



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	HM/A-22:294	<b>SUBJECT PROPERTY:</b>	735 Beach Blvd, Hamilton
<b>ZONE:</b>	“C” (Urban Protected Residential and Etc.)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Hamilton 6593, as Amended 99-169

**APPLICANTS:**     AMANDA/KEVIN WHITE  
                          JULIANNA HRIBLJAN

The following variances are requested:

1. A rear yard setback of 3.14 metres to the principle dwelling shall be provided instead of the required rear yard setback of 7.5 metres.
2. A rear yard setback of 0.09 metres to the deck shall be provided instead of the required 4.5 metres.
3. A side yard setback of 1.43 metres shall be provided instead of the required side yard setback of 1.7 metres.

**PURPOSE & EFFECT:**     To permit the construction of a ½ storey addition on the existing Single-Family Dwelling notwithstanding that:

**Notes:**

- i. Insufficient information has been provided on the submitted site plan to determine the setback of the proposed deck in the rear yard to the rear lot line. Calculations using the submitted elevations have determined a setback from the rear lot line to the edge of the deck to be 0.09 metres where a setback of 4.5 metres is permitted as per Zoning By-Law amendment 99-169 Section 2 a). As such, a variance has been provided to address this. Be advised, should the deck be setback more than 0.09 metres to the rear lot line, additional variances may be required.
- ii. Should the variance be approved to permit a reduced side and rear yard, the eaves/ gutter as proposed shall comply with Section 18(3)(vi)(b) of Hamilton Zoning By-Law 6593.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, October 20, 2022</b>
<b>TIME:</b>	<b>2:25 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 Subject Lands

DATED: October 4, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Please include your name and address, hearing date, and file number. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

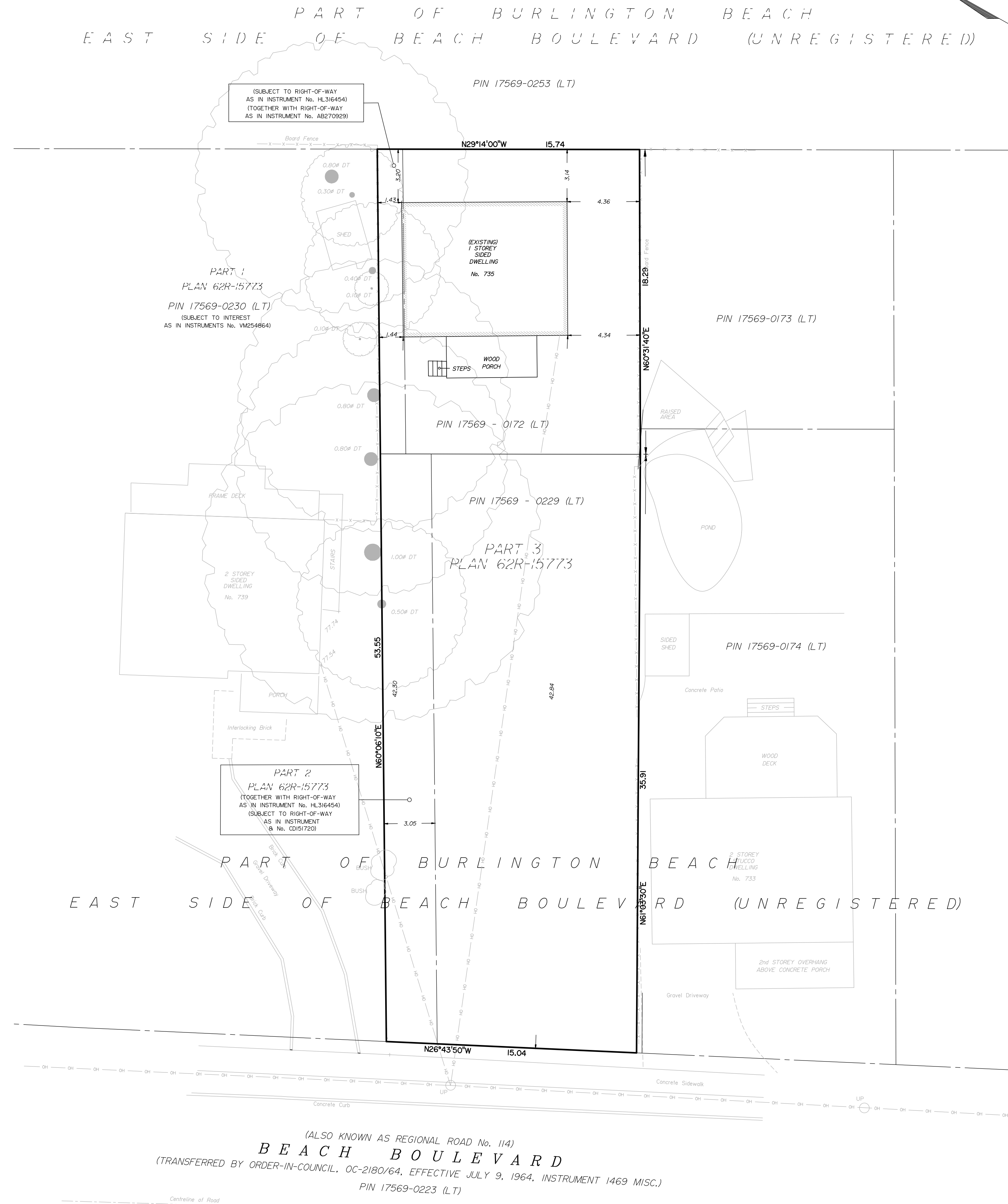
**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

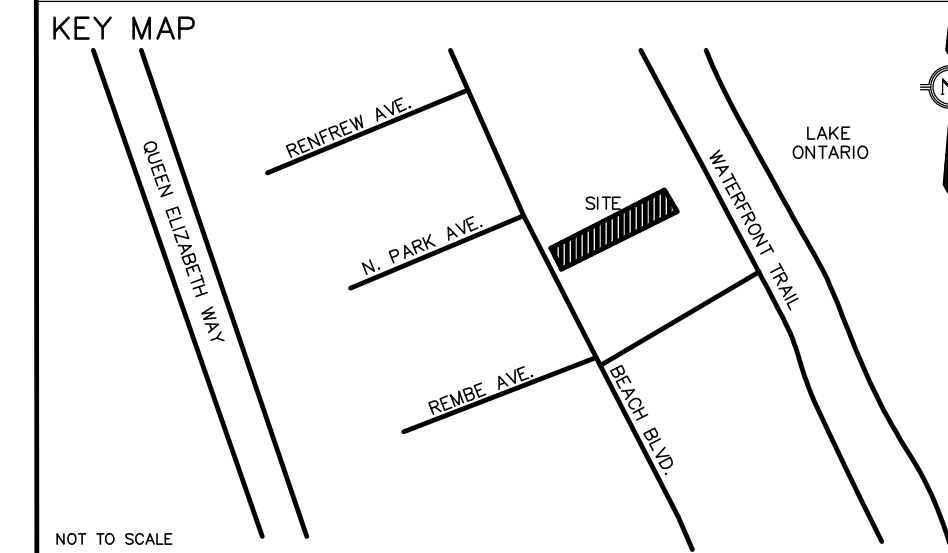
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

MUNICIPAL ADDRESS		
735 BEACH BLVD. HAMILTON		
LEGAL DESCRIPTION		
PART OF BURLINGTON BEACH, EAST SIDE OF BEACH BOULEVARD (UNREGISTERED) CITY OF HAMILTON		
ZONING		
C/S-1435		
SITE STATISTICS		
LOT AREA	N/A	831.41 m <sup>2</sup> (EX)
FRONT YARD SETBACK	6.0 m	42.30 m
REAR YARD SETBACK	4.5 m	3.14 m*
SIDE YARD SETBACK (NORTH)	1.7 m	1.43 m*
SIDE YARD SETBACK (SOUTH)	1.7 m	4.34 m
HEIGHT(PEAK OF ROOF)	11.0 m	6.27 m
LOT FRONTAGE	12.0 m	15.04 m (EX)
LOT COVERAGE	N/A	9.60%

\* REQUIRES A MINOR VARIANCE WITH THE CITY OF HAMILTON



(ALSO KNOWN AS REGIONAL ROAD No. 114)  
**BEACH BOULEVARD**  
(TRANSFERRED BY ORDER-IN-COUNCIL, 0C-2180/64, EFFECTIVE JULY 9, 1964, INSTRUMENT 1469 MISC.)  
PIN 17569-0223 (LT)



ADDRESS: 735 BEACH BLVD., HAMILTON

SITE PLAN FOR MINOR VARIANCE OF  
**PART OF BURLINGTON BEACH EAST SIDE OF BEACH BOULEVARD (UNREGISTERED)**  
GEOGRAPHIC TOWNSHIP OF SALT FLEET  
IN THE CITY OF HAMILTON

BARICH GRENKIE SURVEYING LTD.  
A DIVISION OF GEOMAPLE  
© COPYRIGHT 2022

METRIC  
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND	
DT	DENOTES DECIDUOUS TREE
DT	DENOTES SUBJECT LANDS BOUNDARY
---	DENOTES DEED LINE
---	DENOTES LOT LINE
-x-x-	DENOTES FENCE LINE
N-E-S-W	DENOTES NORTH-EAST-SOUTH-WEST
■	DENOTES DOWN SPOUT WITH SPLASH PAD

ELEVATION NOTE  
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 0011965U130 HAVING AN ELEVATION OF 76.487 m.

0 02/17/2022		JMH	ISSUED FOR REVIEW
NO.	DATE	BY	REVISIONS
DESIGN	JMH	CHK'D	GRCH DATE
DRAWN	JMH	CHK'D	GRCH FEBRUARY 17, 2022
Scale 1:250			
0 5 10 15 METRES			

**APPROVALS**

STAMP

**Barich Grenkie Surveying Ltd.**  
297 HWY No. 8 (UNIT 101) - STONEY CREEK, ON L9G 6E2 (905) 662-6757  
A DIVISION OF GEOMAPLE

DWN BY: JMH  
CHK BY: GRCH  
JOB No. 21-2819

CLIENT  
KEVIN AND AMANDA WHITE

PROJECT NAME  
PROPOSED GARAGE  
735 BEACH BOULEVARD, HAMILTON

TITLE  
SITE PLAN

PROJECT No. 21-2819 DRAWING No. 21-2819 SGP

E:\PROJECTS\2021\21-2819 - 735 Beach Blvd. - Hamilton\21-2819 - SGP - 180224.dwg

PLOT DATE: 2021/06/09 6:21 PM

Item	Ontario Building Code Data Matrix Parts 3 & 9				OBC Reference						
					References are to Division B unless noted (A) for Division A or (C) for Division C.						
1	Project description: <input type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9 PROPOSED RENOVATION <input checked="" type="checkbox"/> Addition 11.1 to 11.4 1.1.2.(A) 1.1.2.(A), 9.10.1.3 <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Alteration 1.1.2.7. (A) 1.1.2.7. (A)										
2	Major Occupancy(s) GROUP C				3.1.2.1.(1)	9.10.2					
3	Building Area (m <sup>2</sup> ) Existing: 74.94m <sup>2</sup> New: 45.44m <sup>2</sup> Total: 120.38m <sup>2</sup>				1.4.1.2.(A)	1.4.1.2.(A)					
4	Gross Area Floor Area: 120.83m <sup>2</sup>				1.4.1.2.(A)	1.4.1.2.(A)					
5	Number of Storeys Above Grade: 1.5 Below Grade: 1				3.2.1.1 &	9.10.4. &					
6	Number of Streets/Fire Fighter Access: 1 street				3.2.2.10 & 3.2.5.	9.10.20					
7	Building Classification C - Residential occupancies				3.2.2.20-83	9.10.2					
8	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required				3.2.2.20-83 3.2.1.5 3.2.1.17 INDEX	9.10.8.2. INDEX					
9	Standpipe Required <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No				3.2.9	N/A					
10	Fire Alarm Required <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes No				3.2.4	9.10.18.					
11	Water Service/Supply is Adequate <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				3.2.5.7	N/A					
12	High Building <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No				3.2.6.	N/A					
13	Permitted Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both				3.2.2.20-83	9.10.6.					
14	Mezzanine(s) Area m <sup>2</sup> N/A				3.2.1.1.(3)-(8)	9.10.4.1.					
15	Occupant load based on <input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building <input type="checkbox"/> As Noted Occupancy <u>C</u> Load <u>6</u> persons				3.1.17	9.9.1.3.					
16	Barrier-free Design <input type="checkbox"/> Yes <input type="checkbox"/> No(Explain) <input checked="" type="checkbox"/> N/A				3.8	9.5.2					
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.3.1.2. & 3.3.1.19	9.10.1.3(4)					
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FFR		Listed Design No. of Description (SG-2)	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9					
		Floors	N/A				N/A				
		Roof	N/A				N/A				
		Mezzanine		N/A			N/A				
		FFR of Supporting Members		Listed Design No. of Description (SG-2)							
		Floors	N/A	N/A							
		Roof	N/A	N/A							
Mezzanine	N/A	N/A									
19	Spatial Separation - Construction of Exterior Walls				3.2.3	9.10.14					
	Wall	Area of EBF (m <sup>2</sup> )	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FFR (Hours)	Listed Design or	Comb. Const.	Comb. Const. Nonc. Cladding	Non-comb. Const.
	FRONT	35.1	37.7	N/A	100%	10%	N/A	N/A	YES	-	-
	REAR	56.4	4.55	N/A	28%	26.1%	N/A	N/A	YES	-	-
	LEFT	42.32	1.5	N/A	7%	0%	N/A	N/A	YES	-	-
	RIGHT	42.32	4.2	N/A	32%	19.6%	N/A	N/A	YES	-	-

ZONING REQUIREMENTS			
	REQ'D/PERMITTED UNDER ZONING BY-LAW	EXISTING	PROPOSED
ZONING DESIGNATION	RESIDENTIAL	DISTRICT "C"	N/A
MIN. SIDE YARD SETBACK	0.45 M (1.48 FT)	1.5M (4.92 FT)	1.5M (4.92 FT)
MIN. REAR YARD SETBACK	0.45 M (1.48 FT)	4.55M (14.9 FT)	1.96M (6.43 FT)
MAX BUILDING HEIGHT	11 M(36.09 FT)	6.3M (20.58 FT)	6.3M (20.58 FT)
MAX. REAR YARD AND SIDE YARD COMBINED COVERAGE	MAX 30% COVERAGE = (830.94m <sup>2</sup> *0.3) = 249.28m <sup>2</sup>	91.94m <sup>2</sup> (989.63 SQ. FT)	113.31m <sup>2</sup> (1219.7 SQ. FT)

**GLAZING CALCULATIONS**

EXISTING BUILDING FACE:	145.26m <sup>2</sup>
EXISTING GLAZING:	16.6m <sup>2</sup>
% EX. GLAZING COVERAGE:	11.4%
PROPOSED BUILDING FACE:	176.14m <sup>2</sup>
PROPOSED GLAZING:	20.63m <sup>2</sup>
% PROPOSED GLAZING COVERAGE:	11.7%

No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

**REVISIONS**



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

## INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD  
HAMILTON ONTARIO

### GENERAL NOTES

DATE <b>JUNE 2021</b>	DRAWN BY <b>JD</b>	DRAWING No. <b>S0.02</b>
PROJECT No. <b>21127</b>	CHECKED BY <b>J.P.C.</b>	







**WINDOW SCHEDULE:**

- W1 - EX. 55"x50" WINDOW REMOVED REPLACED W/ 45"x30" WINDOW NEW 2-2"x8" HEADER TO SUIT OPENING
- W2 - EX. 43"x30" WINDOW TO BE INFILLED EX. HEADER TO BE REMOVED
- W3 - EX. 55"x30" WINDOW REMOVED REPLACED W/ 45"x30" WINDOW NEW 2-2"x8" HEADER TO SUIT OPENING
- W4 - EX. 43"x20" WINDOW TO REMAIN EX. HEADER ADEQUATE TO REMAIN
- W5 - EX. 35"x27" WINDOW REMOVED REPLACED W/ NEW 35"x27" WINDOW NEW 2-2"x8" HEADER
- W6 - NEW 43"x48" WINDOW NEW 2-2"x8" HEADER
- W7 - NEW 33"x22" WINDOW NEW 2-2"x8" HEADER
- W8 - EX. 53"x95" WINDOW REMOVED EX. HEADER TO BE REMOVED
- W9 - EX. 16"x16" WINDOW TO BE INFILLED EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED REPLACED W/ 48"x72" WINDOW NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

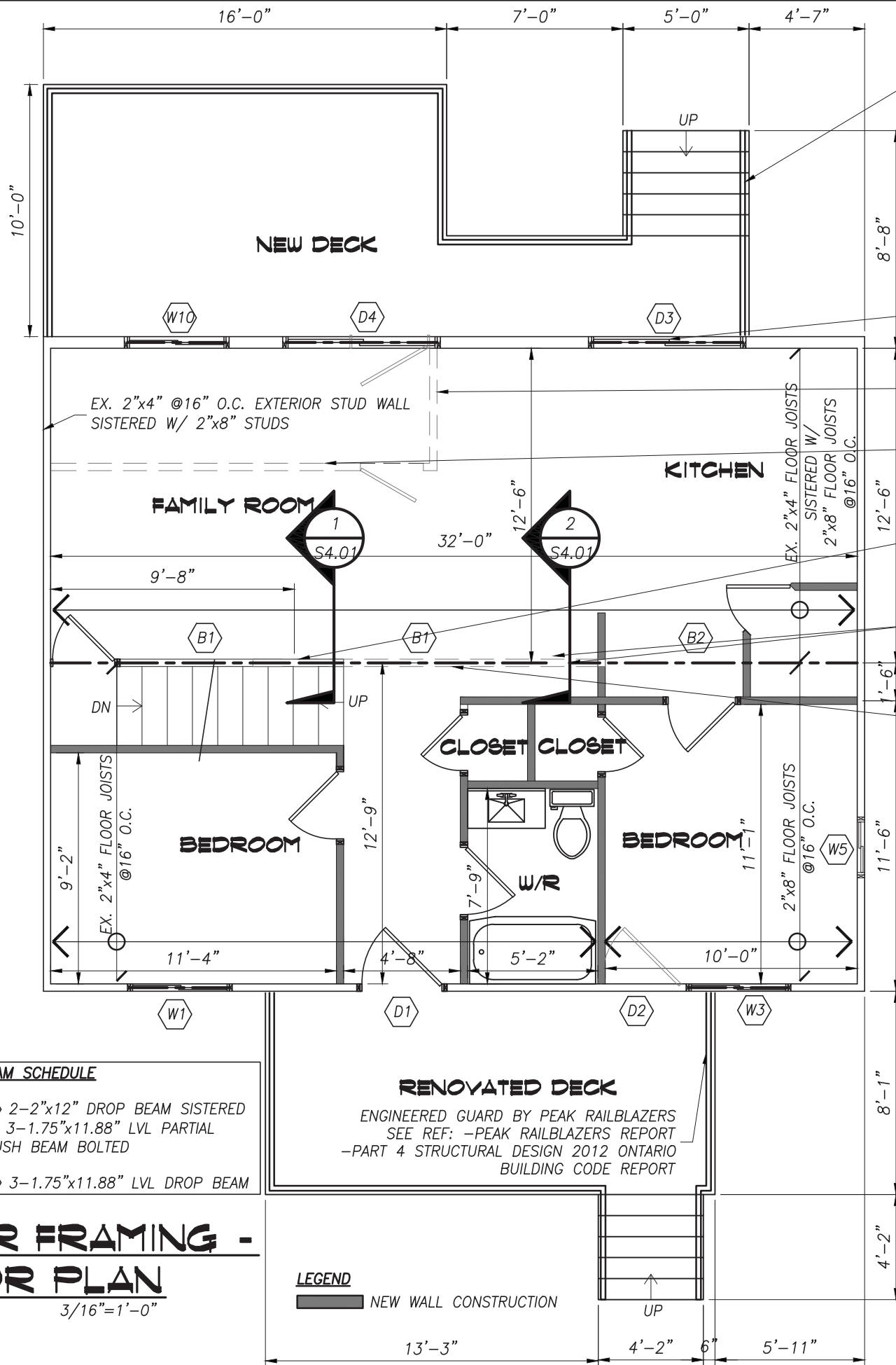
**DOOR SCHEDULE:**

- D1 - NEW 48"x84" DOOR NEW 2-2"x8" HEADER
- D2 - EX. 36"x84" DOOR TO BE INFILLED EX. LINTEL TO BE REMOVED
- D3 - NEW 70"x80" SLIDING DOOR NEW 2-2"x8" HEADER
- D4 - EX. 36"x84" DOOR REMOVED REPLACED W/ NEW 70"x80" SLIDING DOOR NEW 2-2"x8" HEADER TO SUIT NEW OPENING
- D5 - NEW 60"x60" SLIDING DOOR NEW 2-2"x8" HEADER

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

**BEAM SCHEDULE**

- B1 2-2"x12" DROP BEAM SISTERED W/ 3-1.75"x11.88" LVL PARTIAL FLUSH BEAM BOLTED
- B2 3-1.75"x11.88" LVL DROP BEAM



ENGINEERED GUARD BY PEAK RAILBLAZERS  
SEE REF: -PEAK RAILBLAZERS REPORT  
-PART 4 STRUCTURAL DESIGN 2012  
BUILDING CODE REPORT

EX. WINDOW TO BE REMOVED  
NEW 70"x80" SLIDING DOOR C/W  
2-2"x8" HEADER TO SUIT OPENING

EX. NON LOAD BEARING WALL  
TO BE REMOVED

EX. LOAD BEARING WALL  
TO BE REMOVED

3-2"x4" BUILT UP POST  
PROVIDE SOLID BLOCKING BELOW

5-2"x4" BUILT UP POST  
PROVIDE SOLID BLOCKING TO BEAM BELOW

EX. LOAD BEARING WALL  
TO BE REMOVED

**DESIGN LOADING:**

MAIN FLOOR:  
DEAD LOAD = 15 psf  
LIVE LOAD = 40 psf

SECOND FLOOR:  
DEAD LOAD = 15 psf  
LIVE LOAD = 40 psf

ROOF LOAD (HAMILTON BELOW  
ESCARPMENT EAST OF HWY 403)

Ss = 27.2 psf  
Sr = 8.4 psf



NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

(1) THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE MINIMUM REQUIRED HEIGHT OF EVERY REQUIRED GUARD SHALL BE,

(C) 0.75KN/M OR A CONCENTRATED LOAD OF 1.0KN APPLIED AT ANY POINT, WHICHEVER GOVERNS FOR LOCATIONS OTHER THAN THOSE DESCRIBED IN CLAUSES (A) AND (B).

No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

**REVISIONS**



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

**INTERIOR/EXTERIOR HOME RENOVATION**

735 BEACH BOULEVARD

HAMILTON ONTARIO

**SECOND FLOOR FRAMING - MAIN FLOOR PLAN**

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S1.02
PROJECT No. 21127	CHECKED BY J.P.C.	

**SECOND FLOOR FRAMING - MAIN FLOOR PLAN**

SCALE: 3/16"=1'-0"

**LEGEND**  
NEW WALL CONSTRUCTION

PLOT DATE: 2021/06/09 6:22 PM



**WINDOW SCHEDULE:**

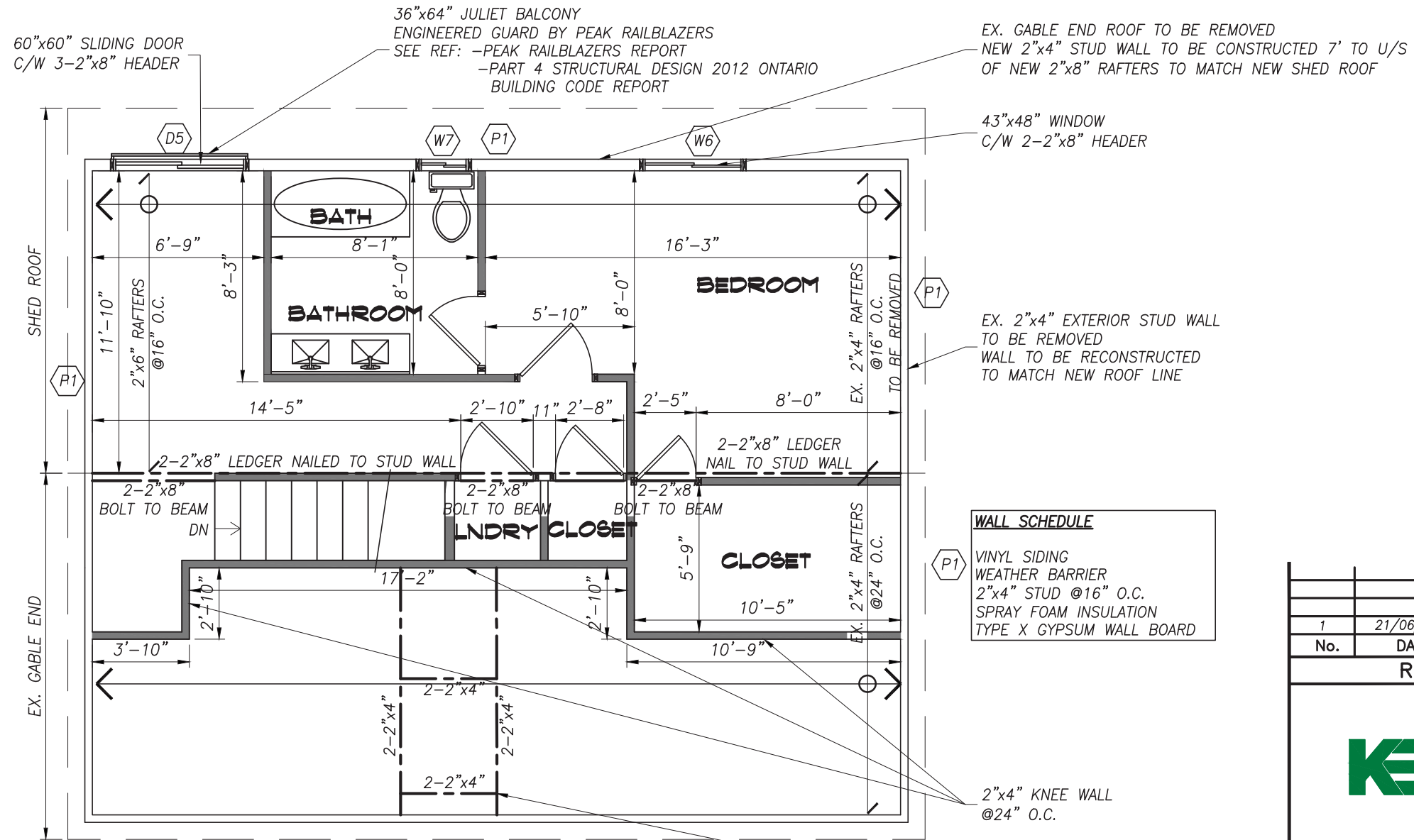
- W1 - EX. 55"x50" WINDOW REMOVED  
REPLACED W/ 45"x30" WINDOW  
NEW 2-2"x8" HEADER TO SUIT OPENING
- W2 - EX. 43"x30" WINDOW TO BE INFILLED  
EX. HEADER TO BE REMOVED
- W3 - EX. 55"x30" WINDOW REMOVED  
REPLACED W/ 45"x30" WINDOW  
NEW 2-2"x8" HEADER TO SUIT OPENING
- W4 - EX. 43"x20" WINDOW TO REMAIN  
EX. HEADER ADEQUATE TO REMAIN
- W5 - EX. 35"x27" WINDOW REMOVED  
REPLACED W/ NEW 35"x27" WINDOW  
NEW 2-2"x8" HEADER
- W6 - NEW 43"x48" WINDOW  
NEW 2-2"x8" HEADER
- W7 - NEW 33"x22" WINDOW  
NEW 2-2"x8" HEADER
- W8 - EX. 53"x95" WINDOW REMOVED  
EX. HEADER TO BE REMOVED
- W9 - EX. 16"x16" WINDOW TO BE INFILLED  
EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED  
REPLACED W/ 48"x72" WINDOW  
NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

**DOOR SCHEDULE:**

- D1 - NEW 48"x84" DOOR  
NEW 2-2"x8" HEADER
- D2 - EX. 36"x84" DOOR TO BE INFILLED  
EX. LINTEL TO BE REMOVED
- D3 - NEW 70"x80" SLIDING DOOR  
NEW 2-2"x8" HEADER
- D4 - EX. 36"x84" DOOR REMOVED  
REPLACED W/ NEW 70"x80" SLIDING DOOR  
NEW 2-2"x8" HEADER TO SUIT NEW OPENING
- D5 - NEW 60"x60" SLIDING DOOR  
NEW 2-2"x8" HEADER

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28



**LEGEND**

NEW WALL CONSTRUCTION

**ROOF FRAMING PLAN**

SCALE: 3/16"=1'-0"

2"x4" KNEE WALL @24" O.C.

SKYLIGHT FRAMING

**WALL SCHEDULE**  
VINYL SIDING  
WEATHER BARRIER  
2"x4" STUD @16" O.C.  
SPRAY FOAM INSULATION  
TYPE X GYPSUM WALL BOARD

No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

**REVISIONS**



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

**INTERIOR/EXTERIOR HOME RENOVATION**

735 BEACH BOULEVARD

HAMILTON

ONTARIO

**ROOF FRAMING PLAN**



DATE JUNE 2021	DRAWN BY JD	DRAWING No. <b>S1.03</b>
PROJECT No. 21127	CHECKED BY J.P.C.	

PLOT DATE: 2021/06/09 6:22 PM

**WINDOW SCHEDULE:**

- W1 - EX. 55"x50" WINDOW REMOVED  
REPLACED W/ 45"x30" WINDOW  
NEW 2-2"x8" HEADER TO SUIT OPENING
- W2 - EX. 43"x30" WINDOW TO BE INFILLED  
EX. HEADER TO BE REMOVED
- W3 - EX. 55"x30" WINDOW REMOVED  
REPLACED W/ 45"x30" WINDOW  
NEW 2-2"x8" HEADER TO SUIT OPENING
- W4 - EX. 43"x20" WINDOW TO REMAIN  
EX. HEADER ADEQUATE TO REMAIN
- W5 - EX. 35"x27" WINDOW REMOVED  
REPLACED W/ NEW 35"x27" WINDOW  
NEW 2-2"x8" HEADER
- W6 - NEW 43"x48" WINDOW  
NEW 2-2"x8" HEADER
- W7 - NEW 33"x22" WINDOW  
NEW 2-2"x8" HEADER
- W8 - EX. 53"x95" WINDOW REMOVED  
EX. HEADER TO BE REMOVED
- W9 - EX. 16"x16" WINDOW TO BE INFILLED  
EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED  
REPLACED W/ 48"x72" WINDOW  
NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

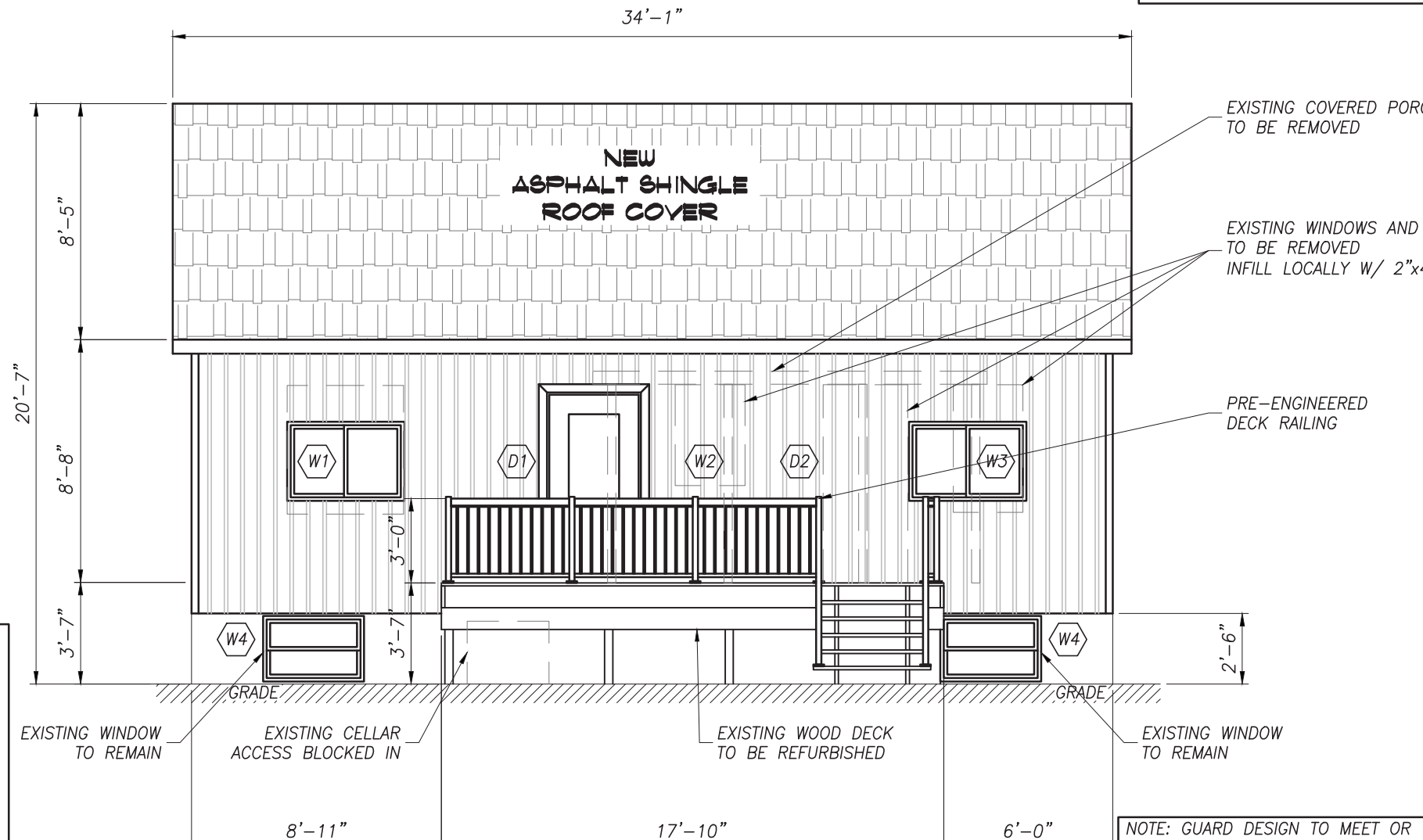
**DOOR SCHEDULE:**

- D1 - NEW 48"x84" DOOR  
NEW 2-2"x8" HEADER
- D2 - EX. 36"x84" DOOR TO BE INFILLED  
EX. LINTEL TO BE REMOVED
- D3 - NEW 70"x80" SLIDING DOOR  
NEW 2-2"x8" HEADER
- D4 - EX. 36"x84" DOOR REMOVED  
REPLACED W/ NEW 70"x80" SLIDING DOOR  
NEW 2-2"x8" HEADER TO SUIT NEW OPENING
- D5 - NEW 60"x60" SLIDING DOOR  
NEW 2-2"x8" HEADER

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

**GLAZING CALCULATIONS**

EXISTING BUILDING FACE:	145.26m <sup>2</sup>
EXISTING GLAZING:	16.6m <sup>2</sup>
% EX. GLAZING COVERAGE:	11.4%
PROPOSED BUILDING FACE:	176.14m <sup>2</sup>
PROPOSED GLAZING:	20.63m <sup>2</sup>
% PROPOSED GLAZING COVERAGE:	11.7%



**FRONT ELEVATION**

SCALE: 3/16"=1'-0"

NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

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(C) 0.75KN/M OR A CONCENTRATED LOAD OF 1.0KN APPLIED AT ANY POINT, WHICHEVER GOVERNS FOR LOCATIONS OTHER THAN THOSE DESCRIBED IN CLAUSES (A) AND (B).



No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

**REVISIONS**



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

**INTERIOR/EXTERIOR HOME RENOVATION**

735 BEACH BOULEVARD

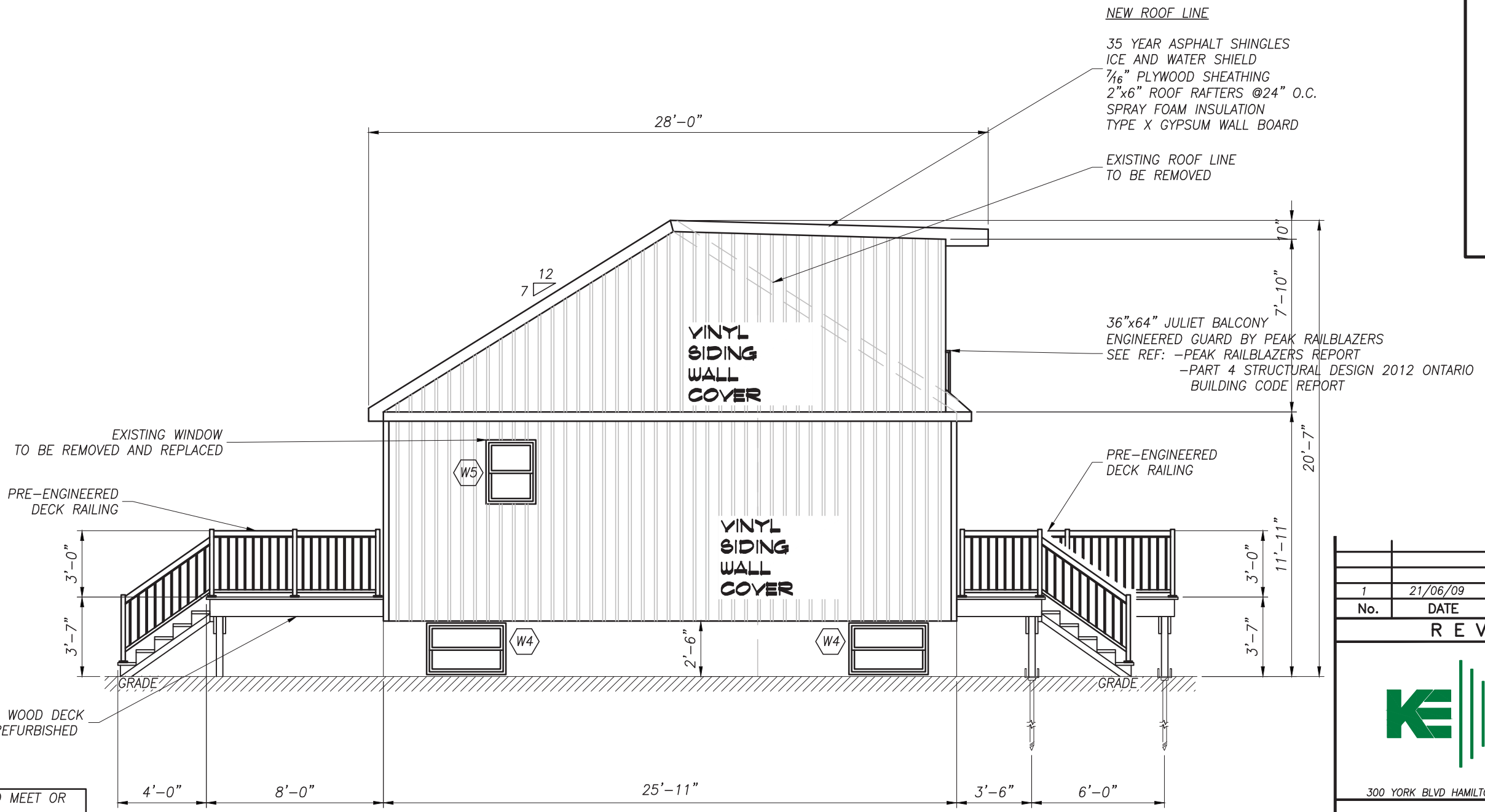
HAMILTON

ONTARIO

**FRONT ELEVATION**

DATE <b>JUNE 2021</b>	DRAWN BY <b>JD</b>	DRAWING No. <b>S2.01</b>
PROJECT No. <b>21127</b>	CHECKED BY <b>J.P.C.</b>	

PLOT DATE: 2021/06/09 6:23 PM



NEW ROOF LINE  
 35 YEAR ASPHALT SHINGLES  
 ICE AND WATER SHIELD  
 7/16" PLYWOOD SHEATHING  
 2"x6" ROOF RAFTERS @24" O.C.  
 SPRAY FOAM INSULATION  
 TYPE X GYPSUM WALL BOARD

EXISTING ROOF LINE  
 TO BE REMOVED

36"x64" JULIET BALCONY  
 ENGINEERED GUARD BY PEAK RAILBLAZERS  
 SEE REF: -PEAK RAILBLAZERS REPORT  
 -PART 4 STRUCTURAL DESIGN 2012 ONTARIO  
 BUILDING CODE REPORT

EXISTING WINDOW  
 TO BE REMOVED AND REPLACED

PRE-ENGINEERED  
 DECK RAILING

PRE-ENGINEERED  
 DECK RAILING

EXISTING WOOD DECK  
 TO BE REFURBISHED

**RIGHT ELEVATION**

SCALE: 3/16"=1'-0"

NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

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300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

HAMILTON

ONTARIO

LEFT ELEVATION

DATE JUNE 2021	DRAWN BY JD	DRAWING No. <b>S2.02</b>
PROJECT No. 21127	CHECKED BY J.P.C.	

PLOT DATE: 2021/06/09 6:23 PM

**WINDOW SCHEDULE:**

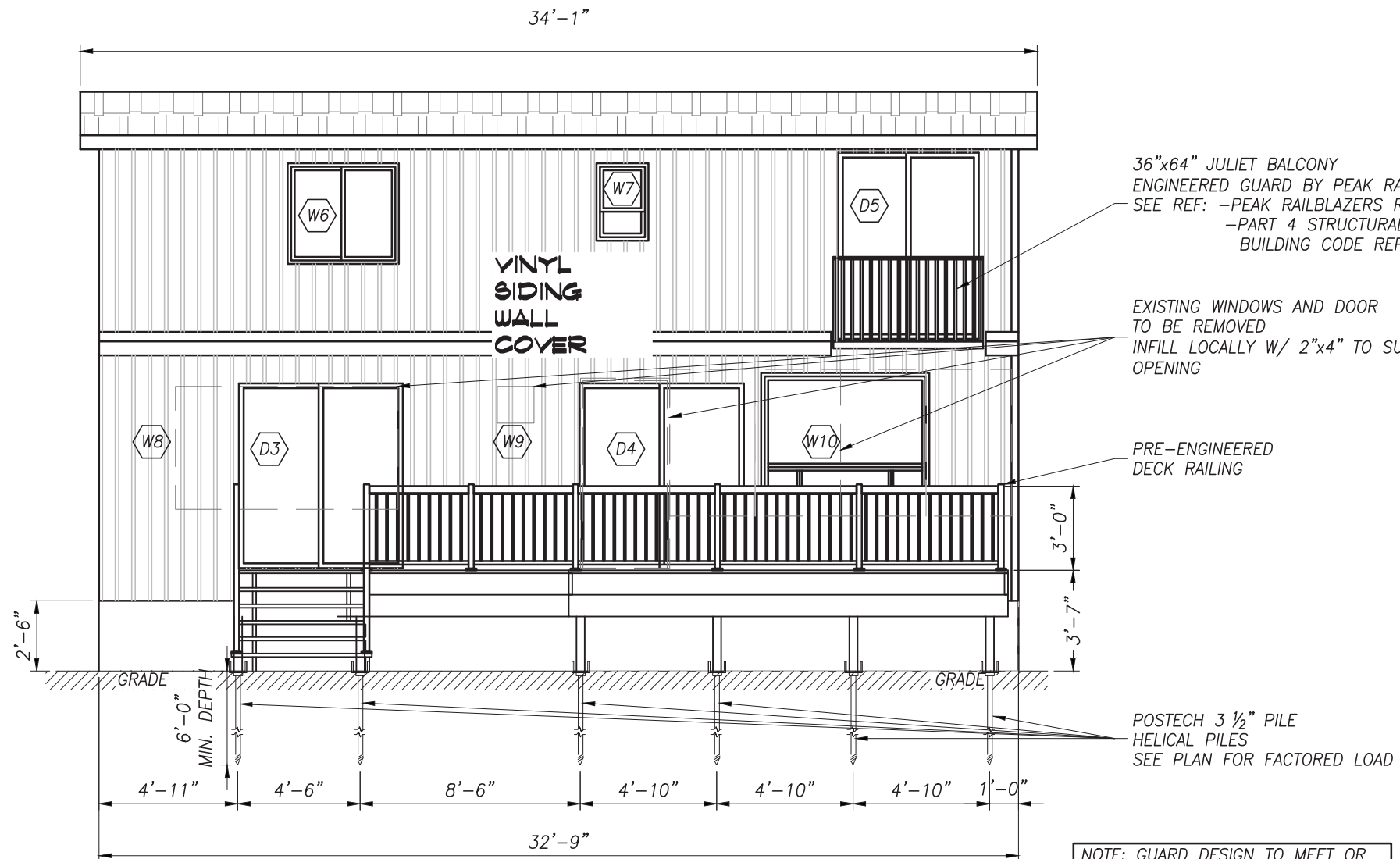
- W1 - EX. 55"x50" WINDOW REMOVED  
REPLACED W/ 45"x30" WINDOW  
NEW 2-2"x8" HEADER TO SUIT OPENING
- W2 - EX. 43"x30" WINDOW TO BE INFILLED  
EX. HEADER TO BE REMOVED
- W3 - EX. 55"x30" WINDOW REMOVED  
REPLACED W/ 45"x30" WINDOW  
NEW 2-2"x8" HEADER TO SUIT OPENING
- W4 - EX. 43"x20" WINDOW TO REMAIN  
EX. HEADER ADEQUATE TO REMAIN
- W5 - EX. 35"x27" WINDOW REMOVED  
REPLACED W/ NEW 35"x27" WINDOW  
NEW 2-2"x8" HEADER
- W6 - NEW 43"x48" WINDOW  
NEW 2-2"x8" HEADER
- W7 - NEW 33"x22" WINDOW  
NEW 2-2"x8" HEADER
- W8 - EX. 53"x95" WINDOW REMOVED  
EX. HEADER TO BE REMOVED
- W9 - EX. 16"x16" WINDOW TO BE INFILLED  
EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED  
REPLACED W/ 48"x72" WINDOW  
NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

**DOOR SCHEDULE:**

- D1 - NEW 48"x84" DOOR  
NEW 2-2"x8" HEADER
- D2 - EX. 36"x84" DOOR TO BE INFILLED  
EX. LINTEL TO BE REMOVED
- D3 - NEW 70"x80" SLIDING DOOR  
NEW 2-2"x8" HEADER
- D4 - EX. 36"x84" DOOR REMOVED  
REPLACED W/ NEW 70"x80" SLIDING DOOR  
NEW 2-2"x8" HEADER TO SUIT NEW OPENING
- D5 - NEW 60"x60" SLIDING DOOR  
NEW 2-2"x8" HEADER

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28



**REAR ELEVATION**

SCALE: 3/16"=1'-0"

NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

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No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

**REVISIONS**



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

**INTERIOR/EXTERIOR HOME RENOVATION**

735 BEACH BOULEVARD

HAMILTON

ONTARIO

**REAR ELEVATION**

DATE <b>JUNE 2021</b>	DRAWN BY <b>JD</b>	DRAWING No. <b>S2.03</b>
PROJECT No. <b>21127</b>	CHECKED BY <b>J.P.C.</b>	

PLOT DATE: 2021/06/09 6:23 PM



NEW ROOF LINE

35 YEAR ASPHALT SHINGLES  
ICE AND WATER SHIELD  
7/16" PLYWOOD SHEATHING  
2"x6" ROOF RAFTERS @24" O.C.  
SPRAY FOAM INSULATION  
TYPE X GYPSUM WALL BOARD

EXISTING ROOF LINE  
TO BE REMOVED

36"x64" JULIET BALCONY  
ENGINEERED GUARD BY PEAK RAILBLAZERS  
SEE REF: -PEAK RAILBLAZERS REPORT  
-PART 4 STRUCTURAL DESIGN 2012 ONTARIO  
BUILDING CODE REPORT

PRE-ENGINEERED  
DECK RAILING

20'-7"

28'-0"

12  
7

VINYL  
SIDING  
WALL  
COVER

VINYL  
SIDING  
WALL  
COVER

NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

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3'-0"  
3'-7"

GRADE

GRADE

3'-0"  
3'-7"

10'-0"

25'-11"

8'-0"

4'-0"

**LEFT ELEVATION**

SCALE: 3/16"=1'-0"



No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

**REVISIONS**



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

**INTERIOR/EXTERIOR HOME RENOVATION**

735 BEACH BOULEVARD

HAMILTON

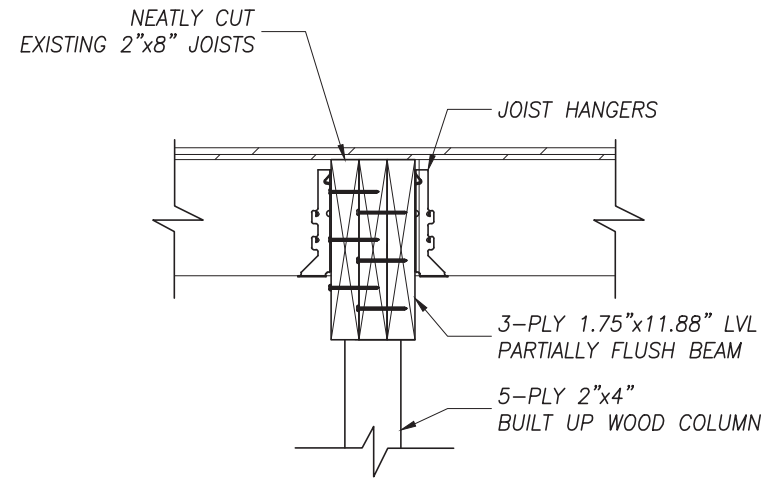
ONTARIO

**RIGHT ELEVATION**

DATE JUNE 2021	DRAWN BY JD	DRAWING No. <b>S2.04</b>
PROJECT No. 21127	CHECKED BY J.P.C.	

PLOT DATE: 2021/06/09 6:23 PM



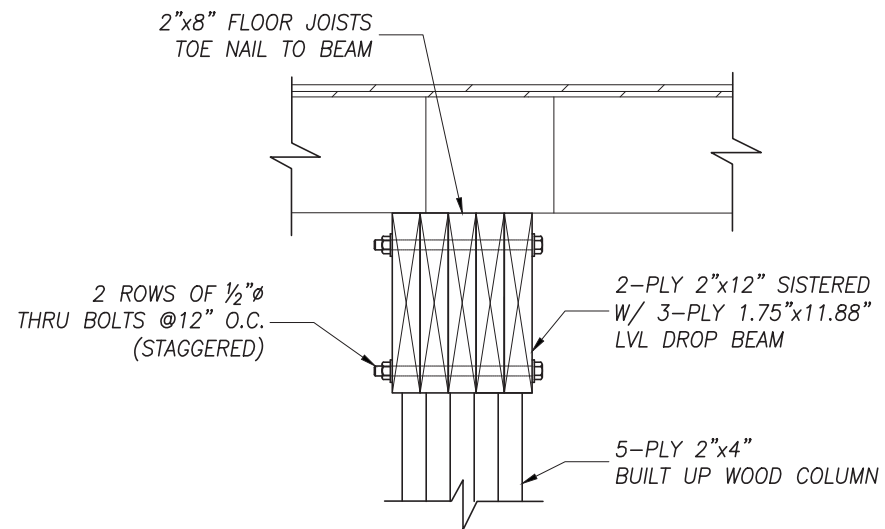


### PARTIALLY FLUSH BEAM DETAIL

SCALE:

1"=1'-0"

1  
S1.02

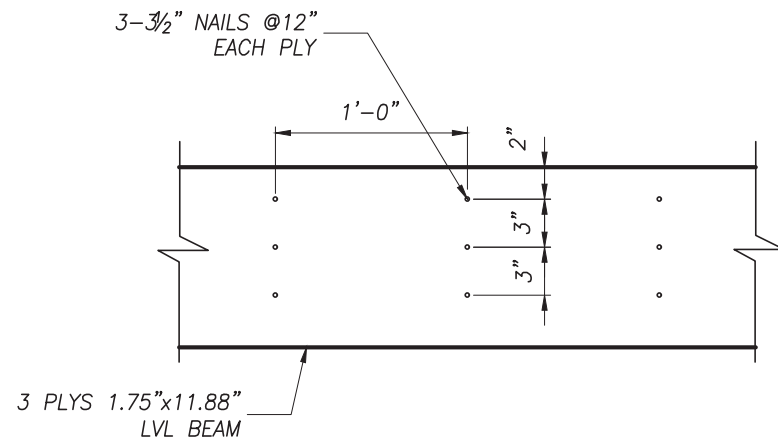


### DROP BEAM DETAIL

SCALE:

1"=1'-0"

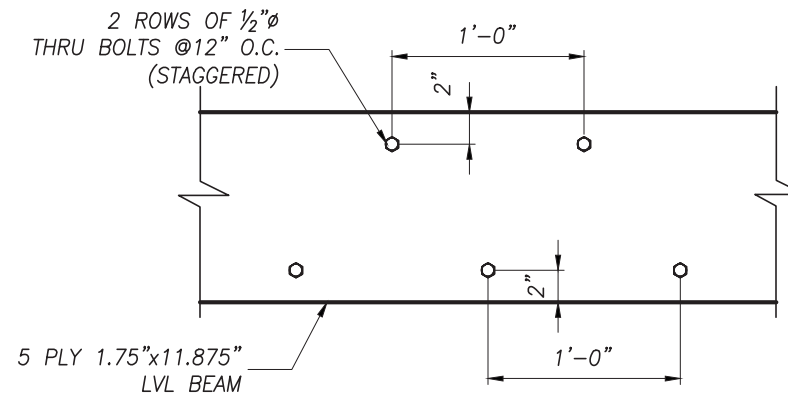
2  
S1.01



### BEAM NAILING PATTERN

SCALE:

1"=1'-0"



### BEAM BOLTING PATTERN

SCALE:

1"=1'-0"

No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

### REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

### INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

HAMILTON

ONTARIO

### SECTIONS

DATE JUNE 2021	DRAWN BY JD	DRAWING No. <b>S4.01</b>
PROJECT No. 21127	CHECKED BY J.P.C.	





Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### APPLICATION FOR A MINOR VARIANCE

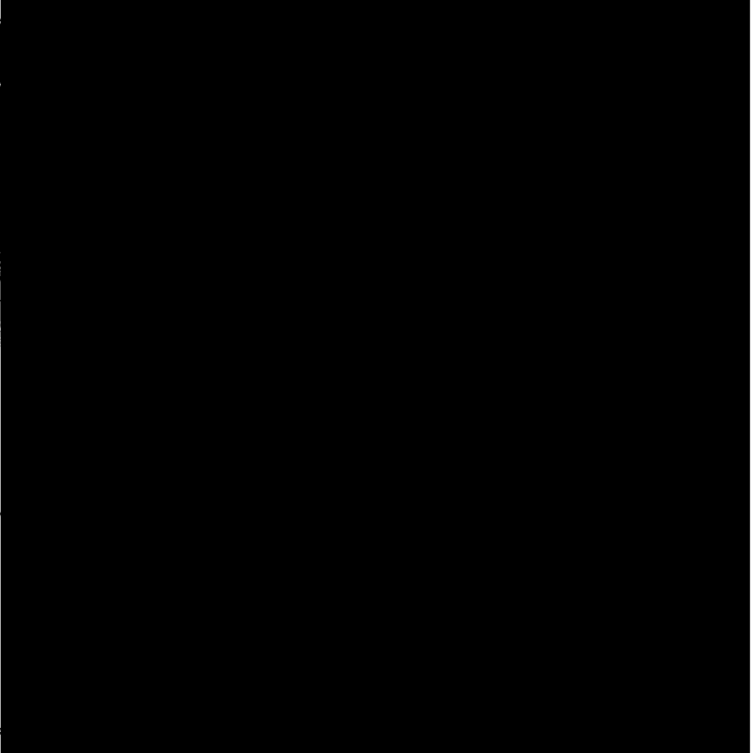
<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

#### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME
Registered Owners(s)	Amanda & Kevin White
Applicant(s)*	Julianna Hribljan Barich Grenkie Surveying Ltd.
Agent or Solicitor	Julianna Hribljan Barich Grenkie Surveying Ltd.



**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Mortgage for the property is with: CIBC 1273 Barton St. E. Hamilton, ON. L8H 2V4
---

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

The existing dwelling has had a 1/2 storey addition and would need the following minor variances:  
rear yard setback - 3.14 m  
side yard setback - 1.43 m

Second Dwelling Unit                       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The existing dwelling did not comply with the zoning by-law, previously to work being done on it. The owners have added a second storey to the house. By keeping inline with the first floor of the house the second floor does not meet the minimum setbacks.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Part of Burlington Beach East Side of Beach Boulevard (Unregistered)

735 Beach Boulevard, Hamilton

7. PREVIOUS USE OF PROPERTY

Residential                       Industrial                       Commercial

Agricultural                       Vacant

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes                       No                       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes                       No                       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes                       No                       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes                       No                       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes                       No                       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes                       No                       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes                       No                       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes                       No                       Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Information was provided by client.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb 17/2022  
Date

*Amanda White & Kevin White*  
Signature Property Owner(s)

Amanda White & Kevin White  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 15.04 m  
Depth 53.55 m  
Area 828.31 m  
Width of street 13.12 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

1.5 Storey Sided Dwelling  
Gross floor area: 79.69 m<sup>2</sup>  
Width: 9.80 m Length: 8.08 m Height:

Proposed

1.5 Storey Sided Dwelling  
Gross floor area: 79.69 m<sup>2</sup>  
Width: 9.80 m Length: 8.08 m Height:

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Front Yard Setback: 42.30 m  
Rear Yard Setback: 3.14 m  
Side Yard Setback (North): 1.43 m  
Side Yard Setback (South): 4.34 m

Proposed:

For the 1/2 Storey Addition:  
Rear Yard Setback: 3.14 m  
Side Yard Setback (North): 1.43 m  
Side Yard Setback (South): 4.34 m

13. Date of acquisition of subject lands:  
March 2020
- 
14. Date of construction of all buildings and structures on subject lands:  
The dwelling - originally constructed in 1950. July 2020 the 1/2 storey was built.
- 
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Single family dwelling
- 
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
Single family dwellings on all abutting properties.
- 
17. Length of time the existing uses of the subject property have continued:  
70+ years
- 
18. Municipal services available: (check the appropriate space or spaces)  
Water  \_\_\_\_\_ Connected  \_\_\_\_\_  
Sanitary Sewer  \_\_\_\_\_ Connected  \_\_\_\_\_  
Storm Sewers \_\_\_\_\_
19. Present Official Plan/Secondary Plan provisions applying to the land:  

Neighbourhoods
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  

C/S-1435
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)  
 Yes  No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
 Yes  No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.