



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	GL/A-22:312	SUBJECT PROPERTY:	3233 HALL RD, GLANBROOK
ZONE:	“P6 and A1” (Conservation Hazard Land and Agriculture)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Ian Schroedeer/Renee Cauchi
Agent: Jenny Bognar – JB Drafting and Design

The following variances are requested:

1. A single detached dwelling and associated septic system shall be permitted on the subject vacant lot notwithstanding that new buildings and structures are not permitted on a vacant lot.

PURPOSE & EFFECT: To facilitate the construction of a new single detached dwelling and associated septic on the portion of the lands zoned P6.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, November 3, 2022
TIME:	1:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

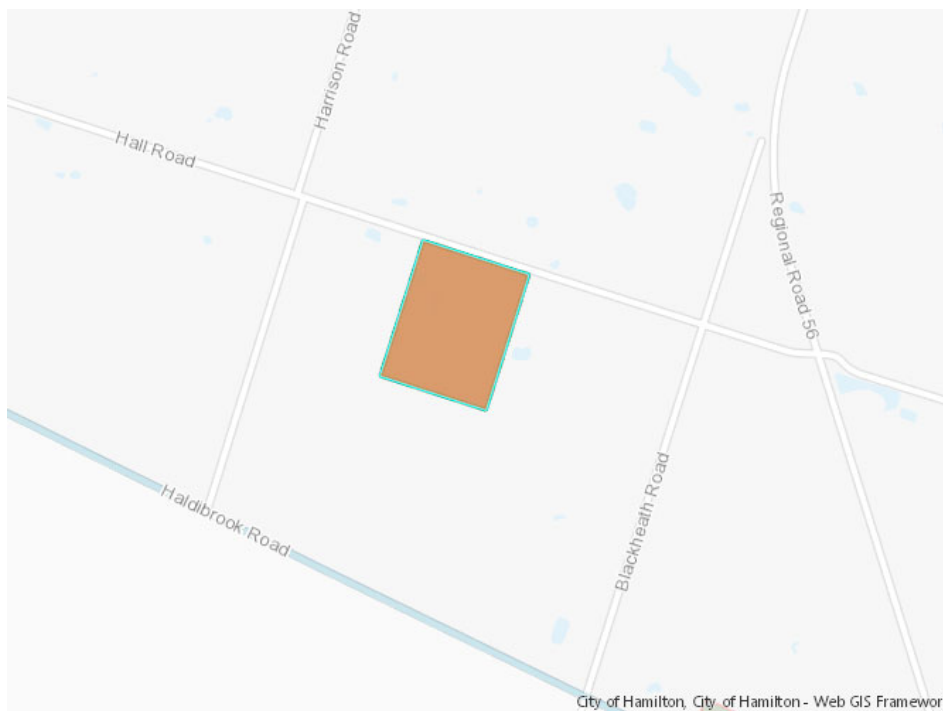
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: October 18, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Please include your name and address, hearing date, and file number. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

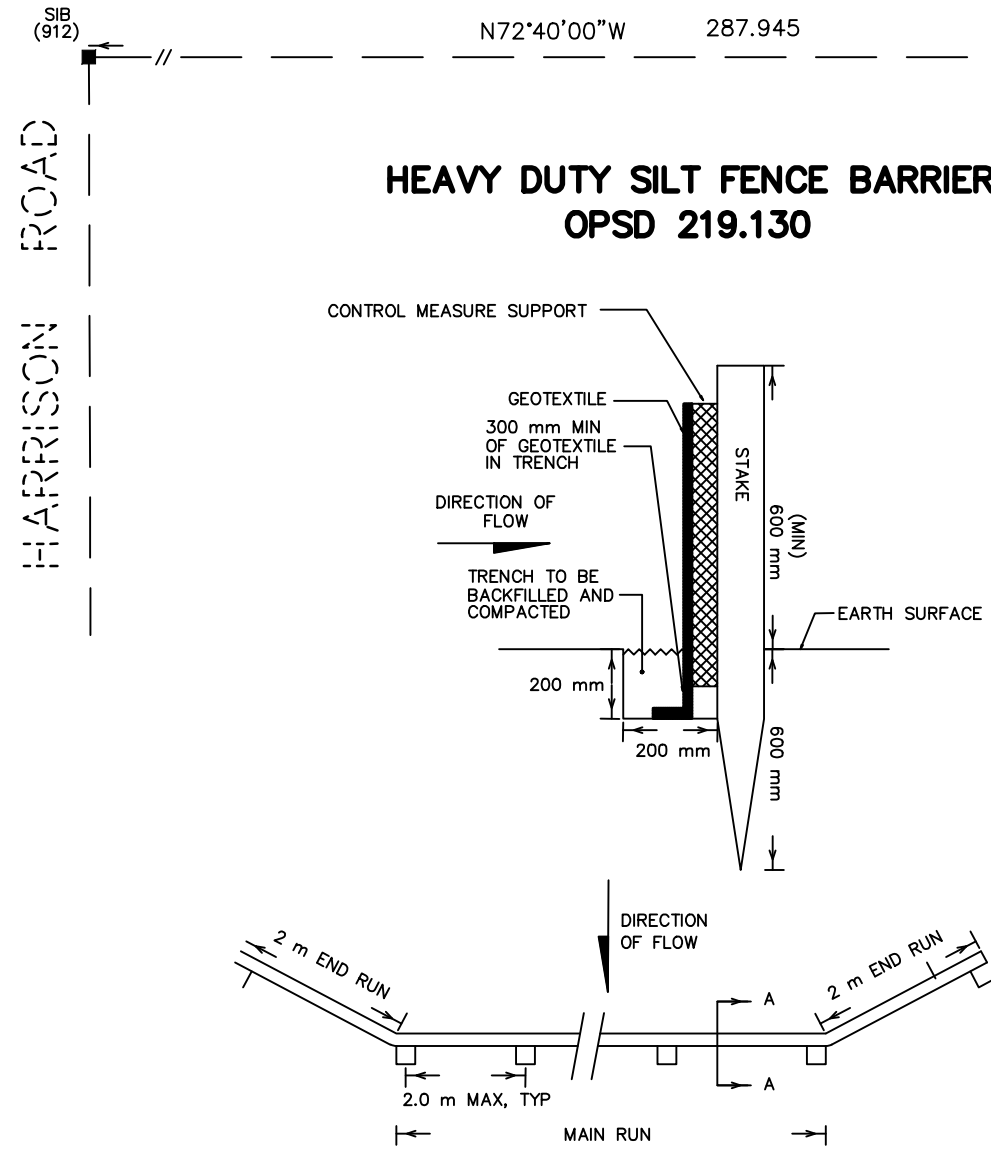
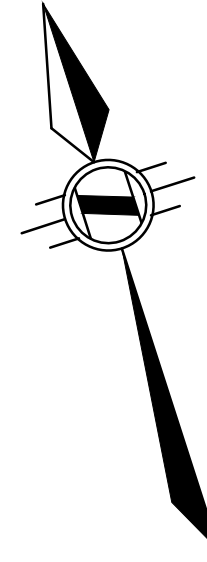
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SITE AND GRADING PLAN
FOR
3233 HALL ROAD
IN THE
CITY OF HAMILTON

SCALE 1:300 METRIC
0 3 6 9 12 15 metres

R.A. McLAREN, O.L.S. - 2022



SILTATION CONTROL:
THE SILTATION AND EROSION CONTROL MEASURES ILLUSTRATED ON THIS PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT. CONDITIONS MAY REQUIRE ADDITIONAL MEASURES WHICH WILL BE IDENTIFIED BY THE ENGINEER DURING CONSTRUCTION.

ALL EROSION AND SILTATION CONTROL DEVICES SHALL BE AS PER THE "GREATER GOLDEN HORSHOE AREA CONSERVATION AUTHORITIES", "EROSION AND SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION".

"THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTERING OR LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR WRITTEN REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH CLEAN-UP OPERATIONS AT THEIR EXPENSE. SHOULD THE OWNER FAIL TO MAINTAIN THE ROAD AS DIRECTED, THE CITY WILL HAVE THE CLEANING CARRIED OUT, AND DRAW ON THE OWNER'S SECURITY FOR COSTS AND/OR LAY CHARGES.

- LEGEND:**
- DENOTES MONUMENT SET
 - IB IRON BAR
 - PB PLASTIC BAR
 - CC CUT CROSS
 - SB SHORT STANDARD IRON BAR
 - 824 A.T. McLAREN, O.L.S.
 - 912 ORIGIN UNKNOWN
 - Mad MEASURED
 - TB TOP OF BANK
 - BB BOTTOM OF BANK
 - INV INVERT
 - EVG EVERGREEN
 - D DIAMETER
 - NOT TO SCALE
 - 000.00X EXISTING ELEVATION
 - 000.00 PROPOSED ELEVATION
 - 000.00SW PROPOSED SWALE ELEVATION
 - DIRECTION OF FLOW
 - PROPOSED SWALE
 - SWALE WITH SUBDRAIN
 - ROOF LEADER
 - R RISER
 - PROPOSED SILT FENCE

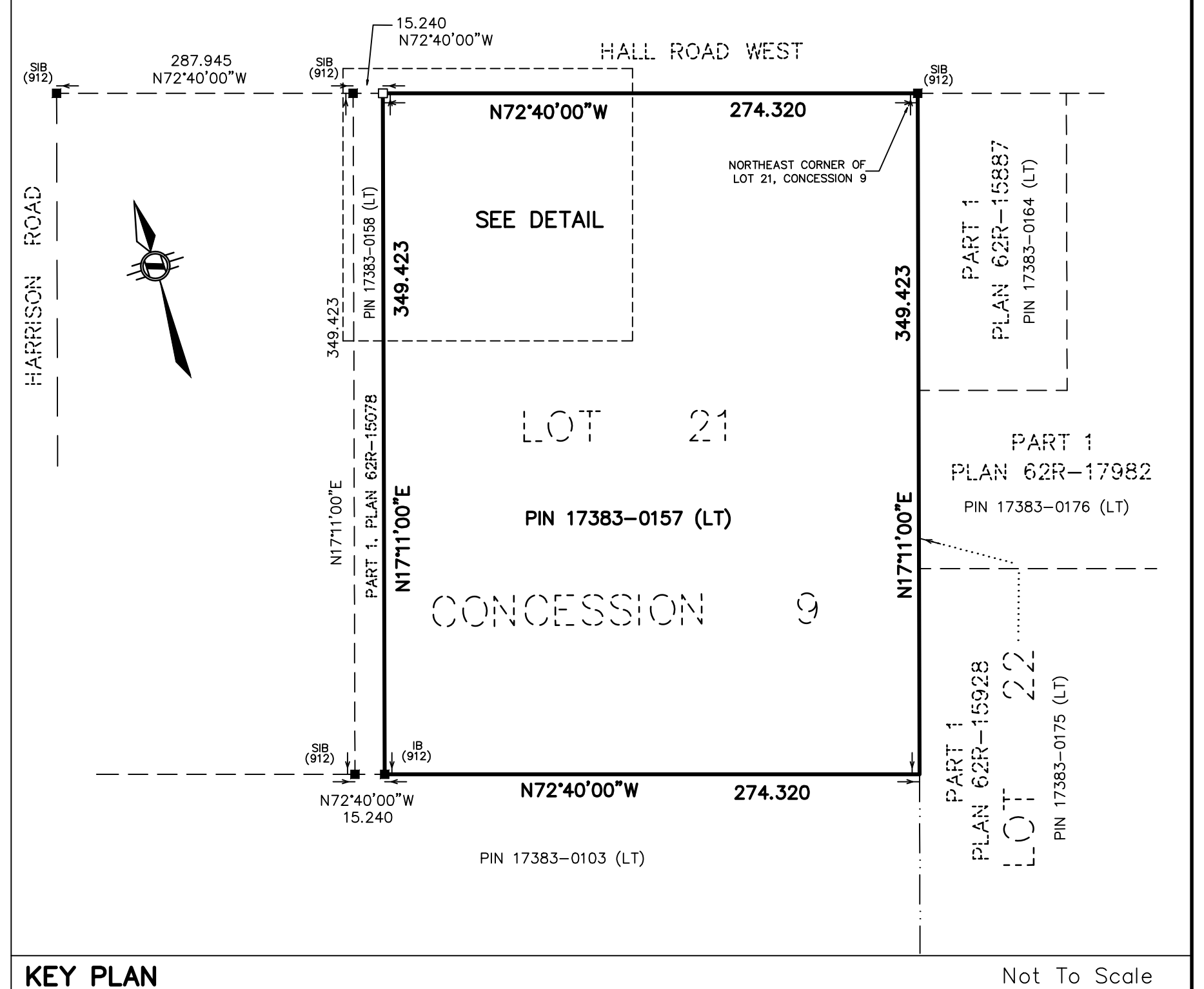
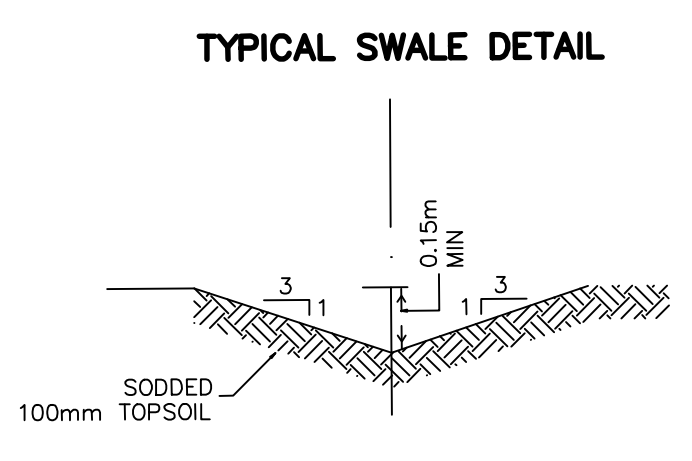
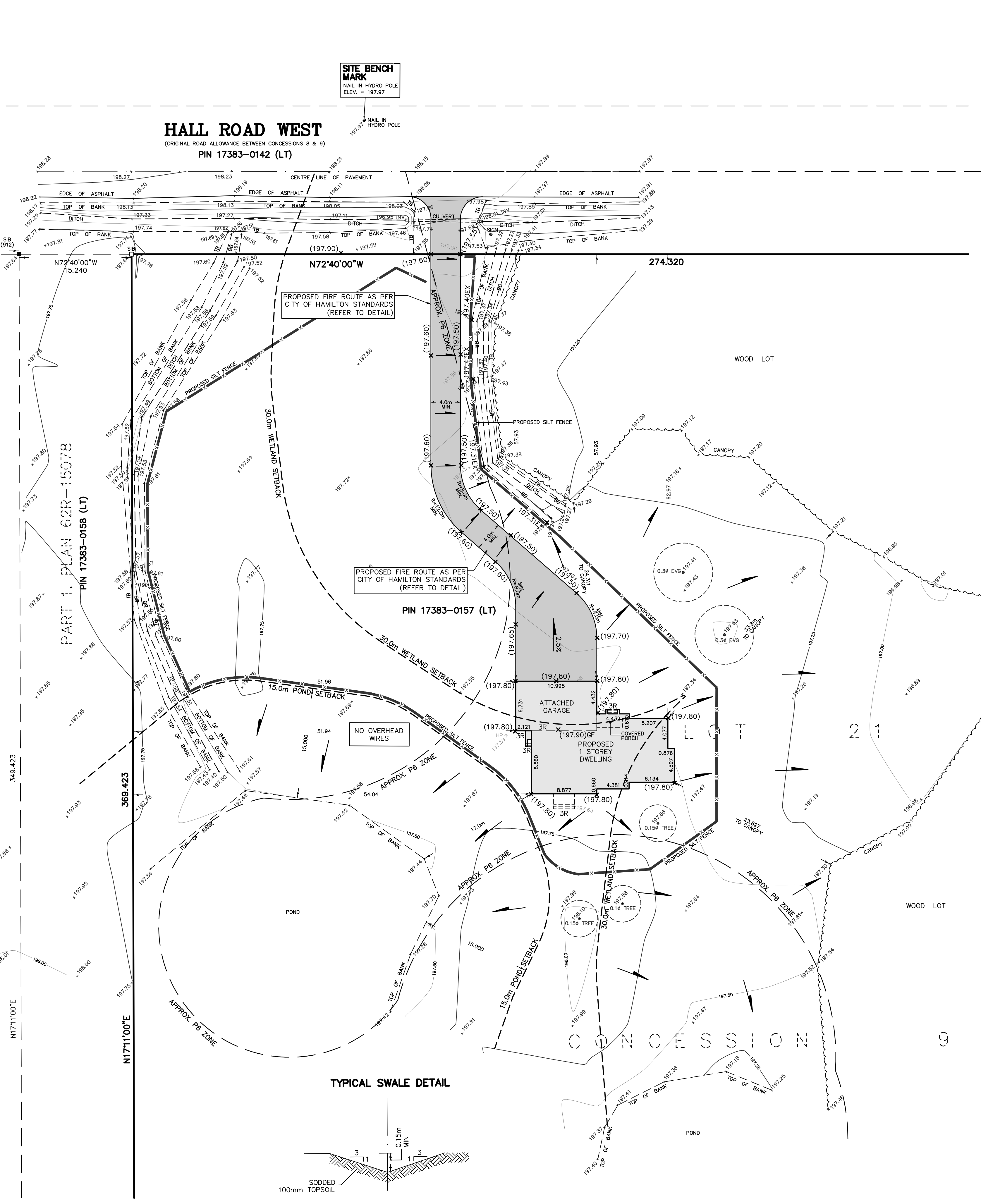
LOT AREA:
LOT AREA = 95859 Sq.m.
LOT COVERAGE = 0.25%

PROPOSED HOUSE ELEVATIONS:
GARAGE FLOOR = 197.80
TOP OF FOUNDATION = 197.95
FIRST FLOOR = 198.36
BASEMENT FLOOR = 195.38
U/S OF FOOTING = 195.08

NOTE:
UNDERGROUND SERVICE AND UTILITY LOCATIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION.
INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION.
BOUNDARY COMPILED FROM PLAN BY A.T. McLAREN LTD DATED MARCH 18, 2022.

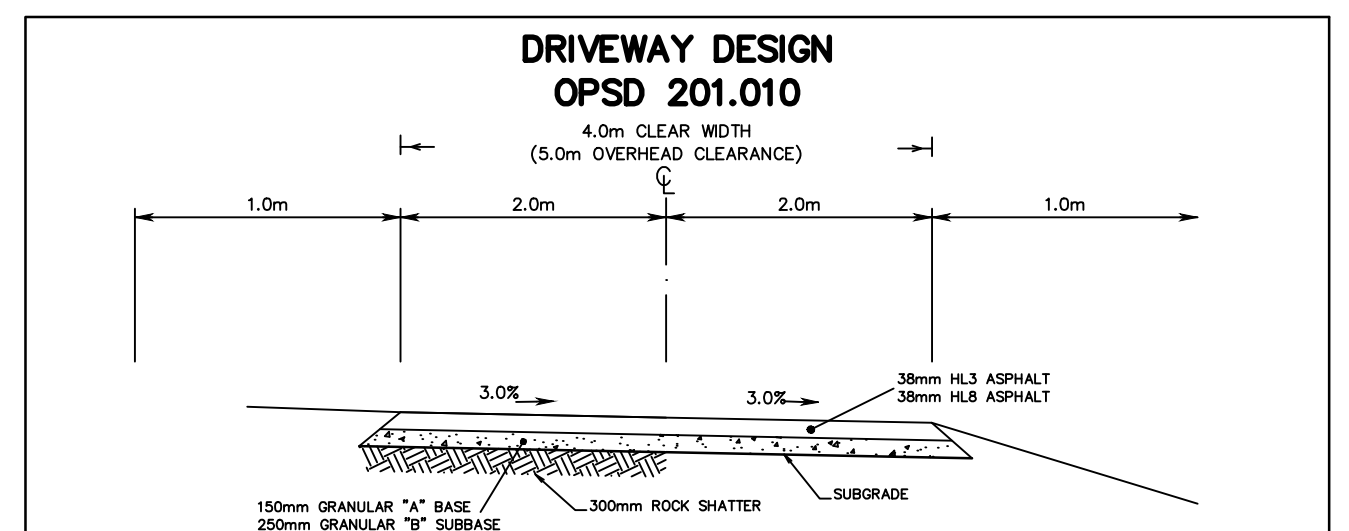
ROOFWATER LEADERS
ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN ONTO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m FROM THE FACE OF THE BUILDING.

BENCHMARK:
MONUMENT 00119693492
STATION IS LOCATED ON WEST SIDE OF BLACK HEATH RD (REGIONAL RD 13) APPROX. 0.30 KM SOUTH OF HWY 58 AND 100.50 M NORTH OF C/L OF HALL RD. THE STATION IS 14.70 M NE OF A NAIL IN HYDRO POLE, 7.65 M SW OF RD INTERSECTION SIGN, 4.8 M W OF C/L OF BLACKHEATH RD (REG. RD 13) AND 13.20 M NW OF NAIL IN BP. THE STATION IS MARKED BY A BRASS TABLET IN CONCRETE AND IS FLUSH WITH THE GROUND.
ELEVATION: 197.153 metres CGVD-1928:1978



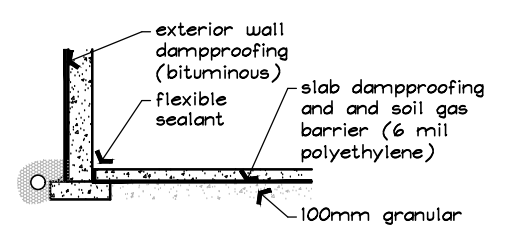
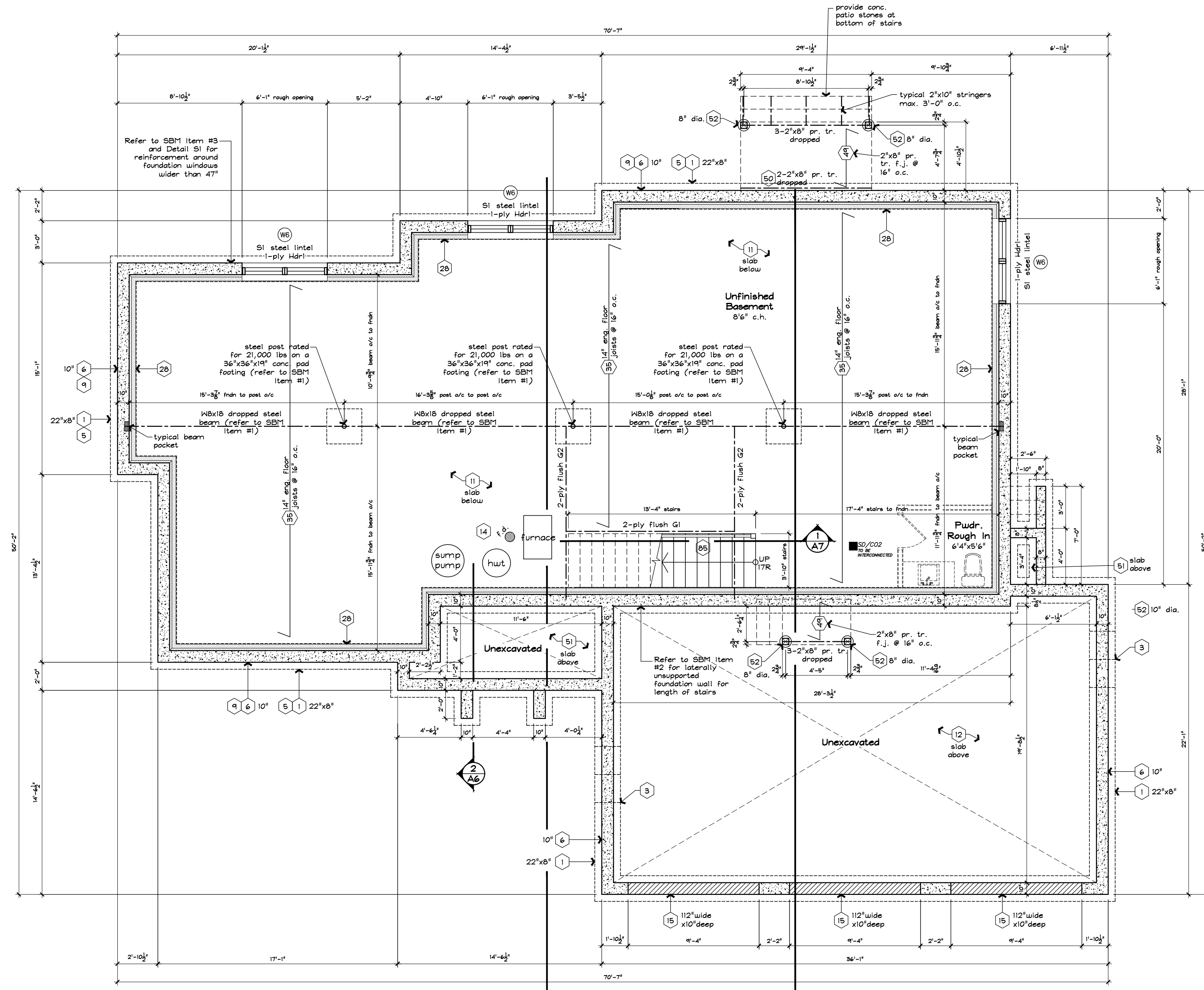
KEY PLAN Not To Scale

- GENERAL GRADING NOTES:**
- ALONG ADJOINING PROPERTIES TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SODDED SLOPES (MIN 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
 - ALL RETAINING WALLS, WALKWAYS, CURBS ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0M OR HIGHER SHALL BE DESIGNED BY A P.Eng.
 - SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
 - RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
 - SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% SLOPE (3:1 SLOPES).
 - WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINING INTO A SUITABLE OUTLET, (WITH A MINIMUM 0.3m COVER OVER THE SUB-DRAIN, OR OTHER MITIGATION MEASURES).
 - MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%
 - UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
 - TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN.) ABOVE FINISHED GRADE.
 - DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2.0% AND NOT MORE THAN 7.0% REVERSED SLOPE DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 - ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
 - IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
 - THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT OWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD THE PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 - DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VALVETS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.



- NOTES:**
- A PORTION OF ROADWAY OR YARD PROVIDED AS A REQUIRED ACCESS ROUTE FOR FIRE DEPARTMENT USE SHALL HAVE A CLEAR WIDTH NOT LESS THAN 4m, UNLESS IT CAN BE SHOWN LESSER WIDTHS ARE SATISFACTORY.
 - HAVE A CENTRELINE RADIUS NOT LESS THAN 8.0m.
 - HAVE AN OVERHEAD CLEARANCE NOT LESS THAN 5m.
 - HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15m.
 - BE DESIGNED TO SUPPORT THE EXPECTED LOADS IMPOSED BY FIREFIGHTER EQUIPMENT (36,514kg OR 80,500lbs.) AND BE SURFACED WITH CONCRETE, ASPHALT OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS.
 - HAVE TURNAROUND FACILITIES FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 90m LONG
 - BE CONNECTED WITH A PUBLIC THOROUGHFARE.

METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



Radon Gas Barrier (For New Addition Only)
 Provide:
 1. A soil gas barrier on the foundation walls (bituminous dampproofing, and
 2. Under the basement floor slab using 5 mil. polyethylene lapped not less than 300 mm, and
 3. Sealing along the perimeter of the basement floor slab and at all penetrations using flexible sealant (polyurethane caulking)
 Note: Care must be taken when installing 6 mil. polyethylene since it's prone to puncture. Please ensure the polyethylene is adequately protected.

**THE SCHROEDER/
CAUCHI RESIDENCE**
 3233 HALL ROAD
 BINBROOK, ON
 L0R 1C0

**drafting
+ design**
 ■ 193 East 43rd Street ■
 ■ Hamilton, ON ■ L8T 3C3 ■
 ■ jbdraftinganddesign@live.ca ■
 ■ 905.517.6027 ■

PRELIMINARY
 09.29.22 signature required
 Jennifer Bognar reviews and takes responsibility for the design work described in this document
 firm bcin 103416 ■ individual bcin 33001

DATE	ISSUE DESCRIPTION
10-30-20	ISSUED FOR REVIEW
11-17-20	ISSUED FOR REVIEW
01-05-21	ISSUED FOR REVIEW
07-20-21	ISSUED FOR PRINTING
11-30-21	ISSUED FOR REVIEW
05-23-22	ISSUED FOR C.A.

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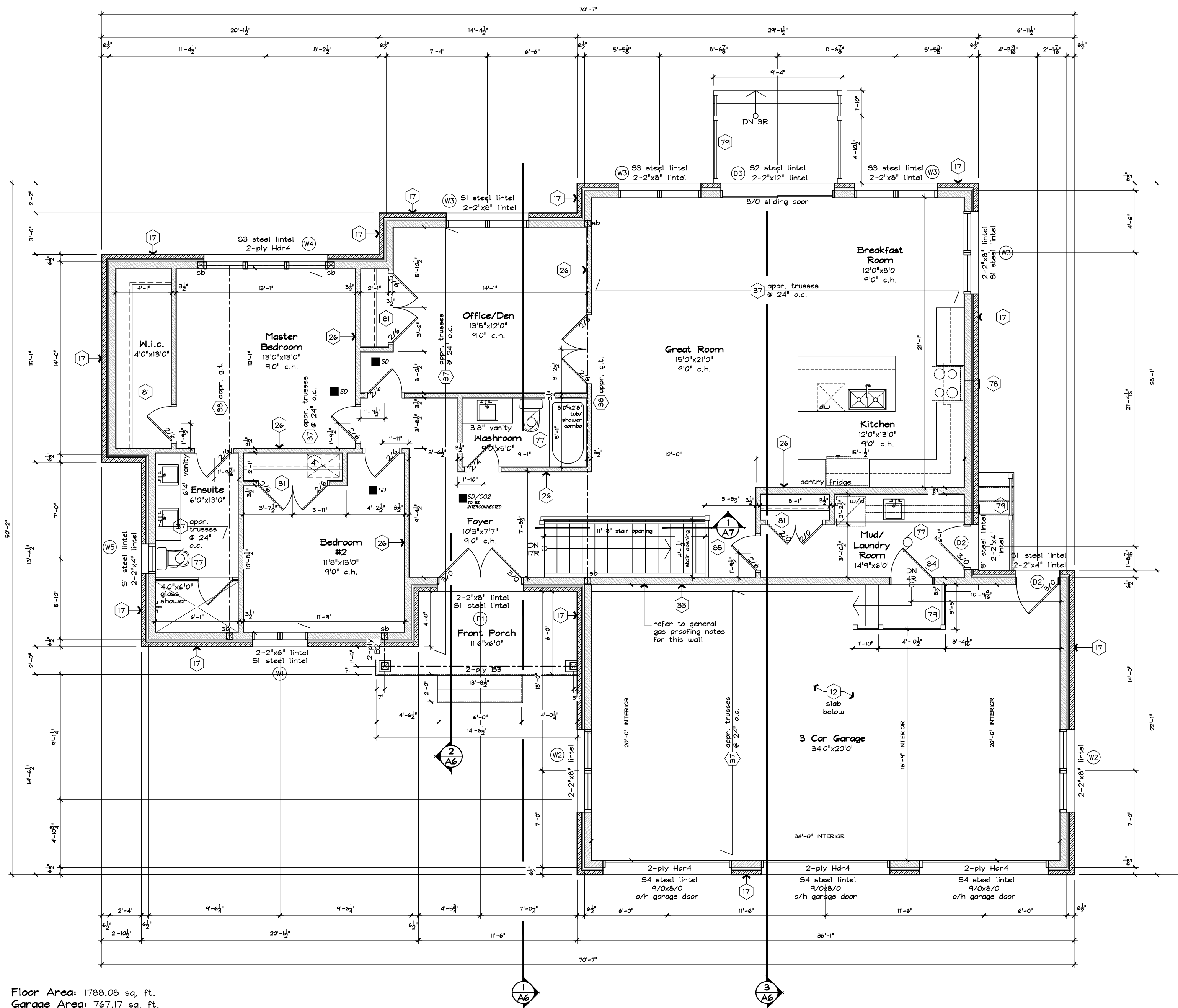
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ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF JB DRAFTING AND DESIGN. USE LATEST PROVIDED DRAWINGS. DO NOT SCALE DRAWINGS.

**PROPOSED
BASEMENT PLAN**
 3/16" = 1'-0"

SHEET
A1
 OF 8



Floor Area: 1788.08 sq. ft.
Garage Area: 767.17 sq. ft.

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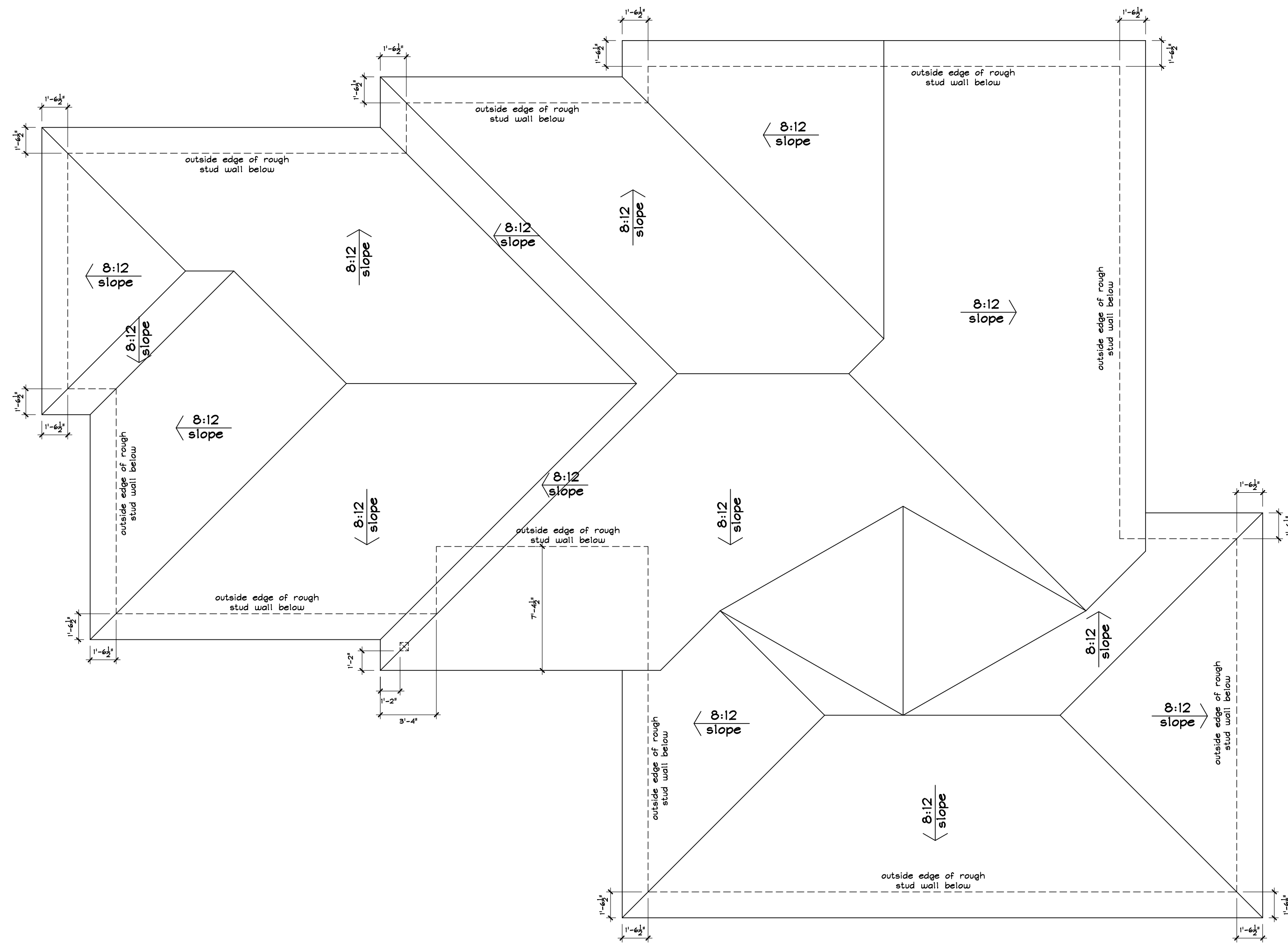
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PROPOSED FIRST
FLOOR PLAN
3/16" = 1'-0"

SHEET

A2

OF 8



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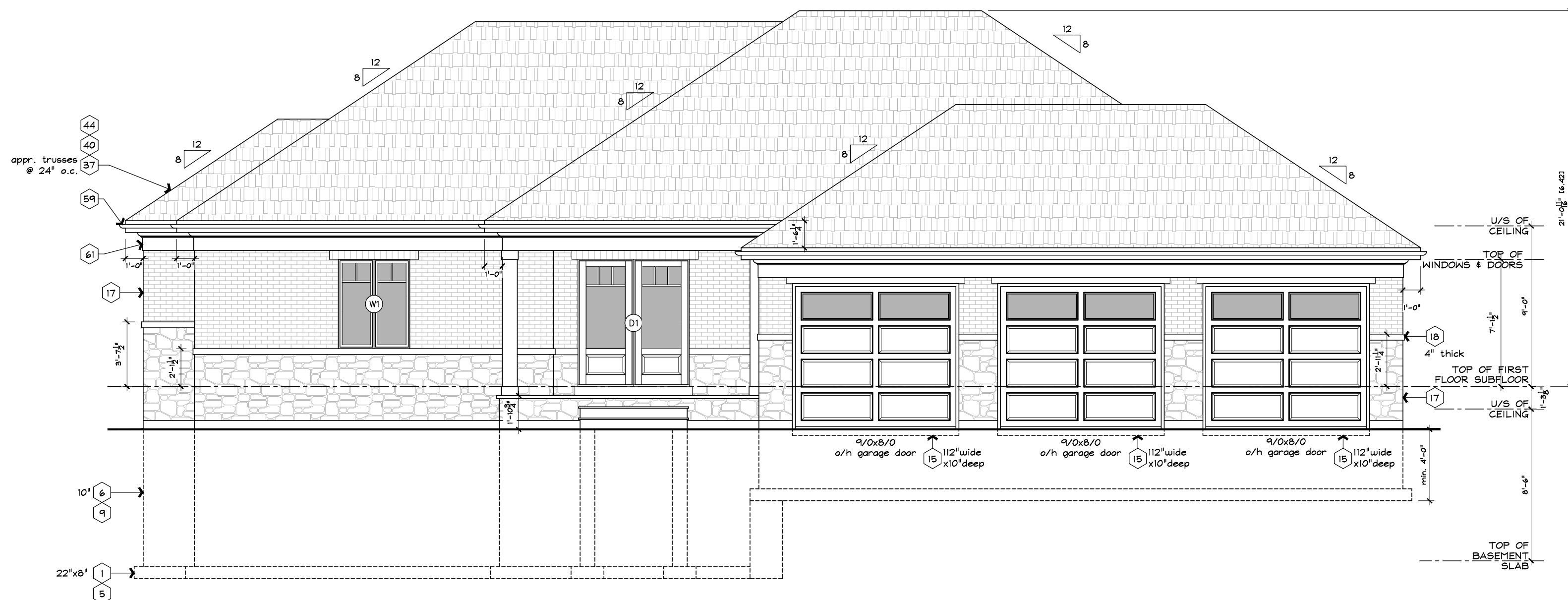
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**PROPOSED
ROOF PLAN**
3/16" = 1'-0"

SHEET **A3** OF 8



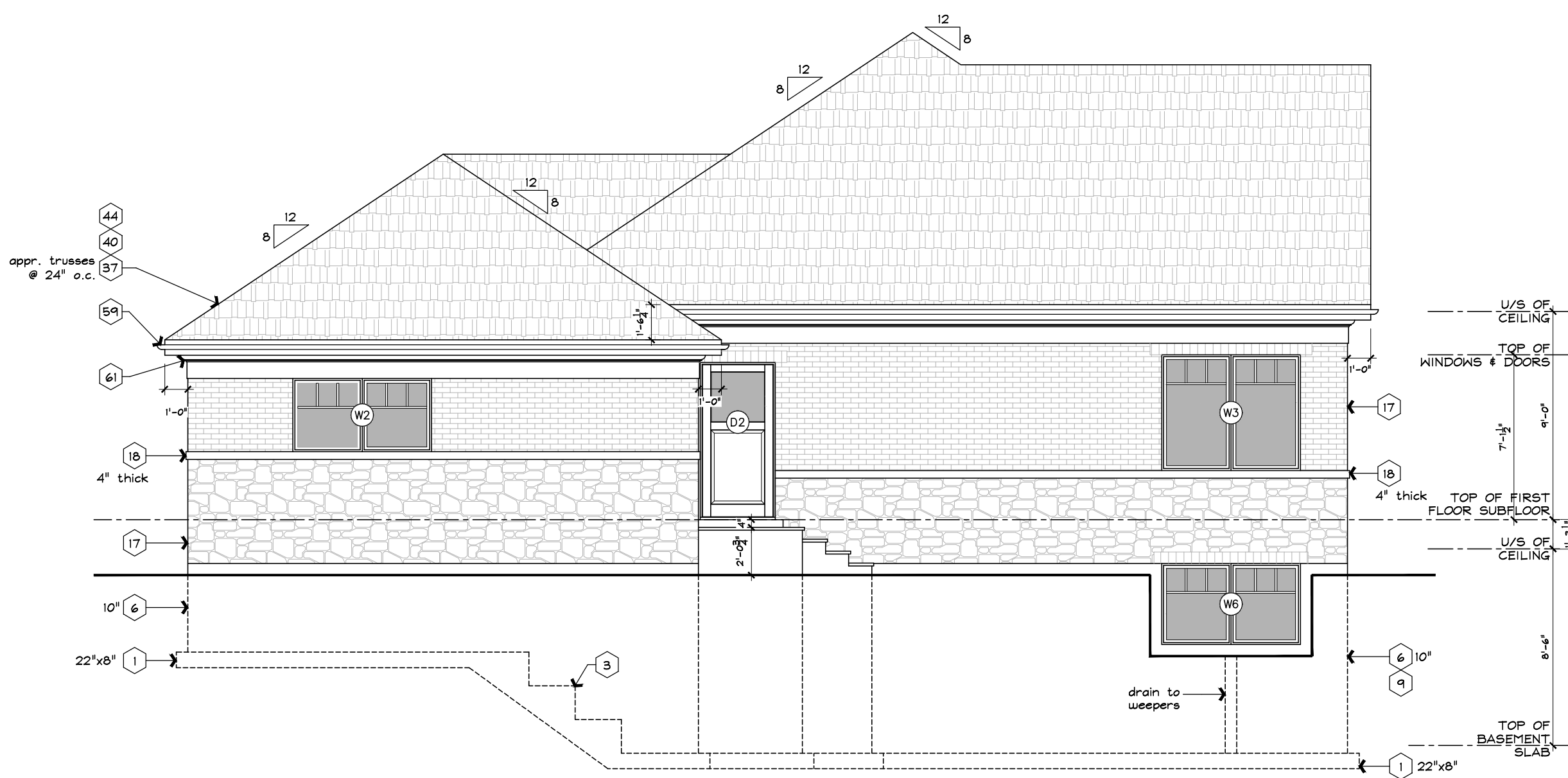
EEDS CALCULATION

WALL AREA = 67.36 sq. m.
 WINDOW/DOOR AREA = 3.70 sq. m.



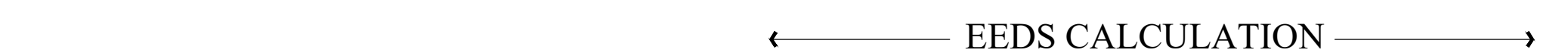
FULL HOUSE EEDS CALCULATION

WALL AREA = 210.41 sq. m.
 WINDOW/DOOR AREA = 29.90 sq. m.
 WINDOW/DOOR AREA % = 14.21%



EEDS CALCULATION

WALL AREA = 32.01 sq. m.
 WINDOW/DOOR AREA = 5.19 sq. m.



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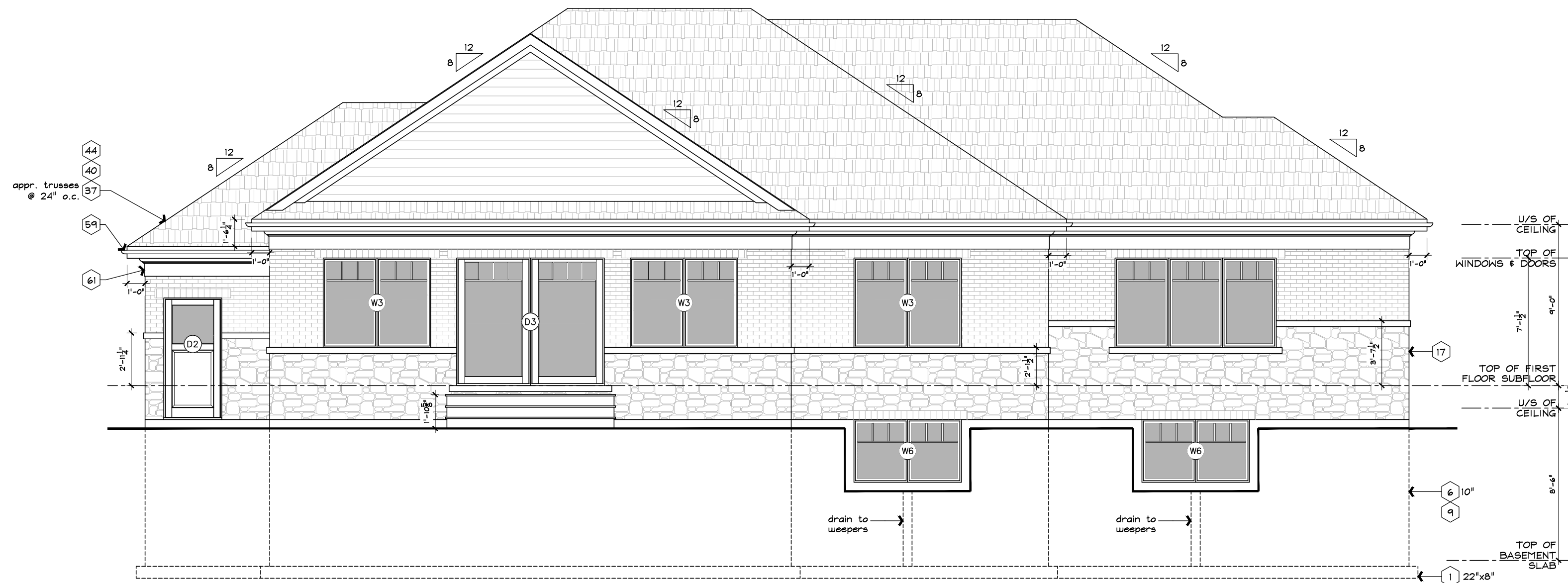
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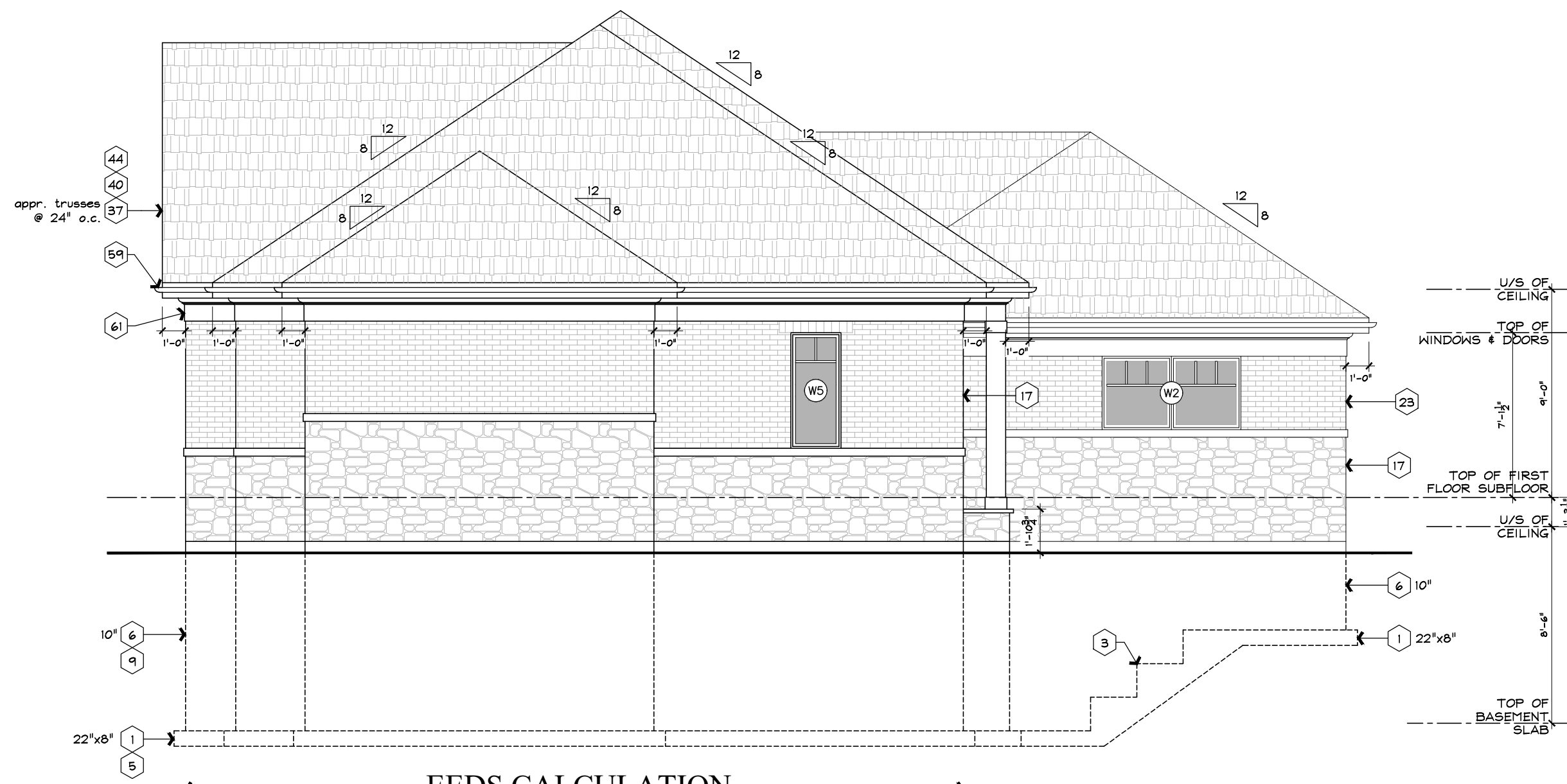
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**PROPOSED FRONT
 & RIGHT SIDE ELEVATIONS**
 3/16" = 1'-0"



EEDS CALCULATION

WALL AREA = 71.91 sq. m.
 WINDOW/DOOR AREA = 20.00 sq. m.



EEDS CALCULATION

WALL AREA = 35.60 sq. m.
 WINDOW/DOOR AREA = 1.01 sq. m.

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CAUCHI RESIDENCE**

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 L0R 1C0

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+ design**

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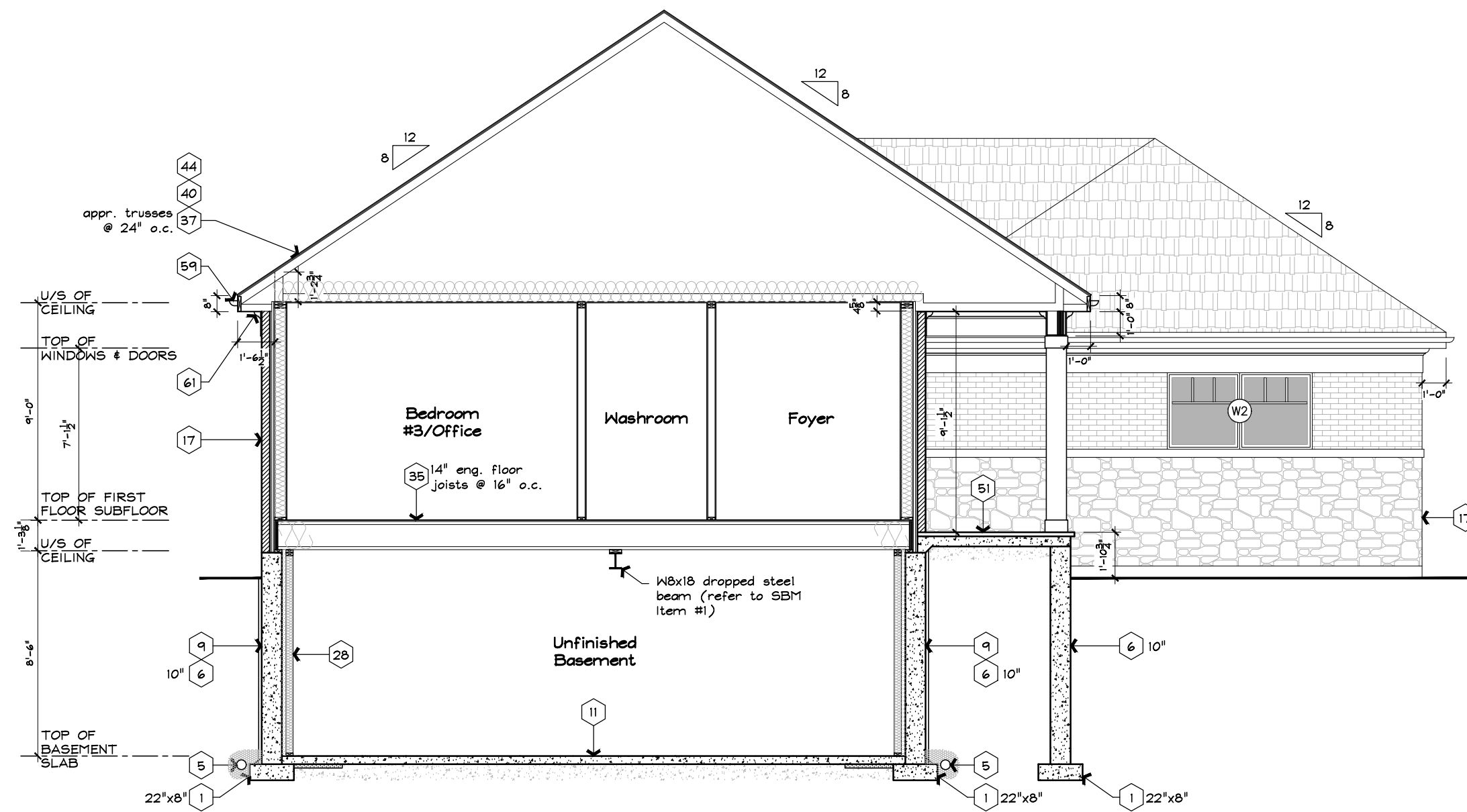
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PROPOSED REAR
 & LEFT SIDE ELEVATIONS
 3/16" = 1'-0"

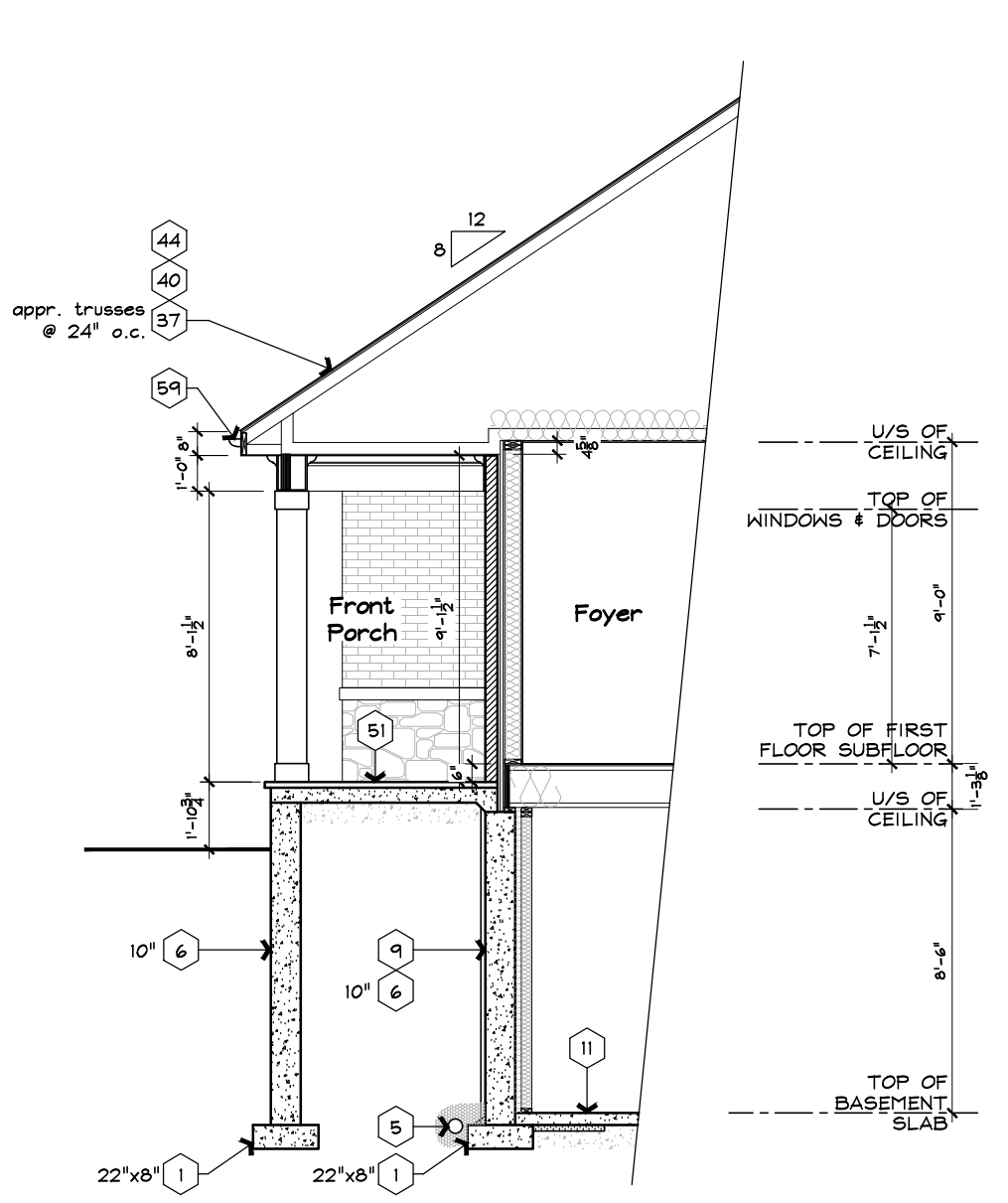
SHEET

A5

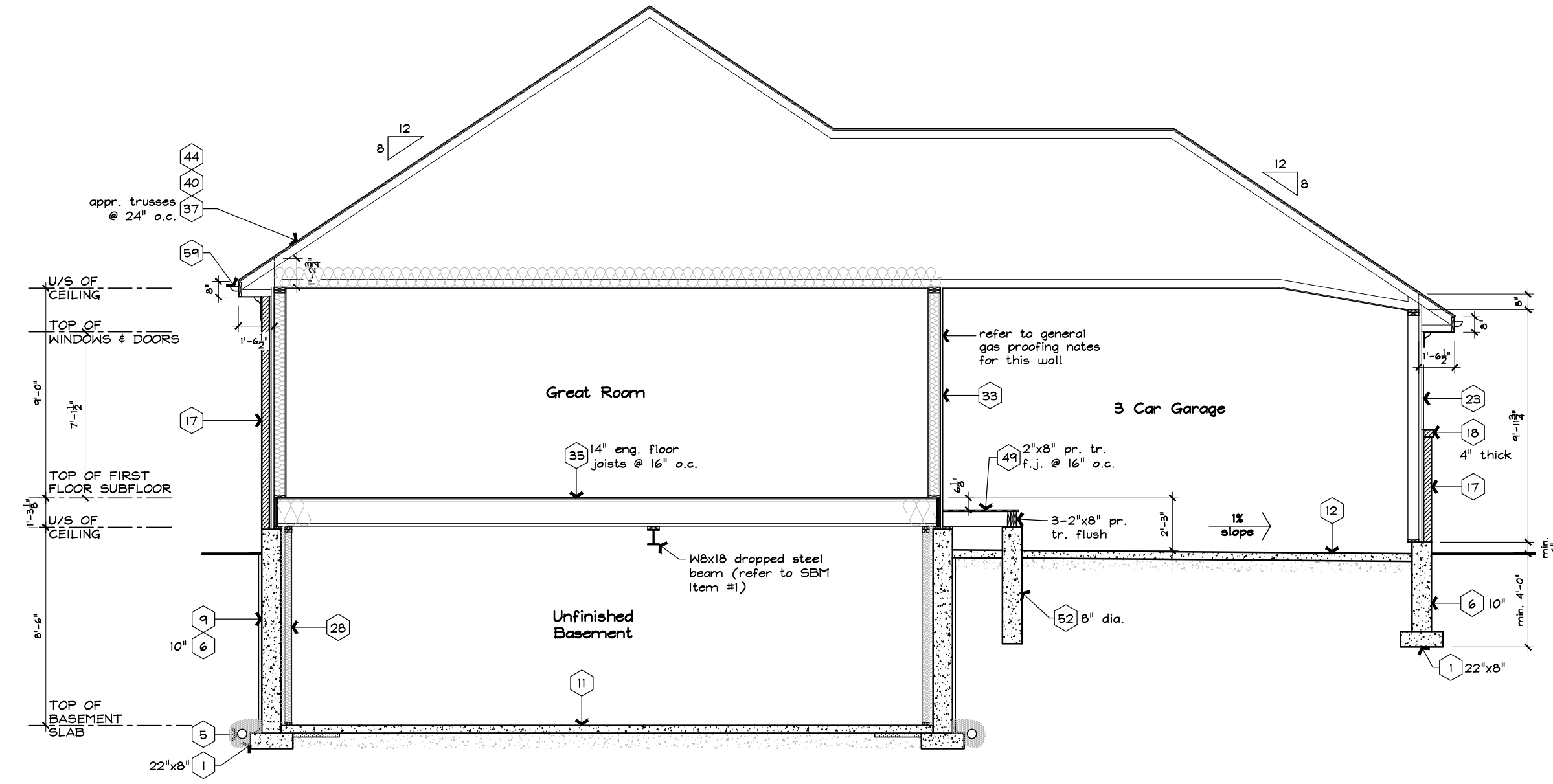
OF 8



1 CROSS SECTION 1
A6 3/16" = 1'-0"



2 CROSS SECTION 2
A6 3/16" = 1'-0"



3 CROSS SECTION 3
A6 3/16" = 1'-0"

EEDS CALCULATION
WALL AREA = 3.53 sq. m.
WINDOW/DOOR AREA = 0.0 sq. m.

THE SCHROEDER/
CAUCHI RESIDENCE
3233 HALL ROAD
BINBROOK, ON
L0R 1C0

**drafting
+ design**
193 East 43rd Street
Hamilton, ON L8T 3C3
jbdraftinganddesign@live.ca
905.517.6027

PRELIMINARY
09.29.22 signature required
Jennifer Bognar reviews and takes responsibility for the design work described in this document
firm bcin 103416 individual bcin 33001

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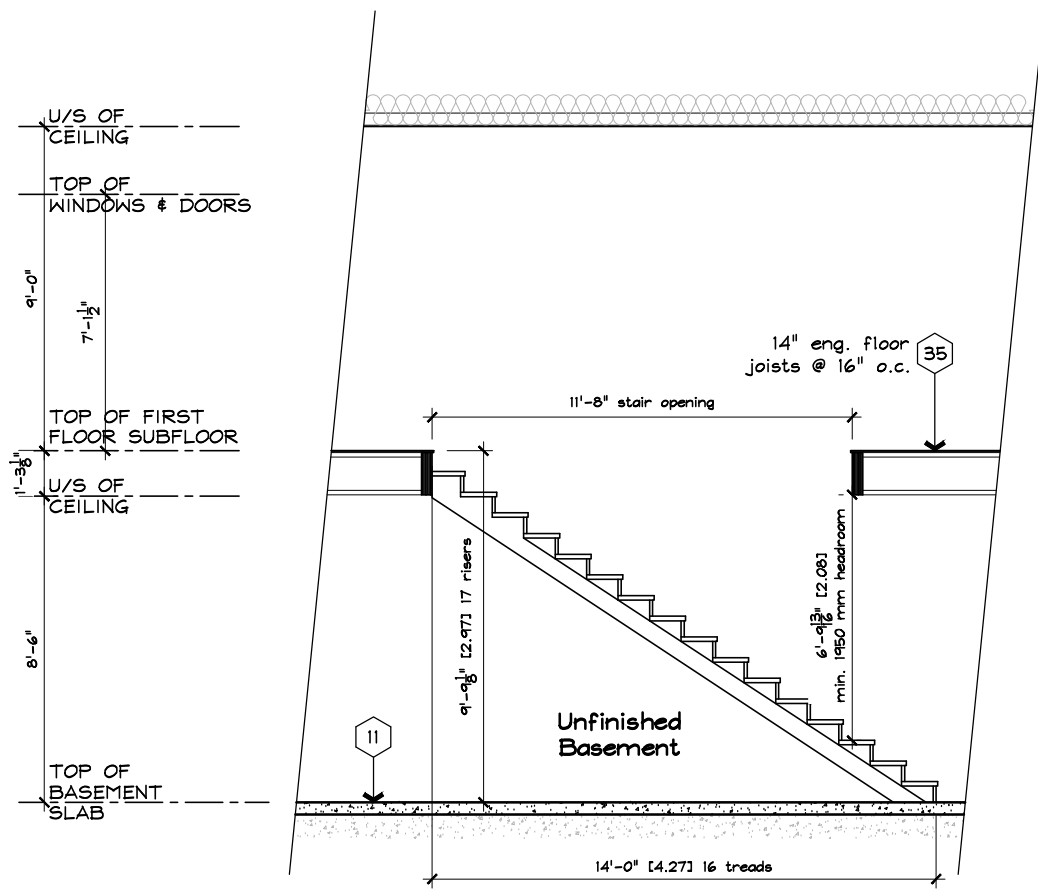
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CROSS SECTIONS
SHEET

A6 OF 8



1 CROSS SECTION 4
A7 3/16" = 1'-0"

SIZE	FRAMING	ROUGH GLASS	OPENS	GLZ A	RSO A
4'-0" x 4'-1"	1'-7" x 1'-7"	1'-7" x 1'-7"	W1	14.51ft ² (1.35m ²)	10.0ft ² (1.86m ²)
6'-0" x 6'-1"	2'-7" x 2'-7"	2'-7" x 2'-7"	W2	19.0ft ² (1.77m ²)	14.21ft ² (1.32m ²)
6'-0" x 6'-1"	2'-7" x 2'-7"	2'-7" x 2'-7"	W3	23.68ft ² (2.20m ²)	30.0ft ² (2.79m ²)
9'-0" x 9'-1"	2'-7" x 2'-7"	2'-7" x 2'-7"	W4	35.52ft ² (3.30m ²)	45.0ft ² (4.18m ²)
2'-2" x 2'-3"	1'-9" x 1'-9"	1'-9" x 1'-9"	W5	8.02ft ² (0.75m ²)	10.83ft ² (1.01m ²)
6'-0" x 6'-1"	2'-7" x 2'-7"	2'-7" x 2'-7"	W6	15.93ft ² (1.48m ²)	21.00ft ² (1.95m ²)
6'-3" x 6'-4"	2'-2" x 2'-2"	2'-2" x 2'-2"	D1	19.80ft ² (1.84m ²)	44.53ft ² (4.14m ²)
3'-2" x 3'-3"	2'-3" x 2'-3"	2'-3" x 2'-3"	D2	4.89ft ² (0.45m ²)	22.04ft ² (2.05m ²)
8'-3" x 8'-4"	3'-2" x 3'-2"	3'-2" x 3'-2"	D3	38.19ft ² (3.55m ²)	56.78ft ² (5.46m ²)

GLZ A = GLAZING AREA (FOR LIMITING DISTANCE)
RSO A = ROUGH STUD OPENING AREA (FOR EEDS)

2 WINDOW/DOOR SCHEDULE
A7 N.T.S.

ZONE 1 DWELLINGS - HEATING EQUIP. ≥ 92% COMPLIANCE PACKAGE A2

COMPONENT	THERMAL VALUES
CEILING WITH ATTIC SPACE	R.60 MIN. NOMINAL
CEILING WITHOUT ATTIC SPACE	R.31 MIN. NOMINAL
EXPOSED FLOOR	R.31 MIN. NOMINAL
WALLS ABOVE GRADE	R.19+5ci MIN. NOMINAL
BASEMENT WALLS	R.12+10ci MIN. NOMINAL
BASEMENT GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-----
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	R.10 MIN. NOMINAL
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	R.10 MIN. NOMINAL
WINDOWS OR SLIDING GLASS DOORS	MAX. U 0.28
SKYLIGHTS	MAX. U 0.49
SPACE HEATING EQUIPMENT	MIN. AFUE 96%
HRV	MIN. SRE 75%
DOMESTIC WATER HEATER	MIN. EF 0.70

3 SB-12 PACKAGE
A7 N.T.S.

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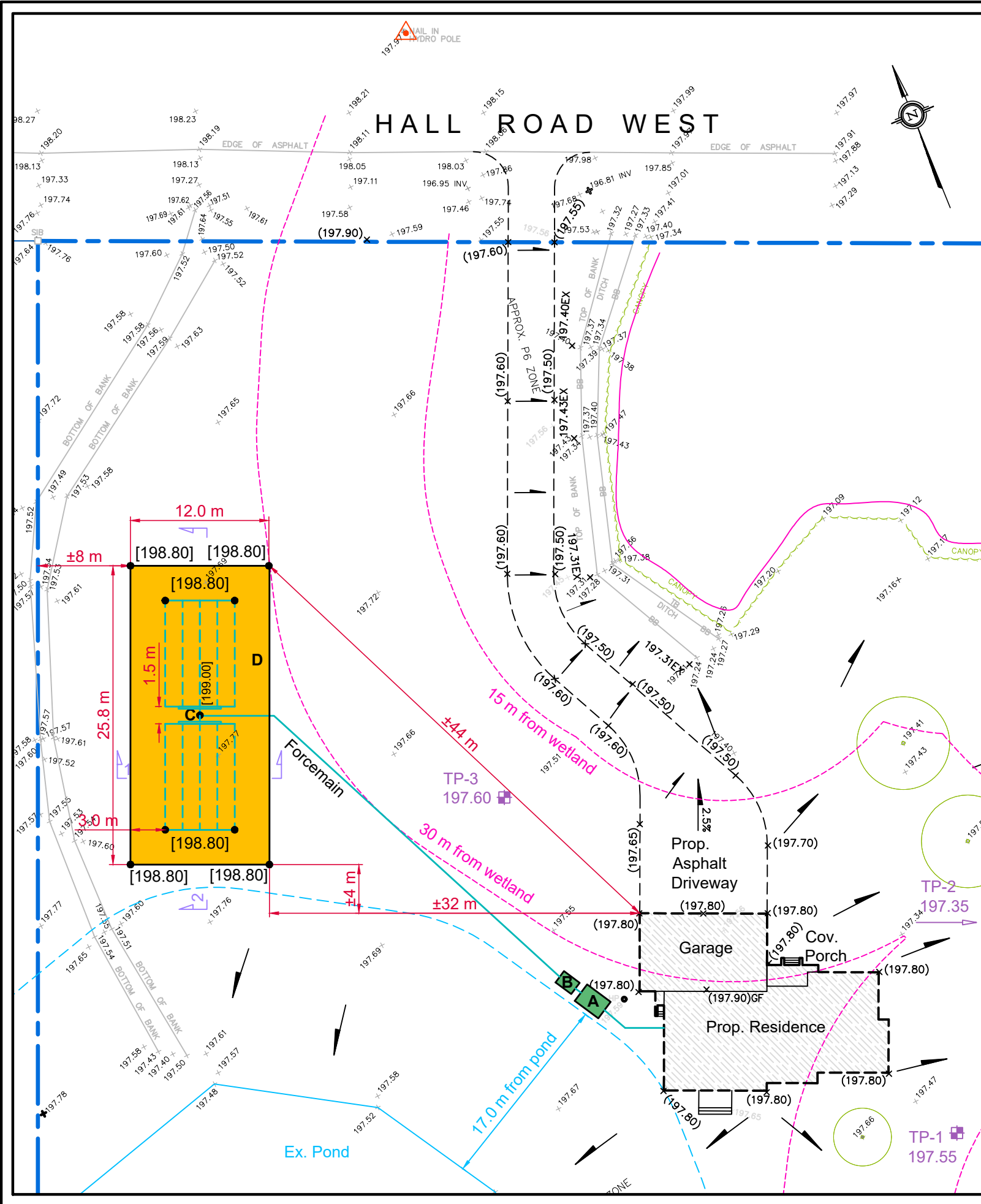
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CROSS SECTIONS & DETAILS



Design Parameters:

Peak wastewater flow (Q_p): 1,850 L/day
 Soil percolation time (T): >50 min/cm

Post-Construction Requirements:

1. Do not discharge non-domestic wastewater to the WTS (e.g., water-softener, iron-filter, industrial, paint, pool, hot-tub, or floor-drain wastewater).
2. Direct all snow storage, ground-surface drainage, roof downspouts, and sump-pump lines away from the bed.
3. Do not irrigate over the WTS.
4. Do not direct any water to subsurface perforated drainage pipes in the vicinity of the WTS.
5. Do not install ground-source heat loops within the envelope of the WTS.
6. Maintain short grass growth on the bed and mow with low tire-pressure equipment only.

Key Components:

- A** Septic tank: 4,000 L (minimum)
- B** Pump tank: 1,800 L (minimum)
- C** Polylok distribution box, including downward-facing inlet, insulation, and ground-surface access
- D** Infiltrator ATL BMEC bed:
 - Infiltrator ATL conduit length: 91.5 m (10 lines x 9.15 m, 30 conduits)
 - Infiltrator specified system sand area: 309 m²

Elevations (m):

Building sewer outlet inv. (min.)	= 197.20
Septic tank inlet inv.	= 197.10
Septic tank outlet inv.	= 197.05
Distribution box inlet inv.	= 198.35
Header pipe inv.	= 198.30
Base of chambers	= 198.20
Base of ATL System sand	= 197.95
Subgrade	= 197.35

OBC Minimum Required Clearances (m):

Feature:	Tank:	Dist. Line:
Structure:	1.5	5 + 2.0
Drilled Well:	15	15 + 2.0
Dug Well:	15	30 + 2.0
Water Service:	2.44	2.44 + 2.0
Surface Water:	15	15 + 2.0
Property Line:	3	3 + 2.0



FlowSpec Engineering Ltd., 31 McBrine Drive, Unit 1, Kitchener, ON N2R 1J1
 Office: 519-744-9336 Web: www.flowspec.ca

Legend:

- [100.00] Ex. Ground-Surface Elevation (m)
- (100.00) Prop. Ground-Surface Elevation (m) (FlowSpec)
- (100.00) Prop. Ground-Surface Elevation (m) (Others)
- Ex. Tree
- Property Line (subject property)
- ⊕ Test Pit Location
- 100.00 Test Pit Ground-Surface Elevation (m)
- Prop. Sewer (unless noted otherwise)
- - - Prop. Distribution Line
- ← Prop. Swale
- ▭ Prop. ATL System Sand
- ↔ Cross-Section (refer to Dwg. 2)
- ▲ Temporary Benchmark: Top of nail in hydro pole on north side of Hall Road West, Elev. 197.97 m (geodetic datum)

Dwg. Ref.: A.T. McLaren Ltd., Site and Grading Plan, File No. 36895-SG, July 5, 2022; Grand River Conservation Authority, GRIN Map, 2015

Client:	Chelten Homes
Project:	Design of Wastewater Treatment System for Proposed Residence Schroeder/Cauchy Property
Location:	3233 Hall Road West City of Hamilton
Drawing:	Layout Sketch

No.	Revision	Date	Checked

PRELIMINARY

Scale: 1:400

Design: BS Checked: DM

Drawn: BS

Date: September 00, 2022

File No.: 00775-1

Drawing No.: 1



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	Ian Schroeder and Renee Cauchi	32 McCargow Dr Caledonia, ON N3W 0C3	Phone: 289-237-7001
			E-mail: ian.schroeder@hotmail.com
Applicant(s)*	Jenny Bognar JB Drafting and Design	193 East 43rd St. Hamilton, ON L8T 3C3	Phone: 905-517-6027
			E-mail: jbdraftinganddesign@live.ca
Agent or Solicitor	Jenny Bognar JB Drafting and Design	193 East 43rd St Hamilton, ON L8T 3C3	Phone: 905-517-6027
			E-mail: jbdraftinganddesign@

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Not applicable

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

To place new dwelling & septic in a current P6 zone, that does not allow single family dwellings; part of P6 zone to be converted to A1 zone through housekeeping amendment

Second Dwelling Unit

Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

See attached

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

3233 Hall Road, Lot 21, Concession 9

7. PREVIOUS USE OF PROPERTY

Residential

Industrial

Commercial

Agricultural

Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Knowledge of area

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

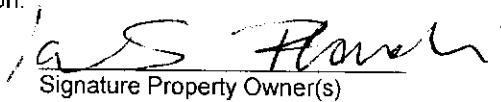
Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

June 22, 2022

Date



Signature Property Owner(s)

Ian Schroeder / Renee Cauchi

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	274.320 m.
Depth	349.423 m.
Area	95,859.00 sq. m.
Width of street	20.0 m.

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

n/a

Proposed

237.39 sq. m. ground floor area, 1 story, 15.29 m. x 21.51 m.,
7.15 m. high

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

n/a

Proposed:

57.93 m. front yard setback, 51.94 m. west side setback,
200.00+ m. east side setback, 200.00+ m. south setback

13. Date of acquisition of subject lands:
February 4, 2022
14. Date of construction of all buildings and structures on subject lands:
n/a
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Empty Lot - former single family dwelling
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family & agricultural
17. Length of time the existing uses of the subject property have continued:
Always
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
Rural Hamilton Official Plan
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
A1/P6
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:

- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.