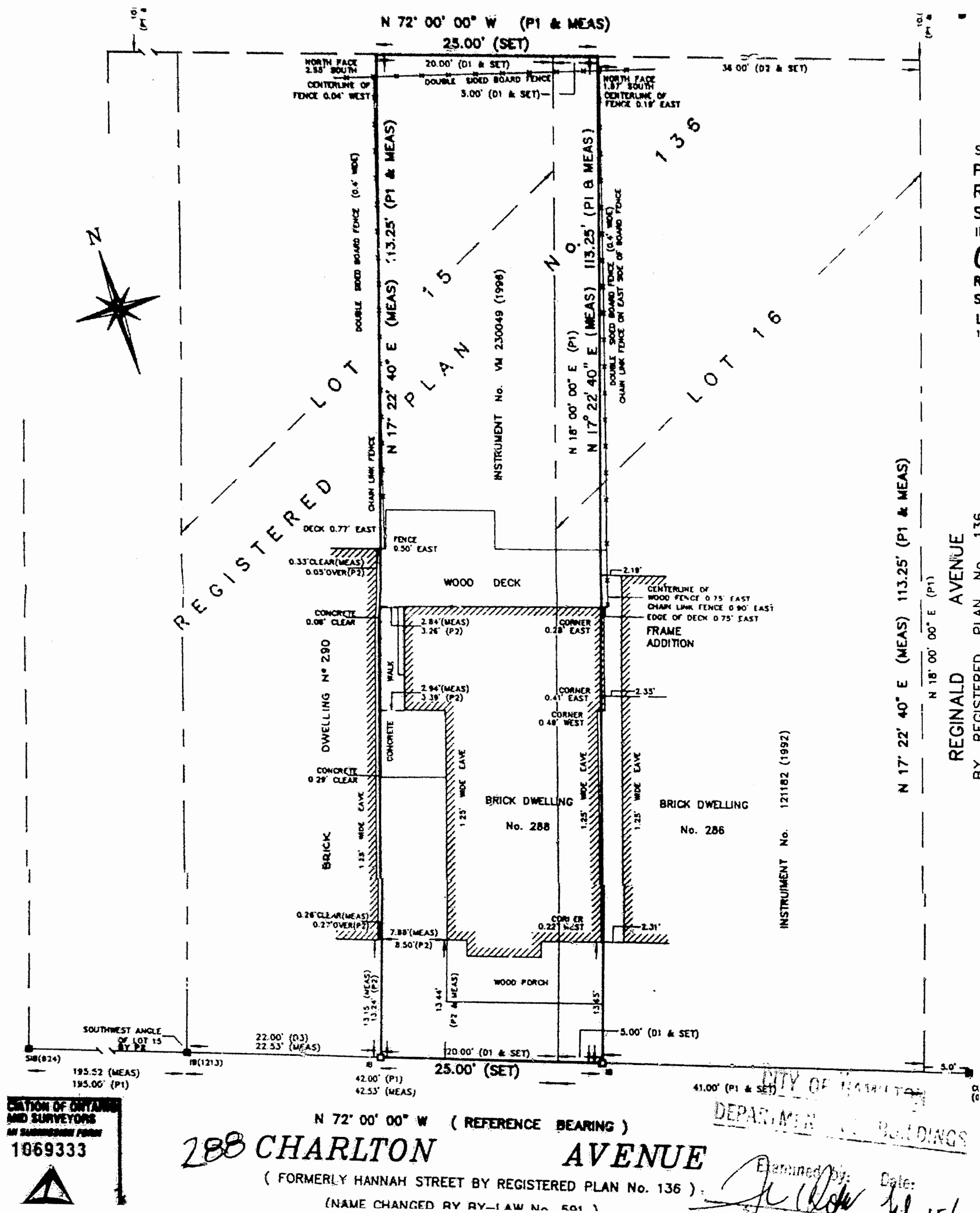
A0.01

SITE PLAN LEGEND



ALL DIMENSIONS SHOWN IN THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CHARLTON AVE. W.



CITY OF HAMILTON
1869333

288 CHARLTON AVENUE
(FORMERLY HANNAH STREET BY REGISTERED PLAN No. 136)
(NAME CHANGED BY BY-LAW No. 501)

SITE STATS

PROJECT NAME: HUFF
PROJECT NO.:
ADDRESS: 288 Charlton Ave. W.
POSTAL CODE: L8P 2E5
MUNICIPALITY: HAMILTON
MINOR VARIANCE # TBD

BYLAW #	COMMUNITY	ZONING	EXCEPTION N/A	D
6593	HAMILTON	ONE AND TWO FAMILY DWELLINGS		

LOT INFO	ALLOWABLE	EXISTING	PROPOSED
LOT AREA (m²)	380 MIN.	263	SAME
LOT FRONTAGE	12 MIN.	7.62	SAME
LOT WIDTH (m)	12 MIN.	7.62	SAME
LOT DEPTH (m)	N/A	34.5	SAME
SECONDARY DWELLINGS ALLOWED?	YES		

AREA CALCULATIONS	ALLOWABLE	EXISTING	PROPOSED
GROSS FLOOR AREA (m²)	N/A	212	259
Basement area		59	59
First floor area		66	66
Second floor area		57	62
Attic floor area		20	20

GROUND FLOOR AREA (m²)	N/A	66	98
LOT COVERAGE (%)	N/A	37%	47%
Lot coverage calculations		↑	↑
Existing dwelling		66	98
Existing attached garage	N/A	N/A	N/A
Existing Front Porch		11	11
Existing Rear Porch		16	9
Existing Accessory Structure		6	6

FLOOR AREA RATIO (%)	ALLOWABLE	EXISTING	PROPOSED
Local Gross Floor Area / Lot Area	N/A	76%	98%

BUILDING HEIGHT (m)	ALLOWABLE	EXISTING	PROPOSED
Stooped	14 MAX	8.17	7.31
Number of Storeys	3 MAX	2.5	2

SETBACKS	ALLOWABLE	EXISTING	PROPOSED	VARIANCE
FRONT (m)	6	3.51	SAME	
REAR (m)	7.5	18.92	13.71	
LEFT (m)	1.2	0.87	0.84	
RIGHT (m)	1.2	0.13 over	0.6	

ENCROACHMENTS	ALLOWABLE	EXISTING	PROPOSED
ROOF PROJECTION (m)	1.5 MAX		
FRONT	1.5 MAX		
REAR	1.5 MAX		
SIDE	1.0 MAX or half		
ARCH. FEATURES (m)	0.5 MAX		
FRONT/REAR	1.0 MAX		
BAY WINDOW (m)	1.0 MAX		
FRONT/REAR	0.5 MAX or 1/3		
COVERED PORCH OR DECK (m)	3 MAX		
DECK (m)	1.5		
FRONT	1.5m from street		

LANDSCAPING	ALLOWABLE	EXISTING	PROPOSED
LANDSCAPE AREA (%)	50%	58.7%	SAME
STREET WIDTH (m)	N/A	N/A	SAME
DRIVEWAY WIDTH (m)	N/A	N/A	N/A

PARKING	ALLOWABLE	EXISTING	PROPOSED	VARIANCE
	2	0	0	
Habitable Rooms:	8	8	10	

ACCESSORY BUILDINGS	ALLOWABLE	EXISTING	PROPOSED
SIZE (m²)	N/A		
HEIGHT (m)	N/A		
SIDE/REAR SETBACK (m)	N/A		
COVERAGE (%)	N/A		

APPLICABLE LAW

CONSERVATION AUTHORITY	REQUIRED?
NIAGARA ESCARPMENT CONTROL (NEC)	NO
ENVIRONMENTAL SENSITIVE AREA (ESA)	NO
MINISTRY OF TRANSPORTATION ONTARIO	NO
PARKWAY BELT	NO
GREENBELT PROTECTED COUNTRYSIDE	NO
FEDERAL AIRPORT AUTHORITY	NO
ONTARIO HERITAGE ACT	NO
SITE ENGINEERING	NO
EASEMENTS	NO
MINOR VARIANCE	YES
SITE PLAN CONTROL / EXEMPTION	NO

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2022.06.28
2	DESIGN 1.1	2022.07.04
3	DESIGN 2.0	2022.07.14
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DRAWING:

SITE PLAN

PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022

SCALE:

AS NOTED

PROJECT NO:

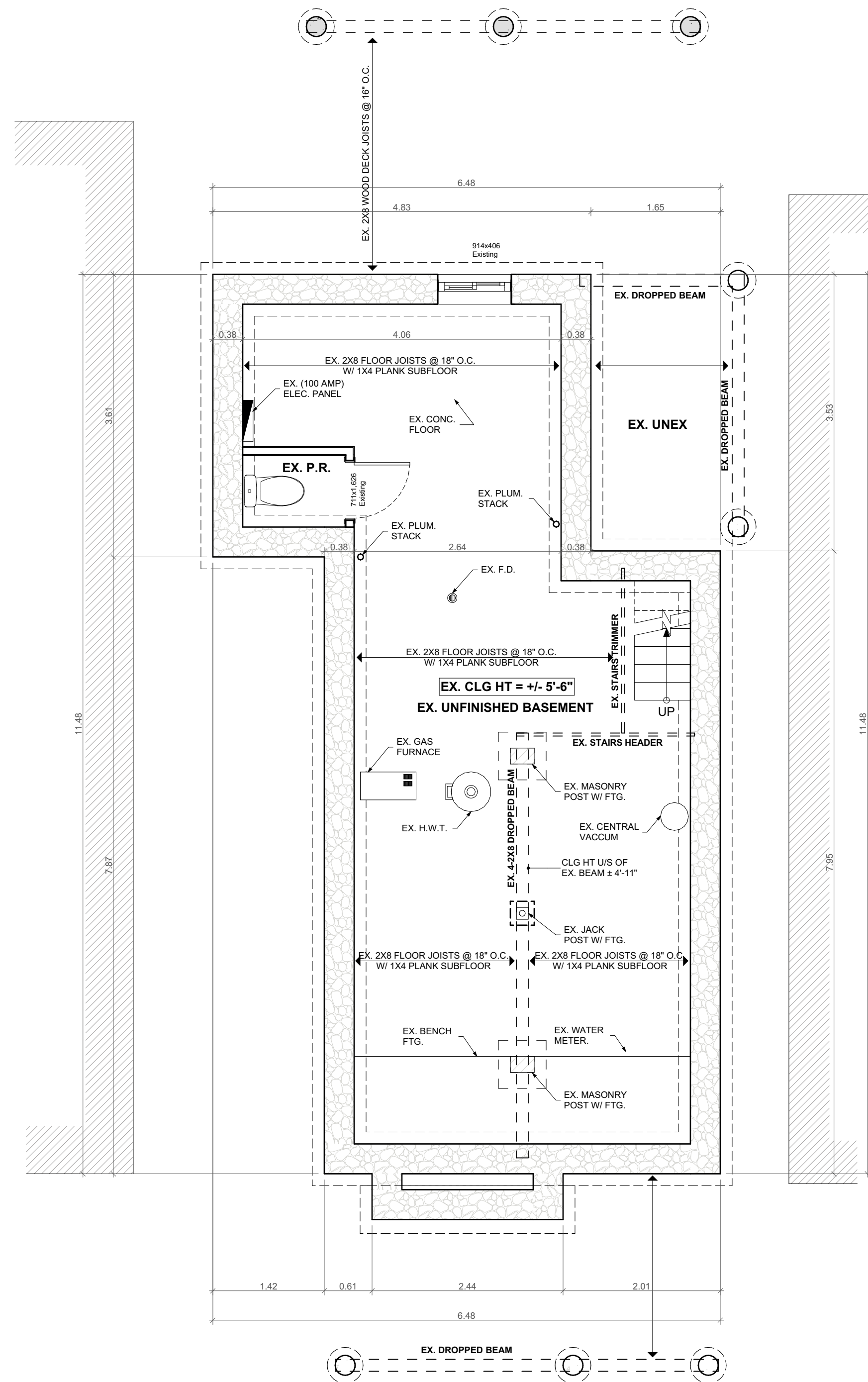
DRAWING NO:

SP0.01

Printed: 8/26/2022 @ 11:31 AM

EXISTING BASEMENT PLAN

SCALE: 1/4" = 1'-0"



TEAM SHANE

790 SHAVER RD. ANCASTER
L9G 3K9 ON**NOT FOR
CONSTRUCTION**

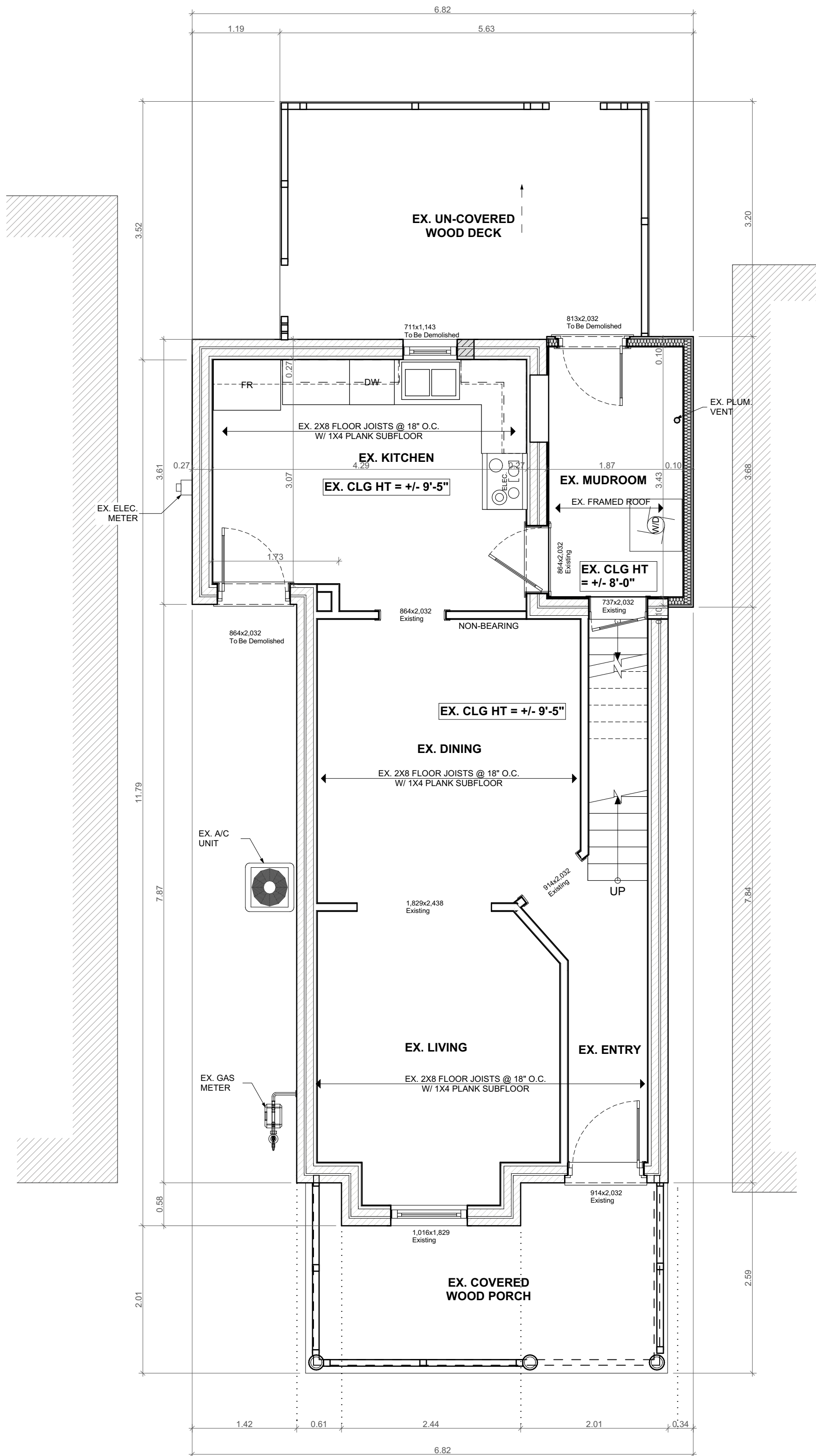
NO.	REVISION	DATE
1	DESIGN 1.0	2022.06.28
2	DESIGN 1.1	2022.07.04
3	DESIGN 2.0	2022.07.14
4	DESIGN 3.0	2022.07.20
5	DESIGN 3.1	2022.07.25
6	DESIGN 4.0	2022.08.05
7	Issued for Variance	2022.08.17
8		
9		
10		

DRAWING:
EXISTING BASEMENT PLAN

PROJECT:
HUFF

PROJECT ADDRESS:
288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022	SCALE: AS NOTED	DRAWING NO: A1.01
	PROJECT NO: ---	



TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
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7	Issued for Variance	2022.08.17
8		
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DRAWING:
EXISTING MAIN FLOOR
PLAN

PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022

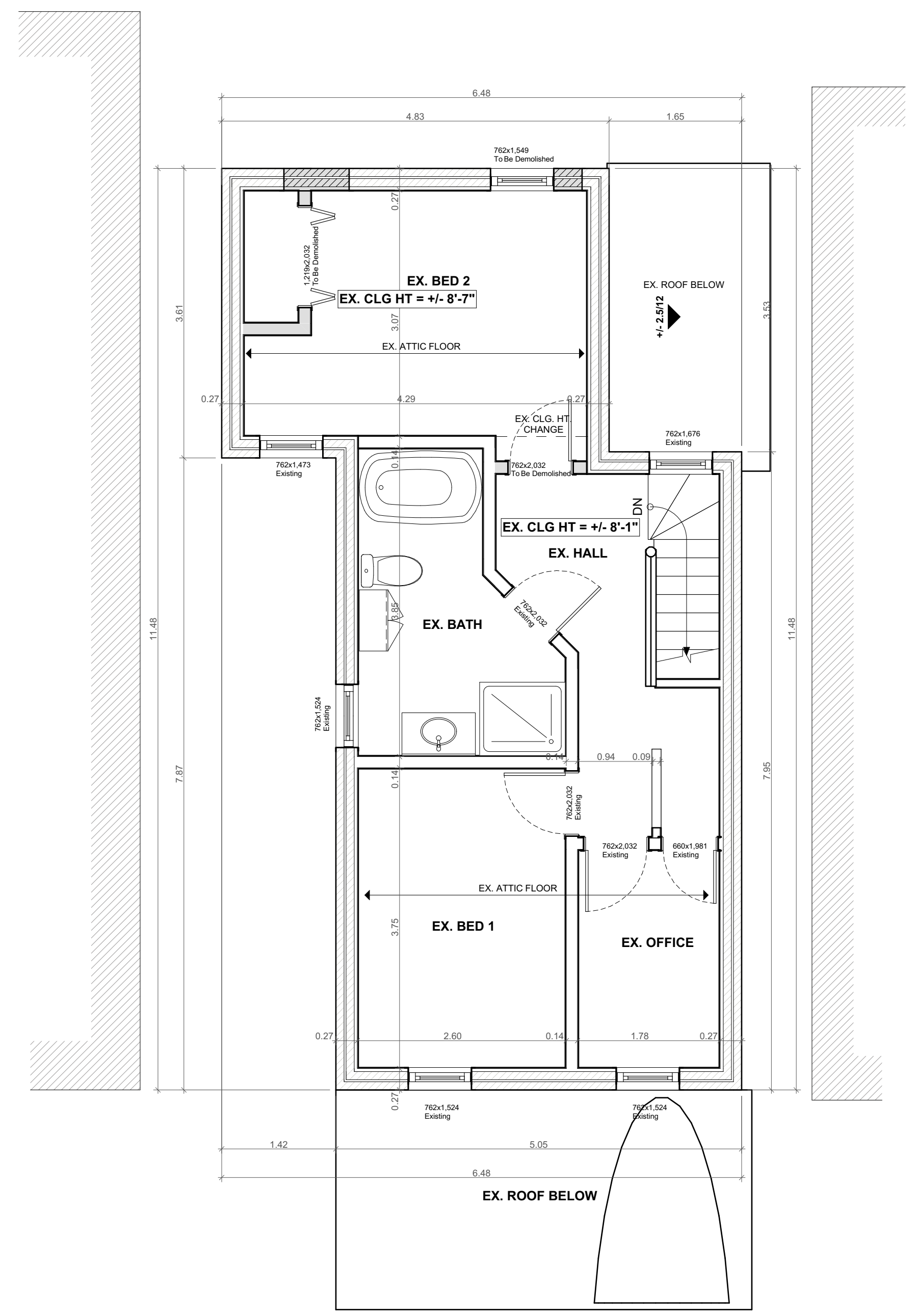
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A1.02



TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

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DRAWING:
EXISTING SECOND FLOOR
PLAN

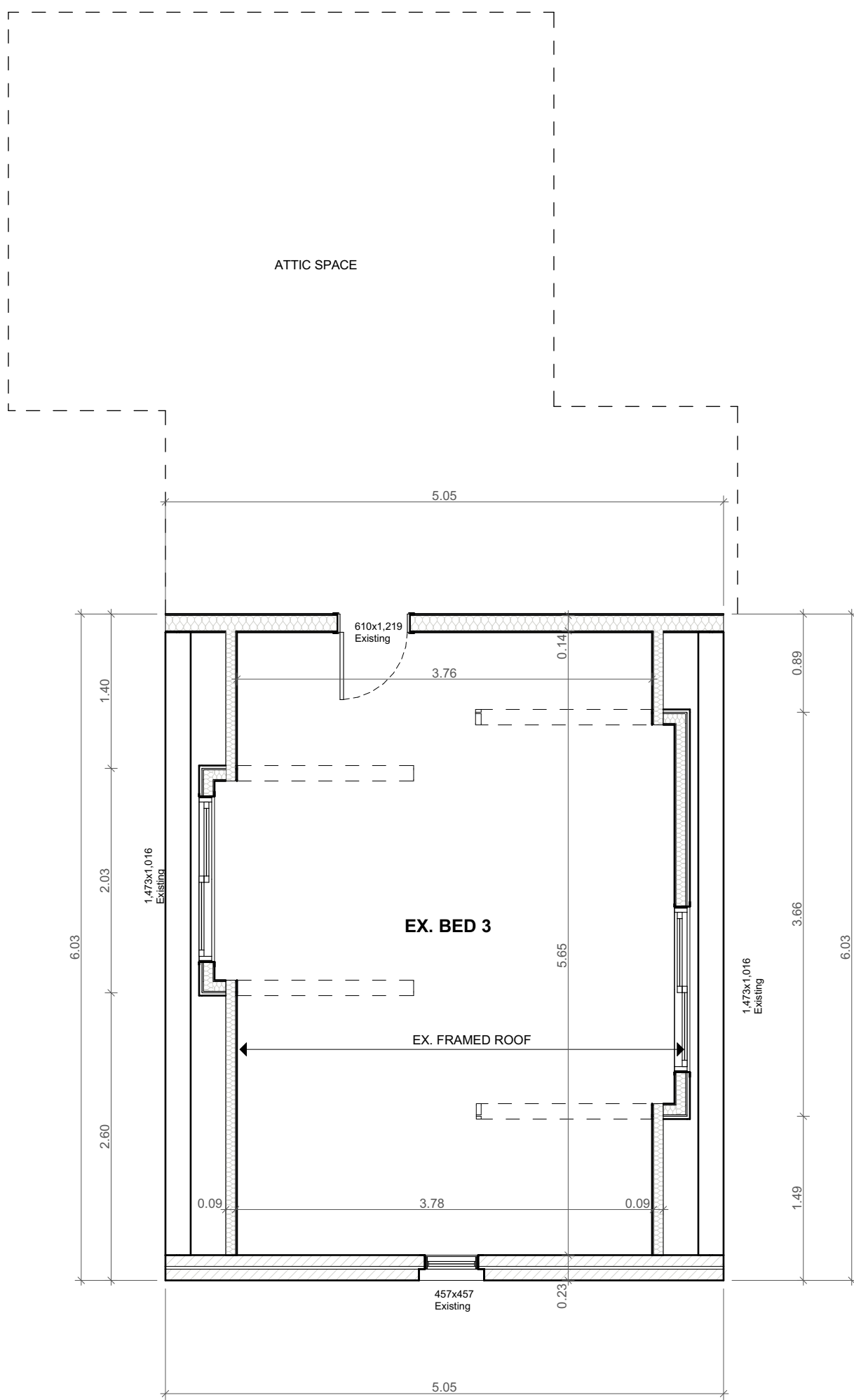
PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022		DRAWING NO: A1.03
SCALE:	AS NOTED	
PROJECT NO:	---	



TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

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DRAWING:
EXISTING ATTIC FLOOR
PLAN

PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A1.04

Printed: 8/26/2022 @ 11:31 AM

GENERAL NOTES

ALL CONSTRUCTION TO COMPLY WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE

DESIGN AND LAYOUT OF ALL PRE-ENGINEERED STRUCTURAL MEMBERS FROM ROOF TRUSS SUPPLIER TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION

SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS (MIN. WIDTH EQUAL TO WIDTH OF BEARING POINT OVER) VERIFY WITH TRUSS DRAWINGS

TRUSS MEMBERS SHALL NEVER BE NOTCHED, DRILLED OR CUT UNLESS NOTCHING OR DRILLING HAS BEEN ACCOUNTED FOR IN THE DESIGN OF THE TRUSS

BEAM BEARING = MIN. 3-1/2"
UNTEL BEARING = MIN. 1-1/2"
RAFTER BEARING = MIN. 1-1/2"
JOISTS BEARING = MIN. 1-1/2"

CONTRACTOR TO CHECK AND VERIFY ALL SPECIFICATIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER (519) 339-1400

PROVIDE TEMPORARY BRACING/SHORING FOR ALL EXISTING FLOOR JOISTS & WALLS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS & FLOOR JOISTS AS REQ. (TYP.)

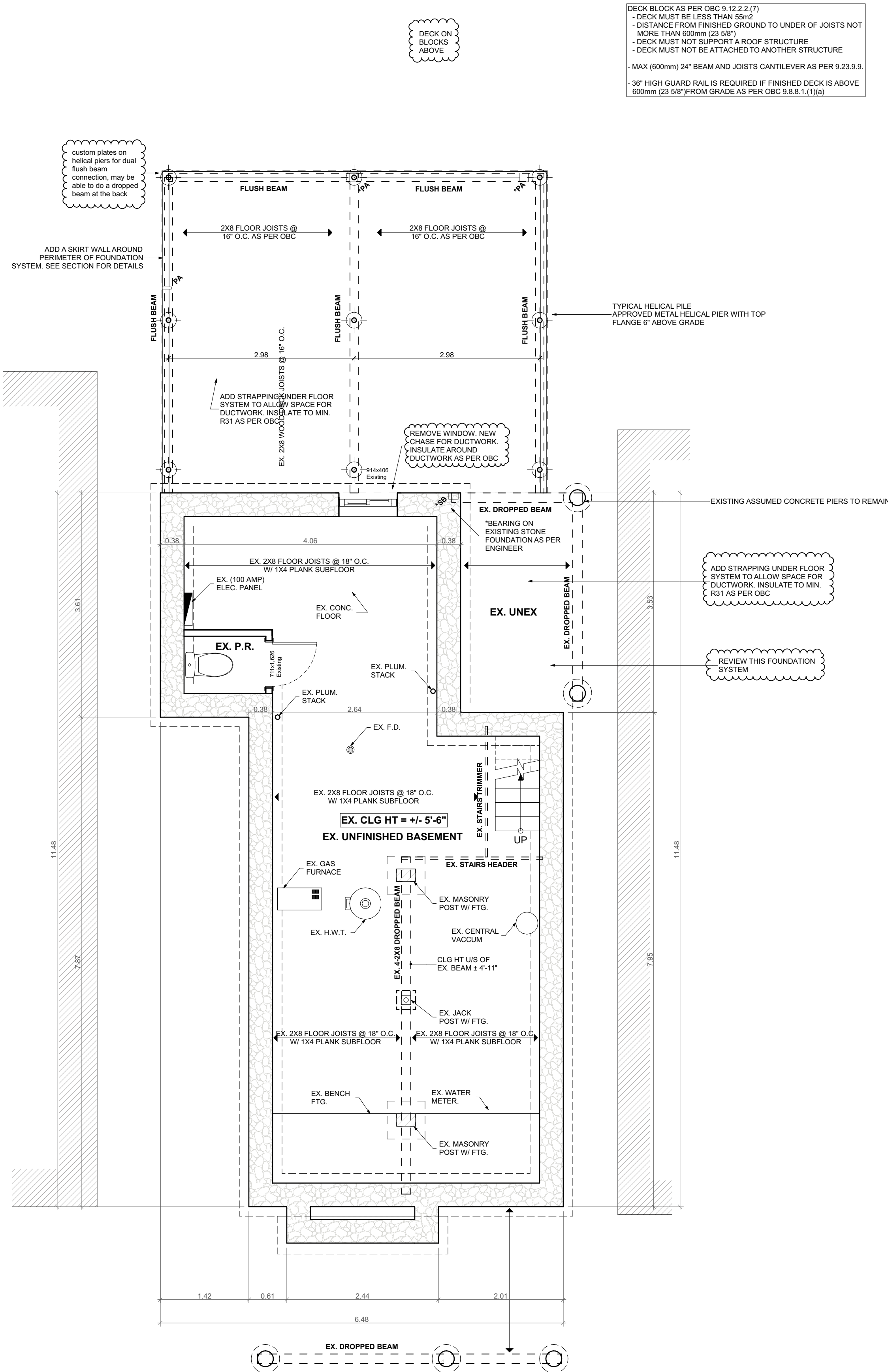
ALL DIMENSIONS ARE TAKEN FROM THE STUD FACE UNLESS NOTED OTHERWISE

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 9102 AS PER 9.34

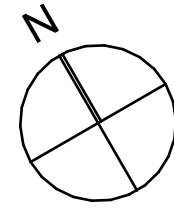
REFER TO SUPPLEMENTARY ENGINEERING LETTER FOR ALL ENGINEERING REFERENCES

RENDERINGS ARE NOT TO SCALE. ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

BEAM SCHEDULE		
NUMBER	SIZE	LENGTH
ENG'D FLUSH BEAM		202.50"
FLUSH BEAM		189.79"
FLUSH BEAM		197.25"
FLUSH BEAM		202.41"
FLUSH BEAM		118.96"
FLUSH BEAM		118.63"



DECK BLOCK AS PER OBC 9.12.2.2.(7)
- DECK MUST BE LESS THAN 500mm
- DISTANCE FROM FINISHED GROUND TO UNDER OF JOISTS NOT MORE THAN 600mm (23 5/8")
- DECK MUST NOT SUPPORT A ROOF STRUCTURE
- DECK MUST NOT BE ATTACHED TO ANOTHER STRUCTURE
- MAX (600mm) 24" BEAM AND JOISTS CANTILEVER AS PER 9.23.9.9.
- 36" HIGH GUARD RAIL IS REQUIRED IF FINISHED DECK IS ABOVE 600mm (23 5/8") FROM GRADE AS PER OBC 9.8.8.1.(1)(a)



TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

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**DRAWING:
PROPOSED BASEMENT
PLAN**

PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A1.05

Printed: 8/26/2022 @ 11:31 AM

GENERAL NOTES

ALL CONSTRUCTION TO COMPLY WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE

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JOISTS BEARING = MIN. 1-1/2"

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ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34

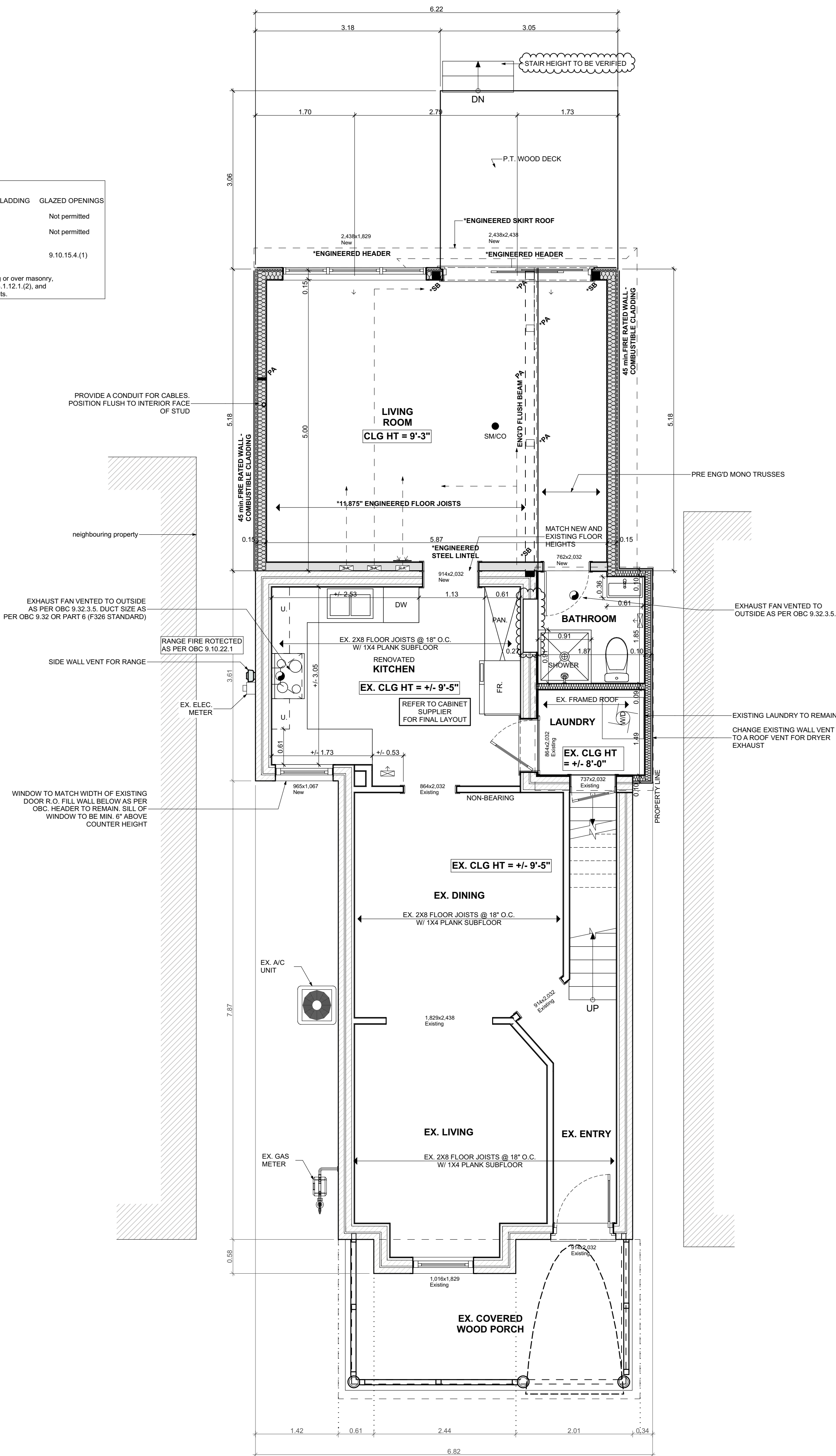
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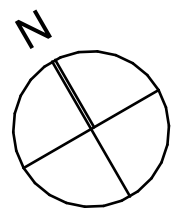
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FLUSH BEAM		118.96"
FLUSH BEAM		118.63"

CONSTRUCTION OF EXPOSED BUILDING FACE AS PER 9.10.14.5.			
LIMITING DISTANCE	FIRE RESISTANCE RATING	NON-COMBUSTIBLE CLADDING	GLAZED OPENINGS
LESS THAN 0.6m (23 5/8")	45min	Required	Not permitted
0.6m (23 5/8") OR GREATER BUT LESS THAN 1.2m (3'-11")	45min	not required	Not permitted
1.2m (3'-11") OR GREATER	not required	not required	9.10.15.4 (1)

WALLS WITH LD LESS THAN 0.6m:
(b) is installed without turning members over not less than 12.7 mm thick gypsum sheathing or over masonry,
(c) has a flame-spread rating not more than 25 when tested in accordance with Sentence 3.1.12.1.(2), and
(d) is not more than 2 mm in thickness exclusive of fasteners, joints and local reinforcements.



- HVAC LEGEND**
- TOE KICK WALL SUPPLY
 - TOW KICK WALL RETURN
 - WALL SUPPLY
 - WALL RETURN
 - FLOOR SUPPLY AIR REGISTER
 - FLOOR RETURN AIR REGISTER
 - CLG. SUPPLY AIR REGISTER
 - CLG. RETURN AIR REGISTER
 - SUPPLY AIR CHASE
 - RETURN AIR CHASE
 - SUPPLY AIR DUCT
 - RETURN AIR DUCT



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DRAWING:
PROPOSED MAIN FLOOR PLAN

PROJECT:
HUFF

PROJECT ADDRESS:
288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022	DRAWING NO: A1.06
SCALE: AS NOTED	PROJECT NO: ---

GENERAL NOTES

ALL CONSTRUCTION TO COMPLY WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE

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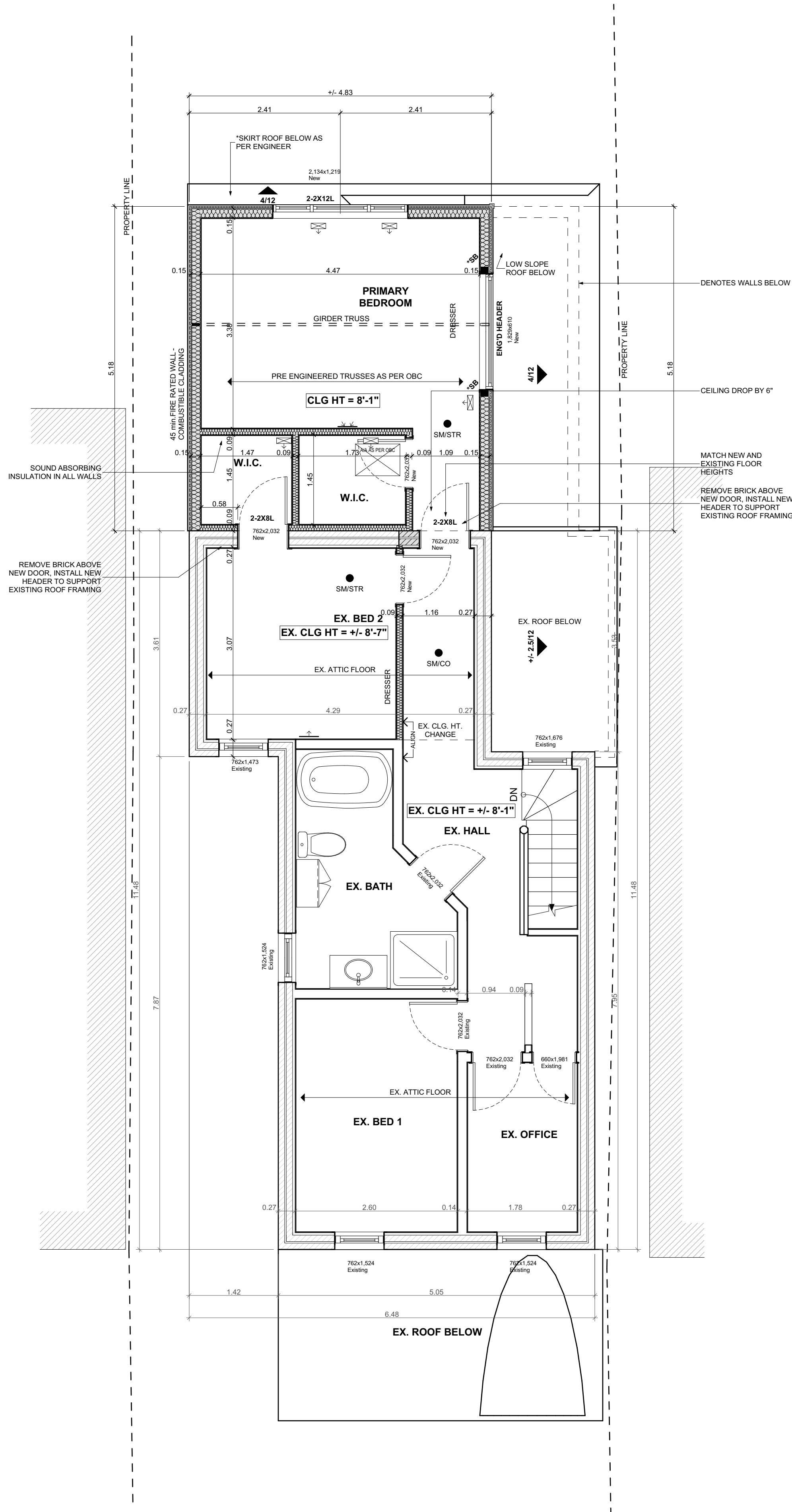
ALL DIMENSIONS ARE TAKEN FROM THE STUD FACE UNLESS NOTED OTHERWISE

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.24

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- HVAC LEGEND**
- TOE KICK WALL SUPPLY
 - TOW KICK WALL RETURN
 - WALL SUPPLY
 - WALL RETURN
 - FLOOR SUPPLY AIR REGISTER
 - FLOOR RETURN AIR REGISTER
 - CLG. SUPPLY AIR REGISTER
 - CLG. RETURN AIR REGISTER
 - SUPPLY AIR CHASE
 - RETURN AIR CHASE
 - SUPPLY AIR DUCT
 - RETURN AIR DUCT

1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

TEAM SHANE

Shane

790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

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DRAWING:
**PROPOSED SECOND
FLOOR PLAN**

PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022

SCALE:

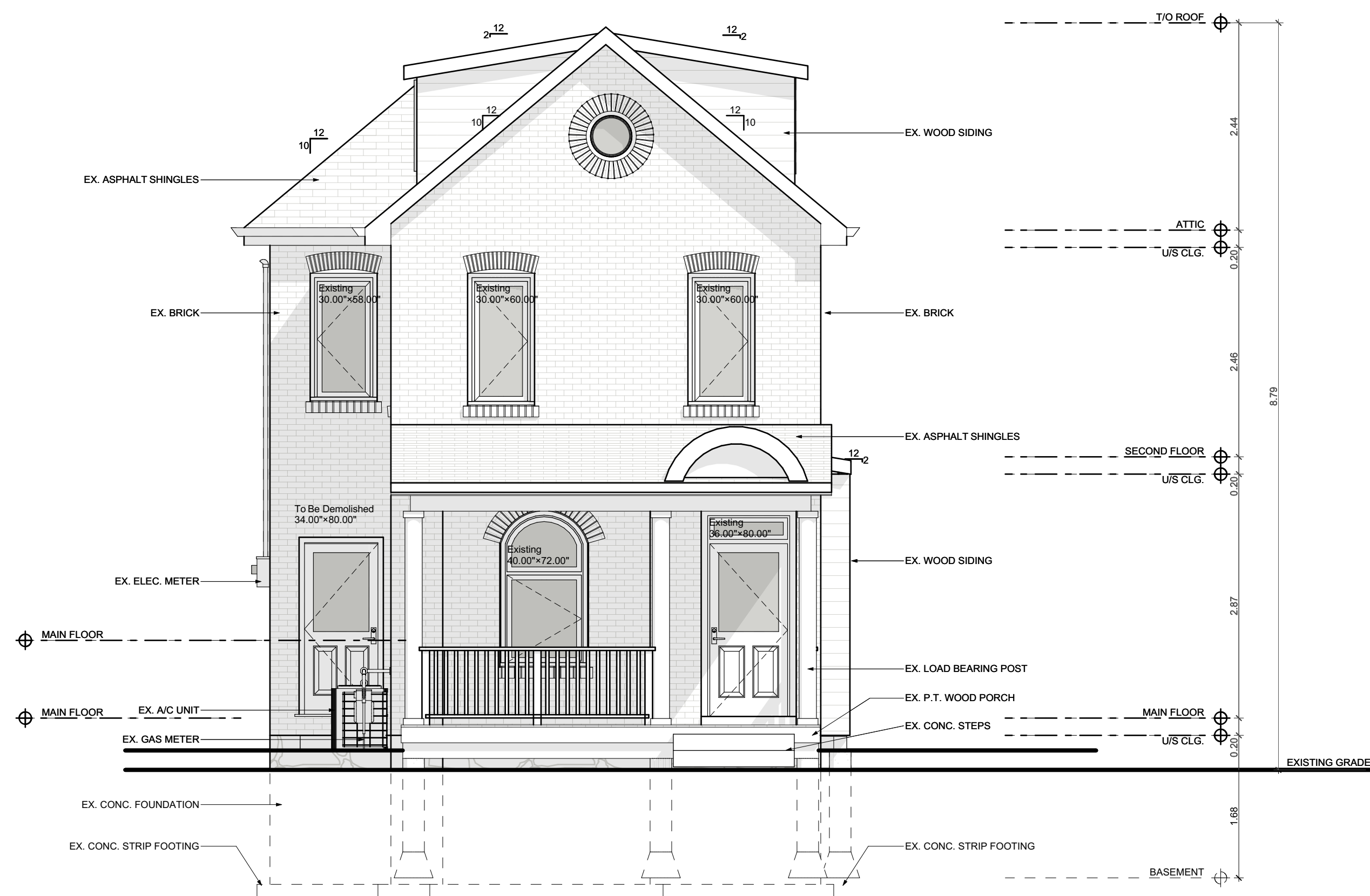
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PROJECT NO:

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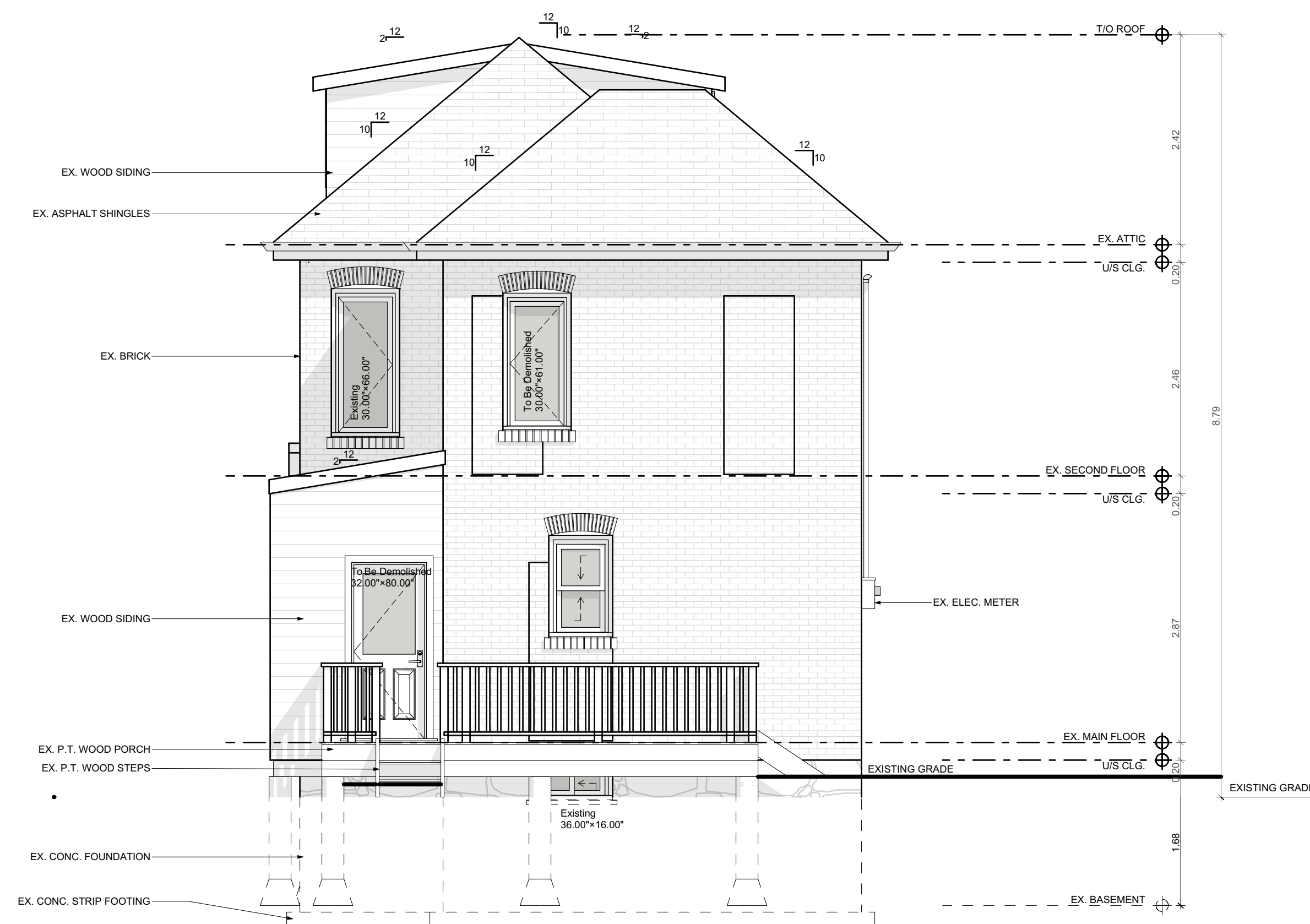
A1.07

Printed: 8/26/2022 @ 11:31 AM



1 EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
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DRAWING:
EXISTING FRONT & REAR
ELEVATIONS

PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022

SCALE:

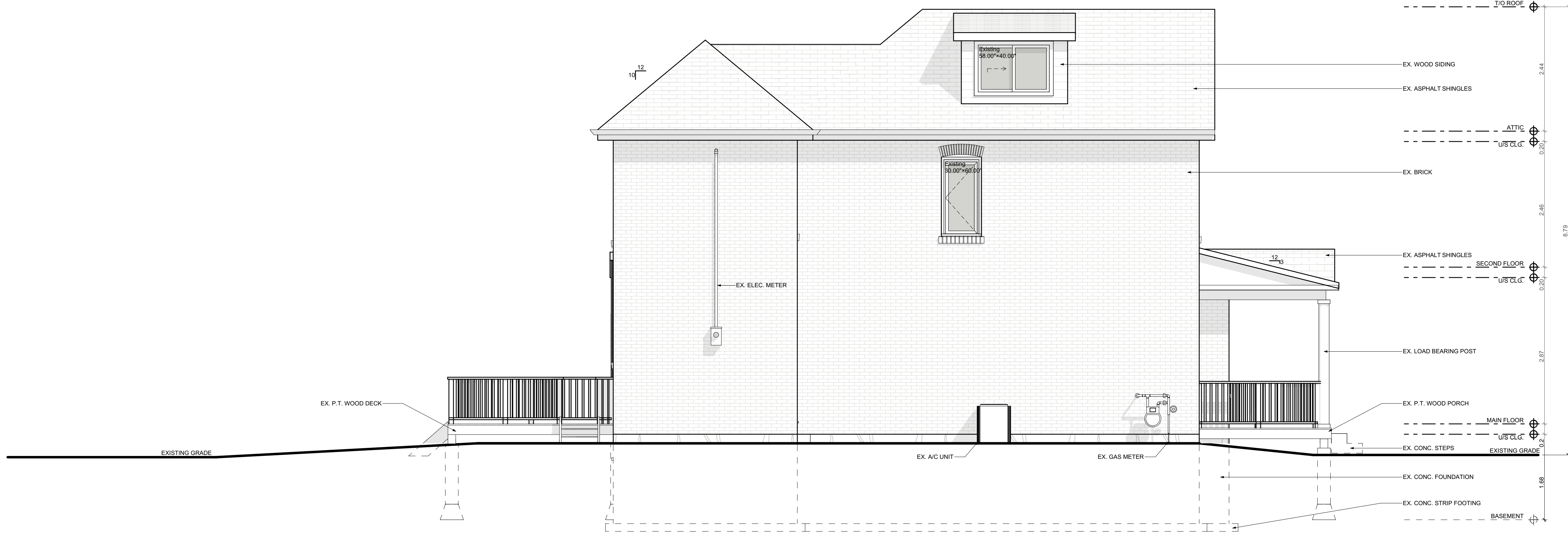
AS NOTED

PROJECT NO:

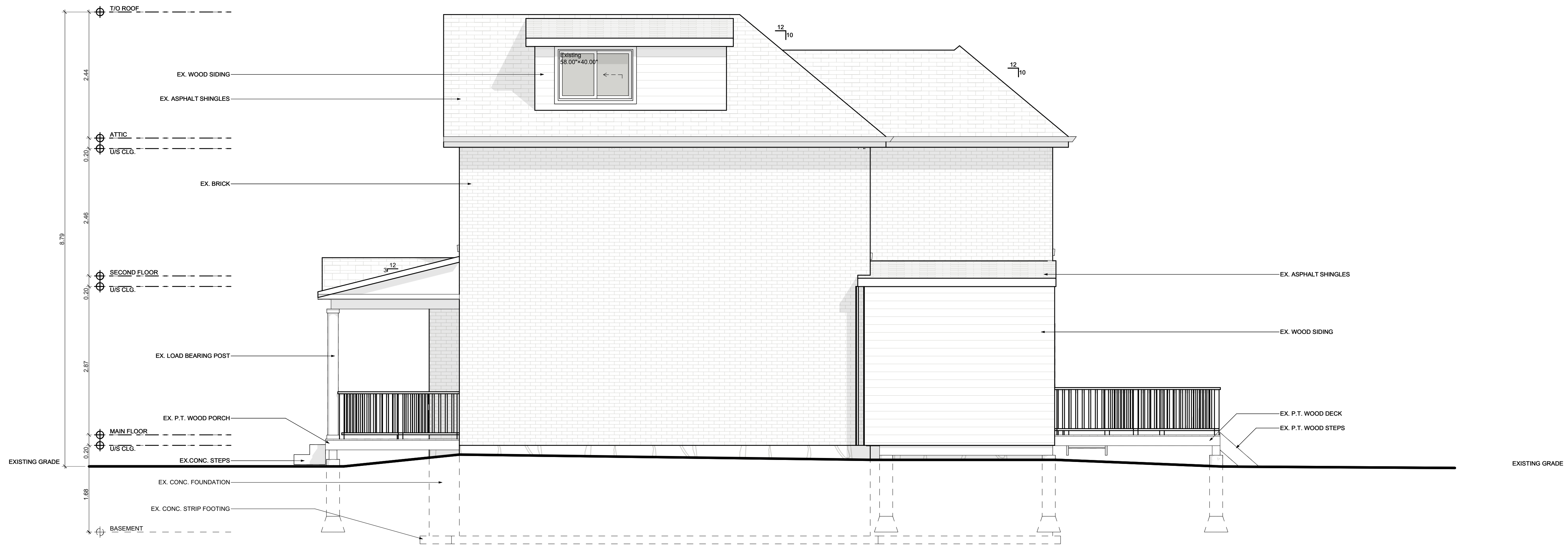
DRAWING NO:

A2.01

Printed: 8/26/2022 @ 11:31 AM



1 EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
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DRAWING:
**EXISTING LEFT & RIGHT
ELEVATION**

PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022

SCALE:

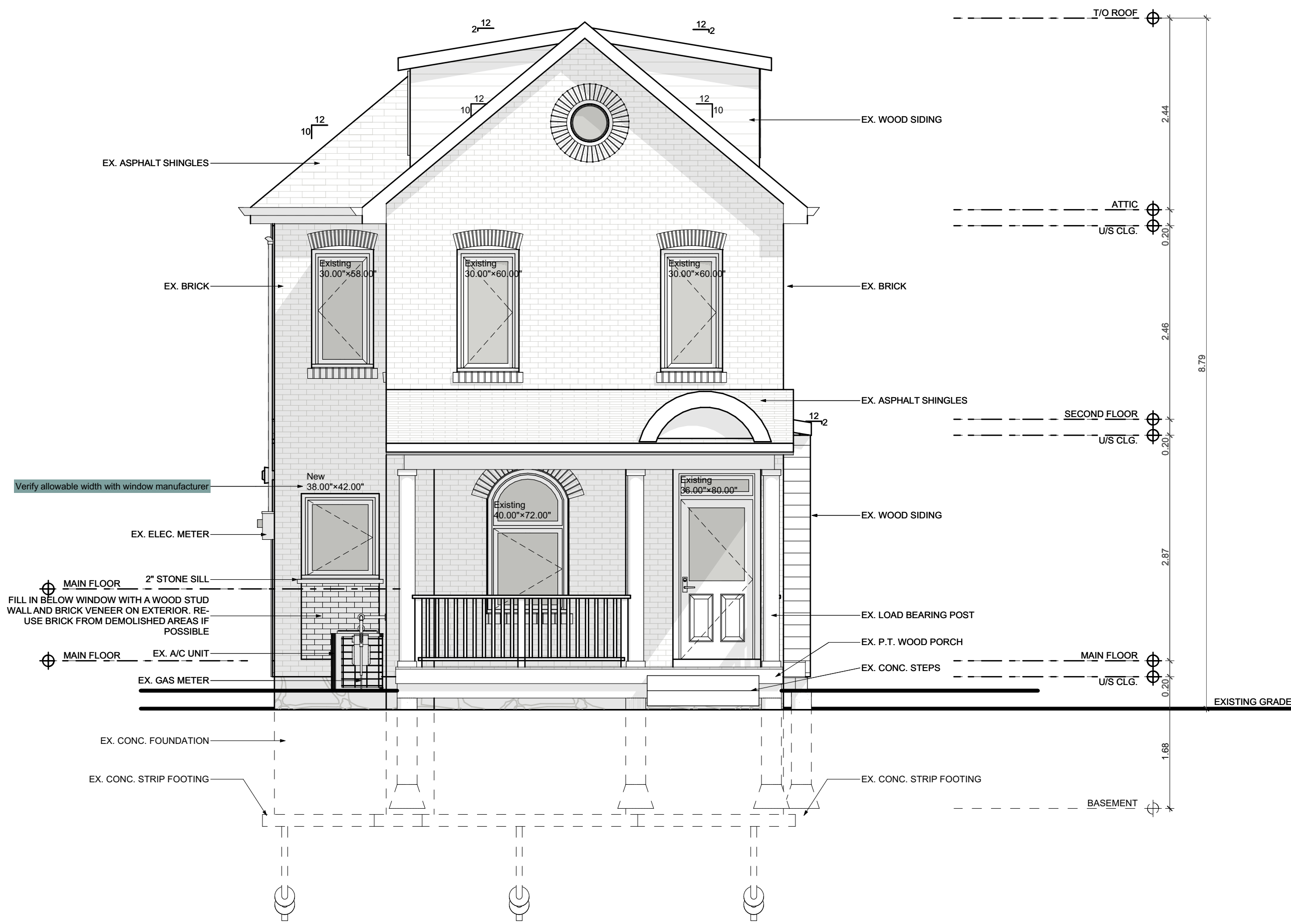
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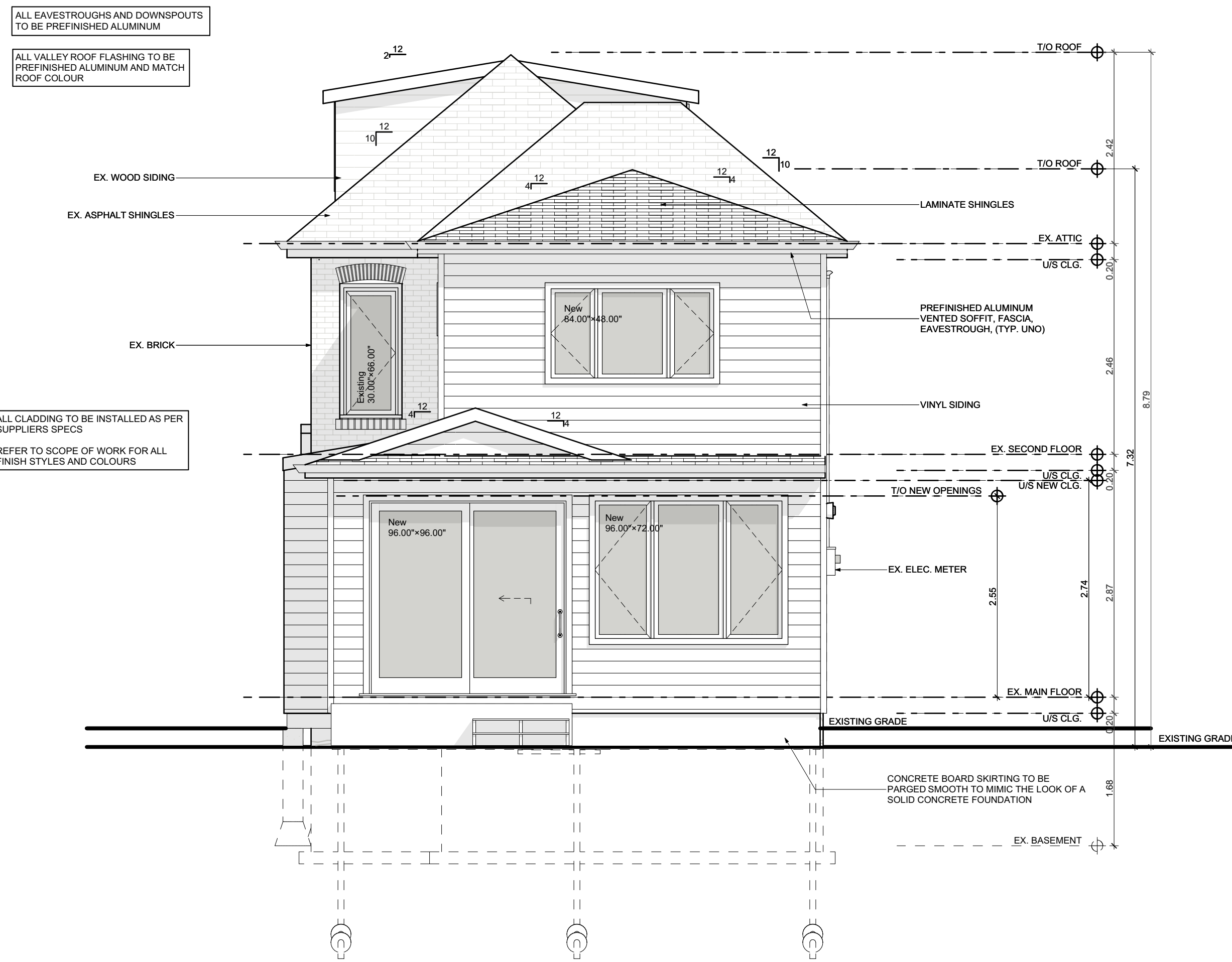
A2.02

Printed: 8/26/2022 @ 11:31 AM



1 PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

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DRAWING:
PROPOSED FRONT & REAR
ELEVATIONS

PROJECT:

HUFF

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288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022

SCALE:

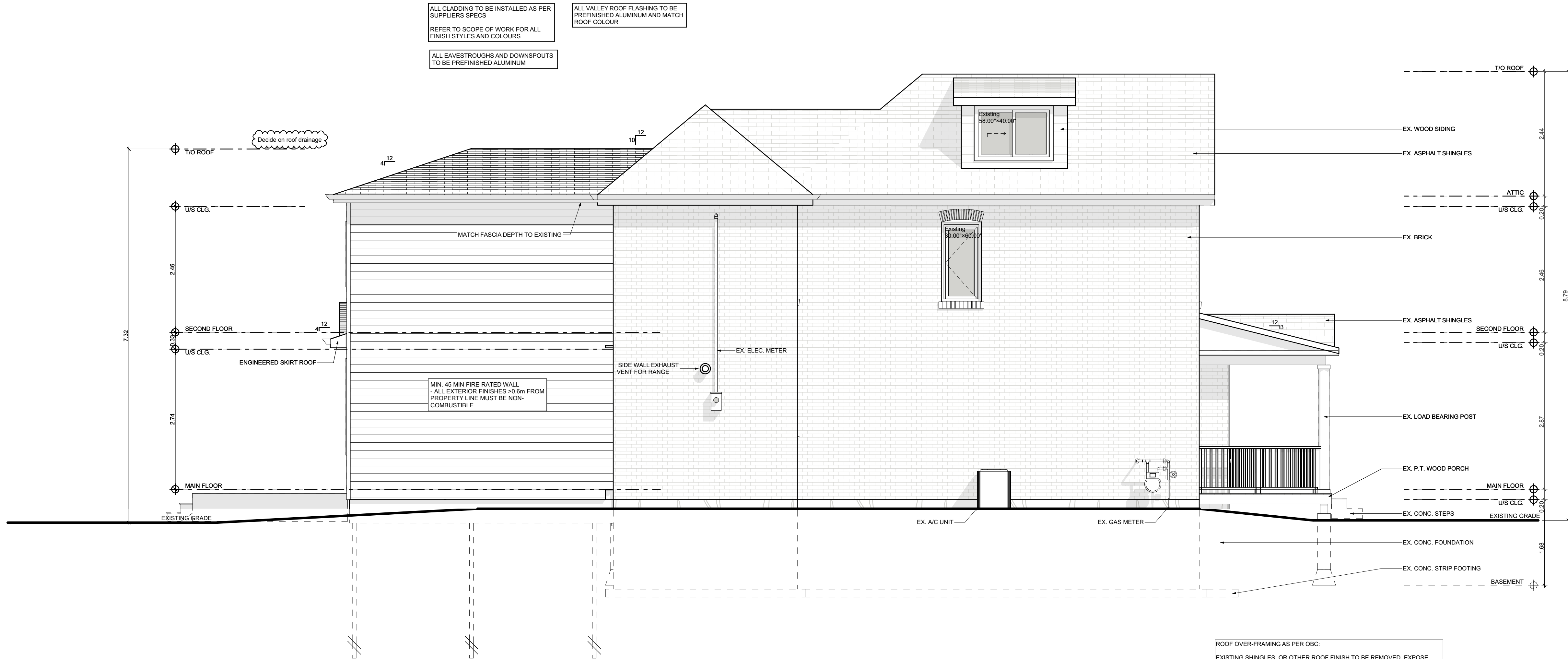
AS NOTED

PROJECT NO:

DRAWING NO:

A2.03

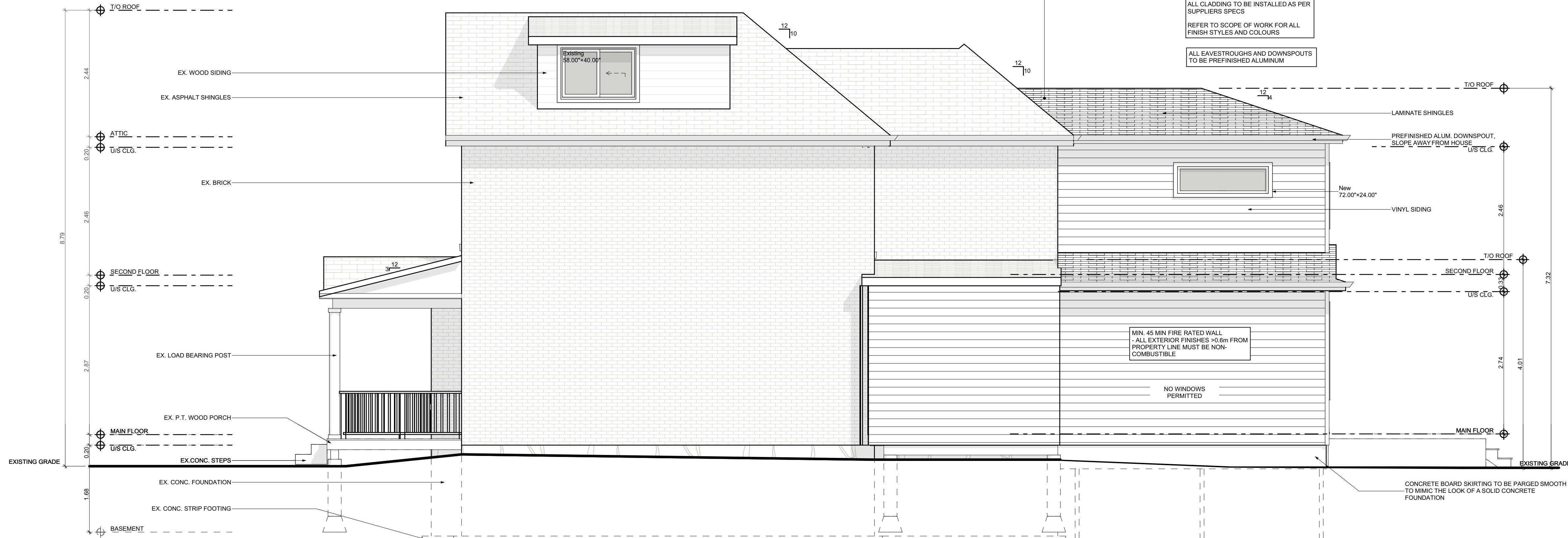
Printed: 8/26/2022 @ 11:31 AM



ROOF OVER-FRAMING AS PER OBC:
EXISTING SHINGLES, OR OTHER ROOF FINISH TO BE REMOVED, EXPOSE
ROOF SHEATHING (REPLACE SHEATHING IF REQUIRED).
OVER FRAME w/ 2"x6" ROOF RAFTERS @ 16" o.c.
PROP DOWN NEW ROOF RAFTERS TO TOP ROOF SHEATHING ON
TRUSSES/RAFTERS/JOISTS BELOW w/ 2"x4" PROPS @ 34" o.c. (MAX).
TOE-NAIL TO EXISTING ROOF SHEATHING & RAFTER w/ (2) 3" LONG NAILS @
EACH END (TYPICAL).
NOTE: ROOF OVER-FRAMING MAY BE PROPPED DOWN TO THE STRUCTURE
(ROOF TRUSSES/RAFTERS/JOISTS) @ 24" o.c. GRIDS AS PER SECTION 9.4.2.1.2
OF THE 2012 O.B.C. TO TRANSFER THE APPLIED LOAD ON THE OVER-
FRAMING DOWN TO THE ROOF STRUCTURE BELOW WITHOUT
INTRODUCING ANY NEW LOADS TO THE STRUCTURE BELOW OTHER THAN
WHAT IT WAS ORIGINALLY DESIGNED TO SUPPORT.

1 PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

TEAM SHANE



790 SHAVER RD. ANCASTER
L9G 3K9 ON

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CONSTRUCTION

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DRAWING:
**PROPOSED LEFT & RIGHT
ELEVATIONS**

PROJECT:

HUFF

PROJECT ADDRESS:

288 Charlton Ave. W Hamilton ON L8P 2E5

DATE: 8/26/2022

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.04

Printed: 8/26/2022 @ 11:31 AM

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	Bridget Stark Bryan Huff	288 Charlton Avenue West Hamilton, ON L8P 2E5	Phone: 9057308262
			E-mail: bridget.huff@gmail.cc
Applicant(s)*	Louie Sayegh	790 Shaver Rd. Ancaster ON	Phone: 905-304-4009
			E-mail: louie@teamshane.co
Agent or Solicitor	Louie Sayegh	790 Shaver Rd. Ancaster ON	Phone: 905-304-4009
			E-mail: louie@teamshane.co

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Scotiabank
Address: 999 King St W, Hamilton, ON L8S 1K9
Phone: (905) 525-2640

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4.

Nature and extent of relief applied for:

- Request that the required 1.2m left setback is reduced to 0.6m and its roof projection.

- Request that the required 1.2m right side setback is reduce to 0 and its roof projection.

- Request that the required 3 parking spaces be reduced to 0.

- Add any other required variances as per the site plan submitted with this application.

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

5.

Why it is not possible to comply with the provisions of the By-law?

The current by-law restrictions are too tight to allow for a proper sized addition

6.

Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

PT LT 15-16 PL 136 AS IN VM234405; CITY OF HAMILTON

7.

PREVIOUS USE OF PROPERTY

Residential ☒

Industrial ☐

Commercial ☐

Agricultural ☐

Vacant ☐

Other

8.1

If Industrial or Commercial, specify use

8.2

Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐

No ☒

Unknown ☐

8.3

Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐

No ☒

Unknown ☐

8.4

Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐

No ☒

Unknown ☐

8.5

Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐

No ☒

Unknown ☐

8.6

Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐

No ☒

Unknown ☐

8.7

Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐

No ☒

Unknown ☐

8.8

Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐

No ☒

Unknown ☐

8.9

If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐

No ☒

Unknown ☐

APPLICATION FOR A MINOR VARIANCE (January 1, 2022)

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8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Knowledge of past use of land

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. **ACKNOWLEDGEMENT CLAUSE**
I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.
8/28/2022 8/28/2022
Date

DocuSigned by:
Bridget Stark
7CE1434D6460421

DocuSigned by:
Bryan Huff
D0E57D7E85AC41C...

Signature Property Owner(s)
Bridget Stark Bryan Huff

Print Name of Owner(s)

10. Dimensions of lands affected:
Frontage 7.62m
Depth 34.5m
Area 263 m2
Width of street 7m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
Existing:

as per site plan

Proposed

as per site plan

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)
Existing:

as per site plan

Proposed:

as per site plan

- | | |
|------|--|
| 13. | Date of acquisition of subject lands:
2014 |
| 14. | Date of construction of all buildings and structures on subject lands:
1920's |
| 15. | Existing uses of the subject property (single family, duplex, retail, factory etc.):
single family |
| 16. | Existing uses of abutting properties (single family, duplex, retail, factory etc.):
single family |
| 17. | Length of time the existing uses of the subject property have continued:
since built |
| 18. | Municipal services available: (check the appropriate space or spaces)
Water <u>yes</u> Connected <u>yes</u>
Sanitary Sewer <u>yes</u> Connected <u>yes</u>
Storm Sewers <u>yes</u> |
| 19. | Present Official Plan/Secondary Plan provisions applying to the land:
<div style="border: 1px solid black; padding: 2px;">Urban Hamilton Official Plan</div> |
| 20. | Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
<div style="border: 1px solid black; padding: 2px;">Bylaw #6593 Zone D</div> |
| 21. | Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
<div style="text-align: center;"> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </div> If yes, please provide the file number:
<div style="border: 1px solid black; height: 20px; width: 100%;"></div> |
| 21.1 | If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
<div style="text-align: center;"> <input type="checkbox"/> Yes <input type="checkbox"/> No </div> |
| 21.2 | If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing. |
| 22. | Is the subject property the subject of a current application for consent under Section 53 of the <i>Planning Act</i> ?
<div style="text-align: center;"> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </div> |
| 23. | Additional Information (please include separate sheet if needed)
<div style="border: 1px solid black; padding: 5px; height: 40px;">n/a</div> |
| 24. | The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor. |