



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>SC/A-22:220</b>	<b>SUBJECT PROPERTY:</b>	22 BEN TIRAN CRES, STONEY CREEK
<b>ZONE:</b>	"R2-9" (Single Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Stoney Creek 3692-92, as Amended

**APPLICANTS:** Owner: P. Trombetta  
Agent: 7946899 Canada Inc. c/o Landart

The following variances are requested:

1. A minimum rear yard of 1.0m shall be permitted to the covered patio structure and to the inground pool instead of the minimum 7.5m required from the toe of slope of the escarpment or the top of the back of the escarpment.

**PURPOSE & EFFECT:** To facilitate the construction of an inground pool and a new rear yard covered patio to the existing single detached dwelling.

**Notes:**

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, October 20, 2022</b>
<b>TIME:</b>	<b>2:00 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

## SC/A-22:220

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: October 4, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



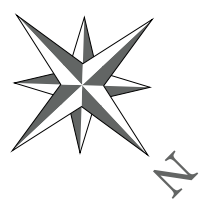
# LANDART

TROMBETTA RESIDENCE

22 BEN TIRRAAN CRESCENT  
FULL PROPERTY PROJECT

## SITE PLAN

DESIGNED BY: GK  
REVIEWED BY: RW



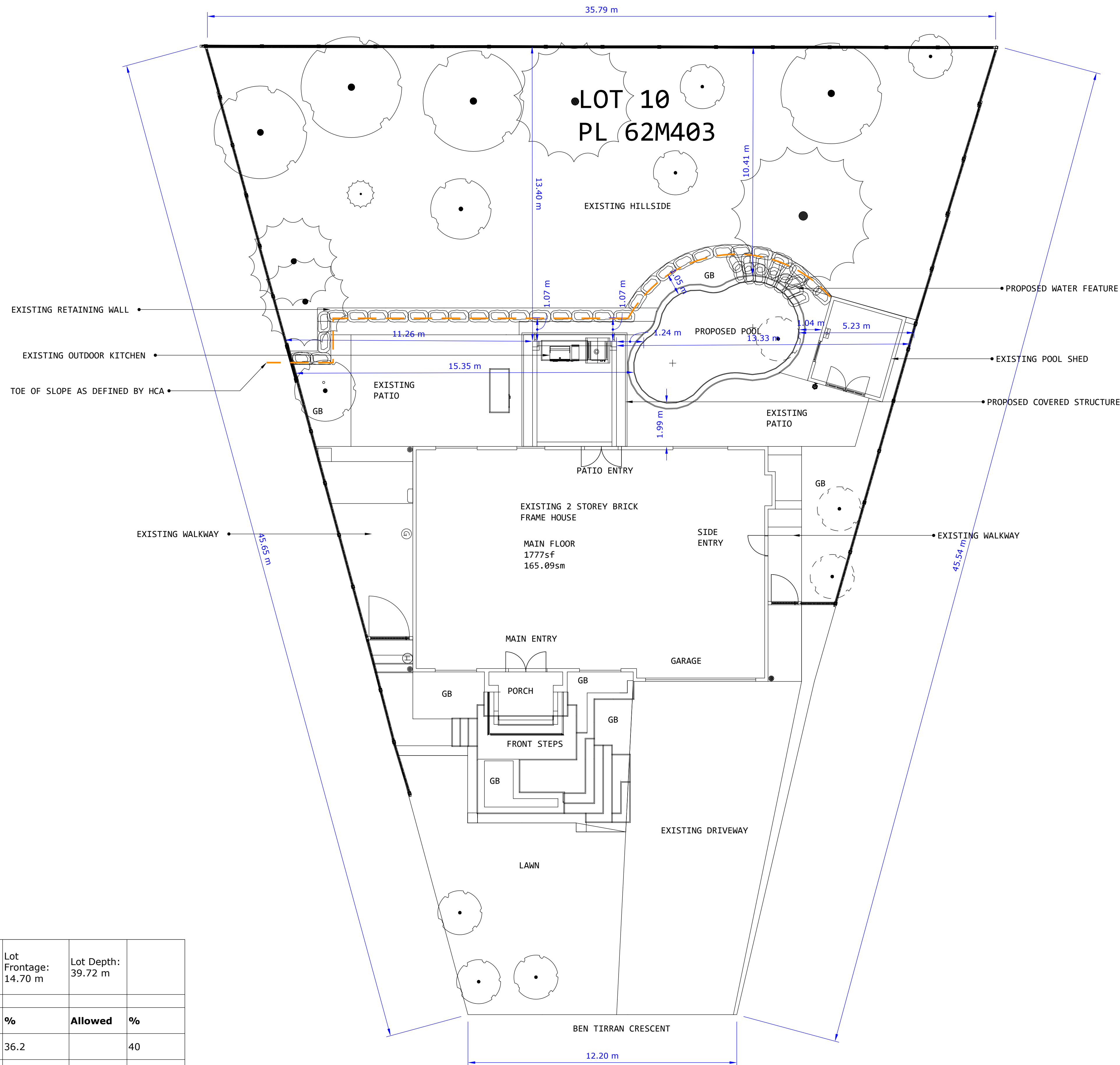
PAGE SIZE: 24 x 36  
SCALE: 1mm = 100mm (1:100)

September 2, 2022

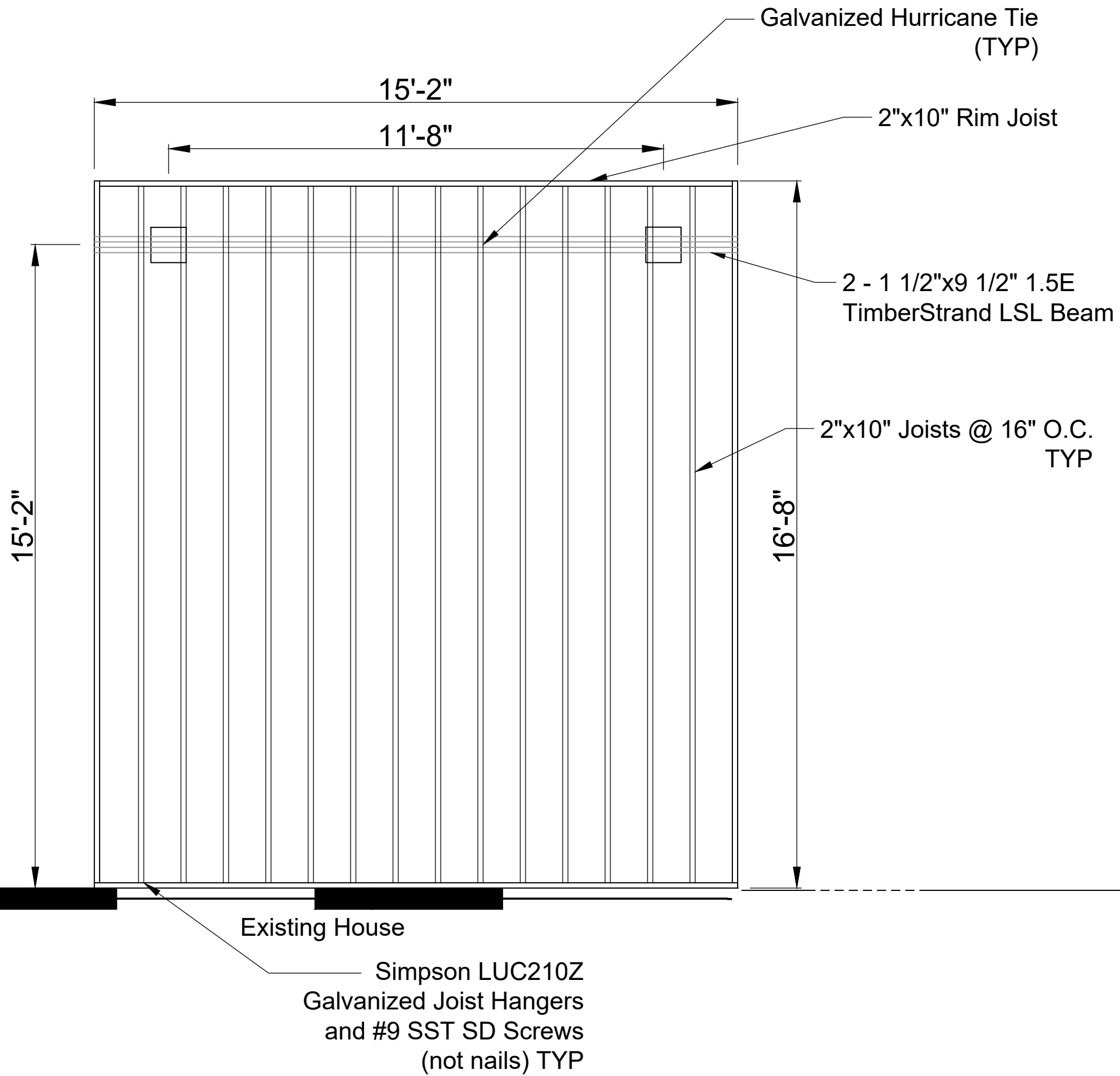
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### LEGEND

- EXISTING ELVATIONS
- PROPOSED ELVATIONS
- AC
- DOWNSPOUTS
- GAS
- HYDRO
- WINDOW WELL
- BASEMENT WINDOW
- EXISTING TREES



Zoning: R2	Lot NO: 10	Plan NO: 62M403	Lot Area: 986 sq m	Lot Frontage: 14.70 m	Lot Depth: 39.72 m	
<b>Description</b>	<b>Existing</b>	<b>Addition</b>	<b>Total</b>	<b>%</b>	<b>Allowed</b>	<b>%</b>
<b>Lot Coverage</b>	356.68 sq m			36.2		40
<b>Ground Floor Area</b>	342.69 sq m	0	342.69 sq m	35.5		40
<b>No. of Stories</b>	2	0	2		11 m	
<b>Width - House</b>	16.13 m	0	16.13 m			
<b>Depth - House</b>	10.24 m	0	10.24 m			



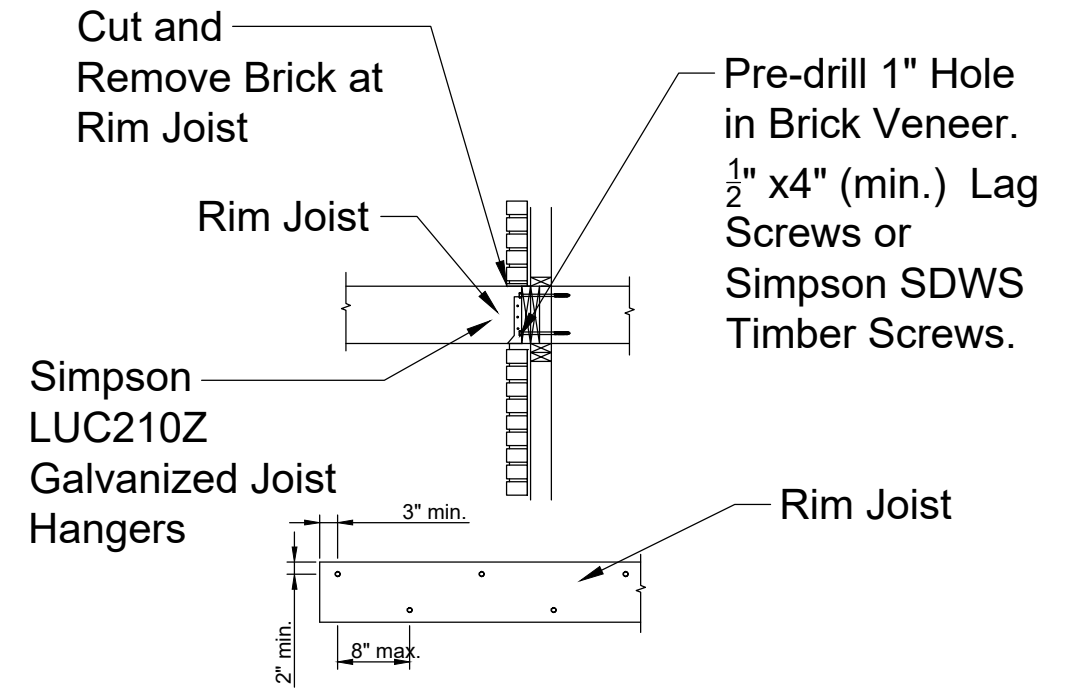
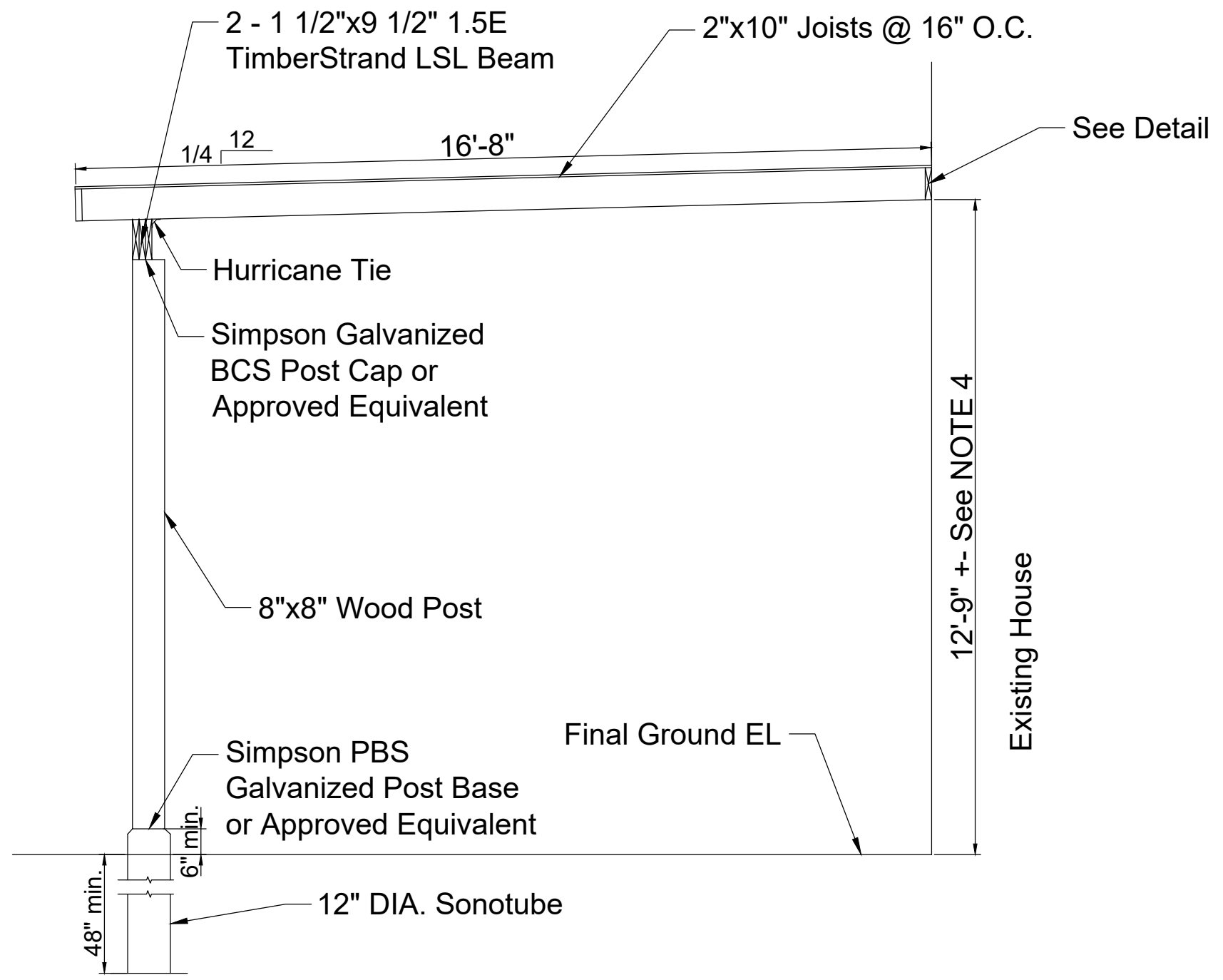
- GENERAL NOTES
1. ROOF TO BE SHEATHED WITH  $\frac{1}{2}$ " PLYWOOD
  2. LUMBER SHALL BE PRESSURE TREATED SPF NO. 2 GRADE OR BETTER



REV:	DESCRIPTION:	BY:	DATE:
STATUS:			
CLIENT: LANDART			
DESIGNER: TREVOR LINDE PEO #: 100199542			
SITE: TROMBETTA RESIDENCE 22 BEN TIRAN CRESCENT			
TITLE: ROOF FRAMING			
SCALE AT A3: 3/8" = 1'	DATE: 08/17/22	DRAWN: TL	CHECKED:
PROJECT NO:	DRAWING NO: 1	REVISION:	

**GENERAL NOTES**

1. ALL CONSTRUCTION TO OBC 2012
2. CONCRETE PIER FOOTING SHALL BE POURED ON UNDISTURBED SOIL.
3. ASSUMED SOIL BEARING CAPACITY OF 150 kPa. CONTRACTOR TO VERIFY PRIOR TO INSTALLING FOOTINGS AND NOTIFY ENGINEER IF LOWER.
4. CONTRACTOR TO VERIFY LOCATION OF HOUSE RIM JOISTS AND ADJUST LEDGER BOARDS ACCORDINGLY.
5. SPECIFIED LOADS
  - LIVE: 1.0 KPA
  - SNOW: 1.00 KPA
  - WIND: 0.52 KPA



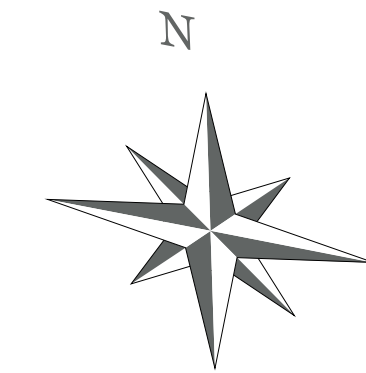
REV:	DESCRIPTION:	BY:	DATE:
STATUS:			
CLIENT: LANDART			
DESIGNER: TREVOR LINDE PEO #: 100199542			
SITE: TROMBETTA RESIDENCE 22 BEN TIRAN CRESCENT			
TITLE: SIDE ELEVATION			
SCALE AT A3: 3/8" = 1'	DATE: 08/17/22	DRAWN: TL	CHECKED:
PROJECT NO:	DRAWING NO: 2	REVISION:	

**TROMBETTA RESIDENCE**

22 BEN TIRIRAN CRESCENT  
FULL PROPERTY PROJECT

**GRADING PLAN**

DESIGNED BY: DM  
REVIEWED BY: RW



PAGE SIZE: 24 x 36  
SCALE: 1/8" - 1'-0"

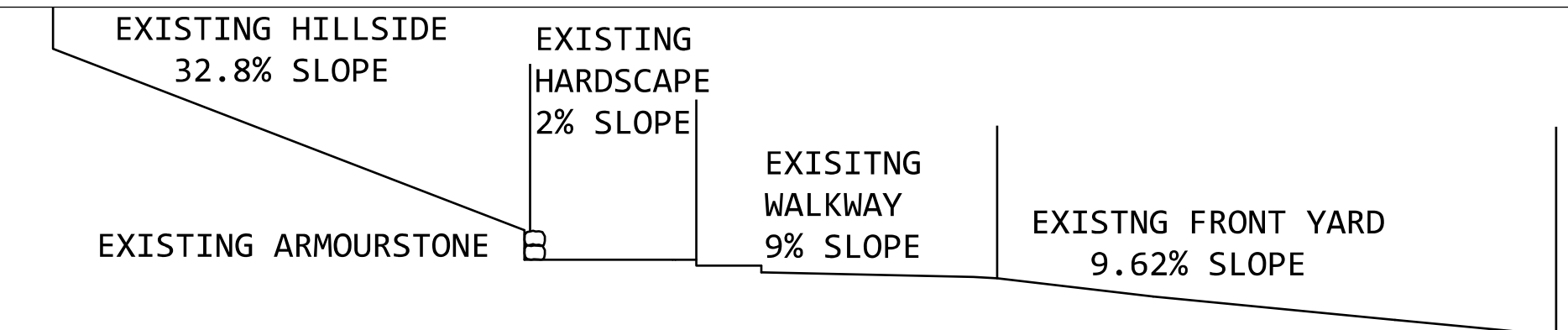
**FEBRUARY 7, 2022**

REVISIONS

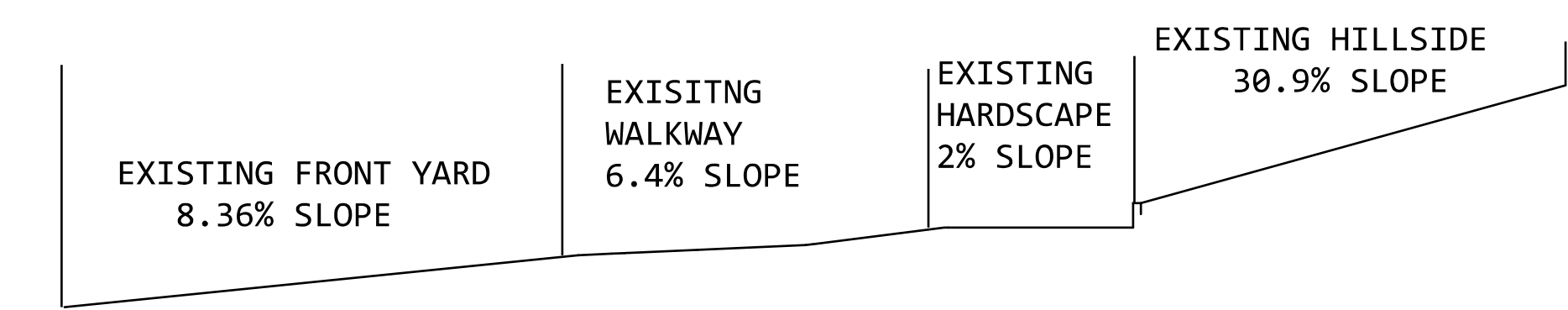
1. 12.21.2021
- 2.
- 3.

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	EXISTING ELEVATIONS
	PROPOSED ELEVATIONS
	AIR CONDITIONER
	DOWNSPOUT
	GAS
	HOSE BIB
	HYDRO
	STEP (ELEVATION CHANGE)
	WINDOW WELL
	BASEMENT WINDOW
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED



**EAST SIDE CROSS SECTION** \*ALL EXISTING PERIMETER ELEVATIONS TO REMAIN THE SAME\*  
SCALE 1/8" = 1'-0"



**WEST SIDE CROSS SECTION** \*ALL EXISTING PERIMETER ELEVATIONS TO REMAIN THE SAME\*  
SCALE 1/8" = 1'-0"

**\*Caution:** Notwithstanding current surface conditions, the property has been determined to be an area of archaeological potential. Although an archaeological assessment is not required by the City of Hamilton, the proponent is cautioned that during development activities, should deeply buried archaeological materials be found on the property, the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) should be notified immediately (416-212-8886). In the event that human remains are encountered during construction, the proponent should immediately contact both MHSTCI and the Registrar or Deputy Registrar of the Cemeteries Regulation Unit of the Ministry of Government and Consumer Services (416-212-7499).

**LOT GRADING NOTES**  
General Grading Notes

1. Along adjoining properties grade to meet existing or proposed elevations with sodded slopes (min. 3H to 1V) and/or retaining walls as specified.
2. All retaining walls, walkways, curbs, etc., shall be placed a min. of 0.45m off the property line. All walls 1.0m or higher shall be designed by a P.Eng.
3. Should a retaining wall be required, the top of wall elevations shall be set 150mm above the proposed side yard swales.
4. Retaining walls 0.6m in height or greater require construction of a fence or guard rail at the top of the rear of the wall. Guards for retaining walls shall be designed and constructed in accordance with the requirements of exterior guards as contained in the Ontario Building Code.
5. Slopes of swales for both "back to front" and "split" drainage shall be no less than 2.0% grade and no greater than 33% grade (3:1 slopes).
6. When matching to existing properties where a 2.0% grade cannot be achieved, a 1.5% grade is permitted provided a 150mm sub-drain is installed below the bottom of the swale and drained to a suitable outlet, (with a minimum 0.3m cover over the sub-drain), or other mitigation measures.
7. Minimum grade for a wrap-around swale in the backyard shall be 1.0%.
8. Unless otherwise noted, the ground between proposed elevations on side lots shall be graded as a straight line.
9. Top of foundation walls for buildings shall be 150mm (min) above finished grade.
10. Driveway slopes shall not be less than 2% and not more than 7.0%. Reversed sloped driveways in new developments are not permitted.
11. Garage floor elev. to be set minimum 0.3m higher than back of walk, unless otherwise specified.
12. All fill placed on lots shall be compacted to a minimum 95% SPD (unless otherwise recommended by the geotechnical engineer). All material shall be placed in layers not exceeding 300mm lifts.
13. For delineation of tree protection zones, buffers, removals and protection schematics, etc., refer to Tree Protection Plan.
14. Lot grading for all lots in the subdivision shall conform strictly with this plan. Any changes, unless approved prior to construction by the City, shall result in non-acceptance of the subdivision by the City.
15. If grading is required on lands adjacent to the development which are not owned by the developer, then the developer must obtain written permission from the adjacent property owner to allow the developer to grade on the adjacent lands, otherwise retaining walls must be used.
16. The written permission required from the adjacent landowner shall be obtained prior to entering the lands. Should permission not be obtained or is withdrawn prior to commencing the work, then the developer shall limit his activities to the limits of the development site.
17. Driveway and driveway approaches shall be located such that hydro vaults and other street furniture are a min. of 1.2m from the projections of the outside garage walls.

**BACKYARD GRADING NOTES**

- a. Definition: "Required back yard" shall mean the lesser of the distance regulated by the zoning by-law or 6m.
- b. The maximum slope in the back yard adjacent to the building for a distance equal to the required back yard shall be 5%, except as set out in items below.
- c. The 5% restriction shall not apply to the sides of a swale along the sides or back of the lot, providing the total width of the swale shall not exceed one (1) metre on each lot.
- d. Where the 5% restriction on the backyard grades results in elevation differences between different properties, retaining walls shall be constructed along the sides and the back of the lot. Slopes with a maximum of three horizontal to one vertical may replace the walls where the difference in elevation is less than 0.3m.
- e. Generally, slopes shall be placed on the lower lot, whereas retaining walls shall be placed on the higher lands.
- f. The 5% restriction does not preclude retaining walls in the required backyards providing the terraces are maintained to the 5% grade as set out in Item b) above. The intention of this provision is to provide for flexibility of house construction.
- g. There is no control on the steepness of the slopes in side yards, front yards and back yards, outside the area defined in a) above, providing the slopes are stable for the soils of the area (minimum 3H:1V).

**SILTATION AND EROSION CONTROL**

- a) Siltation control barriers shall be placed as detailed.
- b) All siltation control measures shall be cleaned and maintained after each rainfall as directed and to the satisfaction of the City of Hamilton.
- c) Additional silt control locations may be required as determined by the City of Hamilton.

**SWALES**

Slopes of swales for both "back to front" and "split" drainage shall be no less than 2.0% grade and no greater than 33% grade (3:1 slope).

Side and rear yard swales to be located entirely within the infill/sewered property, unless permission from the adjacent homeowner is granted to improve and modify existing drainage on both lots, i.e., proposed swales must be contained within the land parcel being developed.

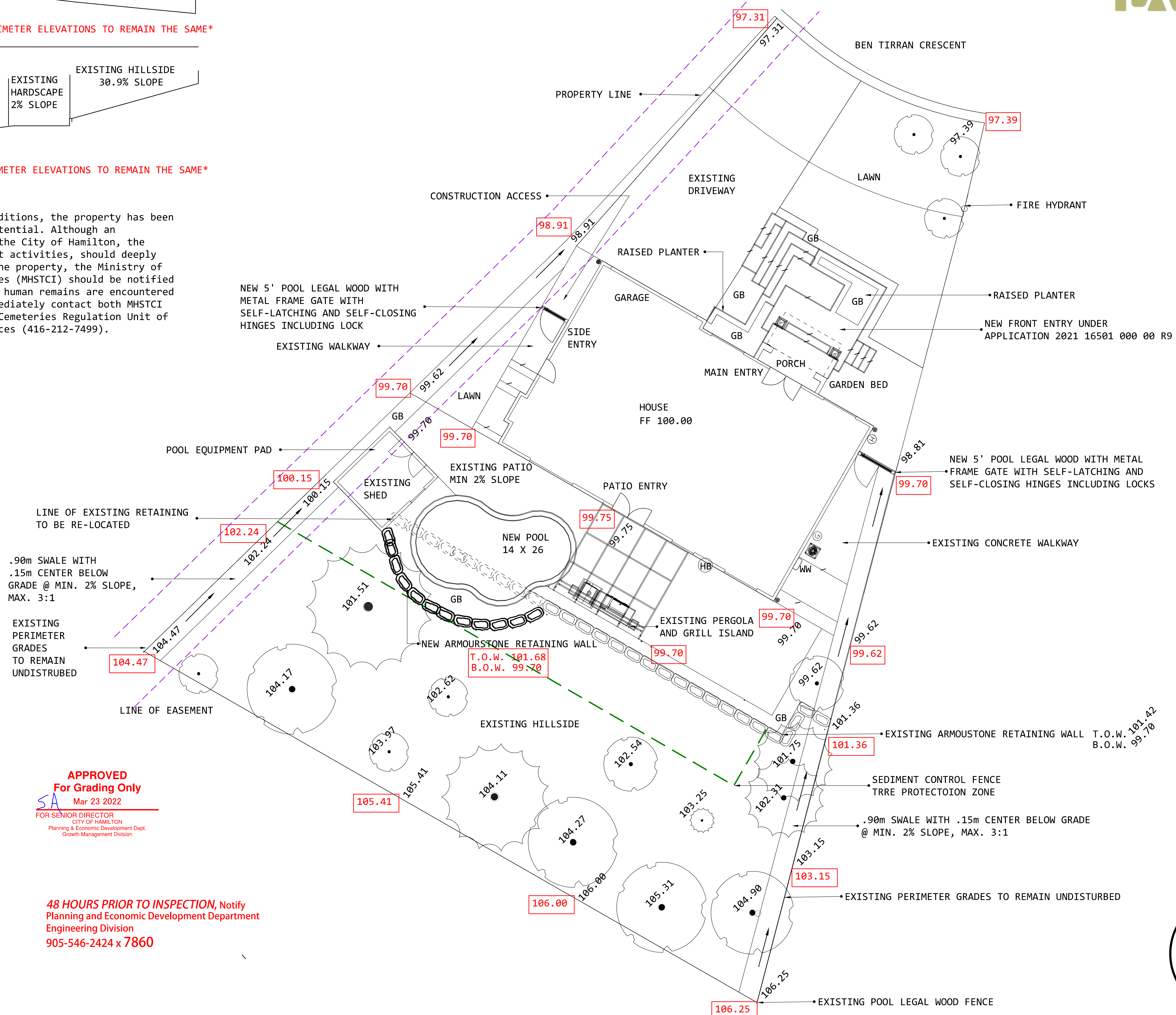
When matching to existing properties where 2% slope cannot be achieved, then a 1.5% slope is permitted provided a 150 mm sub-drain is installed below the bottom of the swale and drained to a suitable outlet, with a minimum of 0.30 metre cover over the sub-drain or other mitigation measures.

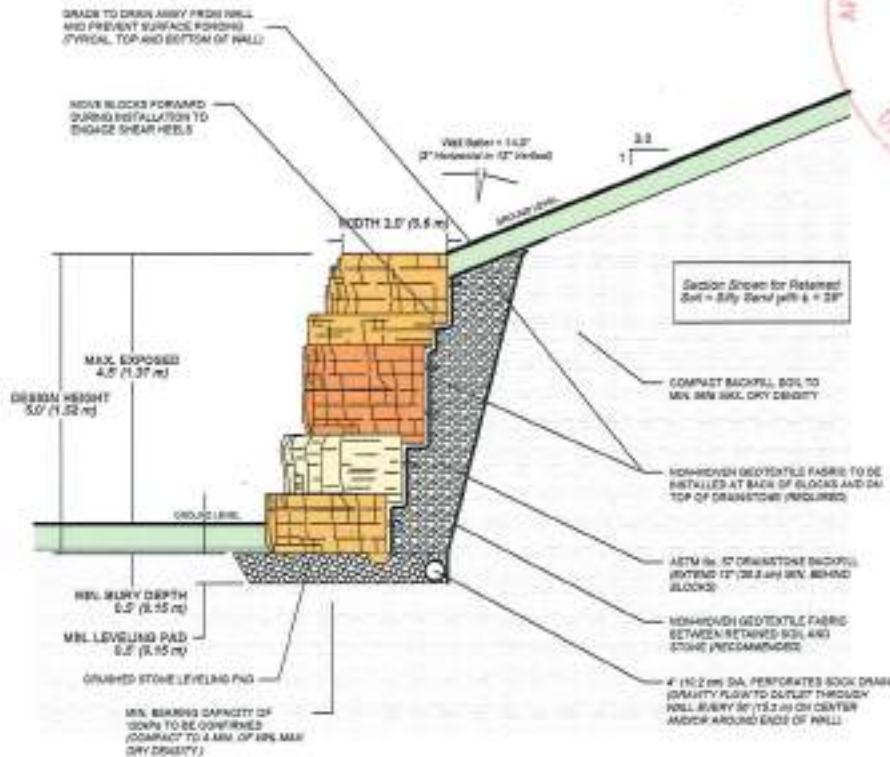
Minimum slopes for a "wrap around" swale in the back yard shall be 1.0%.

The 5% restriction shall not apply to the sides of a swale along the sides or back of a lot, providing the total width of a swale does not exceed one (1) metre on each lot.

**APPROVED**  
**For Grading Only**  
Mar 23 2022  
FOR SENIOR DIRECTOR  
CITY OF HAMILTON  
Planning & Economic Development Dept.  
Growth Management Division

**48 HOURS PRIOR TO INSPECTION, Notify**  
**Planning and Economic Development Department**  
**Engineering Division**  
**905-546-2424 x 7860**





TYPICAL SECTION



GENERAL NOTES

1. RETAINING WALL LAYOUT AS PER "TROMBETTA RESIDENCE LANDSCAPE PLAN" DRAWING
2. SILTY SAND BACKFILL SOIL TYPE TO BE CONFIRMED
3. ALLOWABLE SOIL BEARING CAPACITY OF 120 kPa TO BE CONFIRMED

SC/F/C/A/21/90  
**RECEIVED**  
 OCT 28 2021  
**REPLIED**



NO.	DESCRIPTION	BY	DATE
1	LANDART		
2	TREVOR LINDE REG. # 181785		
3	TROMBETTA RESIDENCE 22 BEN TERRAN CRESCENT		
4	RETAINING WALL		
DATE OF ISSUE	10/28/21	ISSUED BY	TL
PROJECT NO.	181785	SCALE	AS SHOWN



**TROMBETTA RESIDENCE**

22 Ben Tirran Crescent  
FULL PROPERTY PROJECT

**LANDSCAPE PLAN**

DESIGNED BY: DM  
REVIEWED BY: RW



PAGE SIZE: 24 x 36  
SCALE: 3/8" = 1'-0"



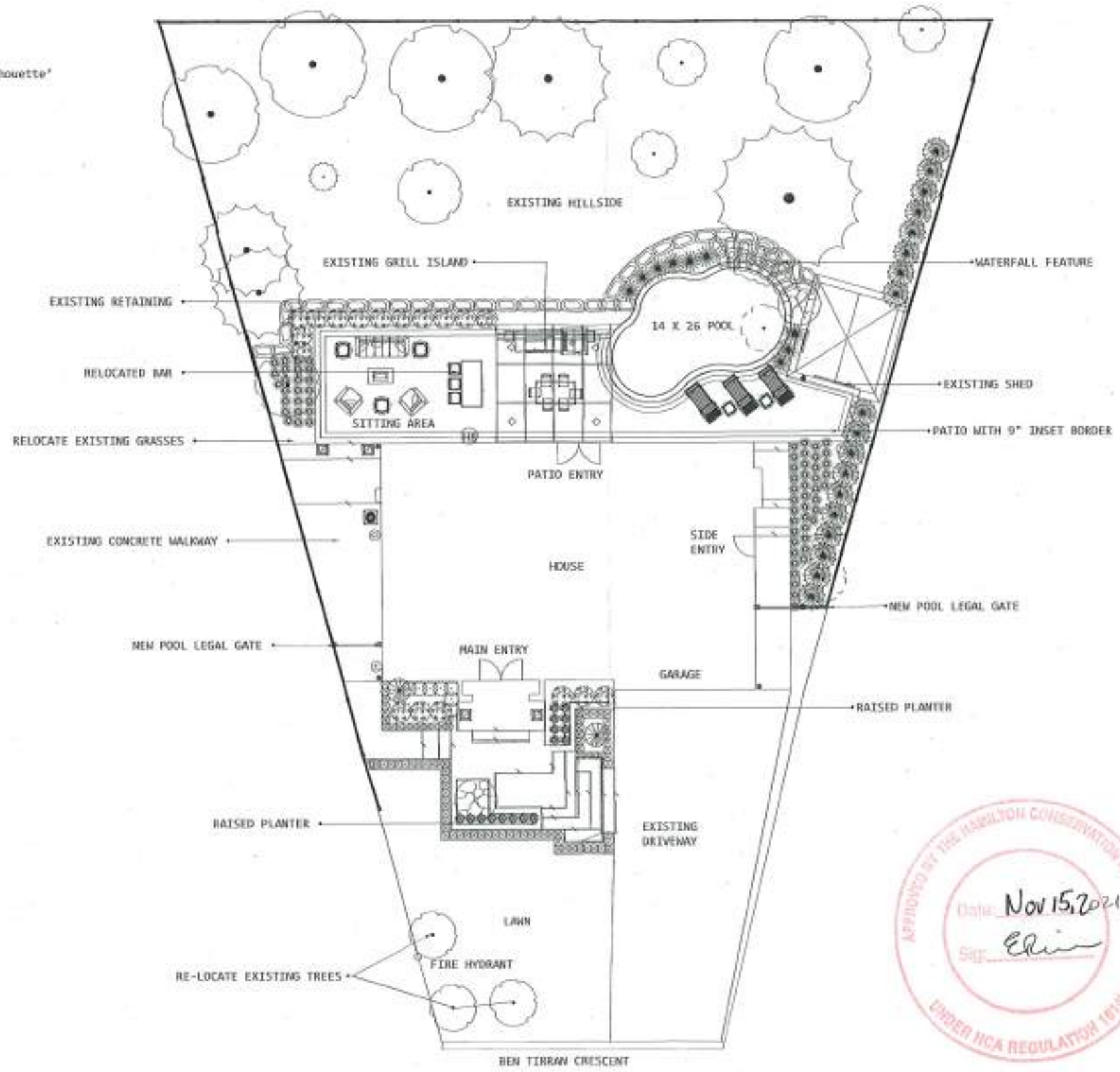
**September 16, 2021**

REVISIONS

1. 08.06.2021
2. 08.19.2021
3. 08.31.2021

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- Acer palmatum dissectum 'Tamakeyama'
- Liquidambar styraciflua 'Slender Silhouette'
- Taxus x media 'Hillii'
- Thuja occidentalis 'Nigra'
- Buxus 'Green Mountain'
- Hakonechloa macra 'Aureola'
- Miscanthus sinensis 'Huron Sunrise'
- Hydrangea paniculata 'Sobo'
- Hemerocallis 'Stella d'Oro'
- Matteuccia struthiopteris



- EXISTING ELEVATIONS
- PROPOSED ELEVATIONS
- AIR CONDITIONER
- DOWNSPOUT
- GAS
- HOSE BIB
- HYDRO
- LIGHT STANDARD
- WINDOW WELL
- BASEMENT WINDOW
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

SCF, C, A/21/90  
**RECEIVED**  
SEP 17 2021  
**REPLIED**



A Healthy Watershed for Everyone

838 Mineral Springs Road, PO Box 81067  
Ancaster, Ontario L9G 4X1  
Telephone: 905-648-4427 Fax: 905-648-4622

## **PERMIT**

**N<sup>o</sup> 2021-91**

*ISSUED UNDER THE CONSERVATION AUTHORITIES ACT, PURSUANT TO ONTARIO REGULATION 161/06 – HAMILTON CONSERVATION AUTHORITY DEVELOPMENT, INTERFERENCE WITH WETLANDS, AND ALTERATIONS TO SHORELINES AND WATERCOURSES REGULATION.*

Permission has been granted to: **Peter Trombetta**

Phone: **905-979-0563**

Mailing Address: **22 Ben Tirran Cres, Stoney Creek, ON L8G 4V9**

Location: **in a regulated area of Watercourse 4, in the City of Hamilton**

For the: **installation of a pool and retaining wall in a regulated area of Watercourse 4 at 22 Ben Tirran Crescent, Part Lot 17, Concession 3, in the City of Hamilton (former City of Stoney Creek)**

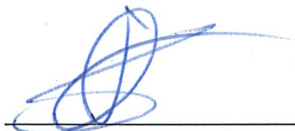
on the above property during the period of **November 15, 2021 to November 15, 2023** subject to the following conditions.

1. The Owner shall retain a copy of the HCA permit and approved plans on-site at all times during construction;
2. The Owner shall adhere to the HCA permit and approved plans, documents and conditions, including HCA redline revisions, herein referred to as the "works", to the satisfaction of HCA. The Owner further acknowledges that all proposed revisions to the design of this project must be submitted for review and approval by HCA prior to implementation of the redesigned works;
3. The Owner shall notify the HCA Conservation Planner 48 hours prior to the commencement of any of the works referred to in this permit and within 48 hours upon completion of the works referred to herein;
4. The Owner shall arrange a final site inspection of the works with the HCA Conservation Planner prior to the expiration date on the permit to ensure compliance with terms and conditions of the permit to the satisfaction of the HCA;

5. THAT all erosion and sediment control measures be installed prior to development, and maintained throughout the construction process, until all disturbed areas have been restored;
6. THAT all erosion and sediment control measures be inspected after each rainfall to the satisfaction of Authority staff;
7. THAT any disturbed area not scheduled for further construction within 45 days be provided with a suitable temporary mulch and seed cover within 7 days of the completion of that particular phase of construction;
8. THAT all disturbed areas be re-vegetated with permanent cover immediately following completion of construction; and
9. THAT the works are undertaken in accordance with Landscape Plan prepared by LandArt, dated September 16, 2021, and Retaining Wall plan stamped by T.M. Linde, dated October 27, 2021.

**NOTE:**

- 1) This permit may be withdrawn by the HCA if the works do not comply with the above noted conditions. Non-compliance with permit conditions also constitutes a violation of the regulation and may result in charges being laid.
- 2) The issuance of this permit does not abrogate the necessity of obtaining all other required permits for development and construction, i.e. permits required by the Niagara Escarpment Commission, Municipality, Ministry of Natural Resources and Forestry, Harbour Commissioners and any or all other agencies.



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Enforcement Officer  
T. Scott Peck, B.A., DPA, MCIP, RPP, CMMIII  
Deputy Chief Administrative Officer/  
Director, Watershed Planning & Engineering



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

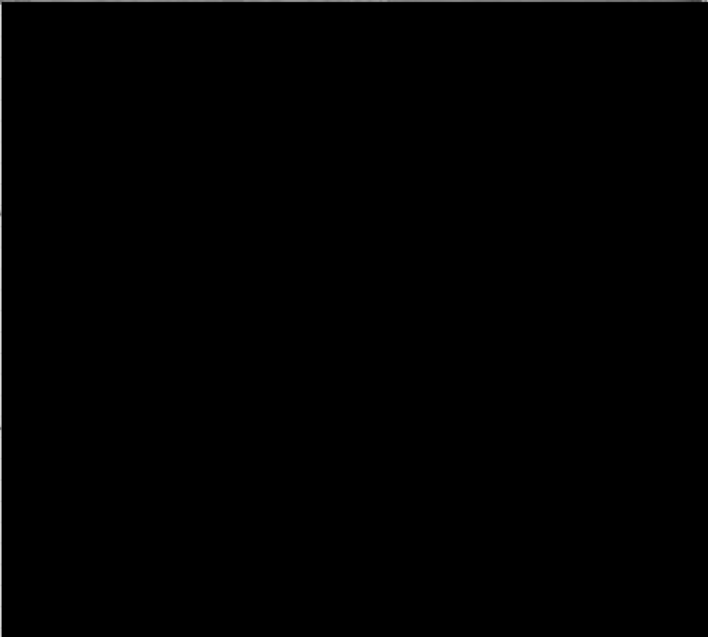
PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

#### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	Pietro Antonio Trombetta	
Applicant(s)*	Richard Wynia	
Agent or Solicitor	Devon Kleinjan	

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Canadian Imperial Bank of Commerce 399 Greenhill Ave. Hamilton, Ontario L8K 6N5
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Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

To reduce setback from toe of slope from 7.5m to 1.0m. to allow construction of in-ground pool and covered structure in the backyard.

Second Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The Dwelling is within 7.5m of the toe of the slope. This restriction does not allow for a pool and covered structure in the rear yard.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

PCL 10-1, SEC 62M403, LT10, PL 62M403 . 22 Bon Tirran Cres. Stoney Creek

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial

Agricultural       Vacant

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes       No       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes       No       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes       No       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes       No       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands? *DK KW*

Yes       No       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes       No       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes       No       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes       No       Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Property Records and owner history.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.


Is the previous use inventory attached? Yes  No

## 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

August 18th, 2022

Date

  
Signature Property Owner(s)

Pietro Trombetta  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	14.63m
Depth	40m
Area	986 sq. m.
Width of street	14m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

Dwelling Unit: 2 stories Ground Floor Area: 168 sm W:16.15m L: 10.67m H: 9.1m  
Shed: 14 sm 4mx 3.5m  
Front Porch 5.9m x 7.3m x 1.6m  
Front Porch Roof: 2.9m x 1m H 2.9m

Proposed

In-ground pool 4.27m x 7.92m  
Structure 4.77m L x 3.81m W x 3.25m H

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Dwelling: Front 9.44m - Side 1.6m - Side 2.1m - Rear 18m  
Shed: Front 23.4m - Side 23m - Side .6m - Rear 11.25m  
Front Porch Roof: Front 12.75m - Side 4.87m - Side 11.27m - Rear 29.26m  
Front Porch: Front 3.2m - Side 2.87m - Side 6.8m

Proposed:

Pool: Front 22.5m Side 15.42m Side 5.21m Rear 10.59m  
Structure: Front 20.27m Side 13.41m Side 11.20m Rear 14.23m

13. Date of acquisition of subject lands:  
n/a
- 
14. Date of construction of all buildings and structures on subject lands:  
1986
- 
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Single Family
- 
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
Single Family
- 
17. Length of time the existing uses of the subject property have continued:  
36 years
- 
18. Municipal services available: (check the appropriate space or spaces)  
Water yes Connected yes  
Sanitary Sewer yes Connected yes  
Storm Sewers \_\_\_\_\_
19. Present Official Plan/Secondary Plan provisions applying to the land:  
Low Density Residential
- 
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
R2-9
- 
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)  
 Yes  No  
If yes, please provide the file number:  
SC/A-22:22
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
 Yes  No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information (please include separate sheet if needed)  
n/a
- 
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.