

#### **COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

## NOTICE OF PUBLIC HEARING Minor Variance

#### You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- · Person likely to be interested in this application

APPLICATION	GL/A-22:312	SUBJECT	3233 HALL RD, GLANBROOK
NO.:		PROPERTY:	
ZONE:	"P6 and A1" (Conservation	ZONING BY-	Zoning By-law City of Hamilton 05-
	Hazard Land and Agriculture)	LAW:	200, as Amended

**APPLICANTS:** Owner: Ian Schroedeer/Renee Cauchi

Agent: Jenny Bognar – JB Drafting and Design

The following variances are requested:

1. A single detached dwelling and associated septic system shall be permitted on the subject vacant lot notwithstanding that new buildings and structures are not permitted on a vacant lot.

**PURPOSE & EFFECT:** To facilitate the construction of a new single detached dwelling and associated

septic on the portion of the lands zoned P6.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, November 3, 2022		
TIME:	1:20 p.m.		
PLACE:	Via video link or call in (see attached sheet for details)		
	2 <sup>nd</sup> floor City Hall, room 222 (see attached sheet for		
	details), 71 Main St. W., Hamilton		
	To be streamed (viewing only) at		
	www.hamilton.ca/committeeofadjustment		

For more information on this matter, including access to drawings illustrating this request and other information submitted:

#### GL/A-22:312

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

#### **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, <u>including deadlines</u> for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: October 18, 2022

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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#### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Please include your name and address, hearing date, and file number. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon two days before the Hearing.

Comment packages are available two days prior to the Hearing and are available on our website: <a href="https://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

#### **Oral Submissions**

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners <u>must register by noon the day</u> <u>before the hearing</u> to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email <a href="mailton.ca">cofa@hamilton.ca</a>. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

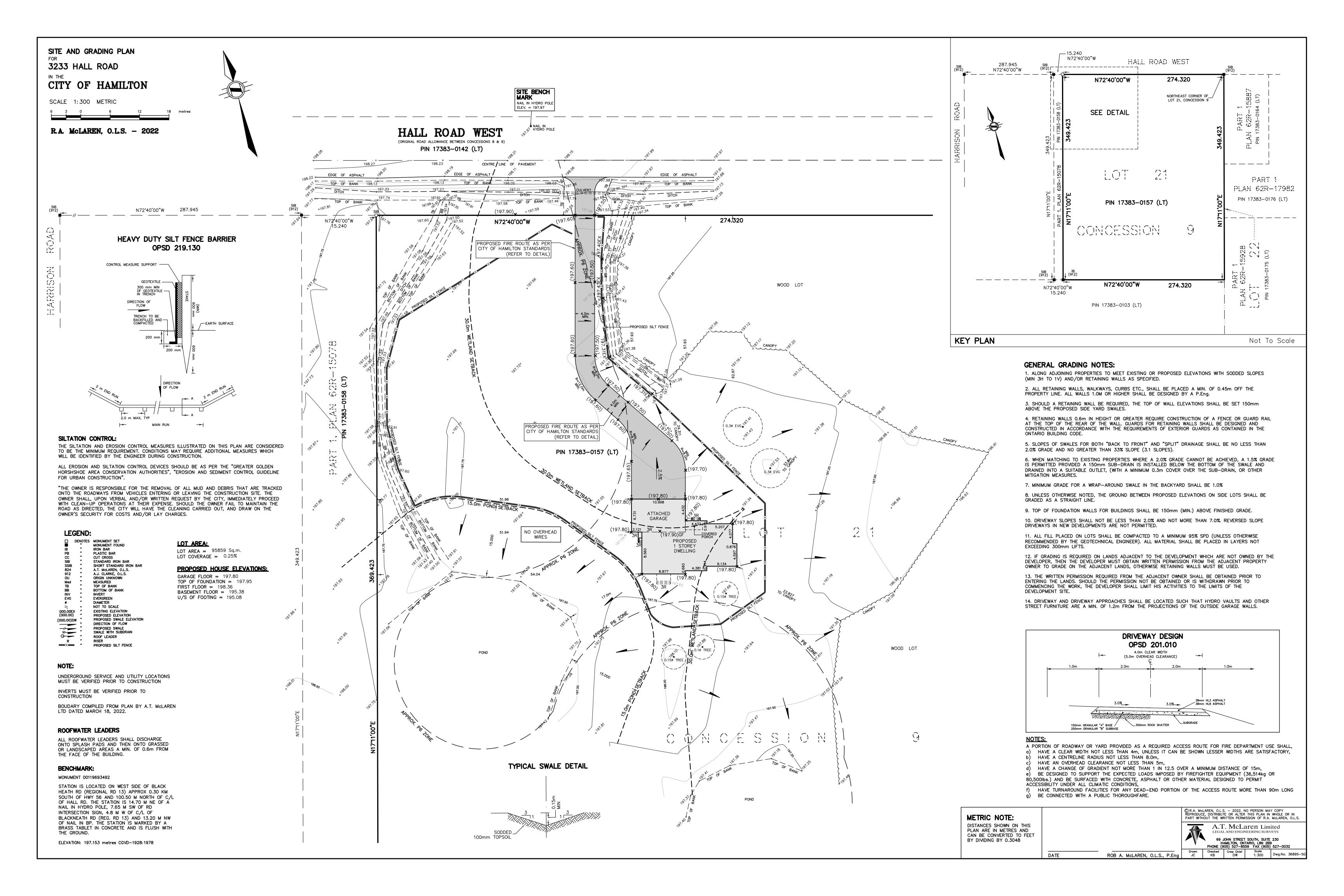
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

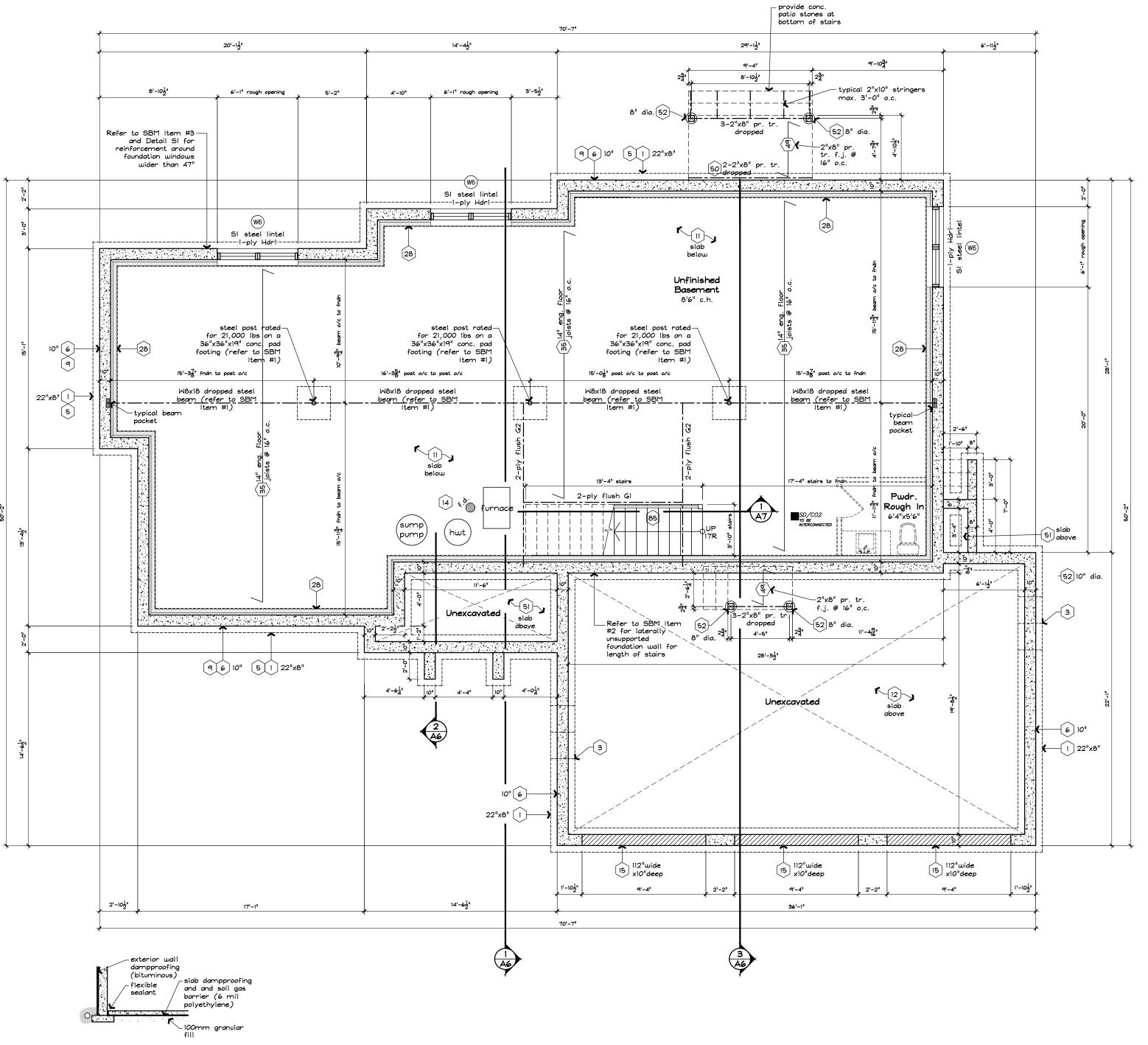
#### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.





#### Radon Gas Barrier (For New Addition Only)

- Provide:

  1. A soil gas barrier on the foundation walls (bituminous dampproofing, and

  2. Under the basement floor slab using 5 mil. polyethylene lapped not less
  than 300 mm, and

  3. Sealing along the perimeter of the basement floor slab and at all penetrations using flexible sealant (polyurethane caulking)

  Note: Care must be taken when installing 6 mil. polyethylene since it's prone to puncture. Please ensure the polyethylene is adequately protected.

### THE SCHROEDER/ CAUCHI RESIDENCE

3233 HALL ROAD BINBROOK, ON LOR 1CO



### drafting + design

■ 193 East 43rd Street ■ ■ Hamilton, ON ■ L8T 3C3 ■ ■ jbdraftinganddesign@live.ca ■ ■ 905.517.6027 ■

### **PRELIMINARY**

09.29.22

signature required

Jennifer Bognar reviews and takes responsibility for the design work described in this document firm bcin 103416 ■ individual bcin 33001

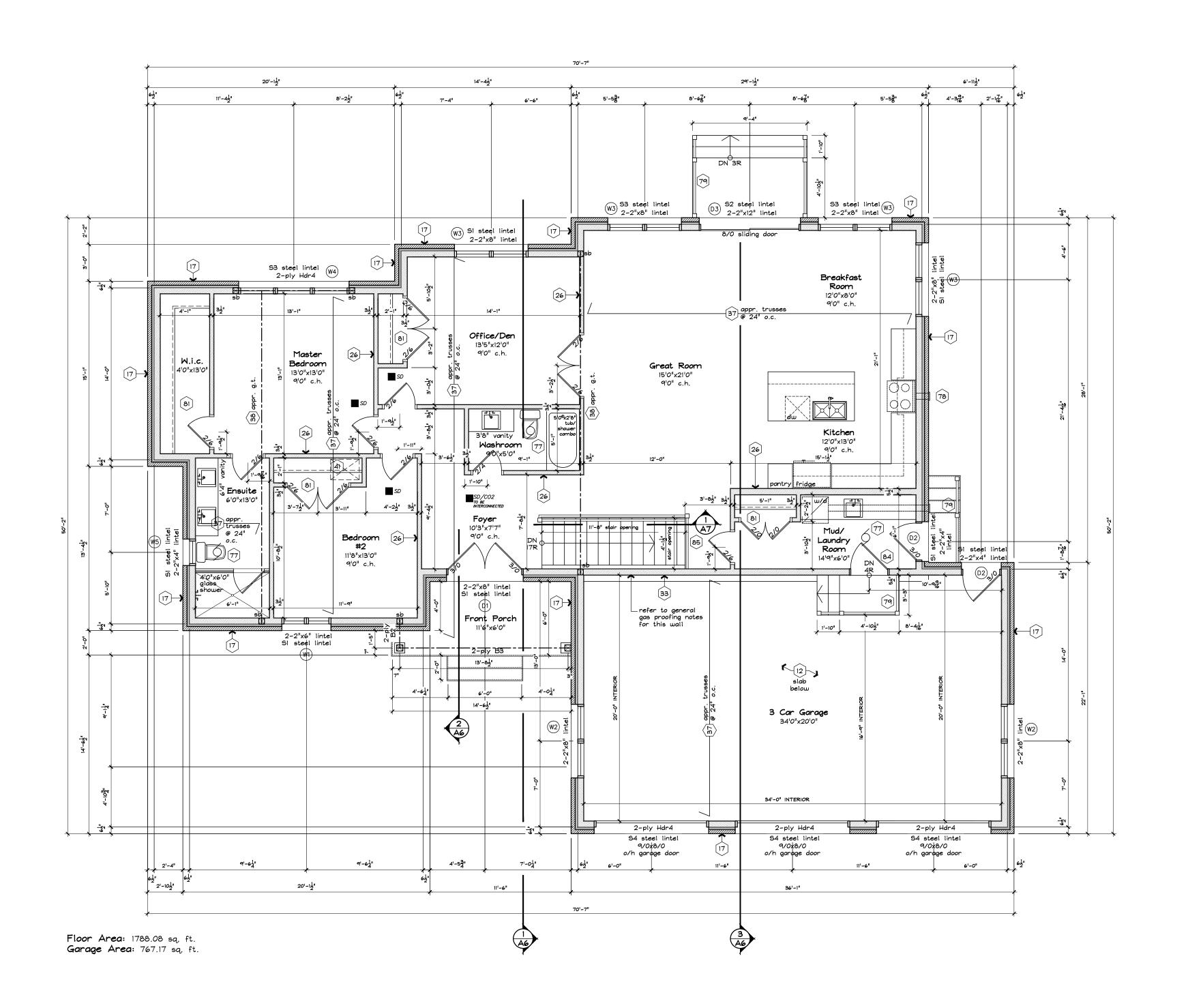
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ALL DIMENSIO	ONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF JB DRAFTING AND DESIGN. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

PROPOSED BASEMENT PLAN 3/16" = 1'-0"

SHEET



3233 HALL ROAD BINBROOK, ON LOR 1C0



### drafting + design

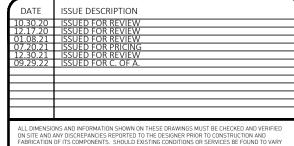
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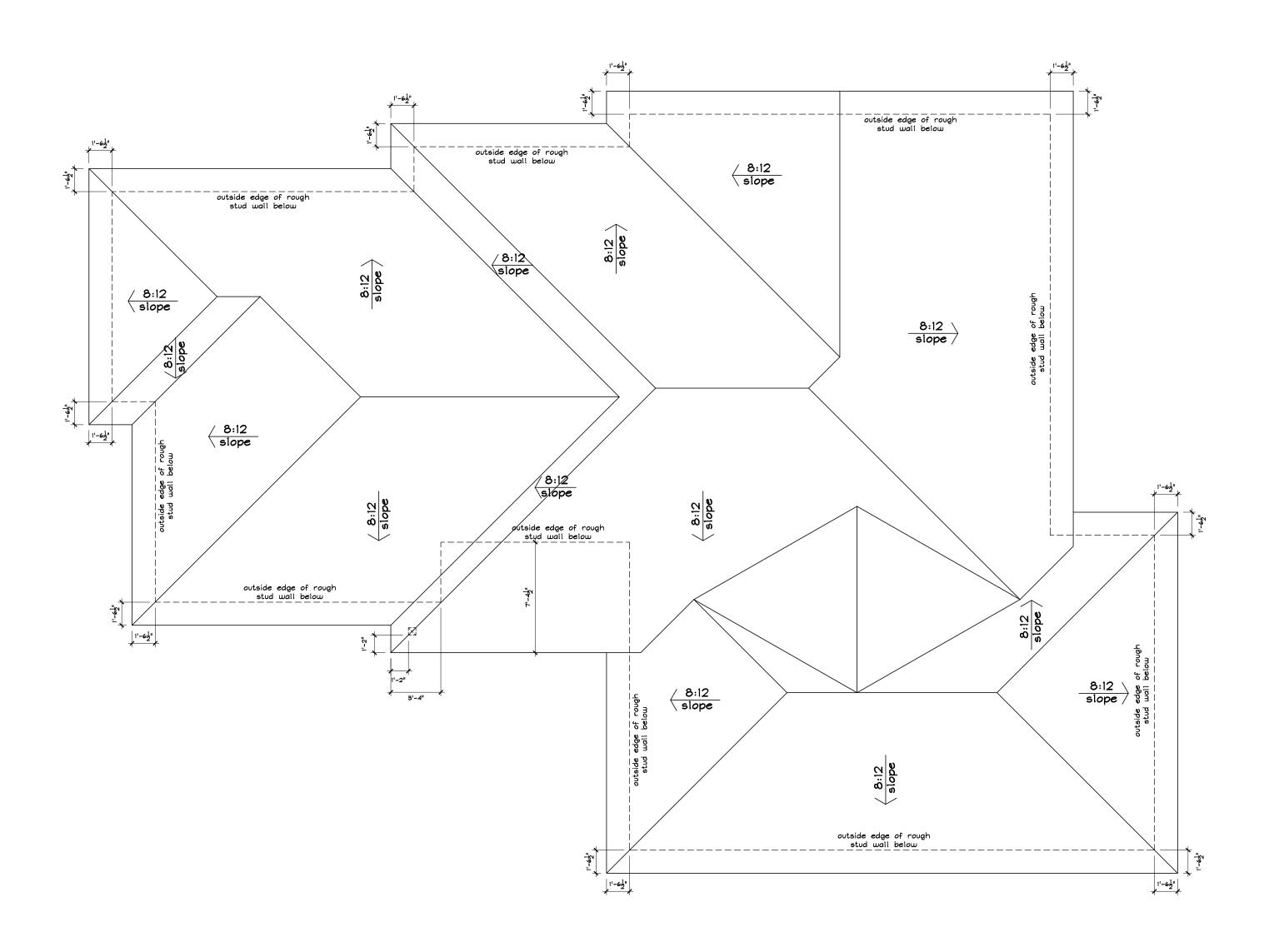
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PROPOSED FIRST FLOOR PLAN 3/16" = 1'-0"

SHEET

A2



3233 HALL ROAD BINBROOK, ON LOR 1C0



+ design ■ 193 East 43rd Street ■
■ Hamilton, ON ■ L8T 3C3 ■
■ jbdraftinganddesign@live.ca ■
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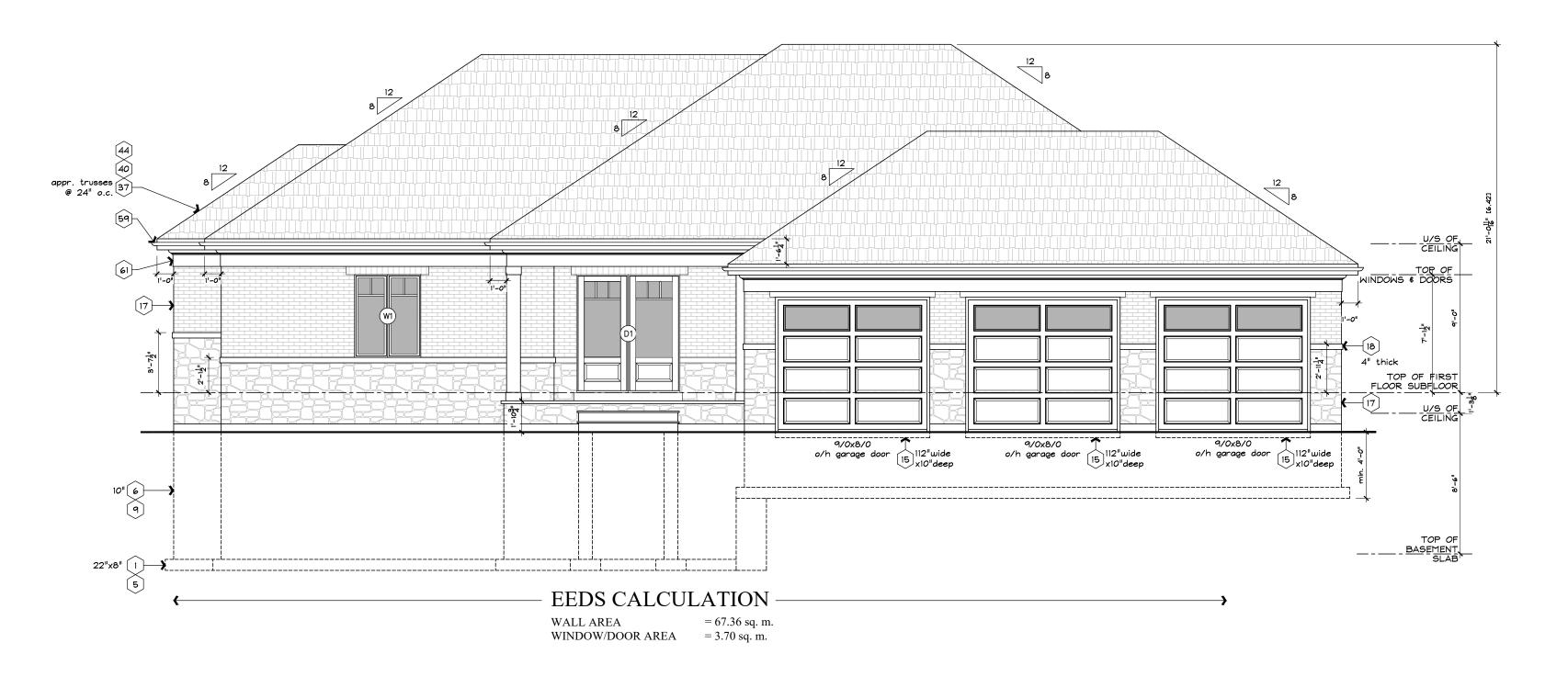
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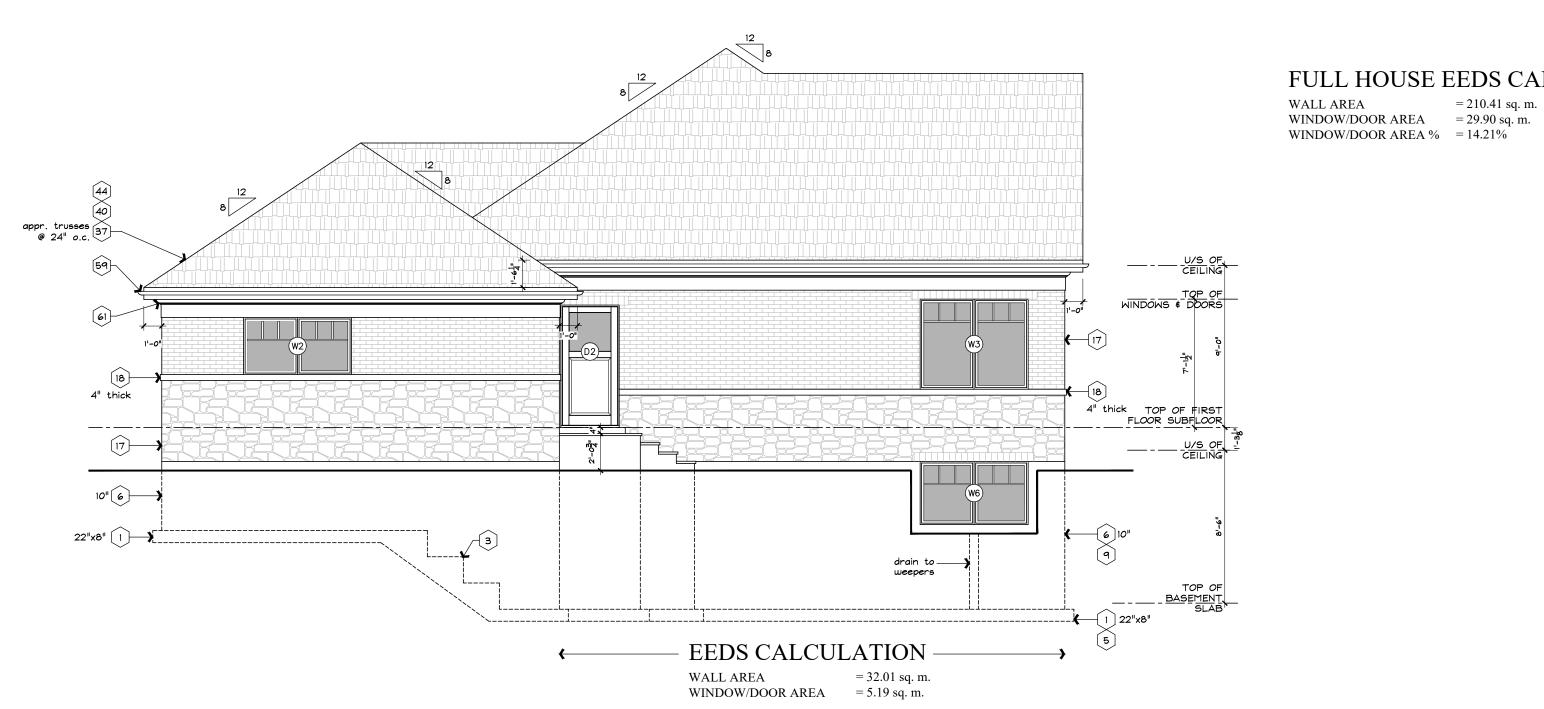
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PROPOSED **ROOF PLAN** 3/16" = 1'-0"

SHEET





### CAUCHI RESIDENCE 3233 HALL ROAD

THE SCHROEDER/

BINBROOK, ON L0R 1C0



FULL HOUSE EEDS CALCULATION

### drafting + design

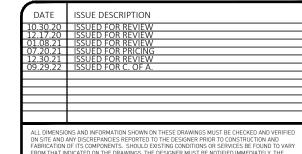
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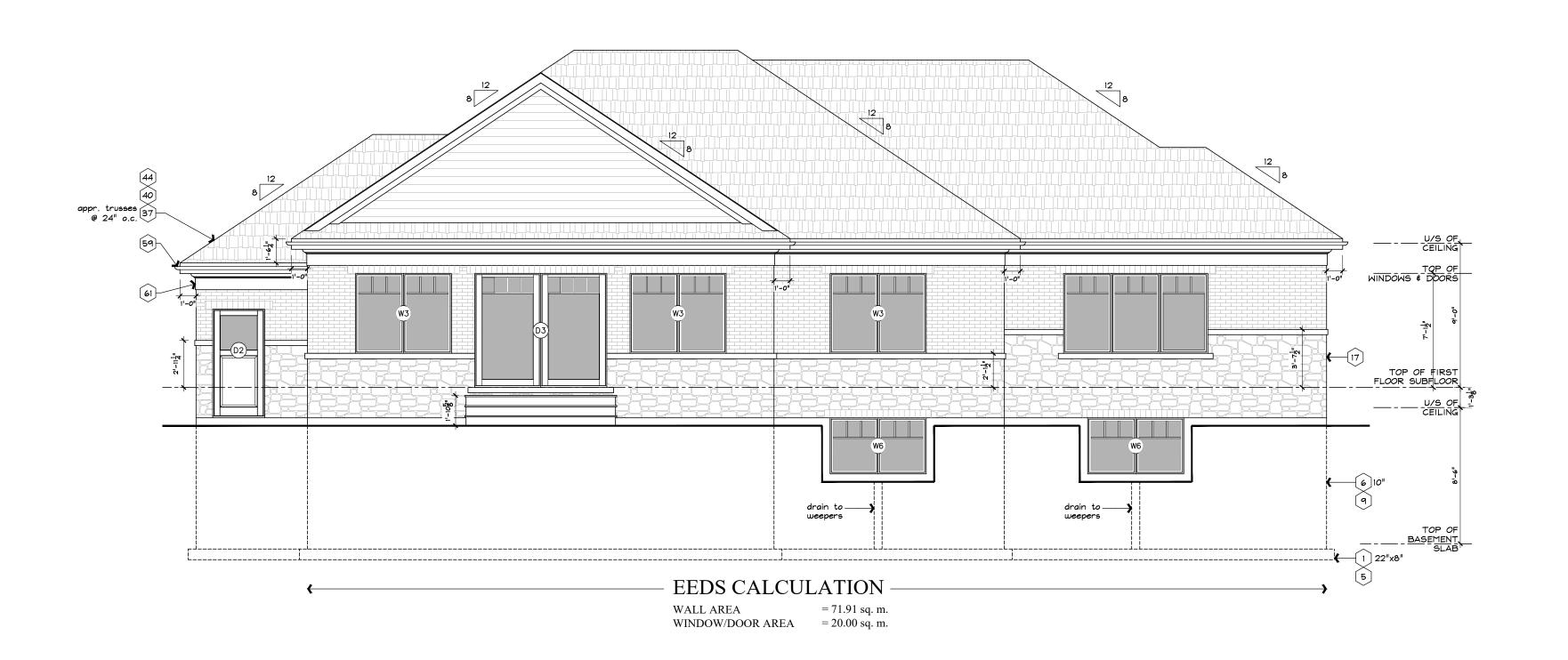
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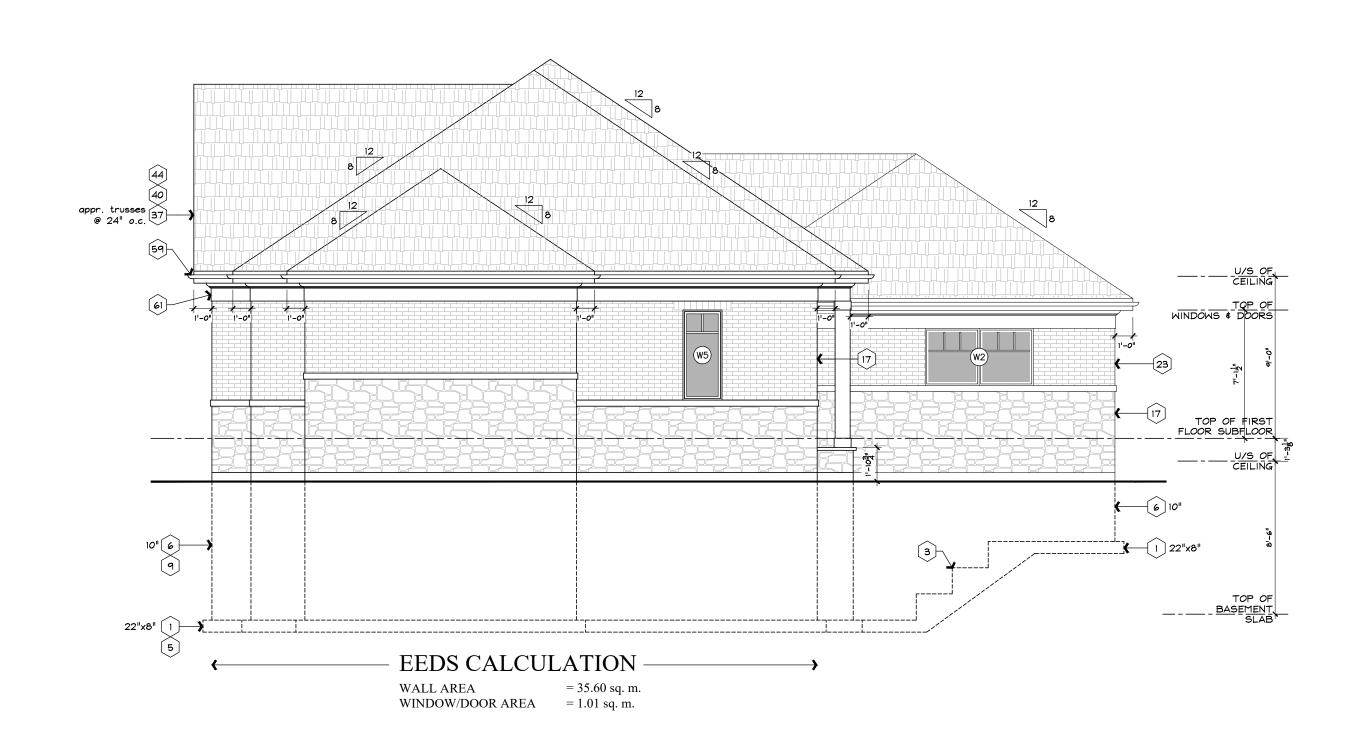
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PROPOSED FRONT & RIGHT SIDE ELEVATIONS 3/16" = 1'-0"

SHEET





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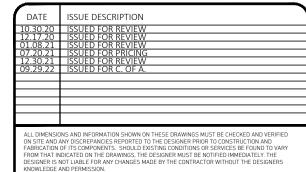
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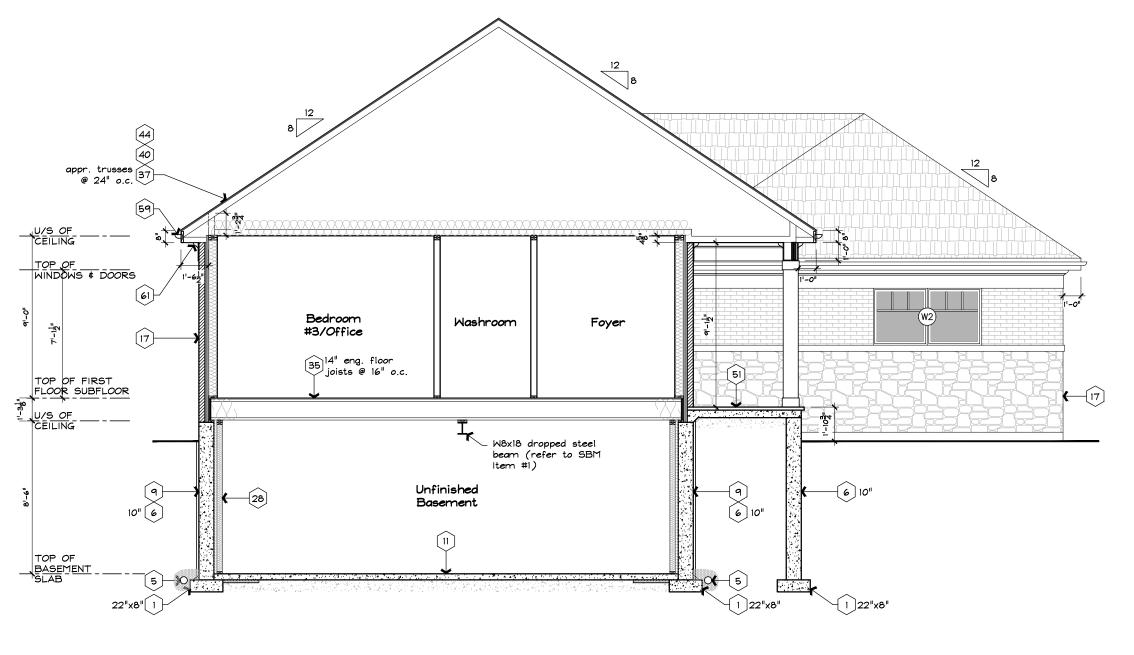
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PROPOSED REAR & LEFT SIDE ELEVATIONS 3/16" = 1'-0"

SHEET



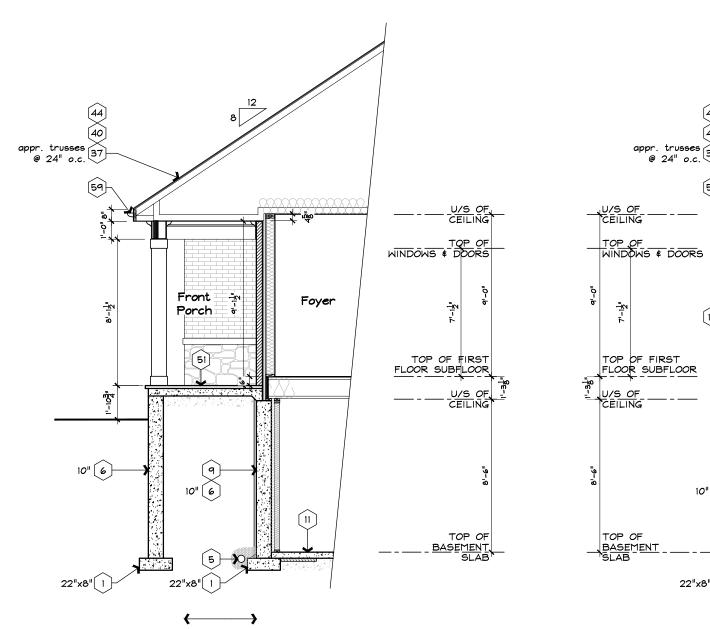
Great Room

Unfinished Basement

35 14" eng. floor joists @ 16" o.c.

W8x18 dropped steel beam (refer to SBM ltem #1)

### CROSS SECTION 1 3/16" = 1'-0"



#### **EEDS CALCULATION** WALL AREA = 3.53 sq. m.

WINDOW/DOOR AREA = 0.0 sq. m.

CROSS SECTION 2

3/16" = 1'-0"

CROSS SECTION 3 3/16" = 1'-0"

10" 6

22"x8"(1)

appr. trusses @ 24" o.c. 37

### THE SCHROEDER/ CAUCHI RESIDENCE

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### **PRELIMINARY**

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18 2 4

6 10"

4" thick

refer to general gas proofing notes for this wall

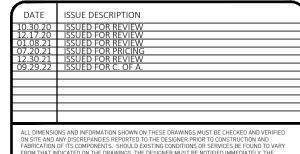
2"x8" pr. tr. f.j. @ 16" o.c.

— 3-2"x8" pr. tr. flush

52 8" dia.

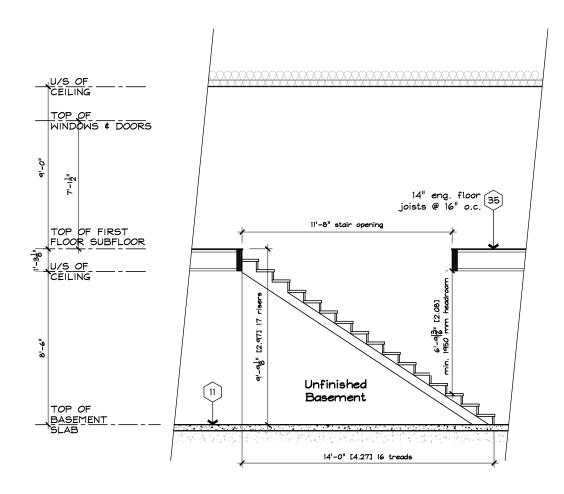
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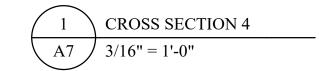
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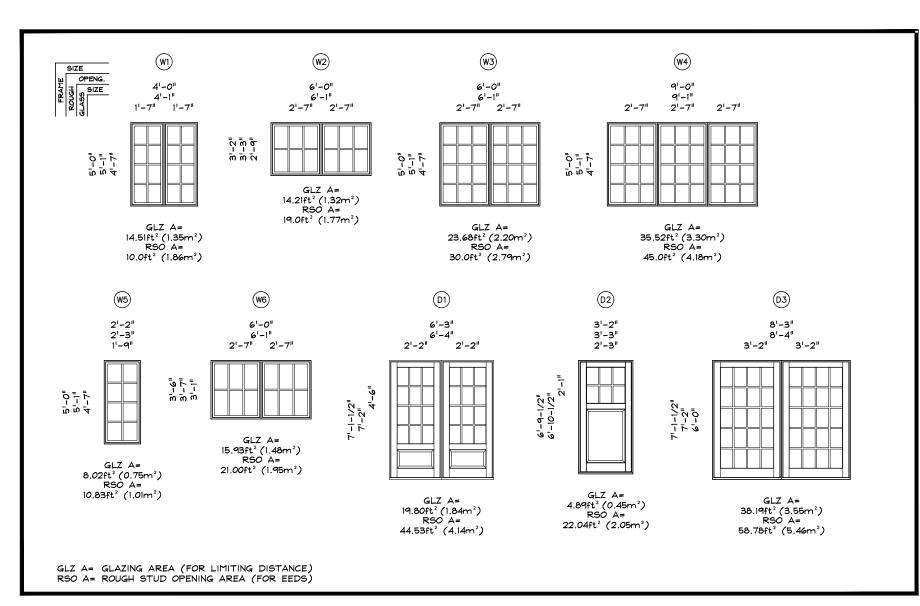


CROSS SECTIONS

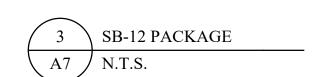
SHEET







·	HEATING EQUIP. ≥ 92% PACKAGE A2		
COMPONENT	THERMAL VALUES		
CEILING WITH ATTIC SPACE	R.60 MIN. NOMINAL		
CEILING WITHOUT ATTIC SPACE	R.31 MIN. NOMINAL		
EXPOSED FLOOR	R.31 MIN. NOMINAL		
WALLS ABOVE GRADE	R.19+5ci MIN. NOMINAL		
BASEMENT WALLS	R.12+10ci MIN. NOMINAL		
BASEMENT GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE			
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	R.10 MIN. NOMINAL		
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	R.10 MIN. NOMINAL		
WINDOWS OR SLIDING GLASS DOORS	MAX. U 0.28		
SKYLIGHTS	MAX. U 0.49		
SPACE HEATING EQUIPMENT	MIN. AFUE 96%		
HRV	MIN. SRE 75%		
DOMESTIC WATER HEATER	MIN. EF 0.70		





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CROSS SECTIONS & DETAILS

SHEET

A7

#### GENERAL STRUCTURAL NOTES

- GENERAL

  1. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, 2012 EDITION, INCLUDING ALL CURRENT REVISIONS, WITH ALL OTHER APPLICABLE REGULATIONS, AND WITH GOOD CONSTRUCTION PRACTICE.

  2. CHECK ALL DIMENSIONS SHOWN ON STRUCTURAL DRAMINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAMINGS AND REPORT ANY INCONSISTENCIES TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

  3. DESIGN LIVE LOADS FOR EACH PORTION OF THE STRUCTURE ARE INDICATED ON THE DRAWINGS. DO NOT EXCEED THESE LOADS DURING CONSTRUCTION.

  4. STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS.

  5. STRUCTURAL SHALL CONFORM TO O.B.C. PART 9, OF MOST RECENT VERSION, UNLESS OTHERWISE NOTED.

- FOUNDATIONS AND FORMED CONCRETE

  1. ALL CONCRETE CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA

- FOUNDATIONS AND FORMED CONCRETE

  1. ALL CONCRETE CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A23.1-04.

  2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS NOTED BELOW: FOOTINGS 20 MFa PIERS AND WALLS 25 MFa INTERIOR SLABS 25 MFa DEICING SALTS EXPOSURE CONCRETE 32 MFa C-2 EXP. CLASS

  3. CONCRETE EXPOSED TO WEATHERING SHALL HAVE 5% TO 7% ENTRAINED AIR.

  4. CONCRETE COVER TO REINFORCING STEEL SHALL BE 3' FOR CONCRETE EXPOSED TO EARTH AND WEATHER (AND AS OTHERNISE NOTED IN A23.1-D4)

  5. PROVIDE DEFORMED REINFORCING STEEL CONFORMING TO CSA STANDARD G30.18M. USE GRADE 300 BARS FOR STIRRUPS AND TIES, AND GRADE 400R BARS FOR ALL OTHER REINFORCING.

  6. ALL FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUPPORTING: 2000 PSF (SLS) CONTRACTOR IS TO VERIFY THIS PRIOR TO PLACING CONCRETE

  7. FILL DIRECTLY UNDER FLOOR SLAB SHALL BE MECHANICALLY COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DENSITY.

  8. DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS, USE STEPS NOT EXCEEDING 2'-O' IN HEIGHT.

  9. PROVIDE A MINIMUM 4'-O' EARTH COVER TO THE UNDERSIDE OF ALL CONCRETE WALLS AND FOOTINGS FOR FROST PROTECTION. PROTECT SOIL FROM FREEZING TO AND BELOW ALL FOOTINGS.

- MALLS AND FOOTINGS FOR FROST PROTECTION. PROTECT SOIL FROM FREEZING TO AND BELOW ALL FOOTINGS.

  10. FOOTING ELEVATIONS CONFORMING TO NOTES 6, 8 AND 9 ABOVE AND BASED ON THE INFORMATION AVAILABLE AT THE TIME OF TENDER HAVE BEEN SHOWN ON THE DRAWINGS. IF UPON EXCAVATION TO THE LEVELS SHOWN, THESE CONDITIONS ARE NOT FULFILLED AT HIGHER ELEVATIONS THAN INDICATED, FOOTINGS MAY BE RAISED OR LOWERED, BUT ONLY WITH THE PERMISSION OF THE ENGINEER.

  11. PROVIDE 3' SKIM COAT UNDER ALL FOOTINGS BELOW THE WATER TABLE.

  12. DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN CANTILEVERED WALLS) UNTIL THE FLOORS CONSTRUCTED AT THE TOP AND BOTTOM OF WALL ARE IN PLACE AND HAVE ATTAINED THEIR DESIGN STRENGTH.

  13. BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN I'-6' DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY SUPPORT IS PROVIDED.
- UNIT\_MASONRY

  1. ALL MASONRY CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A371-04. ALL MASONRY REINFORCING AND TYING SHALL BE IN ACCORDANCE WITH CSA STANDARDS A370-04. AND S3041-04. ALL MASONRY AND GROUT SHALL BE IN ACCORDANCE WITH CSA STANDARDS A179-04.

  2. CONCRETE MASONRY UNITS SHALL BE TYPE H/15 A/M NORMAL WEIGHT BLOCKS UNLESS OTHERWISE NOTED.

  3. MORTAR FOR EXTERIOR MASONRY SHALL BE:
  17PE S LOAD BEARING BELOW GRADE, AND
  17PE S LOAD BEARING ABOVE GRADE.
  MORTAR FOR INTERIOR MASONRY SHALL BE:
  17PE S LOAD BEARING, AND
  17PE N NON-LOAD BEARING.

  4. CONCRETE GROUT FOR REINFORCED MASONRY SHALL CONSIST OF ONE PART
  PORTLAND CEMENT AND THREE PARTS SAND WITH WATER TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 10 MPG AT 25 DAYS. MAXIMUM AGGREGATE SIZE
  SHALL BE %, SLUMP FOR THE GROUT SHALL BE 8' TO 10'.

  5. CONSTRUCT MASONRY EVENLY IN MAXIMUM LIFTS OF 4' PER WORKING DAY. RAKE
  BACK ENDS OF UNFINISHED WALLS, DO NOT TOOTH AND BOND NEW MASONRY.

  6. WHERE BEAMS, JOISTS, OR LINTELS ARE SUPPORTED ON MASONRY WALLS, BUILD
  SOLID MASONRY TIGHT AROUND MEMBERS AT THEIR POINT OF BEARING, INSTALL
  STEEL BEARING PLATES COMPLETE WITH ANCHORS INTO THE MASONRY WALL THE
  SPECIFIED ELEVATION. FILL VOIDS IN MASONRY UNITS BELOW THE PASD WITH
  CONCRETE GROUT AND I-15M BAR IN EACH CELL (MIN. 2 CELLS) TO FULL HEIGHT
  OF THE WALL BELOW THE BEARING LEVEL.

  7. VERTICAL CONTROL JOINTS SHALL BE LOZATED AT MAXIMUM SPACING OF 16' TO
  20' OR AS LOCATED ON THE DRAWINGS.

  8. OVER ALL OPENINGS OR RECESSES IN THE MASONRY WALLS, INCLUDING THOSE
  REQUIRED FOR MECHANICAL OR ELECTRICAL EQUIPMENT, PROVIDE AND INSTALL
  STEEL LINTELS AS ON TYPICAL DETAILS, EXCEPT WHERE NOTED OTHERWISE ON
  THE DRAWINGS. FOR OPENINGS LESS THAN 18', PROVIDE A'M DINSTALL
  STEEL LINTELS AS ON TYPICAL DETAILS, EXCEPT WHERE NOTED OTHERWISE ON
  THE DRAWINGS. FOR OPENINGS LESS THAN 18', PROVIDE MY BARD STOUTED VERTICALLEY
  INTO THE BLOCK VOIDS. TYPICAL UNLESS OTHERWISE NOTED.

  10. PROVIDE VERTICAL AND HORIZONTAL REINFORCING AS FOLLOWS UNLESS OTHERWISE
  SHOWN ON THE DRAWINGS

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL WORK, INCLUDING DESIGN OF ALL COMPONENTS, SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN/CSA-S16-01 EXCEPT WHERE OTHERWISE

- CARRIED OUT IN ACCORDANCE WITH CAN/CSA-SI6-OI EXCEPT WHERE OTHERWISE NOTED.

  2. PROVIDE NEW STRUCTURAL STEEL CONFORMING WITH CSA STANDARD G40,21-04. PROVIDE GRADE SOM FOR ROLLED SHAPES AND PLATES, AND GRADE SOM FOR HOLLOW STRUCTURAL SECTIONS. ALL STRUCTURAL STEEL SHALL BE PAINTED CONFORMING TO CISC/CPMA STANDARD 1-73a.

  3. ALL BOLTS SHALL BE ASTIM A325 OR BETTER HIGH STRENGTH BOLTS. ANCHOR BOLTS MAY BE ASTIM A307.

  4. ALL BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE DOUBLE ANGLE UNLESS OTHERWISE NOTED.

  5. WELD ALL JOISTS AND BEAMS TO BEARING PLATES OR SUPPORTING MEMBERS UNLESS OTHERWISE NOTED.

#### **GENERAL GAS PROOFING NOTES:**

- 1. ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE AND GASOLINE FUMES INTO THE DWELLING.

  2. PROVIDE & DRYMALL WITH MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.

  3. CAULK BETWEEN GYP. BOARD AND OTHER SURFACES W ACOUSTIC SEALANT.

  4. CAULK ALL PENTRATIONS SUCH AS HOGE BIBS W ACOUSTIC SEALANT.

  5. DOORS BETWEEN GARAGE AND DWELLING SHALL BE TIGHT FITTING AND WEATHER STRIPPED AND PROVIDED WITH A SELF CLOSING DEVICE.

  6. GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS.

  7. WHERE AN ATTACHED GARAGE IS ADJACENT TO AN ATTIC SPACE, CARRY DRYWALL UP TO ROOF SHEATHING AND CAULK WITH ACOUSTIC SEALANT.

  8. WHERE MASONRY WALLS FORM THE SEPARATION BETWEEN THE DWELLING AND ATTACHED, GARAGE, THEY SHALL BE PROVIDED WITH 2 COATS OF SEALER OR COVERED WITH PLASTER OR GYP. BOARD ON THE GARAGE SIDE.

#### GENERAL WORK NOTES:

- 1. ALL CONSTRUCTION TO MEET OR EXCEED THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
  2. CONTRACTOR TO INSPECT SITE PRIOR TO BID SUBMISSION AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
  3. ENSURE THAT ALL CONSTRUCTION MATERIALS, METHODS OR CONSTRUCTION AND TEMPORARY BRACING COMPLY WITH REQUIREMENTS OF JURISDICTIONAL AUTHORITY.

  4. MAKE GOOD ALL AREAS OF MORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.

  5. CONTRACTOR SHALL CONDINATE STRUCTURAL, MECHANICAL, AND ELECTRICAL MORK IN ORDER TO ENSURE THAT THE PARTS OF THE WORK COME TOGETHER PROPERLY.

  6. SITE VERIFY ALL DIMENSIONS AND MAKE MODIFICATIONS TO SUIT EXISTING CONDITIONS AT THE DIRECTION OF THE DESIGNER.

  7. CABINET FABRICATOR TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL RELATED WORK.

  8. WINDOW SUPPLIER TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL PROPOSED WINDOWS AND DOORS TO BE INSTALLED.

  9. OWNER WILL PAY THE COST OF BUILDING PERMITS, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS, AND FEES REQUIRED FOR CONSTRUCTION AND INSTALLATION OF SERVICES, EQUIPMENT, SIGNAGE, TEMPORARY HYDRO, AND OCCUPANCY.

  10. PLANS SHOWN HERE DO NOT REPRESENT THE FULL LIMIT OF THE SCOPE OF THE MEDICAL MORES.

- CONSTRUCTION AND INSTALLATION OF SERVICES, EQUIPMENT, SIGNAGE, TEMPORARY HYDRO, AND OCCUPANCY.

  10. PLANS SHOWN HERE DO NOT REPRESENT THE FULL LIMIT OF THE SCOPE OF THE WORK. PROVIDE BLOCKING CUTTING, PATCHING AND ALL REMEDIAL WORK IN ORDER TO ENSURE ALL PARTS OF THE WORK PERFORMED INTERFACE PROPERLY AND CONFORM TO CODE.

  11. ALL FINISHES TO BE MADE GOOD IN ALL AREAS DAMAGED BY NEW OR RENOVATED CONSTRUCTION TO MATCH EXISTING OR PROVIDE RECOMMENDATIONS TO OWNER AND THE DESIGNER FOR APPROVAL PRIOR TO COMMENCEMENT OR WORK.

  12. ELECTRICAL CONTRACTOR TO ASSESS EXISTING INCOMING SERVICE AND MAKE RECOMMENDATION TO OWNER.

  13. ELECTRICAL AND GENERAL CONTRACTOR TO CONDUCT WALK THROUGH WITH OWNER AFTER FRAMING IS COMPLETE TO DETERMINE EXACT LOCATION OF ALL ELECTRICAL OUTLETS ON SITE.

  14. ALL EXISTING STRUCTURE, HVAC, & ELECTRICAL HAS BEEN ASSUMED TO BE ADEQUATE TO CARRY ALL LOADING, OR IT'S PURPOSE ALIKE SHOWN ON THE DRAWINGS. IF HOWEVER, SINCE CERTAIN STRUCTURAL MEMBERS, HVAC, ELECTRICAL AND GENERAL CONTRACTOR DE PRIOR TO EXPOSURE OF THE SUBSTRATE, IT IS FOUND THAT EXISTING STRUCTURAL MEMBERS, HVAC, ELECTRICAL ARE NOT ADEQUATE TO CARRY THE LOADING OR O.B.C. REQUIREMENTS OR IT'S PURPOSE ON THE DRAWINGS, THEN THE CONTRACTOR IS TO NOTIFY THE DESIGNER IMMEDIATELY FOR ENGINEERING EXAMINATION & REDESIGN OF, OR REMEDIAL ACTION TO BRING THE INADEQUATE STRUCTURE UP TO CODE BEFORE PROCEEDING WITH FURTHER WORK ON THE AREA IN QUESTION, AT THE OWNER'S EXPENSE.

#### GENERAL BATHROOM NOTES:

- 1. ALL PLUMBING LINES TO BE "IPEX" OR EQUAL.
  2. IN FLOOR ELECTRICAL RADIANT HEATING TO BE "NUHEAT" DIRECTLY WIRED TO ELECTRICAL PANEL OR EQUAL.
  3. EXHAUST FANS FOR BATHROOMS AND POWDER ROOMS TO BE "PANASONIC" WITH 24HR. RUN CAPABILITY.
  4. FLOOR JOISTS UNDER TUBS TO BE A MAX. OF 12" O.C. OR SUPPLEMENTARY BLOCKING ADDED BELOW TUB.
  5. EXTERNAL WALLS OF BATHROOMS AND POWDER ROOMS TO BE CLAD WITH "QUIET ROCK" "CYPSUM BOARD AND SEALED WITH ACQUISTIC CAULKING.
  6. INTERIOR WALLS OF BATHROOMS AND POWDER ROOMS TO BE BOARDED WITH "MOULD RESISTANT" DRYWALL ONLY, BY GEORGIA PACIFIC.
  7. ALL INTERIOR WALLS ACCUND SHOWERS AND TUBS TO BE CONCRETE BOARD "GEORGIA PACIFIC DENISMAR PLUS DRYWALL".
  8. INSTALL "KERD!" WATERPROOFING MEMBRANE WITH NON-MODIFIED THIN SET MORTAR OVER CEMENT BOARD.
  9. FOR TUBS, INSTALL CEMENT BOARD.
  10. FOR ALL SHOWER FLOORS, INSTALL "SCHLUTERS SHOWER KIT".
  11. PROVIDE DRAIN WATER HEAT RECOVERY UNIT(5) FOR ALL SHOWERS IN ACCORDANCE WITH THE O.B.C. SUPPLEMENTARY STANDARDS SB-12 2.11.11.
  12. USE SILICONE CAULKING ON ALL INSIDE CORNERS OF TILED WORK.
  13. INSTALL "OTTRA" BY SCHLUTER UNDER ALL FLOOR TILE AREAS OF BATHROOMS AND POWDER ROOMS AND INSTALL "KERDI BAND!" UP WALLS AT THE INTERSECT OF WALLS AND FLOORS TO INSURE A WATERTIGHT FLOOR FOR THE TILE ADHERED ON THIN SET.

#### **GENERAL STAIR NOTES:**

- 1. INTERIOR AND EXTERIOR STAIRS SHALL BE CONSTRUCTED AS FOLLOWS MAX RISE = 7-1/4"

  MIN. RUN = 11"

  MIN. HEADROOM INTERIOR = 6'-5"

  MIN. HEADROOM EXTERIOR = 6'-6"

  HANDRAIL HEIGHT AT STAIR = 34"

  HANDRAIL HEIGHT AT INTERMEDIATE LANDINGS = 34"

  HANDRAIL HEIGHT AT MAIN LANDINGS = 36"

  MIN. STAIR WIDTH = 2'-10" C/M LANDING THE SAME WIDTH AS THE STAIR

  2. GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER 2'-0" ABOVE FINISHED GRADE; MIN. GUARD HEIGHT = 36"

  3. GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER 5'-11" ABOVE FINISHED GRADE; MIN. GUARD HEIGHT = 42"

  4. EXTERIOR WOOD STAIRS TO BE SUPPORTED ON CONCRETE BASE OR APRON MIN. 1" ABOVE GRADE; FOUNDATIONS REQUIRED IF EXTERIOR STAIRS HAVE MORE THAN 2 TREADS AND 2 RISERS

  5. ALL INTERIOR AND EXTERIOR GUARDS SHALL CONFORM TO SUPPLEMENTARY GUIDELINES TO THE ONTARIO BUILDING CODE SB-7 GUARDS FOR HOUSING AND SMALL BUILDINGS.

  6. A LANDING IS REQUIRED AT THE MAIN ENTRANCE. A LANDING IS REQUIRED AT ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS AND INSTALLED BETWEEN SOOmm (2'-7") AND 920mm (3'-0").

## FOOTINGS, FOUNDATIONS

- POURED CONCRETE STRIP FOOTINGS OR PIER FOOTING (TO WIDTH AND DEPTH AS INDICATED ON PLANS) C/W 3-15m CONTINUOUS REBAR 2 14" WIDE x 6" DEEP POURED CONCRETE STRIP FOOTINGS FOR INTERIOR LOAD BEARING WOOD STUD WALLS
- 3 CONCRETE STEP FOOTINGS; VERTICAL RISE BETWEEN HORIZONTAL PORTIONS MAXIMUM 23-5/8"; HORIZONTAL PORTIONS BETWEEN RISERS MINIMUM 23-5/8"
- CONCRETE BENCH FOOTING ON UNDISTURBED SOIL MITH MAXIMUM 7/10 BOTTOM SLOPE FROM UNDERSIDE; EXISTING FOOTINGS TO REMAIN
- MIN. 4" DIA, WEEPING TILE C/M MIN. 12" CLEAR CRUSHED STONE AND FILTER FABRIC FOR DRAINAGE CONNECTION TO RAIN MATER LEADERS UNLESS OTHERWISE NOTED
- 6 POURED CONCRETE FOUNDATION WALLS
  TO THICKNESS AS INDICATED ON 7 CONCRETE BLOCK FOUNDATION WALLS TO THICKNESS AS INDICATED ON
- 8 4" SOLID MASONRY ON CONCRETE FOUNDATION WALLS TO THICKNESS AS INDICATED ON PLANS; FOR MASONRY CHECK THE REDUCED SECTION OF THE FOUNDATION WALL IS TO BE NOT LESS THAN 3-1/2" THICK AND TO BE TIED TO MASONRY WITH METAL TIES; SPACE BETWEEN WALL AND FACING TO BE FILLED WITH MORTAR
- q "HYDROSHIELD" OR APPROVED EQUAL FOUNDATION COATING ON FOUNDATION MALL AND CONTINUOUS OVER FTG. LEDGE; "MIRADRAIN" DRAINAGE MEMBRANE OR APPROVED EQUAL
- 10 15m DOWELS DRILLED AND GROUTED INTO EXISTING FOUNDATION WALL @ 16" O.C. VERTICALLY AT
- 6" CLEAN GRAVEL BASE LAYER 6" CLEAN GRAVEL BASE LATER MIN. R.10.2" LATER SM RIGID INSULATION BY "POW CORNING" C/M DUCT TAPED JOINTS AND APPLY EXPANSION FOAM ALONG ALL EXTERIOR EDGES OF FLOOR AND WALL JUNCTURES OR ALTERNATE SPRAYED IN PLACE INSULATION IF IN FLOOR RADIANT HEATING IS TO BE INSTALLED USE IPEX TUBING (OR EQUAL); REFER TO MANUFACTURERS SPEC'S FOR SLAB
- 4" POURED CONCRETE SLAB; SLAB
  MACHINE TROWELLED FINISH C/M 6x6
  MINT AND SAW CUT CONTROL JOINTS;
  CONC. 32 MPO MITH 5x-7x AIR
  ENTRAINMENT FOR SLABS EXPOSED TO
  WEATHER; 6" CLEAN GRAVEL BASE
  LAYER (13) CRAWL SPACE SLABS TO BE 4" CLEAN GRAVEL BASE LAYER W/ 6 MIL. V.B. WITH MIN. 2" SLUSH COAT OF CONCRETE
- DROP TOP OF FOUNDATION WALL (TO DEPTH AND WIDTH AS INDICATED ON PLANS
- MINDOW WELL; PROVIDE A CLEARANCE OF NOT LESS THAN 550mm IN FRONT OF THE MINDOW IS OPEN, IT SHALL NOT REDUCE THE CLEARANCE IN A MANNER THAT MOULD RESTRICT ESCAPE IN AN EMERGENCY

### EXTERIOR & INTERIOR WALLS

- 4" STONE OR BRICK VENEER: MEEP
  HOLES C/W INSECT SCREENS AT MIN.
  2"-0" O.C. AND COPPER FIBREAN
  FLASHING MIN. 8" UP FACE OF
  SHEATHING; I" AIR SPACE; TYVEK
  BUILDING MRAP OR BLUESKIN VP WATER
  RESISTIVE AIR BARRIER MEIPHRANE; ½"
  EXTERIOR GRADE PLITWOOD SHEATHING;
  I" RIGID INSULATION FOR THERMAL
  BREAK; 21% STUDS @ 16" O.C.; "BASF
  WALLTITE" SPRAYED IN PLACE FOAM
  INSULATION OR BATT. INSULATION MIN.
  R.22(PKG. AI) OR R.194-R.5ci (RIGID
  LISTED ABOVE-PKG. A2); 6 MIL. POLY
  V.B. AND ½" DRYWALL. (IF WALL IS AN
  EXTERIOR GRAGE WALL REPLACE
  DESCRIPTION ABOVE WITH 2"X4" WOOD
  STUDS AND REMOVE INSULATION)
  PROVIDE DOUBLE TOP PLATES, SINGLE
  BOTTOM PLATES, TRIPLE STUDS AT
  OPENINGS

  1 STONE OR BRICK SILLS GITTED.
- 18 STONE OR BRICK SILLS SIZED TO SUIT (SEE DETAILS)
- 9 SELF SUPPORTING STONE ARCH (SEE DETAILS)
- 21 DECORATIVE STONE VENEER ON MORTAR SETTING BED AND SCRATCH COAT METAL LATHE OVER EXISTING MALL
- MATER RESISTIVE AIR BARRIER
  MEMBRANE, & EXTERIOR GRADE
  PLYMOOD SHEATHING; I" RIGID
  INSULATION FOR THERMAL BREAK; 2"x6"
  STUDS @ 16" O.C., "BASF MALLTITE"
  SPRAYED IN PLACE FOAM INSULATION
  OR BATT. INSULATION (INSULATION
  VALUES MUST TOTAL R.194R.5ci (PKG.
  A2)); (INSULATION NOT REQUIRED FOR
  EXTERIOR GARAGE MALLS OR
  ACCESSORY STRUCTURES) 6 MIL. POLY
  V.B. AND & DRYMAND
- SUITABLY RE-INFORCED

  EXTIRA PANELS, TRIMS, MINDOM SURROUNDS TO SUIT; TTYEK BUILDING WRAP; ½" EXTERIOR GRADE PLYMOOD SHEATHING; 1" RIGID INSULATION FOR THERMAL BREAK; 2" ½" STUDS 9 16" O.C.; "BASF HALLITIE" SPRAYED IN PLACE FOAM INSULATION OR BATT. INSULATION MIN. R.22(PKG. AI) OR R.194R.BG (RIGID LISTED ABOVE PKG. A2); 6 MIL. POLY V.B. AND ½" DRTWALL (IF WALL IS AN EXTERIOR GARAGE MALL REPLACE DESCRIPTION ABOVE WITH 2'x4" WOOD STUDS AND REMOVE INSULATION); PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS
  TOP PLATES IN MALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UN-DAMAGED WITH 1'VE LESS THAN 2" UNLESS THE WEAKENED PLATES ARE SUITABLY RE-INFORCED
- QUITABLY RE-INFORCED

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  (OPTION 1: TRADITIONAL 3-COAT STUCCO APPLICATION; FINISH COAT (MIN. %\* THICK) (PATTERN TO BE DETERMINED); BROWN COAT(%\* THICK); SCRATCH COAT(%\* THICK); EXPANDED HIRE (HESH; BUILDING PAPER) OR (OPTION 2: DURCCK P.U.C.C.S. STUCCO SYSTEY); ON %\* EXTERIOR GRADE PLYWOOD SHEATHING; I'R RIGID INSULATION FOR THERMAL BREAK; 2\*%6\* STUDS & 16\* O.C.; "BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION OR BATT. INSULATION MIN. R.22(PKG. AI) OR R.194-R.5ci (RIGID LISTED ABOVE PKG. A2); & MIL. POLY VB. AND §\* DRYWALL (IF WALL IS AN EXTERIOR GARAGE WALL REPLACE DESCRIPTION ABOVE HITH 2\*X4\* WOOD STUDS AND REMOVE INSULATION); PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UN-DAMAGED WITH TO LESS THAN 2\* UNLESS THE MEAKENED PLATES ARE SUITABLY RE-INFORCED

- 20 STONE OR GAUGED BRICK SOLDIER COURSE (SEE DETAILS)
- 22 EXTERIOR MOOD OR VINYL SIDING/ SHAKES (REFER TO ELEVATIONS); KINGSPAN DCIA DRAINAGE MAT; TYVEK BUILDING PAPER OR BLUESKIN VP WATER RESISTIVE AIR BARRIER
- ACCESSORY STRUCTURES) 6 MIL. POLY V.B. AND ½" DRYNALL; PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPPNINGS.

  TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UN-DATAGED MIDTH TO LESS THAN 2" UNLESS THE WEAKENED PLATES ARE SUITABLY RE-INFORCED

- 25 INTERIOR LOAD BEARING WALLS 2"x6" WOOD STUDS @ 16" O.C. WITH X" DRYMALL BOTH SIDES; FOR WALLS TALLER THAN 12"-0" STUDS TO BE PRE-ENSINEERED MATERIAL TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERNISE WEAKENED TO REDUCE THE UN-DAMAGED WIDTH TO LESS THAN 2" UNLESS THE WEAKENED TO PLATES ARE SUITABLY RE-INFORCED PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS
- 27 INTERIOR SOUND PARTITIONS; 2"x6"
  WOOD STUDS @ 16" O.C. WITH "ROXUL"
  SOUND INSULATION BATTS; ½"
  RESILENT CHANNELS ONE SIDE
  HORIZONTALLY; 2 LAYERS OF ½"
  DRYNALL OR "GUIETROCK" DRYWALL
  BOTH SIDES; SEAL ALL OPENINGS TO
  FLOOR W/ CAULKING; AVOID
  ELECTRICAL OUTLETS IN WALL WHERE
  POSSIBLE; PROVIDE DOUBLE TOP
  PLATES, SINGLE BOTTOM PLATES,
  TRIPLE STUDS AT CORRERS AND
  DOUBLE STUDS AT OPENINGS
- PERIMETER INTERIOR FOUNDATION;
  FOUNDATION WALL (SEE NOTE 6 OR 7),
  2"x4" WOOD STUDS 9 16" O.C. C/M
  PRESSURE TREATED CONTINUOUS
  BOTTOM PLATE C/M FOAM GASKET W
  MINERAL WOOL BATT. INSULATION BY
  "ROXUL" OR APPROYED EQUAL MIN.
  R.12+ 10cl (PKG. A1842) BETMEEN
  STUDS AND FOUNDATION WALL; 1/2"
  DRYWALL (FOR FINISHED AREAS)
  SPRAY FOAM OR BATT. INSULATION 4"
  INTO THE HEADERS; LEAVE 2" GAP SPRAT FOATION BAIL, INSULATION 4"
  INTO THE HEADERS, LEAVE X," GAP
  AROUND PERIMETER OF ALL BOARDS
  AND FILL WITH SPRAY FOAM TO SEAL
  THE BOARDS TOGETHER AT THE FLOOR
  SLAB; PROVIDE DOUBLE TOP PLATES,
  SINGLE BOTTOM PLATES, TRIPLE
  STUDS AT CORNERS AND DOUBLE
  STUDS AT OPENINGS
- 29 PERIMETER INTERIOR FOUNDATION FOR CRAML SPACES, FOUNDATION WALL (SEE NOTE 6 OR 7), 20ci RIGID INSULATION, SPRAY FOAM OR BATT. INSULATION 4" INTO THE HEADERS, PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS
- OPENINGS

  OPTION 2: PERIMETER INTERIOR FOUNDATION STUD MALLS; FOUNDATION MALL (SEE NOTE 6 OR 7), ½" MILDEW RESISTANT DRYMALL FROM FLOOR TO CEILING; 2'x4" MOOD STUDS @ 24" O.C. C/M PRESSURE TREATED CONTINUOUS BOTTOM PLATE C/M FOAM GASKET; STUDS SET 1-1/2" OFF FOUNDATION MALL; SPRAY 4" THICK 2U.B. URETHANE FOAM INSULATION (20c) (PKG AI)FROM TOP OF THE JOIST HEADERS ALL THE WAY DOWN TO TOP OF CONCRETE FLOOR; SPRAY 4" INTO THE HEADERS; LEAVE ½" GAP AROUND PERIMETER OF ALL BOARDS AND FILL WITH SPRAY FOAM TO SEAL THE BOARDS TOGETHER AT THE FLOOR SLAB; PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT OPENINGS
- NON-LOADBEARING INTERIOR BASEMENT PARTITIONS; 2"x4" WOOD STUDS 16" O.C. C/W PRESSURE TREATED CONTINUOUS BOTTOM PLATE C/W FOAM GASKET; ½" DRYWALL BOTH SIDES; FOR WALLS TALLER THAN 8"-0" HIGH STUDS TO BE 2"x6" STUDS 16" O.C. PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT OPENINGS

- 32 LOAD BEARING INTERIOR BASEMENT PARTITIONS: ON CONCRETE STRIP FOOTINGS (SEE NOTE 2); 2\*x6\* MOOD STUDS @ 16\* O.C. C/M PRESSURE TREATED CONTINUOUS BOTTOM PLATE C/M FOAM GASKET; BOLTED W ½\* DIA. ANCHOR BOLTS @ 7\*-10\* O.C. MIN.; ½\* DRYMALL BOTH SIDES; FOR WALLS TALLER THAN 12\*-0\* STUDS TO BE PRE-ENGINEERED MATERIAL PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS; TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UN-DAMAGED MIDTH TO LEGS THAN 2\* UNLESS THE WEAKENED PLATES ARE SUITABLY RE-INFORCED
- GARAGE PARTITIONS 2"x6" WOOD STUDS € 16" O.C. W "BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION OR BATT. INSULATION MIN. R.22; € MIL. POLY V.B. AND ½" DRYWALL; REFER TO GENERAL GAS PROOFING NOTES FOR FURTHER DETAILS

FLOOR FRAMING

- 34 FINISHED FLOOR ON %" T%G SUB FLOOR SCRENED AND GLUED ON F.J. (SIZE AND SPACING AS INDICATED ON PLANS); TO BE ANCHORED TO 2"x6" SILL PLATE HITH "SIMPSON" STRONG TIES A23 FRANING ANGLES C/M 3-3.25" LONG NAILS; 2"x6" SILL PLATE C/M GASKET TO BE ANCHORED TO FOUNDATION WALL WITH ½" DIA. x 8" LONG ANCHOR BOLTS (OR EGUAL) @ 44" O.C. MAX.; FOR TRIMMER AND RIM JOIST, ADD "BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION TO FILL ENTIRE CAVITY MIN. R.31
- 35 FINISHED FLOOR ON %" TAG SUB FLOOR SCREWED AND GLUED ON ENG. FLOOR JOISTS (SIZE AND SPACING AS INDICATED ON PLANS INCLUDING LVL SIZES AS INDICATED). TO BE ANCHORED TO 2"%" SILL PLATE WITH "SIMPSON" STENOK TIES A23 FRAMING ANGLES C/M 3-3.28" LONG NAILS; 2"%" SILL PLATE C/M GASKET TO BE ANCHORED TO FOUNDATION WALL WITH IN DAY SUB A 28" LONG NAILS C/M A 28" LONG NAILS (AND A 28" LONG NAILS BOITS (AND A 28" LO ANCHORED TO FOUNDATION WALL WITH 
  Nº DIA. x 8" LONG MOCHOR BOLTS (OR 
  EGUAL) @ 94" O.C. MAX. FOR TRIMMER 
  AND RIM JOIST, ADD'BASF WALLTITE" 
  SPRAYED IN PLACE FOAM INSULATION 
  TO FILL BUTIRE CAVITY MIN. R.3. 
  CONTRACTOR TO PROVIDE FLOOR 
  FRAMING PLANS SEALED BY A FRAMING PLANS SEALED BY A PROFESSIONAL ENGINEER REGISTERED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO, FRAMING PLANS TO BE SUBMITTED TO STRUCTURAL ENGINEER (IF APPLICABLE) AND DESIGNER FOR REVIEW PRIOR TO FABRICATION
- 36 ADD"BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION TO FILL ENTIRE CAVITY MIN. R.31 FOR EXPOSED CANTILEVERED JOISTS/WINDOWS
- ROOF AND CEILING FRAMING
- 37

  X\* EXTERIOR GRADE PLYWOOD
  SHEATHING ON APPROVED TRUSSES
  (SPACING AS INDICATED ON SHOP
  DRAWINGS); CONTRACTOR TO PROVIDE
  ROOF TRUSS PLANS SEALED BY A
  PROFESSIONAL ENGINEER REGISTERED
  AND INSURED TO PRACTICE IN THE
  PROVINCE OF ONTARIO. TRUSS PLANS
  TO BE SUBMITTED TO STRUCTURAL
  ENGINEER (IF APPLICABLE) AND
  DESIGNEER FOR REVIEW PRIOR TO
  ISSUANCE. SITE MEASURE OF
  PROPOSED FRAMING BY TRUSS
  DESIGNER TO REVIEW PRIOR TO
  FABRICATION. ROOF TRUSSES SHALL
  NOT BE NOTCHED, DRILLED OR
  OTHERNISE WEAKENED UNLESS SUCH
  NOTCHING OR DRILLING IS ALLOWED FOR
  IN THE DESIGN OF THE TRUSS
  U/S OF TRUSSES/FINISHED CEILING C/W
  "BASS WALLTITE" SPRAYED IN PLACE
  FOAM INSULATION OR BATT. INSULATION
  MIN. ROO (MAINTAIN MINIMUM 2-1/2"
  VENTILATION SPACE WITH PRE-MOULDED
  VENT BAFFIE AS A BEGILDED OF DESIGNED.

38 APPROVED GIRDER TRUSS; REFER TO SHOP DRAWINGS FOR SIZE AND LOCATION

ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD WISH-03. THE FABRICATOR SHALL BE FULLY APPROVED BY THE CANADIAN WELDING BUREAU IN CONFORMANCE WITH THE CSA STANDARD W47.1-03.
 HOT DIP GALVANIZE ALL STEEL LINTELS AND SHELF ANGLES IN EXTERIOR WALLS AND ALL STEEL EXPOSED TO WEATHER.

NOOD FRAMING

1. WOOD STRUCTURAL ELEMENTS SHALL COMPLY WITH CSA STANDARD 086-01.

2. WOOD SHALL BE GRADE MARKED TO CONFORM TO CSA STANDARD 0141-05. SAWN LUMBER SHALL BE SPF NO. 1 AND NO. 2 IN THE RATIO OF 67% (MINIMUM) AND 33%

2. WOOD SHALL BE GRADE THARRED TO CONTINUE TO STATUS OF 67% (MINIMUM) AND 33% (MAXIMUM) RESPECTIVELY.

3. ENGINEERED WOOD BEAM MEMBERS SHALL BE 1.7E GRADE LVL BY TRUSS JOIST OR APPROVED EQUAL OR BETTER. MULTI-PLY MEMBERS SHALL BE INTERCONNECTED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS. SIDE LOADED (FLUSH) MULTI-PLY BEAMS SHALL BE INTERCONNECTED WITH 2 ROWS OF ½\* DIAMETER THRU-BOLTS AT 12\* O.C.

4. ALL BOLTS SHALL BE A307 GRADE OR BETTER.

5. ENGINEERED WOOD JOIST MEMBERS SHALL BE TJI JOISTS BY TRUSS JOIST OR APPROVED EQUAL OR BETTER.

6. PROVIDE 2-2\*x4\* OR 2-2\*x6\* (TO MATCH THICKNESS OF STUDS) SOLID SUPPORT POST UNDER EACH END OF ALL TIMBER BEAMS, UNLESS OTHERNISS NOTED.

7. TRUSS/FLOORING DESIGNER SHALL PROVIDE A SITE MEASURE OF EXISTING AND NEW FOUNDATION OR FRAMING STRUCTURE PRIOR TO THE ORDERING OF ANY ENGINEERED PRODUCTS.

8. ALL BASE PLATES TO BE 1/2" THICK, UNLESS OTHERWISE NOTED.

DESIGN LOADING (SERVICE LOADS)

1. ROOF STRUCTURE DEAD LOAD = 18.0 PSF LIVE LOAD = 24.0 PSF 2. FLOOR STRUCTURE

DEAD LOAD = 25.0 PSF LIVE LOAD = 40.0 PSF

- DIMENSIONAL LUMBER ROOF FRAMING 

  "EXTERIOR GRADE PLYWOOD SHEATHING ON ROOF RAFTERS, RIDGE BOARD, VALLEY RAFTERS, RIDGE RAFTERS, COLLAR TIES AND CEILING JOISTS TO SIZES, SPACING AND FLANS; FOR NEW FRAMING BUILT OVER EXISTING ROOFS/TRUSSES USE NAILER ON FLAT AS INDICATED ON PLANS; U/S OF LUMBERS/FINISHED CEILING C/W "BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION OR BATT. INSULATION MIN. R.60 (MAINTAIN MINIMUM 2-1/2" VENTILATION SPACE WITH PRE-MOULDED VENT BAFFLES AS REQUIRED FOR BATT. INSULATION ONLY) (MIN. R.3) FOR CEILING WITHOUT ATTIC SPACE) (INSULATION VALUES NOT REQUIRED FOR ROOF STRUCTURE IN UNCONDITIONED SPACE); 6 MIL. POLY V.B. \$ ½" DRYWALL
- V.B. \$ ½" DRYWALL 40 PROVIDE ROOF VENTILATION EQUAL TO ONE SQUARE FEOT FOR EVERY 300 SQUARE FEET OF INSULATED CEILING AREA AND COMPLY WITH LATEST O.B.C. EDITION, WHERE EVER POSSIBLE O.D.C. EDITION; WHERE EVER POSSIBLE PLACE ROOF VENTING ON REAR PORTION OF ROOF OR USE ROOF RIDGE VENT
- (41) 20" x 28" MINIMUM ATTIC ACCESS HATCH WITH INSULATION MIN. R.60 AND WEATHER STRIPPING; PROVIDE DOUBLE FRAMING AROUND OPENING
- 9KYLIGHT BY VELUX TO SIZE AS INDICATED ON PLANS, COMPLETE WITH INTEGRATED CURB AND FLASHING; SKYLIGHT SHAFT TO BE 2X4 SUPPLEMENTARY FRAMING AND INSULATED AS DECESSARY. INSURE DOUBLE FRAMING AROUND OPENING SOLARTUBE SIZE TO SIZE AS INDICATED ON PLANS, COMPLETE WITH INTEGRATED CURB AND FLASHINGS; SOLARTUBE SHAFT TO BE 2X4 SUPPLEMENTARY FRAMING AND INSULATED AS NECESSARY. INSURE DOUBLE FRAMING AROUND OPENING

#### ROOF FINISHES

- ASPHALT OR FIBRE GLASS ROOF
  SHINGLES ON "GRACE" ICE AND WATER
  SHIELD; FOR SLOPES UNDER 4.5:12
  USE LOW SLOPE SHINGLES
  VALLEY FLASHING TO BE
  PRE-FINISHED METAL UNLESS
  OTHERWISE SPECIFIED WHEN
  SITUATIONS ARISE WHEN ENTIRE ROOF
  IS NOT COVERED WITH GRACE" ICE
  AND WATER SHIELD APPLY EAVE
  PROTECTION TO EXTEND 2"-6"
  BEYOND INTERIOR FACE OF WALL AND
  3"-0" MIN. FROM EAVES
- 3'-0" MIN. FROM EAVES

  WOOD RED CEDAR SHINGLES
  (IMPERIALS NO. 1) ON CEDAR
  BREATHER APPLIED OVER "RACE" ICE
  AND WATER SHIELD; NAILING AS PER
  MANUFACTURER SPECIFICATIONS
  VALLEY FLASHING TO BE
  PRE-FINISHED METAL UNLESS
  OTHERWISE SPECIFIED WHEN
  SITUATIONS ARISE WHEN ENTIRE ROOF
  IS NOT COVERED WITH GRACE" ICE
  AND WATER SHIELD APPLY EAVE
  PROTECTION TO EXTEND 2'-6" BEYOND
  INTERIOR FACE OF WALL AND 3'-0"
  MIN. FROM EAVES MIN. FROM EAVES
- NATURAL SLATE ROOFS OR CONCRETE TILE ON "GRACE" ICE AND WATER SHIELD; NOTE: ROOF SHEATHING MUST BE INCREASED TO \$\frac{3}{2}\text{!} EXTERIOR GRADE PLYMOOD AND ROOF MEMBERS TO BE SPACED AT 16" O.C. VALLEY FLASHING TO BE PRE-FINISHED METAL UNLESS OTHERWISE SPECIFIED WHEN SITUATIONS ARISE WHEN ENTIRE ROOF IS NOT COVERED WITH "GRACE" ICE AND WATER SHIELD APPLY EAVE PROTECTION TO EXTEND 2"-6" BEYOND INTERIOR FACE OF WALL AND 3"-0" MIN. FROM

- AND 3'-0" MIN. FROM EAVES
- PORCHES & DECKS

  - [51] I" FLAGSTONE FINISH ON I" SETTING BED FOR FLAGSTONE; 6" POURED CONCRETE SLAB; SLAB MACHINE TROHELLED FINISH C/M 60% IMIM AND SAM CUT CONTROL JOINTS; CONC. 32 MPG MIHT 58-7% AIR ENTRAINMENT FOR SLABS EXPOSED TO WEATHER; 6" CLEAN GRAVEL BASE LAYER
  - CONC. PIER C/W FOOTING (TO SIZE AS INDICATED ON PLANS) C/W 6"X6" PR. TR. WOOD POST (IF APPLICABLE) ANCHORED W/ METAL SHOE C/W 3-15M VERTICAL TO MINIMUM 4'-0" BELOW GRADE
  - HELICAL PIERS BY OTHERS: REFE TO ENGINEERED MANUFACTURERS SPECS.
  - PR. TR. WOOD POSTS (TO SIZE AS INDICATED ON PLANS) C/M
    IDURABOARD" PANELS AND TRIM;
    COLUMN ANCHORED TO CONC. SLAB
    W/ METAL SHOE W/ WOOD OR
    POWDER COATED STEEL TRELLIS (IF
    APPLICABLE); STONE VENEER
    BASE/OR PANELLED BASE ANCHORED
    TO PR. TR. WOOD FRAME
    OR CONC. BLOCK BACKING (IF
    APPLICABLE) APPLICABLE)
  - 36" HIGH MINIMUM FINISHED HANDRAIL/GUARD ON WOOD PICKETS (MAX. 4" SPACE BETWEEN PICKETS # MAX. 4"-0" SPACE BETWEEN NEWEL POSTS) AND IN ACCORDANCE WITH LATEST EDITION O.B.C.

- 47 COPPER ROOFING OR PRE-FINISHED METAL APPLICATIONS; 8" STANDING SEAM COPPER ROOFING OR PRE-FINISHED METAL ON "GRACE" ICE AND WATER SHIELD ON "S" EXTERIOR GRADE PLYWOOD SHEATHING; ROOF STRUCTURE AS NOTED ON PLANS WHEN SITUATIONS ARISE WHEN ENTIRE ROOF IS NOT COVERED WITH "GRACE" ICE AND WATER SHIELD APPLY EAVE PROTECTION TO EXTEND 2"-6" BEYOND INTERIOR FACE OF WALL AND 3"-0" MIN. FROM EAVES
- 48 FOR FLAT ROOFS CREATE MINIMUM PITCH (1/4" PER I"-0") WITH SUPPLEMENTARY FRAMING ON MAIN STRUCTURAL FRAMING; %" EXTERIOR GRADE PLYWOOD SHEATHING; SITE APPLIED WATERPROOF ROOFING MEMBRANE OR 3-PLY BUILT UP ROOF WITH GRAVEL STOP ALTERNATIVE
- 49 PR. TR. DECK FRAMING (SIZE AND SPACING AS INDICATED ON PLANS)
  C/W 1"x6" PR. TR. DECKING
- SO PR. TR. LEDGER BOARD (SIZE AS INDICATED ON PLANS) ANCHORED TO FOUNDATION WALL OR RIM JOIST W/ 2 ½" THRU-BOLTS/ANCHOR BOLTS @ 32" O.C.

- 55 EXTERIOR "DURABOARD" OR EQUAL MALL PANELS, TRIMS ON PR. TR. WOOD FRAMED BASE
- SUPPLEMENTARY STANDARD SB-7 57)
  42" HIGH MINIMUM FINISHED
  HANDRAIL/GUARD ON MOOD PICKETS
  (MAX. 4" SPACE BETWEEN PICKETS

  \* MAX. 4"-0" SPACE BETWEEN NEWEL
  POSTS) AND IN ACCORDANCE WITH
  LATEST EDITION O.B.C.
  SUPPLEMENTARY STANDARD SB-7

- SOFFITS, FASCIAS & TRIMS ALL TRIM CAN BE PROVIDED BY EXQUISITE EXTERIORS
- ALL PANELS & TRIMS TO BE MADE OUT OF
- 69 ALUMINUM CLAD 2"x6" WOOD FASCIA, CONTINUOUS SCREENED VENTED ALUMINUM SOFFIT W PRE-FINISHED ALUMINUM EAVES TROUGH AND
- COPPER CLAD 2"x6" WOOD FASCIA;
  CONTINUOUS SCREENED VENTED ½"
  "CREZONE" PLYWOOD SOFFIT OR 1"x3"
  T\$G CEDAR BOARDS (REFER TO
  PLANS) W/ HALF ROUND COPPER
  EAVES TROUGH AND RAINWATER
  LEADERS W/ COPPER COLLECTOR
  BOXES
- 61 FASCIA TRIMS
  ½" x 12" FRIEZE BOARD W/ BED
  MOULD 3-%"x3-½"
- 62 WINDOW CAP TRIMS CROWN MOULD 2-"%","2-"%" ON ½" x 10" FRIEZE BOARD W/ 1" DIA, HALF ROUND AT BOTTOM OF FRIEZE
- COLUMN BASE TRIMS
  BED MOULD 3-%"x3-"," ON 1" THICK
  BASE FOR COLUMNS ON PEDESTALS (3-1/2" THICK BASE FOR STAND ALONE COLUMNS)
- 67 DORMER TRIMS (LARGE)
  CROWN MOULD 2-7%2"x2-7%2 (CYMA)
  ON 6" HIGH CORONA W/ BED MOULD
  3-1%-13-1% ON 1/2" x 10" FRIEZE BOARD
  W/ SHINGLE MOULD 2-76"x1-1% ON
  SLOPE (IF APPLICABLE)
- RAKE GABLE TRIMS
  SHINGLE MOULD 2-%'x1-%" ON 1"x6"
  (OR DIMENSION TO SUIT) RAKE
  BOARD (DO NOT CLAD WITH
  PRE-FINISHED METAL UNLESS
  SPECIFIED) W BED MOULD 2"x1-%"
  ON ½"x5" FRIEZE BOARD
  IF APPLICABLE PROVIDE 2"x4"
  HORIZONTAL JOISTS W BED MOULD
  2"x1-%" ON ½"x5" FRIEZE BOARD
- DOOR/MINDOW SURROUNDS
  TRIM (TO SIZE AS INDICATED ON
  ELEVATIONS) W/
  COVE MOULD |"XI" ON ½"X5" FLAT
  PANEL TRIM (SILL AND APRON FOR
  MINDOWS ONLY) & COVE MOULD |"XI"
  ON ½"X5" FLAT PANEL TRIM (FOR
  DRIP MOULD AT DOOR HEADERS WHERE APPLICABLE)

70 2"x2" SILL W/ ½"x3" FLAT PANEL TRIM W/ COVE MOULD 1"x1"

71 2"x2" SILL W/ COVE MOULD 1"x1"

- - 76 WINDOW FLOWER BOX (REFER TO DETAILS)
- 79 PROVIDE DRYER VENT TO EXTERIOR FASCIA TRIMS
  CROWN MOULD 3-2%,"×3-2%," (CYMA)
  ON 8" HIGH CORONA W/ BED MOULD
  3-%,"x3-½," ON ½" x 18" FRIEZE BOARD
  W/ 1" DIA, HALF ROUND @ 5-½" O.C.
  FROM BOTTOM OF FRIEZE
- 65 COLUMN CAP TRIMS
  BED MOULD 3-%"x3-1/4" ON 1/2" THICK
  CAP FOR COLUMNS ON PEDESTALS
  (1-1/4" THICK CAP FOR STAND ALONE
  COLUMNS)

- 73 STRUCTURAL BRACKET (REFER TO DETAILS)
- 75 DECORATIVE VENT (TO SIZE AS INDICATED ON PLANS)
- KITCHENS, BATHROOMS
- & LAUNDRY ROOMS 777 PROVIDE A SUPPLEMENTAL EXHAUST AIR INTAKE IN EACH BATHROOM, WATER CLOSET ROOM AND LAUNDRY ROOM IN ACCORDANCE TO LATEST EDITION OF O.B.C.
- 78 RANGE HOOD EXHAUST VENT TO EXTERIOR
- SECOND FLOOR LAUNDRY; CREATE WATERPROOF SHOWER FLOOR COMPLETE WITH FLOOR DRAIN FOR ENTIRE LAUNDRY ROOM (REFER TO GENERAL BATHROOM NOTES FOR SHOWERS)
  - INTERIOR DETAILS
  - 81 ROD AND SHELF 82 "TOWN AND COUNTRY" DIRECT VENT GAS FIREPLACE W/ DECORATIVE MANTEL TO OWNERS SELECTION (REFER TO MANUFACTURERS SPECS.)
- 66 DORMER TRIMS (SMALL)
  CROWN MOULD 2-%\*x2-%" (CYMA) ON
  4-%" HIGH CORONA W/ BED MOULD
  1-%\*x2" ON ½" x 6" FRIEZE BOARD W/
  SHINGLE MOULD 2-%\*x1-%" ON SLOPE
  (IF APPLICABLE)

  84 I-34" SOLID CORE WOOD DOOR C/W 84 1-3/4" SOLID CORE WOOD DOOR C/W SELF CLOSER AND WEATHERSTRIPPING
  - 85 36" HIGH MINIMUM FINISHED
    HANDRAIL/GUARD ON WOOD PICKETS
    (MAX. 4" SPACE BETWEEN PICKETS
    \$ MAX. 4"-0" SPACE BETWEEN NEWEL
    POSTS) AND IN ACCORDANCE WITH
    LATEST EDITION O.B.C.
    SUPPLEMENTARY STANDARD SB-7
    - 86 42" HIGH MINIMUM FINISHED HANDRAIL/GUARD ON WOOD PICKETS (MAX. 4" SPACE BETWEEN PICKETS \$ MAX. 4"-0" SPACE BETWEEN NEWEL POSTS) AND IN ACCORDANCE WITH LATEST EDITION O.B.C.
      SUPPLEMENTARY STANDARD SB-7 87 WINDOW SEAT W/ OPENING LID WITH PANELED FRONTS

## WOOD LINTELS/BEAMS

- 2/2"x4" 2/2"x6" 2/2"x10" 2/2"x10" 3/2"x6" 3/2"x6" 3/2"x10" 3/2"x12" 4/2"x6" 4/2"x8" 4/2"x8" 4/2"x8" LI -L2 -L3 -L5 -L6 -L7 -L8 -L10 -L11 -L12 -L13 -
- WOOD POSTS

- 4/2"x6" ON 24"x24"x8" CONCRETE FOOTING C/W 3-15m BARS EACH WAY 4"x4" ON 30"x30"x8" CONCRETE FOOTING C/W 3-15m BARS EACH WAY 6"x6" ON 36"x36"x8" CONCRETE FOOTING C/W 3-15m BARS EACH WAY P12 -STEEL POSTS
- SPI 3-½" DIA. STEEL POST W/ TOP

  BOTTOM PLATE

  SP2 3-½" DIA. STEEL POST ON

  24"x24"x8" CONCRETE FOOTING

  C/M 3-15m BARS EACH WAY

  SP3 3-½" DIA. STEEL POST ON

  30"x30"x8" CONCRETE FOOTING

  C/M 3-15m BARS EACH WAY

  SP4 3-½" DIA STEEL POST ON

### SP4 - 3-1/2" DIA. STEEL POST ON 36"x36"x8" CONCRETE FOOTING C/W 3-15m BARS EACH WAY

STEEL LINTELS SI - 3-½"x3-½"x½" L (LLV) C/W MIN. 4" BEARING EACH END C/M FIIN. 4 DEARING EACH END

52 - 4-78/3-78/38 L (LLV)

C/M MIN. 6 BEARING EACH END

53 - 5-78/32-78/38 L (LLV)

C/M MIN. 6 BEARING EACH END

S4 - 5-%"x3-½"x½" L (LLV) C/W MIN. 6" BEARING EACH END

- DRAWING LEGEND: = EXISTING
- = NEW STUD WALLS ELECTRICAL LEGEND: 事 = SWITCH

曲

**▲** AGD

 $\oplus$ 

= TWO-WAY SWITCH = 15A DUPLEX RECEPTACLE = 15A DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTER

SWITCH FOR AUTOMATIC GARAGE DOOR

= EXISTING TO BE REMOVED

= AUTOMATIC GARAGE DOOR OPENER  $\bigcirc$  AGD = CEILING POT LIGHT/ INCANDESCENT LIGHT FIXTURE



= INTERCONNECTED = INTERCONNECTED
SMOKE \$ CO2 ALARM.
REG'D TO HAVE A
VISUAL SIGNALING
COMPONENT AS PER
OBC 9.10.19.3(3) INTERCONNECTED

= WALL MOUNTED POT LIGHT /INCANDESCENT LIGHT FIXTURE

of **8** 

### CAUCHI RESIDENCE 3233 HALL ROAD BINBROOK, ON

THE SCHROEDER

L0R 1C0



design work described in this document

**PRELIMINARY** 09.29.22 signature required Jennifer Bognar reviews and takes responsibility for the

■ jbdraftinganddesign@live.ca ■ ■ 905.517.6027 ■

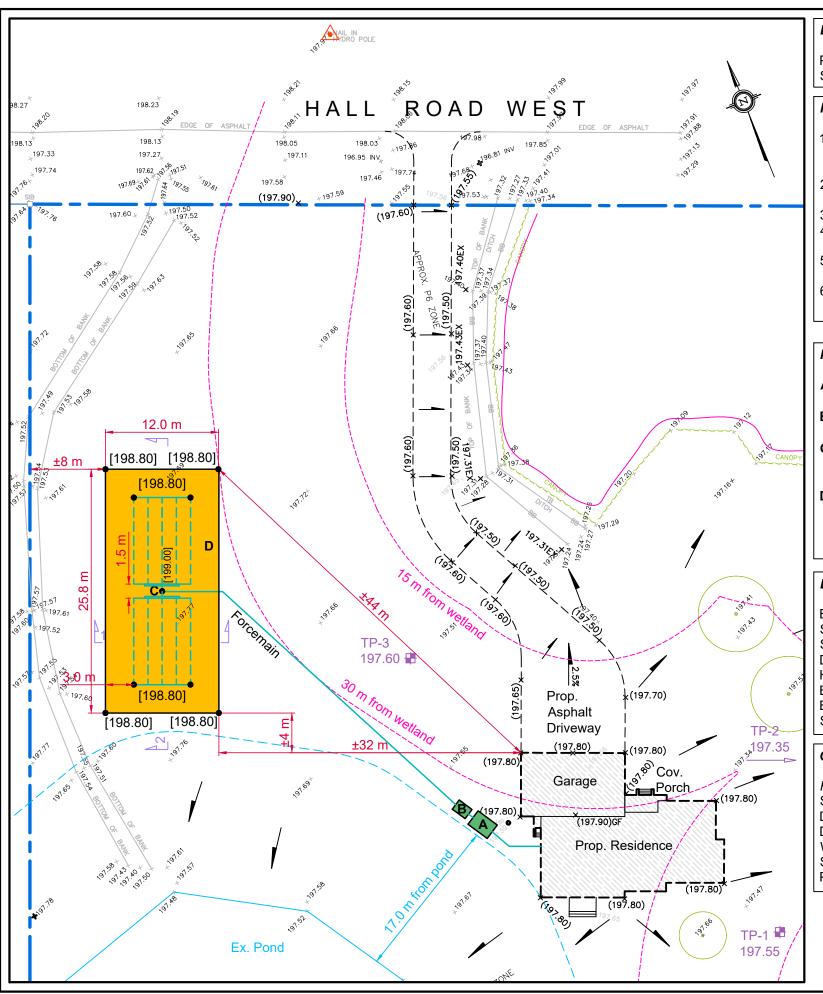
firm bcin 103416 ■ individual bcin 33001 DATE SSUE DESCRIPTION

ATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS

**GENERAL** 

**NOTES** 

SHEET



#### Design Parameters:

Peak wastewater flow (Qp): 1,850 L/day Soil percolation time (T): >50 min/cm

#### Post-Construction Requirements:

- 1. Do not discharge non-domestic wastewater to the WTS (e.g., water-softener, iron-filter, industrial, paint, pool, hot-tub, or floor-drain wastewater).
- 2. Direct all snow storage, ground-surface drainage, roof downspouts, and sump-pump lines away from the bed.
- Do not irrigate over the WTS.
- Do not direct any water to subsurface perforated drainage pipes in the vicinity of the WTS.
- 5. Do not install ground-source heat loops within the envelope of the WTS.
- 6. Maintain short grass growth on the bed and mow with low tire-pressure equipment only.

#### **Key Components:**

- A Septic tank: 4,000 L (minimum)
- **B** Pump tank: 1,800 L (minimum)
- C Polylok distribution box, including downward-facing inlet, insulation, and ground-surface access
- **D** Infiltrator ATL BMEC bed:
- Infiltrator ATL conduit length: 91.5 m (10 lines x 9.15 m, 30 conduits)
- Infiltrator specified system sand area: 309 m<sup>2</sup>

#### Elevations (m):

Building sewer outlet inv. (min.)	= 197.20
Septic tank inlet inv.	= 197.10
Septic tank outlet inv.	= 197.05
Distribution box inlet inv.	= 198.35
Header pipe inv.	= 198.30
Base of chambers	= 198.20
Base of ATL System sand	= 197.95
Subgrade	= 197.35

#### **OBC Minimum Required Clearances (m):**

Feature:	Tank:	Dist. Line:
Structure:	1.5	5 + 2.0
Drilled Well:	15	15 + 2.0
Dug Well:	15	30 + 2.0
Water Service:	2.44	2.44 + 2.0
Surface Water:	15	15 + 2.0
Property Line:	3	3 + 2.0



FlowSpec Engineering Ltd., 31 McBrine Drive, Unit 1, Kitchener, ON N2R 1J1 Office: 519-744-9336 🕶 Web: www.flowspec.ca

#### Legend:

Ex. Ground-Surface Elevation (m)

•[100.00] ×(100.00) Prop. Ground-Surface Elevation (m) (FlowSpec) Prop. Ground-Surface Elevation (m) (Others)

Ex. Tree

Property Line (subject property)

100.00

Test Pit Location

Test Pit Ground-Surface Elevation (m) Prop. Sewer (unless noted otherwise)

Prop. Distribution Line

Prop. Swale

Prop. ATL System Sand Cross-Section (refer to Dwg. 2)

Temporary Benchmark:

Top of nail in hydro pole on north side of Hall Road West, Elev.

197.97 m (geodetic datum)

Dwg. Ref.: A.T. McLauren Ltd., Site and Grading Plan, File No. 36895-SG, July 5, 2022; Grand River Conservation Authority, GRIN Map, 2015

Client: Chelten Homes Project: Design of Wastewater Treatment System for Proposed Residence Schroeder/Cauchi Property Location: 3233 Hall Road West

City of Hamilton Drawing: Layout Sketch

Scale: 10 15 1:400 Checked: DM Design: BS

PRELIMINARY

Drawn: BS Date: September 00, 2022 File No.: 00775-1 Drawing No.:

Date



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221 Email: <u>cofa@hamilton.ca</u>

### APPLICATION FOR A MINOR VARIANCE

APPLICATION NO DATE APPLICATION RECEIVED					
PAID DATE APPLICATION DEEMED COMPLETE					
SECRETARY'S SIGNATURE					
		Planning Act			
	Application for Min	or Variance or for Permis	sion		
application, from the	mmy AGC 13.0. 1990 G	ttee of Adjustment for the C hapter P.13 for relief, as de	ity of Hamilton under scribed in this		
1, 2	NAME	MAILING ADDRESS			
Registered Owners(s)	lan Schroeder and Renee Cauchi	32 McCargow Dr Caledonia, ON N3W 0C3	Phone: 289-237-7001		
		_	E-mail: ian.schroeder@hotma		
Applicant(s)*	Jenny Bognar JB Drafting and	193 East 43rd St. Hamilton, ON	<b>Phone:</b> 905-517-6027		
	Design	L8T 3C3	E-mail: jbdraftinganddesign@live		
Agent or Solicitor	Jenny Bognar JB Drafting and Design	193 East 43rd St Hamilton, ON L8T 3C3	<b>Phone:</b> 905-517-6027		
			E-mail: jbdraftinganddesign@		
ariy.	dresses of any mortgagee	communications will be s			

# Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4.	Nature and extent of relief applied for:
	To place new dwelling & septic in a current P6 zone, that does not allow single family dwellings; part of P6 zone to be converted to A1 zone through housekeeping amendment
	Second Dwelling Unit Reconstruction of Existing Dwelling
5.	Why it is not possible to comply with the provisions of the By-law?
	See attached
6.	Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
	3233 Hall Road, Lot 21, Concession 9
7.	PREVIOUS USE OF PROPERTY
	Residential 🗵 Industrial 🗌 Commercial 🔲
	Agricultural  Vacant
	Other
0.4	
8.1 8.2	If Industrial or Commercial, specify use
U.Z	Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
	Yes 🗵 No 🗌 Unknown 🗌
8.3	Has a gas station been located on the subject land or adjacent lands at any time? Yes ☑ No ☐ Unknown ☐
8.4	Has there been petroleum or other fuel stored on the subject land or adjacent lands?  Yes X No Unknown U
8.5	Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
8.6	Yes X No Unknown Unknown
<b>J</b> .0	Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
	Yes 🗵 No 🗌 Unknown 📗
3.7	Have the lands or adjacent lands ever been used as a weapon firing range? Yes ☒ No ☐ Unknown ☐
3.8	Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
	Yes X No Unknown
3.9	If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
	Yes 🔀 No 🗌 Unknown 🗍

8.10	Is there any reasouses on the site of Yes X	on to believe the or adjacent sites' No	subject lar ? Unknown		ve been	onta	aminated by former
8.11	What information	did you use to d	letermine th	ie answer	s to 8.1	to 8.1	0 above?
	Knowledge of		-		-		
8.12	If previous use of previous use invelland adjacent to the	ntory showing a	ll former us	nmercial o	or if YES subject I	i to an	y of 8.2 to 8.10, a or if appropriate, the
	Is the previous us	e inventory atta	ched?	Yes		No	
9.	ACKNOWLEDGE	MENT CLAUS	E				
	I acknowledge that remediation of cor reason of its appro-	ntamination on t	he property	t responsi which is t	ble for ti the subj	he ide ect of	ntification and this Application – by
	June 22, 2022			5		4	meli
	Date		Sig	nature Pr	operty (	Dwner	
				n Schroed nt Name o		_	auchi
10.	Dimensions of lan	de affected:					
	Frontage	274.320	m				
	_	<del></del>					
	Depth Area	349.423 95,859.0		<del>-</del>	-		<del></del>
	Width of street	20.0 m.	10 Sq. III.				<del></del>
	vvidui oi street	20.0 111.				_	<del></del>
<b>1</b> 1.	Particulars of all be ground floor area, Existing:	uildings and stru gross floor are	uctures on o a, number	or propose of stories	ed for the , width,	e subj Iength	ect lands: (Specify n, height, etc.)
	n/a			2 110	•	-	
	Proposed						
	Froposed		-			<del></del> -	
	237.39 sq. m. 7.15 m. high	. ground floor a	area, 1 sto	ory, 15.29	9 m. x 2	21.51	m.,
12.	Location of all build distance from side Existing:	dings and struct , rear and front	ures on or   lot lines)	proposed	for the s	subjec	t lands; (Specify
	n/a						
	Proposed:						
	Į.	t yard setback ast side setba					
	<u></u>			··· <del>-</del>			

13.	Date of acquisition of subject lands: February 4, 2022				
14.	Date of construction of all buildings and structures on subject lands: n/a				
15.	Existing uses of the subject property (single family, duplex, retail, factory etc.):  Empty Lot - former single family dwelling				
16.	Existing uses of abutting properties (single family, duplex, retail, factory etc.):  Single family & agricultural				
<b>1</b> 7.	ength of time the existing uses of the subject property have continued:  Always				
18.	Municipal services available: (check the appropriate space or spaces)  Water Connected				
	Sanitary Sewer Connected Storm Sewers				
19.	Present Official Plan/Secondary Plan provisions applying to the land:  Rural Hamilton Official Plan				
20.	Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  A1/P6				
21.	Has the owner previously applied for relief in respect of the subject property? (Zoning Bylaw Amendment or Minor Variance)  Yes No  If yes, please provide the file number:				
	21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  Yes No				
	21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.				
22.	Is the subject property the subject of a current application for consent under Section 53 of the Planning Act?				
23.	Yes X No  Additional Information (please include separate sheet if needed)				
24.	The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.				