Hamilton

# **COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

# NOTICE OF PUBLIC HEARING Minor Variance

# You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION	FL/A-22:315	SUBJECT	2 Shire Court, Carlisle
NO.:		PROPERTY:	
ZONE:	"S1" (Settlement Residential)	ZONING BY-	Zoning By-law City of Hamilton 05-
	·	LAW:	200, as Amended

**APPLICANTS:** Owner: David Eccles

Agent: Kristjan Fortune Designs

The following variances are requested:

1. A southerly side yard setback of 1.2m shall be provided instead of the minimum required 3.0m side yard setback.

**PURPOSE & EFFECT:** To permit the construction of a new side yard addition onto the existing single

detached dwelling.

Notes:

Please be advised that eaves and gutters are permitted to project into a required side yard not more than 0.6m, or half the distance of the required yard, whichever is lesser. Insufficient information has been provided in order to confirm zoning compliance. The applicant is advised that further variances may be required if compliance cannot be achieved.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, November 3, 2022	
TIME:	1:40 p.m.	
PLACE:	Via video link or call in (see attached sheet for details)	
	2 <sup>nd</sup> floor City Hall, room 222 (see attached sheet for	
	details), 71 Main St. W., Hamilton	

# FL/A-22:315

To be streamed (viewing only) at	
www.hamilton.ca/committeeofadjustment	

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

# **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, <u>including deadlines</u> for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



DATED: October 18, 2022

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



# **COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

# PARTICIPATION PROCEDURES

# Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Please include your name and address, hearing date, and file number. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon two days before the Hearing.

Comment packages are available two days prior to the Hearing and are available on our website: <a href="https://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

# **Oral Submissions**

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

# 1. Virtual Oral Submissions

Interested members of the public, agents, and owners <u>must register by noon the day</u> <u>before the hearing</u> to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email <a href="mailton.ca">cofa@hamilton.ca</a>. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

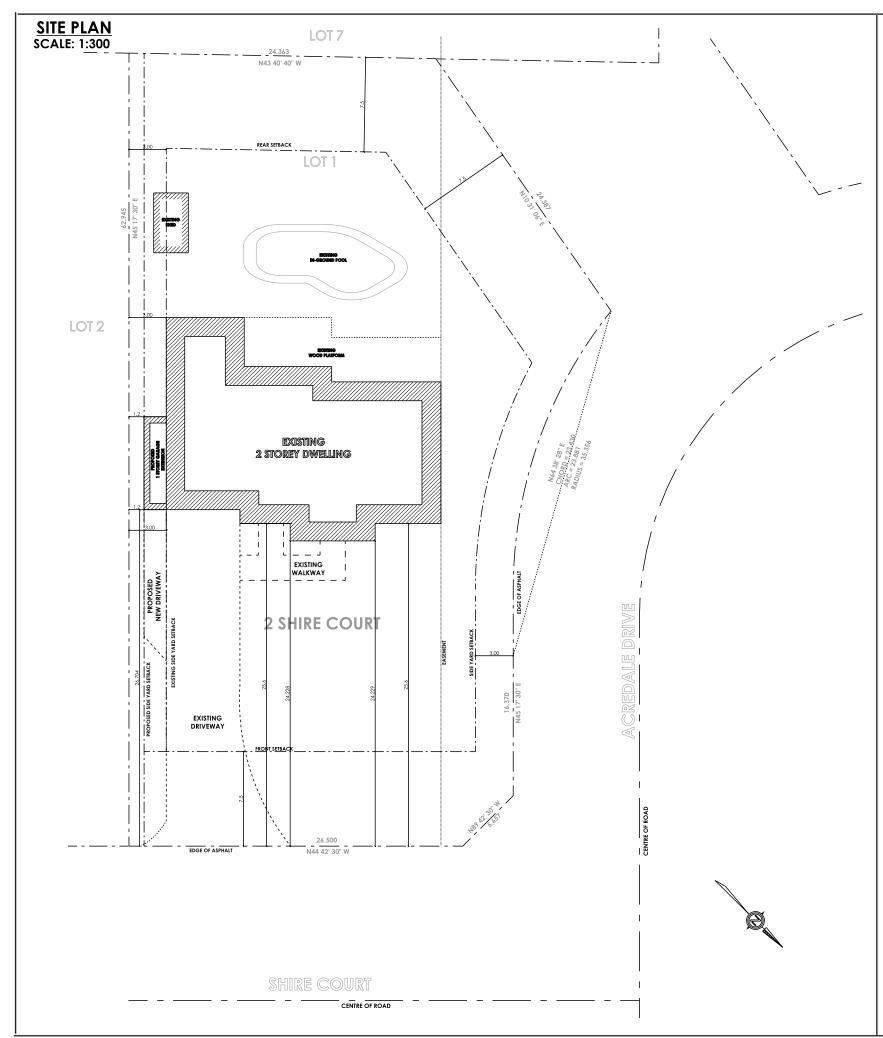
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

# 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.





SITE STATISTICS:			
1975 SqM	21,258.72 SqFt		
288 SqM	3100 SqFt		
301 SqM	3239.94 SqFt		
39.20 SqM	422 SqFt		
51.28 SqM	552 SqFt		
3.0 M	9.84 Ft		
1.2 M	3.94 Ft		
	288 SqM 301 SqM 39.20 SqM 51.28 SqM 3.0 M		

# **TABLE OF CONTENTS:**

A0.01 SITE PLAN AND SITE STATISTICS A0.02 GENERAL NOTES A1.01A EXISTING FOUNDATION PLAN A1.01B PROPOSED FOUNDATION PLAN A1.02A EXISTING MAIN FLOOR A1.02B PROPOSED MAIN FLOOR A1.03 EXISITING SECOND FLOOR A 1.04A EXISTING ROOF PLAN A 1.04B PROPOSED ROOF PLAN A2.01 A EXISTING FRONT ELEVATION A2.01B PROPOSED FRONT ELEVATION A2.02A EXISTING BACK ELEVATION A2.02B PROPOSED BACK ELEVATION A2.03A EXISTING LEFT ELEVATION A2.03B PROPOSED LEFT ELEVATION A2.04 EXISTING RIGHT ELEVATION A4.01 CROSS SECTION A-A SPO-01 SURVEY PLAN 1 SPO-02 SURVEY PLAN 2



KRISTJAN FORTUNE DESIGNS 905-510-5425



DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

BIO COLINIO BACILE	110.
30/08/2022	01
CALE:	AS NOTED
ROJECT #:	22-2-S
ROJECT ADDRESS:	2 SHIRE CRT CARLISLE, ON LOR 1H2

SITE PLAN & SITE STATISTICS

A0.01

# **NOTES:**

## SENERAL.

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING

CCESS TO CRAWL SPACES AND ATTICS MORE THAN 2' IN HEIGHT TO BE A IN. OF 22" X 28" FITTED WITH DOORS AND COVERS. INSULATED AND EATHER STRIPPED. WOOD TO BE PRESSURE TREATED IF LESS THAN 50mm TO GROUND

GAS PROOFING OF GARAGES:
CONSTRUCTION BETWEEN ATTACHED OR BUILT-IN GARAGES AND DWELLING
UNITS SHALL PROVIDE AN FEFECTIVE BARRIER TO GAS AND EXHAUST FUMES.
CEILINGS AND STUD PARTITIONS SHALL HAVE ONE LAYER 1/2" DRYWALL
FILLED AND TAPED.

resistance to forced break and entry into residential units and the problem of security doors and windows. A new standard is referenced for window besigns. See 0.8.C., 9.6.6. Door viewer for deach door leading into the House. Sol lamb blockingto prevent spreading. Provisions of Hinge Pinis which Cannot be semoved when Door is closed. Provision of Dead Bolt Lock for Added Lock

## 9.7. OPENINGS:

WINDOWS AND EXTERIOR DOORS, EXCEPT GARAGE DOORS SHALL BE PROVIDED WINDOWS AND EXTERIOR DOORS, EXCEPT GARAGE DOORS SHALL BE PROVIDED WITH STORM WINDORS, DOORS OR OTHER MEANS OF MINIMIZING HEAT LOSS OR INFILIRATION. CAULKING SHALL BE PROVIDED BETWEEN WINDOW AND DOOR FRAMES AND EXTERIOR STUCCO OR MASONNY. A DOOR BETWEEN A GARAGE AND DWELLING SHALL BE AN EXTERIOR TYPE. HIGHT FITTING AND WEATHER STRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST GAS AND EXHAUST FUMES AND SHALL BE FITTED WITH A SELF-CLOSING DEVICE AND SHALL OF OTHER WITH A SELF-CLOSING DEVICE AND SHALL NOT OPEN NITO. A BEDROOM. DOORS TO DWELLING SHALL BE OFFERDED TO FORCE OF THE WINDOWS SHALL NOT OPEN NITO. A BEDROOM. DOORS TO DWELLING SHALL BE OFFERDED TO SEPTIME FROM THE INSIDE WITHOUT THE USE OF KEYS. ATTIC ACCESS HATCH TO BE 20" X 28" INSULATED AND WEATHER STRIPPED. EVERY FLOOR LEVEL CONTAINING BEDROOMS MUST BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS. THESE WINDOWS MUST HAVE AN UNOBSTRUCTED WINDOW PORTION HAVING A MIN. AREA OF 3.8 SQ.FT. WITH NO DIMENSION LESS THAN 15" (300mm) FOR SLIDING WINDOWS, THE MIN. DIMENSION MUST APPLY TO THE OPENABLE PORTION OF THE WINDOW. SILLS MUST BE NO MORE THAN 3" 3" ABOVE THE FLOOR FOR Gress windows, performance grades for windows, doors, and (ylights shall be selected according to CSA a440s1.

# 9.8 STAIRS AND GUARDS:

- (1) INTERIOR AND EXTERIOR: MAX. RISE 7 7/8" MIN. RUN 8 1/4", MIN. TREAD 9 1/4".
  MIN I" NOSING WHERE RUN IS LESS THAN 10".
  2() WIDTH: INTERIOR MIN. 2 "IO"
  BETWEEN WALL FACES. EXTERIOR 3".
  (3) HEAD ROOM: INTERIOR 6"5" MIN.
  EXTERIOR 6"9.

- 4) LANDINGS: AS WIDE AND LONG AS WIDTH OF STAIRS AND PAILS: MIN 32" MAX 36" ABOVE NOSING, MIN 1 1/2" CLEARANCE
- FROM WALL.

  GUARDS: INTERIOR GUARDS, MIN. 36" HIGH AROUND

  TOOR APEAS OF MORE THAN 2 RISER"

6) GIJARDS. INTERIOR GUJARDS. MIN. 35" HIGH AROUND LANDINGS AND FLOOR AREA OF MORE THAN 2 RISEBS. EXTERIOR GUJARDS, MIN. 35" HIGH FOR GRADES GREATER THAN 2" O" AND MIN. 42" HIGH FOR GRADES GREATER THAN 6" O" FOR BEACONIES. PICKETS AND GUJARDS FOR STARBS AND AROUND LANDINGS TO BE A MAX. OF 4" (100mm) APART FOR PORCHES LESS THAN 4" ABOVE GROUND. GUJARDS TO BE 35" HIGH. CURVED STAIRS TO HAVE MIN. RUIN 6" TAND MIN. AVERAGE RIUN 0F 7"," GUJARDS AROUND EXTERIOR BALCONIES, PORCHES, AND DECKS SHALL BE DESIGNED SO THAT TO MEMBER, ATTACHMENT. OPENING LOCATED BETWEEN 4" AND 2" 11" ABOVE FLOOR BALCONY, PORCH OR DECK WILL FACILITATE CLIMBING.

# 9.8.5 RAMPS:

MAX, SLOPE FOR PEDESTRIAN RAMP TO BE ONE IN TEN.

# 9.10. FIRE PROTECTION:

- (1) AN EXPOSED BUILDING FACE, LESS THAN 4' FROM THE LOT LINE SHALL HAVE A MIN. FIRE RESISTANCE RATING OF 3/4 HRS.
- WINDOWS.

  ) PARTY WALLS SHALL HAVE 1 HR MIN. FIRE RATING.
  ) FIRE STOP ALL CONCEALED SPACES BETWEEN STORIES AT FLOORS, CEILINGS, ROOFS, EXTERIOR CORNICES, BALCONIES AND CANOPIES OF COMBUSTIBLE
- ) FLAME SPREAD RATING OF INTERIOR FINISHES 150 MAX. WHEN PRODUCTS OF COMBUSTION DECTOR INSTALLED. (7) SMOKE ALARMS CONFORMING TO CANANDA/ULC-S531 SHALL BE INSTALLED ON EACH FLOOR LEVEL NEAR THE STAIRS CONNECTING FLOOR LEVELS ON FLOORS WITH BEDROOMS. THE SMOKE DETECTIOR MUST BE SERVERN SLEEPING AREA TO LIVE SMOKE DETECTIOR MUST BE SERVERN SLEEPING AREA TO LOT LINE SHALL HAVE MIN. ONE LAYER OF 5/8" LABELLED DRYWALL ON INSIDE FACE UP TO UNDERSAND OF DECK.

# .10.19.3. LOCATION OF SMOKE ALARMS

IDWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THA (1) WITHINDWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT. 
(A) THERE IS A LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY. INCLUDING BASEMENTS, AND 
(B) ON ANY STOREYOF A DWELLING UNIT CONTAINING SLEEPING ROOMS. A SMOKE ALARM IS 
INSTALLED, (II) IN EACH SLEEPING ROOM, AND (II) IN A LOCATION BETWEEN THE SLEEPING ROOMS AND 
THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE 
ALARM SHALL BE LOCATED IN THE HALLWAY. 
(2) ASMOKE ALARM REQUIRED IN SENTENCE (1) SHALL BE INSTALLED IN CONFORMANCE 
WITHCANJULGS.553, "INSTALLATION OF SMOKE ALARMS." 
NOTE: ON JULY 1, 2017, SENTENCES 9; 10; 19, 2(2) OF DIVISION B OF THE REGULATION IS REVOKED AND 
THE FOLLOWING SUSTITUTES: (SEC. O. REG. 1397). 75, 115) 
(2) WITHIN A HOUSE THAT CONTAINS AN INTERIOR SHARED MEANS OF EGRESS ON COMMON AREA, A 
SWOKE ALARM SHALL BE INSTALLED IN SIZE OF LOWERD MEANS OF EGRESS ON COMMON AREA, A 
SWOKE ALARM SHALL BE INSTALLED IN SECRET WERE ON LEAFEN WERE ALLED THE ALEA OF THE STOREY.

2) William A music emit (Commains Am interior synatem interior synatem interior synatem). The Petarscs or Common area. Monce Alarm Shall be installed in Each Shared Means Of Egress and Common area. 3) A smoke Alarm Reduired in Sentence (1) Shall have a visual signalling Component Conforming To The Reduirems in 18.33, (light, Color and Publes Characteristics) of

JON-JONNING TO THE REQUIREMENTS IN 18.2.3, LIQHD1, OLOUR AND POLES CHARACLERSINGS) OF IPPA 72, "NATIONAL FIRE ALARM AND SIGNALING GOODE". IOTE: ON JULY 1, 2017, SENTENCES 9,10.19.3,(3) OF DIVISION B OF THE REGULATION IS REVOKED AND HE FOLLOWING SUBSTITUTED: ISSEC O., REG. 139/17, S. 11.5) 3) A SMOKE ALARM REQUIRED IN SENTENCES (1) AND (2) SHALL BE INSTALLED IN CONFORMANCE WITH CANVILCE-SSS. INSTALLATION OF SMOKE ALARMS (2) SHALL BE INSTALLED IN CONFORMANCE WITH CANVILCE-SSS. INSTALLATION OF SMOKE ALARMS (2) SHEED NOT, 4) BE INTEGRATED WITH THE SMOKE ALARM PROVIDED IT IS INTERCONNECTED TO IT, 8) BE ON BATTERY BACKUP, OR.

N RE ON BATTERY BACKUP, OR HAVE SYNCHRONIZED ELASH RATES. WHEN INSTALLED IN A DWELLING LINIT

OTE: ON JULY 1, 2017, SENTENCES 9.10.19.3.(4) OF DIVISION B OF THE REGULATION IS REVOKED AND EFOLLOWING SUBSTITUTED: (SEE: O. REG. 139/17, S. 115) 4) A SMOKE ALARM REQUIRED IN SENTENCES (1) AND (2) SHALL HAVE A VISUAL SIGNALLING

OMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3.
GHT, COLOR AND PULSE CHARACTERISTICS] OF NFPA 72, "NATIONAL FIRE ALARM AND

IGNALING CODE\*

5) THE LUMINOUS INTENSITY FOR VISUAL SIGNALLING COMPONENTS REQUIRED IN SENTENCE (3) THAT

REFINSTALLED IN SLEEPING ROOMS SHALL BE A MINIMUM OF 175 CD.

40TE: ON JULY 1, 2017, SENTENCES 9, 10, 19, 3, (5) OF DIVISION B OF THE REGULATION IS REVOKED AND

THE FOLLOWING SUBSTITUTIED: (SEE: O. REG., 139/17, S, 115)

5) THE VISUAL SIGNALLING COMPONENT REQUIRED IN SENTENCE (4) NEED NOT,

(A) BE INTEGRATED WITH THE SMOKE ALARM PROVIDED IT IS INTERCONNECTED TO IT,

HAVE SYNCHRONIZED ELASH RATES, WHEN INSTALLED IN A HOUSE OR AN INDIVIDUAL DWELLING INIT. 6) SMOKE ALARMS REQUIRED IN SENTENCE (1) SHALL BE INSTALLED ON OR NEAR THE CEILING.

(9) AMOKE ALAKMS REQUIRED IN SENTENCE [1] SHALL BE INSTALLED ON OR NEAR THE CELING, VOTE: ON JULY, 12017, SENTENCES 9, 10.193, 60 oF DIVISION 8 OF THE REGULATION IS REVOKED AND THE FOLLOWING SUBSTITUTED: (SEE: O. REG. 139/17, S. 115) 6) THE LUMINIOUS INTENSITY FOR YOULAL SIGNALLING COMPONENTS REQUIRED IN SENTENCE (4) THAT ASE INSTALLED IN SLEEPING ROOMS SHALL BE A MINIMUM, OF 175 CD.

7) SMOKE ALARMS REQUIRED IN SENTENCES (1) AND (2) SHALL BE INSTALLED ON OR NEAR THE CELLING.

TOP SOIL AND VEGETABLE MATTER IN ALL UNEXCAVATED AREAS UNDER BUILDING TO

9.14 SURFACE DRAINAGE:

SHALL BE DIRECTED AWAY FROM THE BUILDING, WATER SUPPLY WELL OR SEPTIC TANK DISPOSAL BED.

9.14.6.3. WINDOW WELLS

(1) EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION 9.15 FOOTINGS AND FOUNDATIONS:

CONCRETE FOOTINGS SHALL REST ON UNDISTURBED
SOIL WITH ALLOWABLE BEARING PRESSURE OF 75 KPA. (1569 P75F).
MINIMUM OF 40 BELOW FINISHED GRADE. CONCRETE FOR UNREINFORCED
FOOTINGS AND FOUNDATION WALLS SHALL HAVE A MINIMUM
COMPRESSIVE STRENGTH OF 15 MPA (2200 P3) AFTER 28 DAYS. FOOTINGS
MINIMUM (B) THICK, MINIMUM AF PROJECTION OF FOUNDATION WALL AND
MINIMUM (B) WINE WHEN SUPPORTING 2 FLOORS OF BRICK, AND MASONRY
VENER, STEPPED FOOTINGS: 20 MINIMUM HOREOTING DAYS
VENER STEPPED FOOTINGS: 20 MINIMUM HOREOTINGS
VENER STEPPED FOOTINGS
VEN CONCRETE FOOTINGS SHALL REST ON UNDISTURBED INE EXISENCY OF THE FOUNDATION, THE TOP AND SIDES OF DRAIN PIPE OR THE SHALL BE COVERED WITH NOT LESS THAM 6"O 5"O," CLEAR STONG PEO OTHER COARSE CLEAN GRANULAR MATERIAL (AS PER 9.14.4.1), REDUCED FOUNDATION WALLS TO ALLOW BRICK FACING AND MAINTAIN LATERAL SUPPORT, THE BRICKS TO MIN. 3 1/2" CONC., WITH DOVE TAIL MASONRY TIES, (MIN. 1/16"THICK X 7/3" WIRE) @ 8" C/C" VERT. 36" HORIZ, FILL SPACE BEHIND BRICK WITH MORTAR, CRACK, JOINTS SHALL BE PROVIDED IN FOUNDATION WALLS MORE THAN 25'M LONG AT INTERVALS OF NOT MORE THAN 15"M, JOINTS ARE DESIGNED TO RESIST MOISTURE PENETRATION.

ONORFIEST ARS ON GROUND SHALL BE A MINIMUM S" THICK ON 5" ORLISH STONE. EXPECT FOR arage slabs, Concrete slabs on grade shall be reinforced with a 6" x 6", 6/6 mesh ocated near mid-depth of slab. Concrete slabs under finished areas shall be MP-PROOFED WITH 6mm POLYETHYLENE. THE TOP OF EVERY SLAB ON GRADE SHALL BE A INIMUM 6" ABOVE GRADE. CONCRETE FOR GARAGE SLABS AND EXTERIOR STEPS AND PORCHES ININIMIM 6" ABOVE GRADE. CONCREIE FOR GARAGE SLABS AND EXTENDROSTES AND FORCHES TALL HAVE A ININIMIM COMPRESSIVE STERNORTH OF 25MPA (3800 PS) AFTER 28 DAYS AND SHALL AVE AIR ENTRAINMENT OF 5-8%. GRANULAR FILL (1) EXCEPT FOR SLABS IN GARAGES, NOT LESS AND AN 6" OF COARSE CLEAN GRANULAR MATERIAL SHALL BE FLACED BENEATH SLASS IN DWELLING NITS (2) ANY OTHER FILL BENEATH THE TOP PORTION OF COARSE CLEAN GRANULAR MATERIAL HALL BE COMPACTED (3) ANY FILL BENEATH SLABS AND GARAGESOTHER THAN COARSE CLEAN FRANULAR MATERIAL SHALL BE COMPACTED.

# 9 19 2 1 ACCESS

(1) EVERYATTIC OR ROOF SPACE SHALL BE PROVIDED WITH AN ACCESS HATCH WHERE THE ATTIC OR ROOF SPACE.
(A) MEASURES NOT LESS THAN.
(I) 10 M2 IN AREA.
(I) 10 M2 IN AREA.
(II) 100 MM IN LENGTH OR WIDTH, AND
(III) 400 MM IN HEIGHT OVER AT LEAST THE AREA DESCRIBED IN SUBCLAUSES (I) AND (III), OR
(B) CONTAINS A FUEL-FIRED APPLIANCE.

QUIRED IN SENTENCE (1) SHALL BE NOT LESS THAN 550 MM BY 900 MM EXCEPT THAT, WHERE THE HATCH SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO, ITE: ON JULY 1, 2017, SENTENCE 9.19.2.1.[9] OF DIVISION B OF THE REGULATION IS ENDED BY STRIKING OUT "SINGLE DWELLING UNIT" IN THE PORTION BEFORE CLAUSE (A) AND SUBSTITUTING "HOUSE OR AN INDIVIDUAL DWELLING UNIT IN A HOUSE"

(SEE: O. REG. 139/17, S. 122) (A) 0.32 M2 IN AREA WITH NO DIMENSION LESS THAN 545 MM, OR

(8) 500 MM BY 700 MM.

(3) HATCHWAYS TO ATTIC OR ROOF SPACES SHALL BE FITTED WITH DOORS OR COVERS, SECTION 9.20 MASONRY AND INSULATING CONCRETE FORM WALLS NOT IN CONTACT WITH THE GROUND

# 23 WOOD FRAME CONSTRUCTION

FLOOR JOISTS AND BEAMS TO BE #2 GRADE. SPRUCE OR EQUAL UNLESS. STATED OTHERWISE. LL FLOOR JOISTS AND BEAMS TO BE #2 CRADE. SPRUCE OR EQUAL UNLESS STATED OTHERWISE. LIL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH HEM INI. 1/27 DAMRETER ANCHOR OLIS MAX, 710" O.C. ANCHOR BOLTS SHALL BE EMBEDED NUTS AND WASHERS NOT LESS THAN OLIS MAX, 710" O.C. ANCHOR BOLTS SHALL BE MEEDED NUTS AND WASHERS NOT LESS THAN HEM FROM THE FOUNDATION. JOISTS SHALL HAVE A MIN. 1 1/2" END BEARING. BEAMS SHALL HAVE MIN. 3 1/2" FEM BEARING. FLOOR JOISTS MAY BE SUPPORTED ON 1079 OS PEAMS OR MAY EFFRAMED INTO SIDE OF BEAMS. WHEN FRAMED INTO SIDE OF WOOD BEAMS, JOISTS SHALL BE UPPORTED ON JOIST HANGERS. HEADER JOISTS SHALL BE DUETEMINED BY CALCULATION. RINGMER, JOISTS SECKEEDING. 10" ("IN LENGTH SHALL BE DUETEMINED BY CALCULATION. RINGMER, JOISTS SHALL BE DOUBLED WHEN LENGTH OF HEADER JOISTS SHALL BE UNITED THE CONTROL OF THE MAY BE AND THE STATE OF THE MAY BE COIST EXCEEDS 6"S. SIZE OF TRIMMER JOISTS SHALL BE DUETEMINED BY CALCULATION. LOAD EARBING LINEEDY WALL SE ADDRESS HELD TO HE OF THE MER JOIST EXCEEDS 3" "WHEN HEADER OIST EXCEEDS 6"S. SIZE OF TRIMMER JOISTS SHALL BE DETERMINED BY CALCULATION. LOAD EARBING LINEEDY WALLS PARKED TO THE MAY ON WALLS SHALL BE DETERMINED BY CALCULATION. LOAD EARBING LINEEDY WALLS PARKED TO THE MAY ON WALLS SHALL BE DETERMINED BY CALCULATION. BEARING INTERIOR WALLS PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY BEAMS OR WALLS PO SUFFICIENT STERNOSTH OT REMANSER SAFELY THE DESIGN LOADS TO VERTICAL SUPPORTS. LOAD BEARING INTERIOR WALL AT RICHT ANGLES TO FLOOR JOISTS SHALL BE LOCATED NOT MORE THAN 900mm [2 1-17] FROM JOISTS SUPPORT WHEN THE WALL DOES NOT SUPPORTS ONE OR MORE FLOORS, JURISS THE JOIST SIZE DESIGNED TO SUPPORT SUFFIL LOADS. NON LOAD BEARING FLOORS, JURISS THE JOIST SIZE DESIGNED TO SUPPORT SUFFIL LOADS. NON LOAD BEARING FLOORS, JURISS THE JOIST SIZE DESIGNED TO SUPPORT SUFFIL LOADS. NON LOAD BEARING FLOORS JURISS THE JOIST SIZE DESIGNED TO THE FLOOR JOIST ARE NOT RESTRICTED AS TO LOCATION. I) NON LOAD BEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BENEATH THE JOISTS. 2, BLOCKING FOR THE SUPPORT OF NON LOAD BEARING WALLS SHALL BE NOT LESS THAN 2"X 4" (38mm X 89mm) LUMBER, SPACED NOT MORE THAN 4" (1.2m) APART. FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANHILEVEED MORE THAN 400mm BEYOND THEIR SUPPORTS WHERE 38mm BY 184mm JOISTS ARE USED AND NOT MORE THAT 400mm BEYOND THEIR SUPPORTS WHERE 38mm BY 935mm or LARGER JOISTS ARE USED. DOUBLE TOP PLATE FOR RING INTERIOR WALLS PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY BEAMS OR WALLS

SUPPORTS WHERE 38mm BY 184mm JOISTS ARE USED AND NOT MORE THAT JOOMM BEYOND THIRS SUPPORTS WHERE 38mm BY 255mm OR LAGGER JOISTS ARE USED. DOUBLE TOP PLATE FOR ALL LOAD BEARING PARTITIONS. DOUBLE STUDS AT CORNERS AND EACH SIDE OF OPENINGS. FLOOR JOISTS TO CAROS BRIDGING LOCATED NOT MORE THAN 6 11" (2100mm) FROM EACH SUPPORT OR OTHER ROWS OF BRIDGING. STRAPPING SUPPORT OR OTHER ROWS OF BRIDGING. STRAPPING OF LOAD TO STRAPPING OF LOAD THE STRAPPING AND FASTENED AT 1"Z (1100mm) FROM EACH SUPPORT OR OTHER ROWS OF STRAPPING AND FASTENED AT EACH END TO A SILL OR HEADER. STRAPPING SO THE STRANG THE CONTROL OF THE STRANG STRAPPING SO THE STRANG STRANG PARTITION IN BASEMENT TO BE 2"X 4"S FRUCE 16" O.C. FOR SUNGALCOWS AND TASTE OF THE STRANG STRANG PARTITION IN BASEMENT TO BE 2"X 4"S FRUCE 16" O.C. FOR SUNGALCOWS AND FASTE OF THE STRANG STRANG PARTITION IN BASEMENT TO BE 2"X 4"S FRUCE 16" O.C. FOR SUNGALCOWS AND FASTE OF THE STRANG STRANG PARTITION IN BASEMENT TO BE 2"X 4"S FRUCE 16" O.C. FOR SUNGALCOWS AND THE STRANG STRANG SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND HIRE SUPPORTS WHERE 2"X 8" STRUCTS ARE USED AND NOT MORE THAN 15 3/4" (400mm) BEYOND THEIR SUPPORTS WHERE 2" X 8" JOISTS ARE USED AND NOT MORE THAN 23 5/8" (600mm) FOR 2" X 10" OR LARGER JOISTS ARE USED. WHERE CANTILEVERED FLOOR JOISTS ARE AT RIGHT ANGLES TO MAIN FLOOR JOISTS THE TAIL JOIST IN THE CANTILEVERED PORTION SHALL EXTEND INWARD AWAY FROM CANTILEVER. SUPPORT A DISTANCE EQUAL TO AT LEAST 6 TIMES THE LENGTH OF CANTILEVER AND THE END NAILED TO AN INTERIOR DOUBLE HEADER JOIST

FINSHED FLOORING SHALL BE PROVIDED IN ALL RESIDENTIAL OCCUPANCIES, FINISHED FLOORING IN BATHROOMS, KITCHENS, LAUNDRY AREAS AND GENERAL STORAGE AREAS, SHALL BE A RESILIANT TYPE PROVIDING WATER RESISTANCE. WHERE CERAMIC TILE IS USED, ONSTRUCTION SHALL BE AS PER O.B.C. 9.30.6.

# 9.25.2 INSULATION:

MIN. R-4 FOR EXPOSED DOORS. MIN. R-20 BELOW GRADE IN FOUNDATION WALLS MIN. AP TO A ENTORED COOKS. MIN. A 2D BELOV THE AND A STATE IN TOUCH A STATE OF THE AND A STATE OF THE AND

AIR BARRIER SYSTEMS SHALL BE INSTALLED SUCH AS THEY CONTROL AIR LEAKAGE OR PERMIT VENTING TO THE EXTERIOR. SHALL BE CONTINOUS ACROSS ALL CONSTRUCTION, CONTROL AND EXPANSION JOINTS AND BUILDING ASSEMBLY.

# 9.25.4 VAPOR BARRIERS

VAPOUR BARRIERS SHALL BE INSTALLED TO PROTECT THE ENTIRE SURFACES OF hermally insulated walls, ceiling and floor assemblies. Vapour Parrier protection shall be installed on the warm side of insulation. NETRATIONS OF THE AIR BARRIER PROTECTION, SUCH AS THOSE CREATED B' HE INSTALLATION OF DOORS, WINDOWS, ELECTRICAL WIRING, ELECTRICAL BOXE PIPING OR DUCT WORK, SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER PROTECTION OVER THE ENTIRE SURFACE. PROVIDE AIR BARRIER SEE

- WHERE SLOPING SURFACES OF SHINGLED ROOFS INTERSECT TO FORM A VALLEY, THE VALLEY SHALL BE FLASHED.

  VALLEY FLASHING SHALL BE FLASHED.

  VALLEY FLASHING SHALL BE INSTALLED OVER CONTINUOUS SHEATHING.
  CLOSED VALLEYS SHALL NOT BE USED WITH RIGID SHINGLES ON SLOPES OF LESS
  THAN I IN 1.2.
- . EV ELASHING SHALL CONSIST OF SHEET METAL SELE SEALING. CLOSED VALLEY FLASHING SHALL CONSIST OF SHEEL MEHAL. SELF SEALING COMPOSITE MEMBRANES CONSISTING OF POLYETHYLENE AND BITUMINOUS MATERIAL OR ONE LAYER OF EITHER TYPE S SMOOTH SUBFACE ROLL ROOFING OR TYPE M MINERAL SURFACE ROLL ROOFING MENTAL SURFACE DOWN) NOT LESS THAN 600 MM MIDE. AND NAILS SHALL NOT PENETRATE THE FLASHING WITHIN
- 75 MM OF ITS EDGE OR 124 MM OF THE BOTTOM OF THE VALLEY CENTRELINE.
- 75 MM. OF ITS EDGE OR 124 MM. OF THE BOTTOM OF THE VALLEY CENTRELINE.
  9) OPEN VALLEYS SHALL BE FLASHED WITH.
  (A) AT LEAST ONE LAYER OF SHEET METAL NOT LESS THAN 600 MM WIDE, OR
  (B) NO FEWER THAN TWO LAYERS OF ROUL ROOFING.
  9) THE BOTTOM LAYER OF ROOFING REQUIRED IN SENTENCE (4) SHALL CONISTO OF
  NOT LESS THAN TYPE S SMOOTH ROLL ROOFING OR TYPE M MINERAL SURFACE ROLL
  ROOFING (MINERAL SURFACE DOWN) NOT LESS THAN 457 MM WIDE. CENTRED IN
  THE VALLEY AND FASTENED WITH NALES SPACED NOT MORE THAN 450 MM O.C.
  LOCATED 25 MM AWAY FROM THE EDGES.
  1) THE OTPL LYEE OF ROOFING REQUIRED IN SENTENCE (4) SHALL CONSIST OF NOT LESS
  THAN TYPE M MINERAL SURFACE ROLL ROOFING (MINERAL SURFACE WP), 914 MM WIDE.
  CENTRED IN THE VALLEY, APPLIED OVER A 100 MM WIDE STIPP OF CEMENT ALONG
  EACH EDGE OF THE BOTTOM LAYER, AND FASTENED WITH A SUFFICIENT NUMBER OF
  NALLS TO HOULD IT IN PLACE WITH THE SENTENCE ARE APPLIED. NAILS TO HOLD IT IN PLACE UNTIL THE SHINGLES ARE APPLIED

- EXCEPT AS PROVIDED IN SENTENCE (2), EAVE PROTECTION SHALL BE PROVIDED ON SHINGLE, SHAKE OR THE ROOFS, EXTENDING FROM THE EDGE OF THE ROOF A MININ OF 900 MM by THE ROOF SLOPE TO A LINE NOT LESS THAN 300 MM INSIDE THE INNEF FACE OF THE EXTERIOR WALL.
   EAVE PROTECTION IS NOT REQUIRED.
- OVER UNHEATED GARAGES, CARPORTS AND PORCHES
- B) WHERE THE ROOF OVERHANG EXCEEDS 900 MM MEASURED ALONG THE ROOF SLOPE FROM THE EDGE OF THE ROOF TO THE INNER FACE OF THE EXTERIOR WALL, C) ON ROOFS OF ASPHALT SHINGLES INSTALLED IN ACCORDANCE WITH SUBSECTION 9.26.8., D) ON ROOFS WITH SLOPES OF 1 IN 1.5 OR GREATER, OR E) IN REGIONS WITH 3 500 OR FEWER DEGREE-DAYS.

- (1) EAVE PROTECTION SHALL BE LAID BENEATH THE STARTER STRIP AND SHALL CONSIST OF (A) NO. 15 ASPHALT-SATURATED FELT LAID IN TWO PLIES LAPPED 480 MM AND CEMENTED TOGETHER WITH LAP CEMENT,
- INCHERE WITH LAP CEMENT,

  (B) TYPE M OR S ROLL ROOFING LAID WITH NOT LESS THAN 100 MM HEAD AND END LAPS
- CEMENTED TOGETHER WITH LAP CEMENT,
  (C) GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR
- (D) SELF-SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED

- (1) WHEN USED WITH SHINGLES, UNDERLAY SHALL BE INSTALLED PARALLEL TO THE EAVES WITH HEAD AND END LAP OF NOT LESS THAN 50 MM. (2) THE TOP EDGE OF EACH STIPP REFERRED TO IN SENTENCE (1) SHALL BE FASTENED WITH SUFFICIENT ROOFING NAILS TO HOLD IT IN PLACE UNTIL THE SHINGLES ARE APPLI (3) THE UNDERLAY REFERRED TO IN SENTENCE (1) SHALL OVERLAP THE EAVE PROTECTION

- (1) SHINGLES ON HIPS AND RIDGES SHALL BE APPLIED SO THEY EXTEND NOT LESS THAN 100 MM ON EITHER SIDE OF THE HIP OR RIDGE, AND SHALL BE LAPPED NOT LESS THAN 150 MM.
  (2) SHINGLES REFERRED TO IN SENTENCE (1) SHALL BE FASTENED WITH NAILS OR
- STAPLES ON EACH SIDE LOCATED NOT MORE THAN 25 MM FROM THE EDGE AND 25 MM ABOVE THE BUTT OF THE OVERLYING SHINGLE.

- (1) FLASHING SHALL BE INSTALLED AT EVERY HORIZONTAL JUNCTION BETWEEN 2 DIFFERENT EXTERIOR FINISHES, EXCEPT WHERE THE UPPER FINISH OVERLAPS THE LOWER FINISH.

  (2) EXCEPT AS PROVIDED IN SENTENCE (4),
  FLASHING SHALL BE APPLIED OVER EXTERIOR WALL OPENINGS WHERE THE VERTICAL DISTANCE FROM THE BOTTOM OF THE EAVE TO THE TOP OF THE TRIN IS MORE THAN ONE QUATER OF THE HORIZTONAL OVERHANG OF THE
- (3) FLASHING SHALL BE INSTALLED SO THAT IT EXTENDS UPWARD
- (3) ILAJHINUS SHALL BE INSTALLED SO THAT IT EXTENDS UPWARD NOT LESS THAN 2" (50mm) BEHIND THE SHEATHING PAPER AND FORMS A DRIP ON THE OUTSIDE EDGE.

  (4) WHERE A WINDOW OR EXTERIOR DOOR IS DESIGNED TO BE INSTALLED WITHOUT HEAD FLASHING, THE INTERIOR FLANGE OF THE WINDOW OR DOOR FRAME SHALL BE BEDDED INTO A NON-HARDENING TYPE CAULKING MATERIAL AND THE EXTERIOR FLANGE SCREWED DOWN. EDGE

# 9.27.3.8. FLASHING INSTALLATION

- 1) EXCEPT AS PROVIDED IN SENTENCE (2), FLASHING SHALL BE INSTALLED AT, ÉVERY HORIZONTAL JUNCTION BETWÉEN CLADDINGS ELEMENTS,
   EVERY HORIZONTAL OFFSET IN THE CLADDING, AND
- 8) EVERY HORIZONIAL OFFSET IN THE CLADDING, AND
  C JEVERY HORIZONTAL LINE WHERE THE CLADDING SUBSTRATES CHANGE AND WHERE,
  ) THE SUBSTRATES DIFFER SUFFICIENTLY FOR STRESSES TO BE CONCENTRATED ALONG THAT LINE, OR
  1) THE INSTALLATION OF THE CLADDING ON THE LOWER SUBSTRATE MAY COMPROMISE THE
  DRAINAGE OF MOISTURE FROM BEHIND THE CLADDING AGOVE.
- [2] FLASHING NEED NOT BE INSTALLED AS DESCRIBED IN SENTENCE [1],

  [A] WHERE THE UPPER CLADDING ELEMENTS OVERLAP THE LOWER CLADDING ELEMENTS BY NOT LESS THAN 25 MM,

  [B] WHERE,
- ) THE CLADDING ABOVE AND BELOW THE JOINT IS INSTALLED OUTBOARD OF A DRAINED AND VENTED AIR SPACE, AND

  II) THE HORIZONTAL DETAIL IS CONSTRUCTED SO AS TO MINIMIZE INGRESS OF PRECIPITATION INTO
- THE AIR SPACE, OR

  THE AIR SPACE, OR

  THE AIR SPACE, OR

  THE AIR SPACE, WHERE, (II) THE JOINT IS FINISHED WITH AN EXPANSION-CONTRACTION STRIP, AND (II) THE CLADDING IS INSTALLED OUTBOARD OF A DRAINED AND VENTED AIR SPACE.
- (3) FLASHING SHALL BE INSTALLED OVER EXTERIOR WALL OPENINGS WHERE THE VERTICAL DISTANCE FROM THE BOTTOM OF THE EAVE TO THE TOP OF THE TRIM IS MORE THAN ONE-QUARTER OF THE HORIZONTAL OVERHANG OF THE EAVE.
- (4) FLASHING DESCRIBED IN SENTENCES (1) AND (3) SHAI A) EXTEND NOT LESS THAT 50 MM UPWARD INBOARD OF THE SHEATHING MEMBRANE OR SHEATHING INSTALLED IN LIEU OF THE SHEATHING MEMBRANE, HAVE A SLOPE OF NOT LESS THAN 6% TOWARD THE EXTERIOR AFTER THE EXPECTED
- SHRINKAGE OF THE BUILDING FRAME, ) TERMINATE AT EACH END WITH AN END-DAM C) TEXMINATE AT BACK HOLD WITH AN END-DAM, WITH A HEIGHT IN MILLIAGE OF THE 1 IN 5 DRIVING RAIN WITH A HEIGHT IN MILLIAGETES NOT LESS THAN 25 MM OR 1/10 OF THE VALUE OF THE 1 IN 5 DRIVING RAIN WITH DEPRESURE IN PA. AND 1) AT THE HEIGHT DEFINED IN SUBCLAUSE (I), EXTENDING TO THE FACE OF THE ADJACENT
- CLADDING,
  ) I AP NOT LESS THAN 10 MM VERTICALLY OVER THE BUILDING ELEMENT BELOW, AND
  ) TERMINATE IN A DRIP EXTENDING NOT LESS THAN 5 MM OUTWARD FROM THE OUTER FACE
  OF THE BUILDING ELEMENT BELOW.
- (5) WHERE THE SILLS OF WINDOWS AND DOORS INSTALLED IN EXTERIOR WALLS ARE NOT SELF-FLASHING, FLASHING SHALL BE INSTALLED BETWEEN THE UNDERSIDE OF THE WINDOW OR DOOR AND THE WALL CONSTRUCTION BELOW.

# 32 VENTILATION:

DENING SHALL BE PROTECTED FROM THE WEATHER AND INSECTS AND SCREENING SHALL BE OF

ROOF SPACES, MIN. 1 SQ.FT, OF UNOBSTRUCTED VENTILATING AREA FOR EACH 300 SQ.FT. 1) ROOF SPACES, MIN. 1 SQ.FT. OF UNOBSTRUCTED VENTILATING AREA FOR EACH 300 SQ.FT. PI INSULATED CEUING AREA FOR ROOFS WITH A SLOPE EXCEEDING 2"IN 12". MIN. 1 SQ.FT. OF INDIBSTRUCTED VENTILATING AREA FOR ROOFS WITH A SLOPE OF ZEIT OF RESEARCH SON SON ANY ROOF WHEN AN INTERIOR FINISH IS APPLIED TO COOFS WITH A SLOPE OF ZEIT IN 12" OR LESS, OR ANY ROOF WHEN AN INTERIOR FINISH IS APPLIED TO COOF RAFIERS. NOT MORE THAN HALF OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED SA VENTILATION LOCATED NEAR THE RIDGE EXCEPT FOR CATHEDRAL CEILINGS AND ROOFS WITH SLOPE OF ZEIT IN 2" OR LESS THAN CONTINUOUS EAVE AND RIGGE VENTILATION SHALL BE PROVIDED 2) CREAML SPACE: MIN. 1 SQ.FT. OF UNOBSTRUCTED VENTILATING AREA FOR EVERY 538 SQ.FT. OF LOOP APPE

BL BASEMENT: LINEINISHED 0.2% OF FLOOR AREA. FINISHED 3.50 FT. MIN. HEN MECHANICAL VENTILATION IS PROVIDED THERE SHALL BE AT LEAST ONE AIR CHANGE

5) MIN. 3 SQ.FT. OF NATURAL VENTILATION REQUIRED IN EACH HABITABLE ROOM

# 9.33.4.2. LOCATION OF CAPRON MONOYIDE ALAPMS

- I) WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A SUITE OF RESIDENTIAL OCCUPANCY CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE
- WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A SERVICE ROOM THAT IS NOT IN A IITE OF RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED, ) ADJACENT TO EACH SLEEPING AREA IN EVERY SUITE OF RESIDENTIAL OCCUPANCY THAT IS JACCENTT OF THE SERVICE ROOM, AND
- I THE SERVICE ROOM.

  HERE A STORAGE GARAGE IS LOCATED IN A BUILDING CONTAINING A RESIDENTIAL

  FURANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH

  FING AREA IN EVERY SUITE OFRESIDENTIAL OCCUPANCY THAT IS ADJACENT TO THE
- WHERE A STORAGE GARAGE SERVES ONLY THE DWELLING UNIT TO WHICH IT IS ATTACHED. OR BUILT IN, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING RREA IN THE DWELLING UNIT.
- S) A CARBON MONOXIDE ALARM SHALL BE MECHANICALLY FIXED, A) AT THE MANUFACTURER'S RECOMMENDED HEIGHT, OR B) IN THE ABSENCE OF SPECIFIC INSTRUCTIONS, ON OR NEAR THE CEILING.

WHERE AN ATTACHED OR BUILT-IN GARAGE IS PROVIDED, THE GARAGE FLOOR SHALL BE SLOPED TO DRAIN LIQUIDS TO THE OUTDOORS.

# LINTEL SCHEDULES

# WOOD LINTELS:

WB1 = 2 - 2" X 8" SPRUCE BEAM WB2 = 3 - 2" X 8" SPRUCE BEAM WB3 = 4 - 2" X 8" SPRUCE BEAM WB4 = 2 - 2" X 10" SPRUCE BEAM WB5 = 3 - 2" X 10" SPRUCE BEAM WB6 = 4 - 2" X 10" SPRUCE BEAM WB7 = 2 - 2" X 12" SPRUCE BEAM

WB8 = 3 - 2" X 12" SPRUCE BEAM

WB9 = 4 - 2" X 12" SPRUCE BEAM

# BRICK VENEER LINTELS:

WL1 = 31/2" X 31/2" X 1/4 (90X90X6) + 2 - 2" X 8" SPR. WL2 = 4" X 31/2" X 5/16" (100X90X8) + 3 - 2" X 8" SPR.  $WI3 = 5'' \times 31/2'' \times 5/16'' (125 \times 90 \times 8) + 4 - 2'' \times 8'' SPR$  $WL4 = 6" \times 31/2" \times 3/8" (150X90X10) + 2 - 2" \times 10" SPR.$  $WL5 = 6" \times 4" \times 3/8" (150 \times 100 \times 10) + 3 - 2" \times 10" SPR.$  $WL6 = 5" \times 31/2" \times 5/16" (125X90X8) + 4 - 2" \times 10" SPR.$  $WI7 = 5" \times 31/2" \times 5/16" (125 \times 90 \times 8) + 2 - 2" \times 12" SPR$ WL8 = 5" X31/2" X 5/16" (125X90X8)' + 3 - 2" X 12" SPR.WL9 = 6" X 4" X 5/16" (150X100X10) + 4 - 2" X 12" SPR.

L1 = 31/2" X 31/2" X 1/4" (90X90X6) L2 = 4" X 31/2" X 5/16" (100X90X8) 13 = 5" X 31/2" X 5/16" (125X90X8) L4 = 6" X 31/2" X 3/8" (150X90X10) L5 = 6" X 4" X 3/8" (150X100X10)

# STEEL BEAMS

STEEL Height Flange Thick W10 X 30 (10.33" X 5.77" X .440) W8 X 18 (8.14" X 5.25" X .330)

# **ROOF RAFTERS**

HIP AND VALLEY RAFTERS 2" GREATER THAN COMMON RAFTERS & NOT LESS THAN 11/2" THICK (ACTUAL SIZE) CHECK ONTARIO BUILDING CODE FOR ROOF LIVE LOADS.

CUse No. 2 Grade Live Load Live Load Spruce or Equal 40 - PSF 50 - PSF 2" X 4" SPR. @ 16" O.C 7' - 4" 6' - 10" MAX SPAN
2" X 6" SPR. @ 16" O.C 11' - 7" 10' - 9" MAX SPAN
2" X 8" SPR. @ 16" O.C 15' - 3" 14' - 1" MAX SPAN



DESIGNED BY: KRISTJAN FORTUNE DESIGNS info@kristjanfortunedesigns.com



DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRIST IAN FORTUNE DESIGNS and/or its clients only

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

30/08/2022	01

N/A

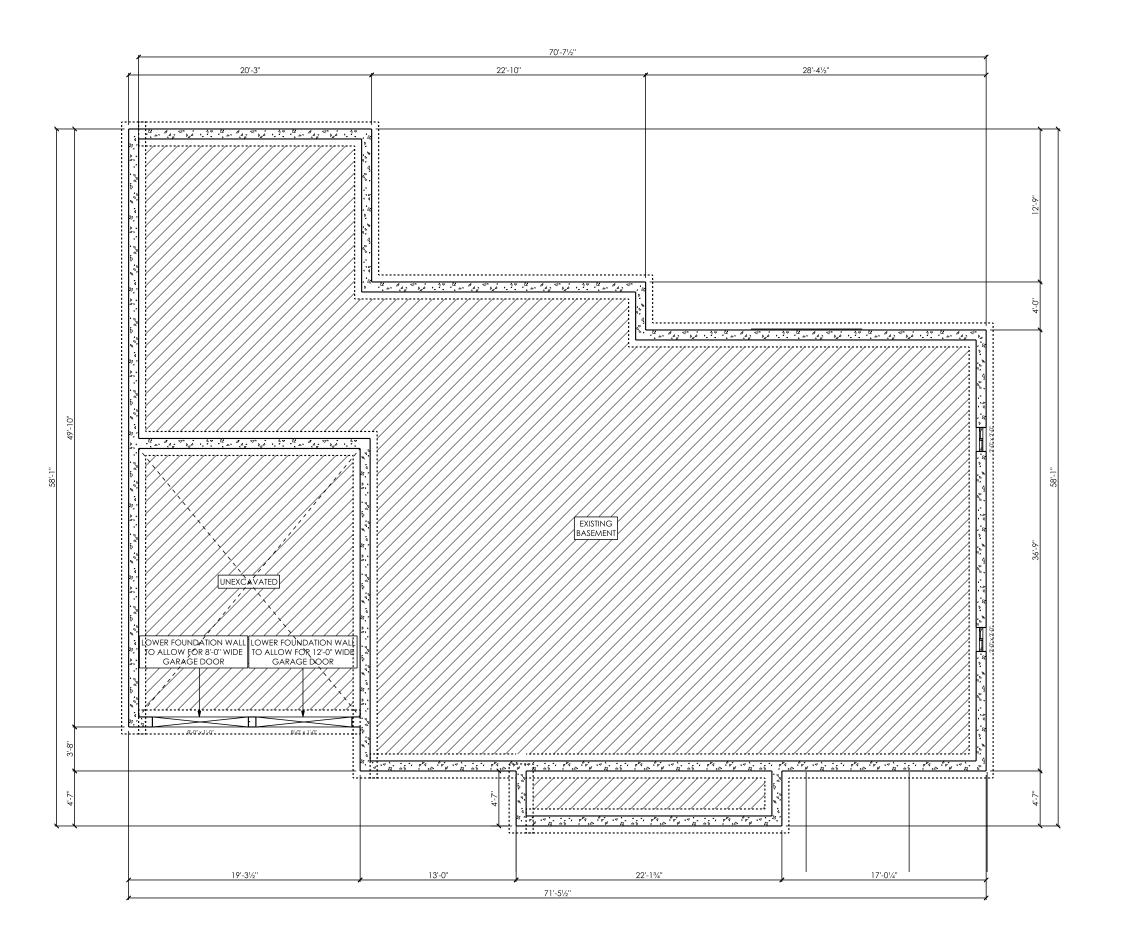
SCALE: PROJECT #:

DRAWING DATE

22-2-S PROJECT: 2 SHIRE CRT

LOR 1H2 DRAWING: GENERAL NOTES

CARLISLE, ON





DESIGNED BY:

KRISTJAN FORTUNE DESIGNS 905-510-5425 info@kristjanfortunedesigns.com



DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01

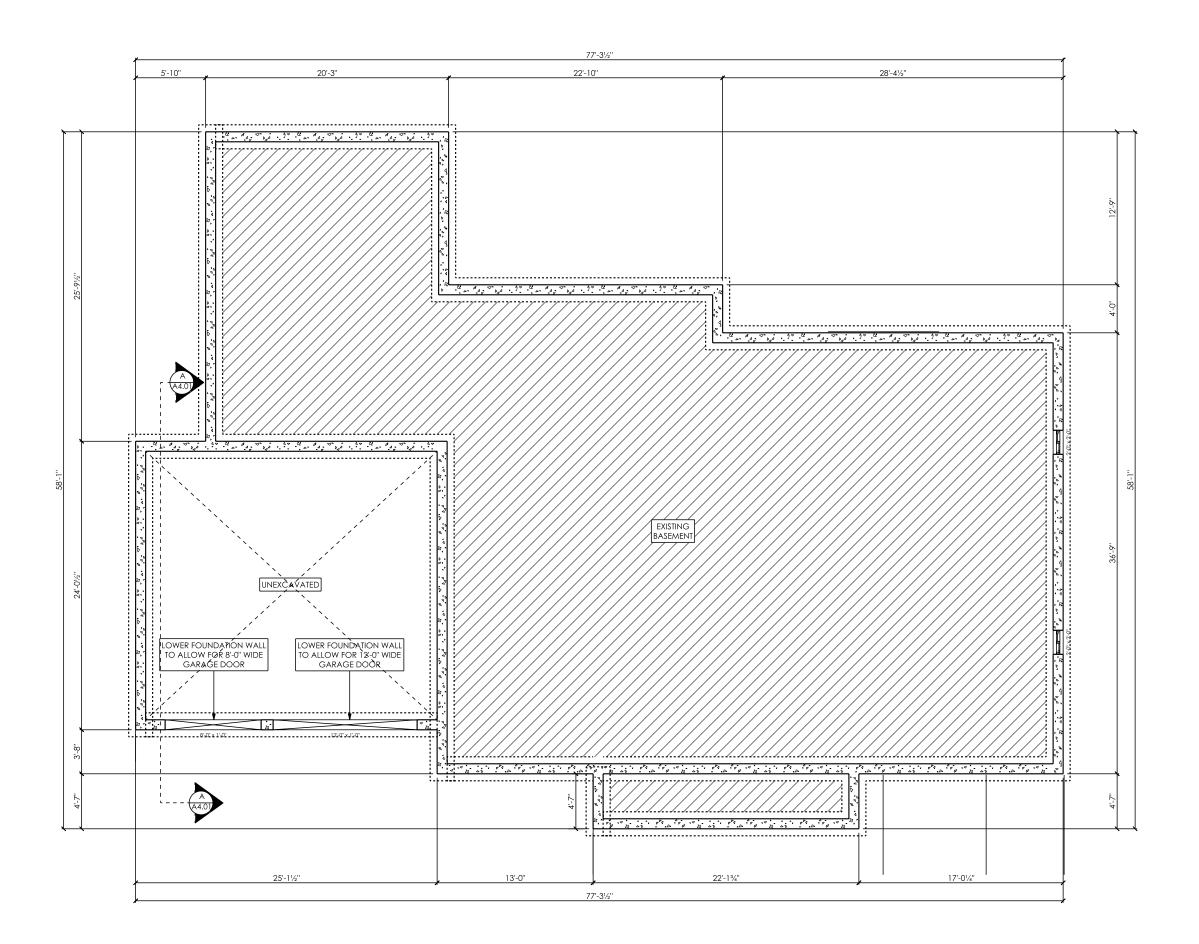
SCALE:

PROJECT #:

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING: EXISITING FOUNDATION PLAN

1/8" = 1'







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

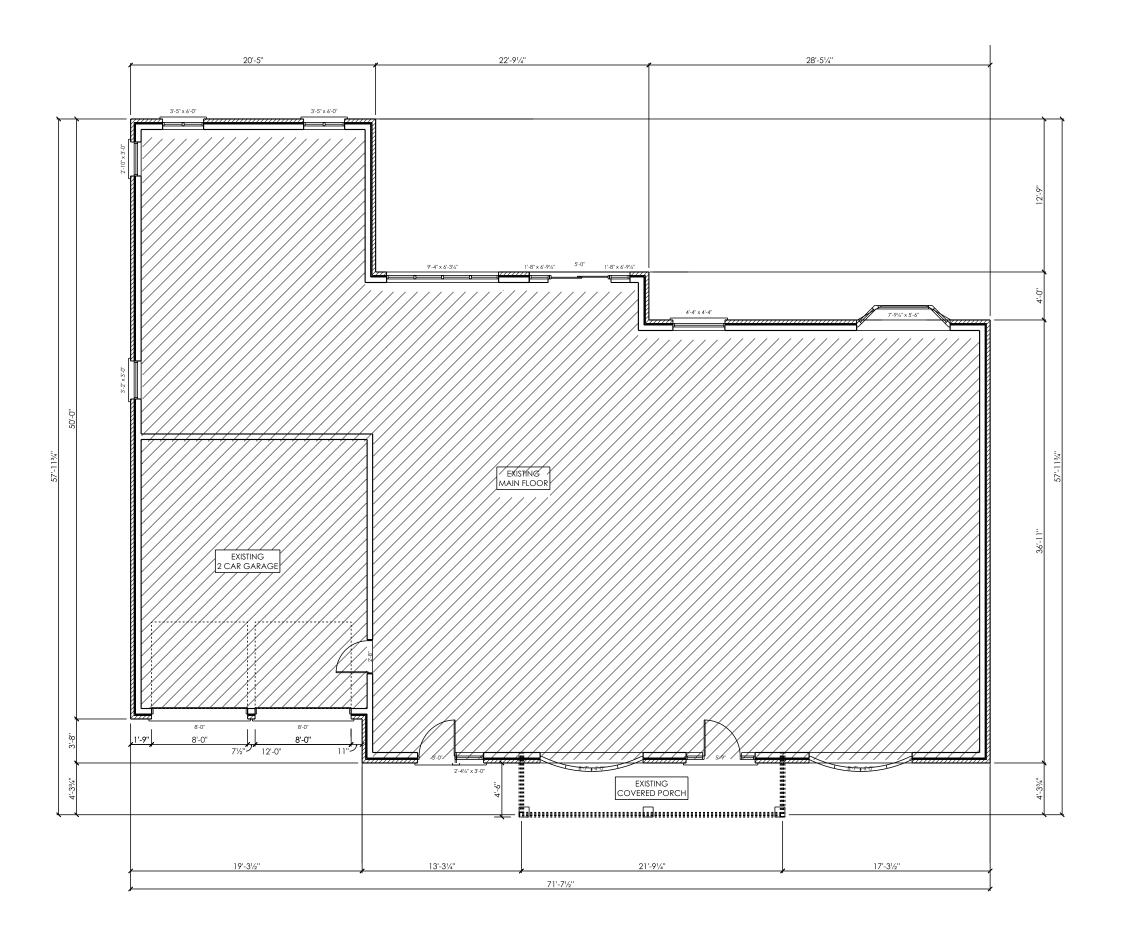
DRAWING DATE	NO.
30/08/2022	01
SCALE: 1	/Q'' — 1'

1/8" = 1' PROJECT #: 22-2-S

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING: PROPOSED FOUNDATION PLAN

DRAWNING NO :







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01
	I

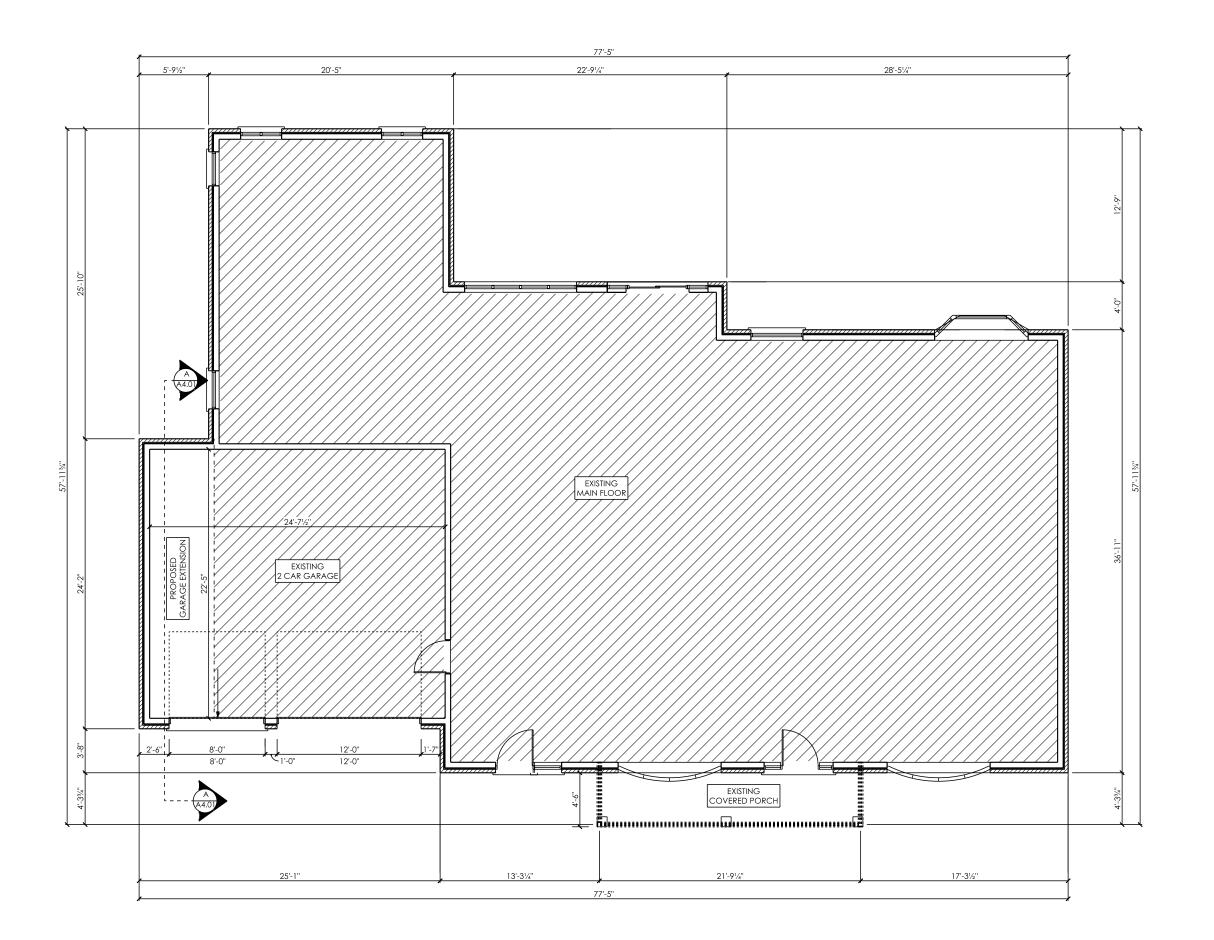
SCALE: PROJECT #:

1/8" = 1' 22-2-S

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

exisitng DRAWING: MAIN FLOOR

DRAWNING NO :







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01

SCALE :

1/8" = 1'

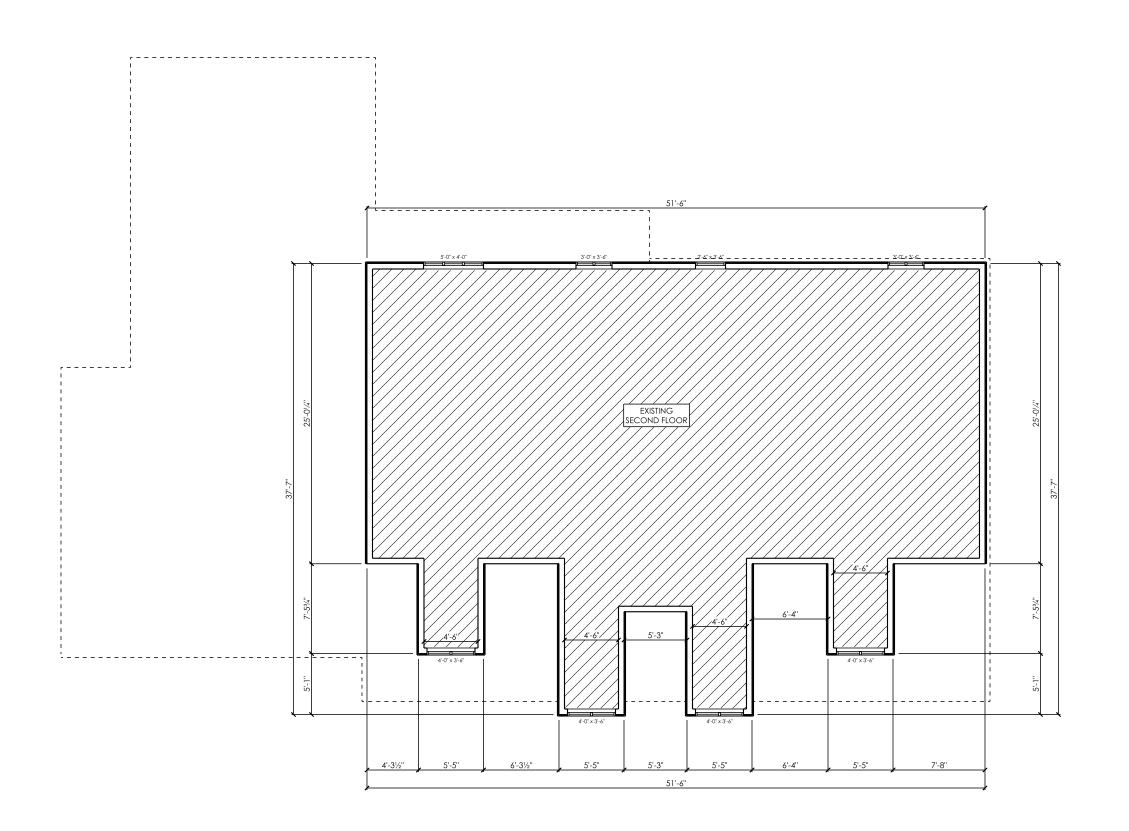
PROJECT #: 22-2-S

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING: PROPOSED MAIN FLOOR

DRAWNING NO

A1.02B







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01

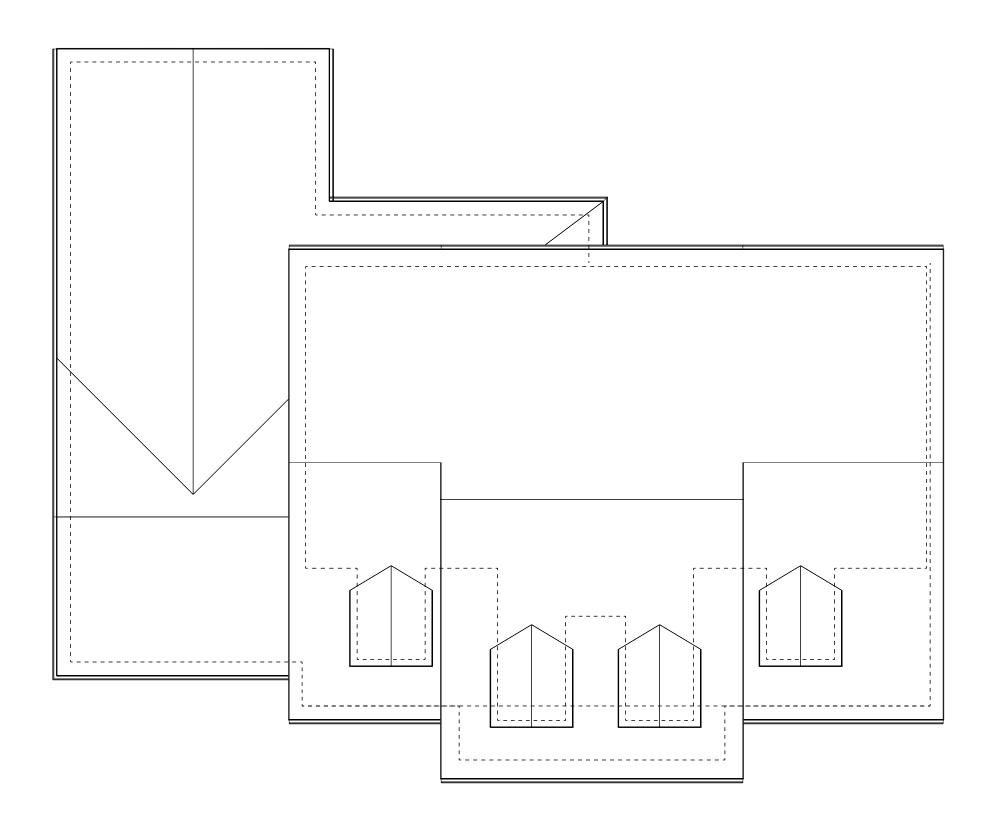
SCALE : PROJECT #:

22-2-S

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING: SECOND FLOOR

1/8" = 1'







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01

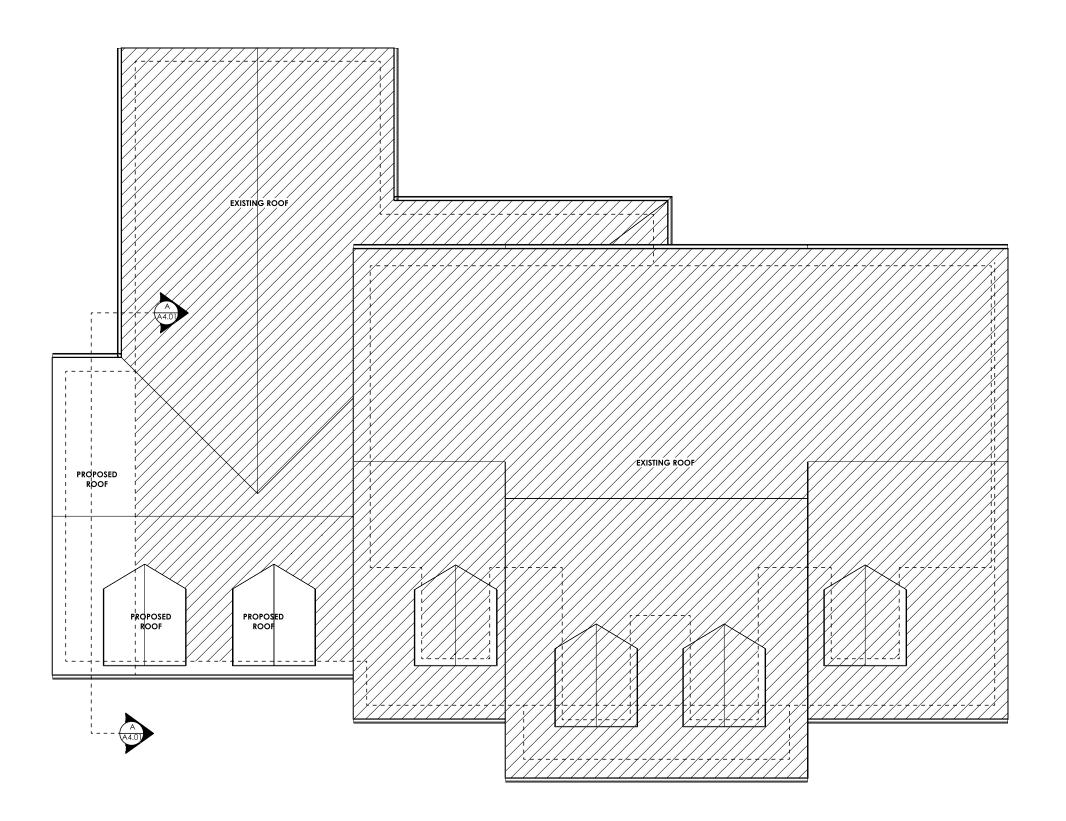
SCALE: 1/8" = 1'

PROJECT #:

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING :

EXISITNG ROOF PLAN







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE	SIGNATURE C	F DESIG

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01
	I

1/8'' = 1'

PROJECT #:

<sup>‡:</sup> 22-2-S

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING: PRO

PROPOSED ROOF PLAN

DRAWNING NO

A1.04B







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992
FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

ı	DRAWING DATE	NO.
ľ	30/08/2022	01
L		
L		
L		
ŀ		
ŀ		
Į.		
ı	SCALE: 1,	/8'' = 1'

PROJECT #:

22-2-S

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

exisitng DRAWING: FRONT ELEVATION







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992
FIRM: KRISTJAN FORTUNE DESIGNS
FIRM BCIN: 121448

DATE	SIGNATURE OF D	Œ

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01

SCALE: PROJECT #:

22-2-S

1/8" = 1'

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING: PROPOSED FRONT ELEVATION







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01

SCALE:

PROJECT #: 22-2-S

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING: EXISTING BACK ELEVATION

1/8" = 1'







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE	SIGNATURE OF DESIGNATURE
	0.0.0.000000000000000000000000000000000

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01

SCALE:

PROJECT #:

22-2-S

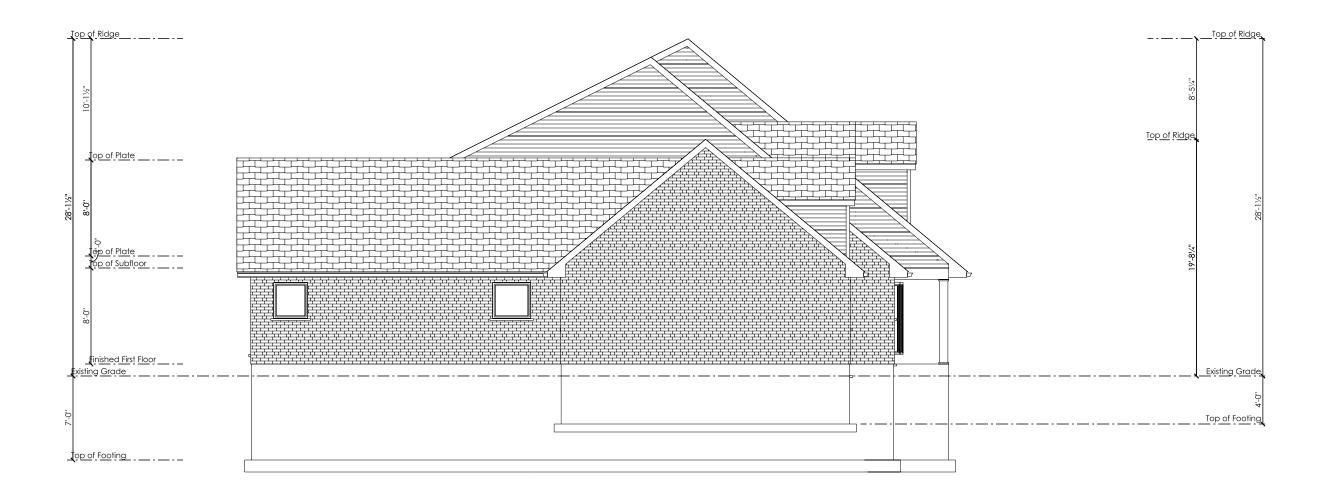
1/8" = 1'

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1 H2

DRAWING: PROPOSED
BACK ELEVATION

DRAWNING NO

A2.02B







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

NO.
01

SCALE:

PROJECT #:

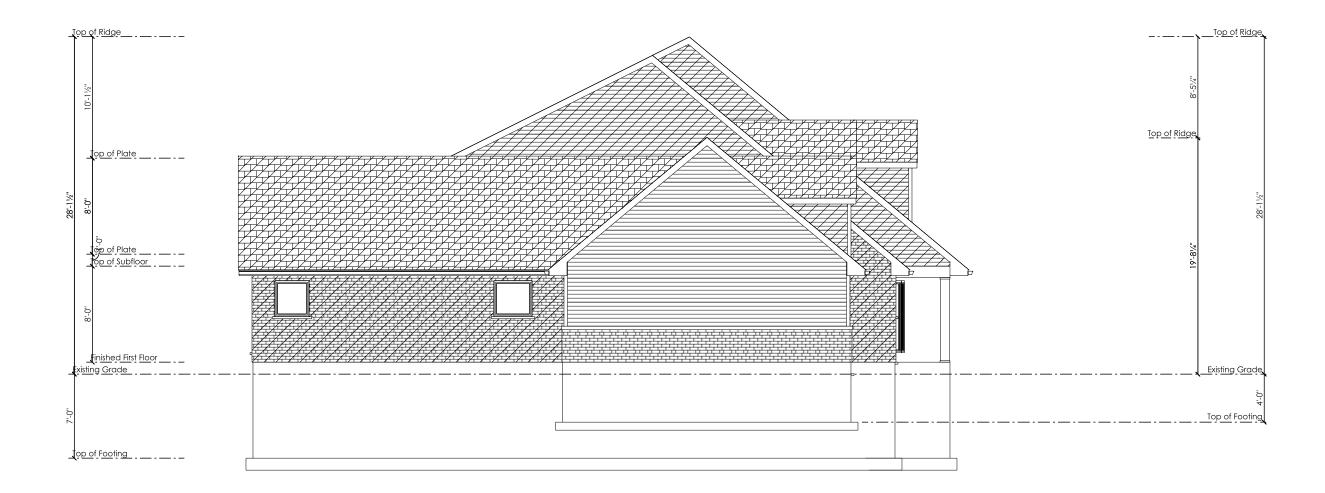
PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

drawing : EXISTING LEFT ELEVATION

DRAWNING N

A2.03A

1/8" = 1'





DESIGNED BY:

KRISTJAN FORTUNE DESIGNS 905-510-5425 info@kristjanfortunedesigns.com



DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

	DRAWING DATE	NO.
ı	30/08/2022	01
ı		

SCALE: 1/8" = 1'

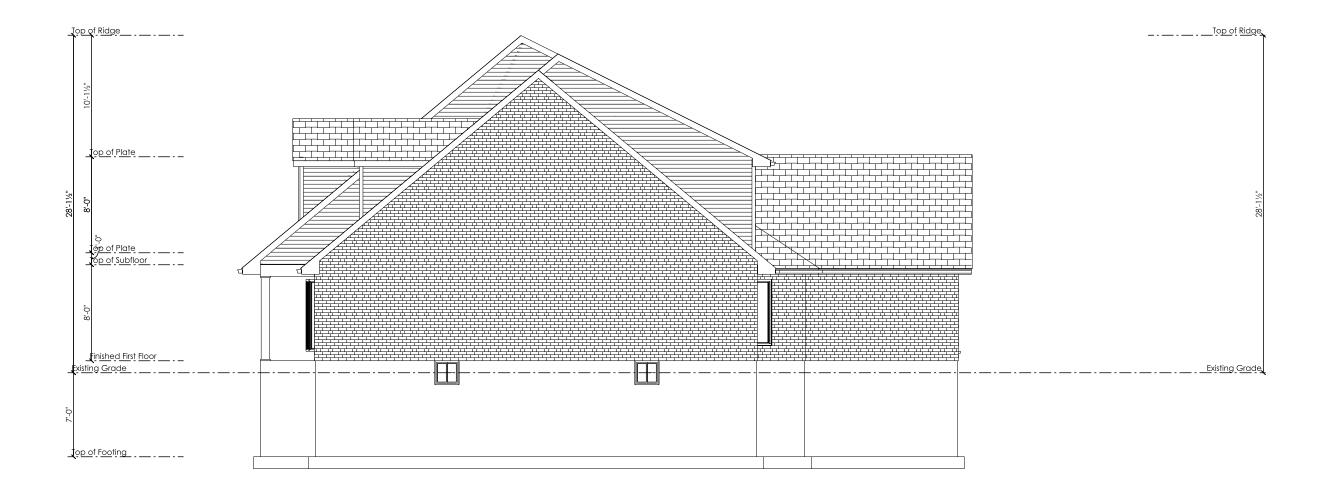
PROJECT #:

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING: PROPOSED LEFT ELEVATION

DRAWNING NO

A2.03B





DESIGNED BY:

KRISTJAN FORTUNE DESIGNS 905-510-5425 info@kristjanfortunedesigns.com



DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE SIGNATURE OF DESIGNER

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01

SCALE :

PROJECT #:

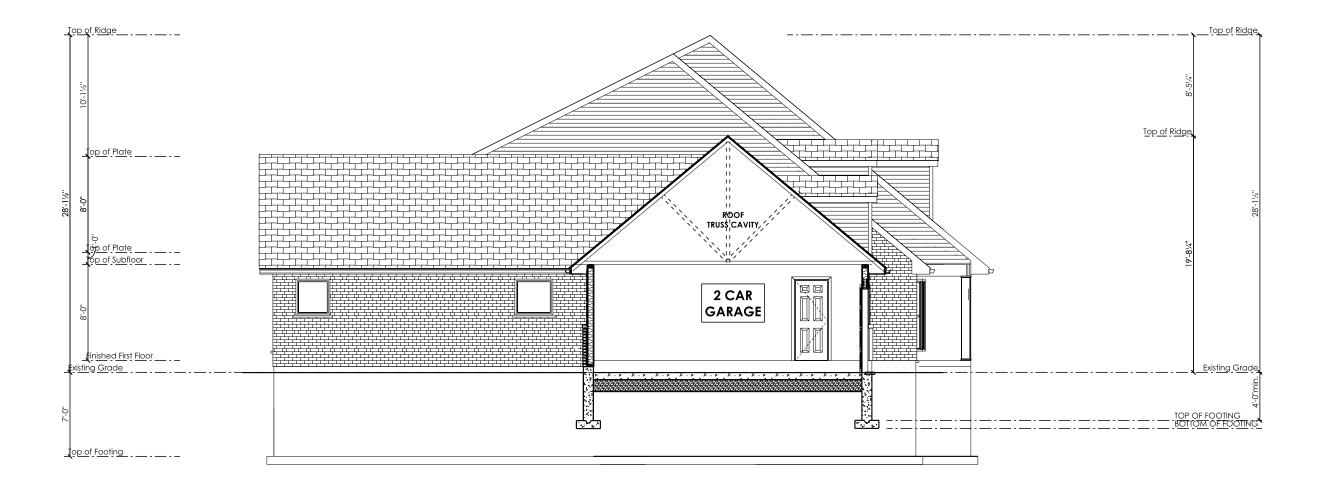
PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING : RIGHT ELEVATION

\_\_\_\_

A2.04

1/8" = 1'







DESIGNER: KRISTJAN FORTUNE DESIGNER BCIN: 27992 FIRM: KRISTJAN FORTUNE DESIGNS FIRM BCIN: 121448

DATE	SIGNATURE OF	DE

These drawings are the property of KRISTJAN FORTUNE DESIGNS and/or its clients only.

Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
30/08/2022	01

SCALE:

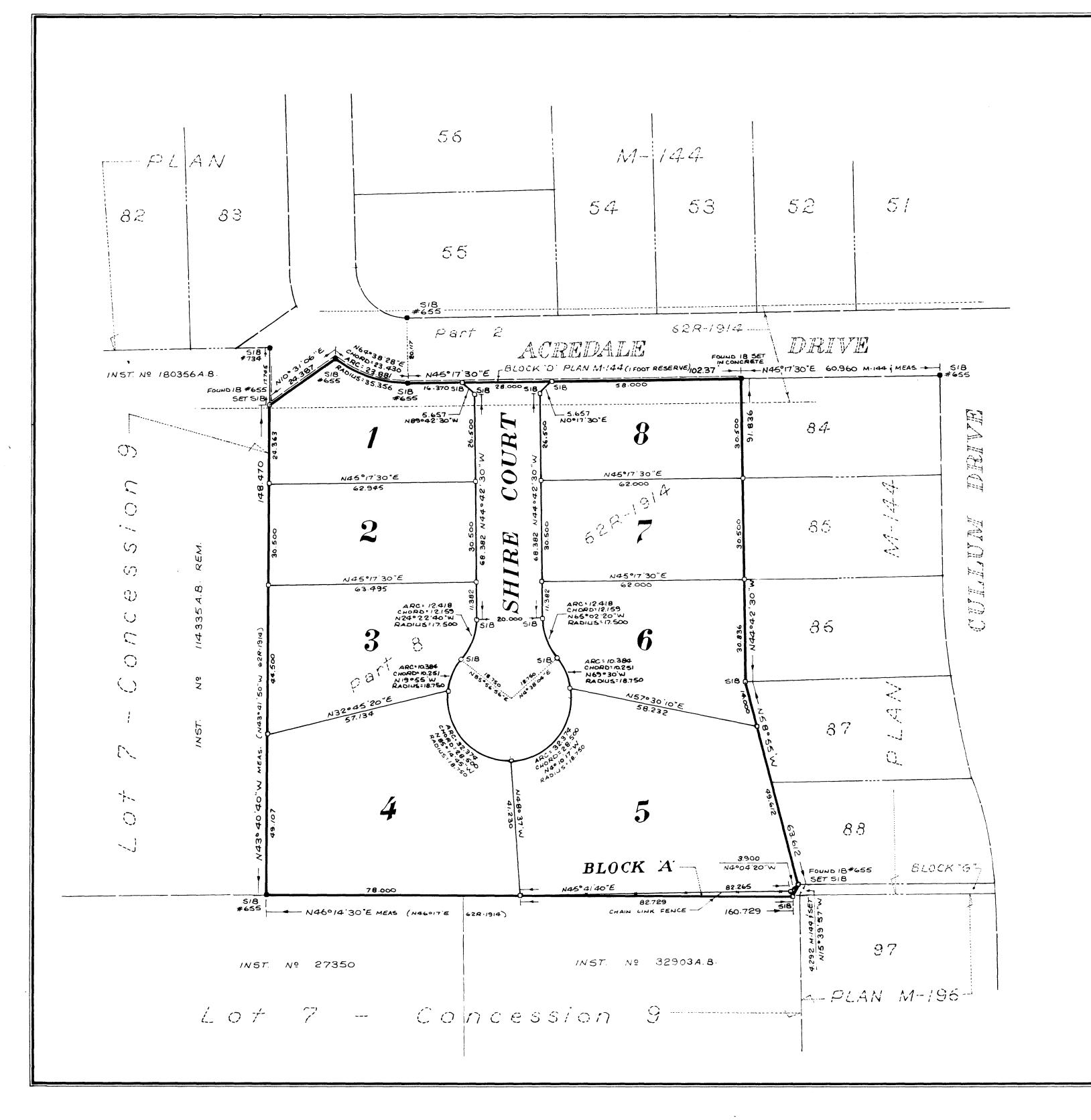
1/8" = 1'

PROJECT #:

22-2-S

PROJECT: 2 SHIRE CRT CARLISLE, ON LOR 1H2

DRAWING: CROSSS SECTION A-A



APPROVED UNDER SECTION SO OF THE PLANNING ACT
BY THE COUNCIL OF THE REGIONAL MUNICIPALITY OF
HAMILTON WENTWORTH THE TOAY OF AUGUST, 1986

Begional Chairman

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048

# PLAN 62M-473

I CERTIFY THAT THIS PLAN 62M-473
IS REGISTERED IN THE LAND REGISTRY
OFFICE FOR THE LAND TITLES DIVISION
OF WENTWORTH AT/231 O'CLOCK ON
THE 10 DAY OF SEPTEMBER, 1986.
AND ENTERED IN THE REGISTER FOR
PARCEL PLAN-1. SECTION 62/1-4/3
AND REQUIRED CONSENTS AND
AFFIDAVITS ARE REGISTERED AS
PLAN DOCUMENT Nº 1847/9 L.T.

C Ollmsti AOLR

THIS PLAN COMPRISES OF PART OF PARCEL 5:4 SECTION E.F.-9
LOTS I, B AND SHIRE COURT SUBJECT TO EASEMENT
INST. 180358 A.B., 21433 H.L.; 215619 A.B.



# PLAN OF Meadowvale Estates BEING A SUBDIVISION OF

PART OF LOT 7- CONCESSION 9

TOWNSHIP OF EAST FLAMBOROUGH

# TOWN OF FLAMBOROUGH

REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

SCALE 1: 750
10 20 30 40 50
METRES
GLENN E. GIDDY -0.L.S. -1986

# SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

I. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER.

2. THE SURVEY WAS COMPLETED ON THE 1ST DAY OF JULY, 1986.

JULY 10,1986 DATE

> GLENN E. BIDDY ONTARIO LAND SURVEYOR

# OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

I. LOTS I TO B (BOTH INCLUSIVE), BLOCK 'A' AND THE STREET NAMELY SHIRE COURT HAS BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.

2. THE STREET NAMELY SHIRE COURT HAS BEEN DEDICATED AS A PUBLIC HIGHWAY.

DATED THE 10 DAY OF JULY 1986

STEINNAGEL CONSTRUCTION LIMITED

LEO STEINNAGEL PRESIDENT

ARNO STEINNAGEL-SECRETARY TREASURER

(SQUARE METRES)

(SQUARE METRES)

LOT 1 - 1974.724

LOT 2 - 1928.231

LOT 3 - 2311.818

LOT 4 - 4019.207

LOT 5 - 4341.373

LOT 6 - 2241.762

LOT 7 - 1891.000

LOT 8 - 1883.000

BLOCK A - 34.133

# LEGEND

O - DENOTES A SURVEY MONUMENT PLANTED

- DENOTES A SURVEY MONUMENT FOUND

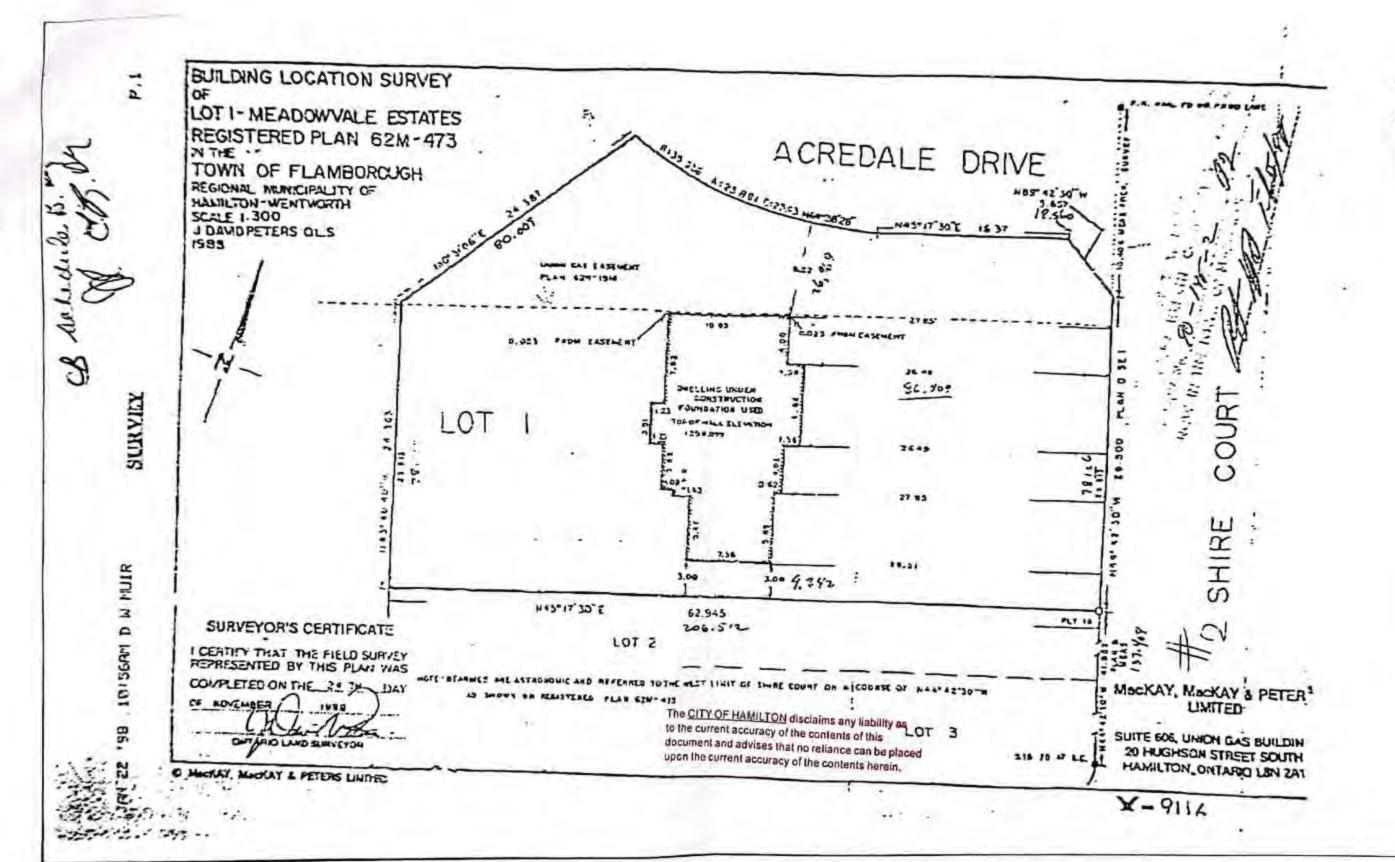
O<sub>SIB</sub> OR D<sub>SIB</sub> - DENOTES A STANDARD IRON BAR

O OR D - DENOTES AN IRON BAR

BEARINGS ARE ASTRONOMIC IN NATURE AND ARE REFERRED TO THE SOUTHERLY LIMIT OF ACREDALE DRIVE AS SHOWN ON REGISTERED PLAN Nº M-144, AS BEING N45°17'30"E.

# GLENN E. GIDDY

ONTARIO LAND SURVEYOR 237 LOCKE ST.S. SUITE 205 HAMILTON - ONTARIO 528-4676 - L8P-474





Committee of Adjustment City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

# APPLICATION FOR A MINOR VARIANCE

PAID	DATE APPLICATION	N DEEMED COMPLETE	
		Planning Act r Variance or for Permis	sion
he undersigned he ection 45 of the <i>Ple</i> pplication, from the	reby applies to the Committe anning Act, R.S.O. 1990, Ch. Zoning By-law.	ee of Adjustment for the C apter P.13 for relief, as de	ity of Hamilton under scribed in this
1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	David Eccles		
Applicant(s)*	Kristjan Fortune Designs Kristjan Fortune		
Agent or Solicitor			Phone:
			E-mail:
. Names and a TD Bank WATERDOW 255 DUNDAS	ddresses of any mortgagees  N SHOPPING CENTRE STREET E  N, ON L8B OES		

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4.	Nature and extent of relief applied for:
	Side Yard Setback reduced from 3M to 1.2M on Attached Garage Side. More room in the garage is needed to be able to exit the vehicle when 2 vehicles are in the garage at the same time.
	Second Dwelling Unit   Reconstruction of Existing Dwelling
5.	Why it is not possible to comply with the provisions of the By-law?
	The existing garage is situated right on the current side yard setback. In order to widen the garage the side yard setback will need to be reduced.
6.	Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
	PCL 1-1, SEC 62M473 ; LT 1, PL 62M473 ; S/T AB180358.AB215619 HL21433 FLAMBOROUGH CITY OF HAMILTON
7.	PREVIOUS USE OF PROPERTY
	Residential Industrial Commercial
	Agricultural Vacant
	Other
8.1	If Industrial or Commercial, specify use
8.2	Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
2.15	Yes No Unknown
8.3	Has a gas station been located on the subject land or adjacent lands at any time?  Yes □ No ■ Unknown □
8.4	Has there been petroleum or other fuel stored on the subject land or adjacent lands?  Yes □ No ■ Unknown □
8.5	Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
	Yes No Unknown U
8.6	Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
	Yes No Unknown
8.7	Have the lands or adjacent lands ever been used as a weapon firing range?  Yes □ No ■ Unknown □
8.8	Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  Yes   No  Unknown
8.9	If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
	Yes □ No ■ Unknown □

What information	did you use to determine	ne the answer	are to 9	1 to 8 1	0 ahous?
	MPAC propertyline, G			1 (0 0.1	0 above r
Maria de la companya					
previous use inver	property is industrial or ntory showing all forme e subject land, is need	er uses of the			
Is the previous use	e inventory attached?	Yes		No	
ACKNOWLEDGE	MENT CLAUSE				
remediation of con	I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – reason of its approval to this Application.				
September 15	2022	2	Be	ach	_
Date		Signature	Property	Owner	r(s)
		David Eco	les		
		Print Name	of Own	er(s)	
Dimensions of land	de affected:				
	86.94				
Frontage	00.34				
Frontage Depth					
Depth	212.07 0.49				
and the same of th	212.07				
Depth Area Width of street Particulars of all bu	212.07	on or propo	sed for t	the sub	ject lands: (Spech, height, etc.)
Depth Area Width of street Particulars of all bu	212.07 0.49	on or propo	sed for t	he sub	ject lands: (Spec h, height, etc.)
Depth Area Width of street Particulars of all be ground floor area,	212.07 0.49  uildings and structures gross floor area, nun	on or propo	sed for t	the sub	ject lands: (Spec h, height, etc.)
Depth Area Width of street Particulars of all buground floor area, Existing: House Lot Coverage, Garage Area: 39.20 St	212.07 0.49  uildings and structures gross floor area, nun	on or propo	sed for t	the sub	ject lands: (Spec h, height, etc.)
Depth Area Width of street  Particulars of all buground floor area, Existing:  House Lot Coverage Garage Area: 39.20 St. Garage Height: 19'-8.	212.07 0.49  uildings and structures gross floor area, nun  288 SqM qM 25°	on or propo	sed for t	the sub	ject lands: (Spec h, height, etc.)
Depth Area Width of street  Particulars of all buground floor area, Existing:  House Lot Coverage: Garage Area: 39.20 S. Garage Height: 19'-8.  Proposed  House Lot Coverage: 30 Garage Area: 52.28 Sqb Garage Height: 19'-8.25	212.07 0.49  uildings and structures gross floor area, nun  288 SqM qM 25°	n or propose	es, width	ı, lengti	h, height, etc.)
Depth Area Width of street  Particulars of all buground floor area, Existing:  House Lot Coverage: Garage Area: 39.20 S. Garage Height: 19'-8.  Proposed  House Lot Coverage: 30 Garage Area: 52.28 Sqb Garage Height: 19'-8.25	212.07  0.49  uildings and structures gross floor area, nun  288 SqM qM 25°	n or propose	es, width	ı, lengti	h, height, etc.)
Depth Area Width of street  Particulars of all buground floor area, Existing:  House Lot Coverage: Garage Area: 39.20 S. Garage Height: 19'-8.  Proposed  House Lot Coverage: 30 Garage Area: 52.28 Sqh Garage Height: 19'-8.25  Location of all build distance from side  Existing:	212.07  0.49  uildings and structures gross floor area, nun  288 SqM qM 25°	n or propose	es, width	ı, lengti	h, height, etc.)
Depth Area Width of street  Particulars of all buground floor area, Existing:  House Lot Coverage: Garage Area: 39.20 S. Garage Height: 19'-8.  Proposed  House Lot Coverage: 30 Garage Area: 52.28 Sqh Garage Height: 19'-8.25  Location of all build distance from side  Existing:	212.07  0.49  uildings and structures gross floor area, nun  288 SqM qM 25°  dings and structures of rear and front lot line	n or propose	es, width	ı, lengti	h, height, etc.)

8.10 Is there any reason to believe the subject land may have been contaminated by former

Date	of construction of all buildings and structures on subject lands:
	ting uses of the subject property (single family, duplex, retail, factory etc.):
	ting uses of abutting properties (single family, duplex, retail, factory etc.):
Leng 33 y	th of time the existing uses of the subject property have continued: ears
Muni	cipal services available: (check the appropriate space or spaces)
	tary Sewer Connected Connected
	n Sewers
Prese	ent Official Plan/Secondary Plan provisions applying to the land:
7	CURAL SETTLEMENT ARONS
Has t	the owner previously applied for relief in respect of the subject property? (Zoning B
law A	
law A	the owner previously applied for relief in respect of the subject property? (Zoning Bamendment or Minor Variance)  Yes  No
If yes	the owner previously applied for relief in respect of the subject property? (Zoning Bamendment or Minor Variance)  Yes X No  please provide the file number:  If a site-specific zoning by-law amendment has been received for the subject
If yes	the owner previously applied for relief in respect of the subject property? (Zoning Barnendment or Minor Variance)  Yes X No  please provide the file number:  If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  Yes X No
If yes 21.1 21.2	the owner previously applied for relief in respect of the subject property? (Zoning Bamendment or Minor Variance)  Yes X No  please provide the file number:  If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  Yes X No  If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failu
If yes 21.1 21.2	the owner previously applied for relief in respect of the subject property? (Zoning Bamendment or Minor Variance)  Yes X No  please provide the file number:  If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  Yes X No  If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failt to do so may result in an application not being "received" for processing.
law A  If yes  21.1  21.2  Is the P	the owner previously applied for relief in respect of the subject property? (Zoning Barnendment or Minor Variance)  Yes X No  please provide the file number:  If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  Yes X No  If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Faile to do so may result in an application not being "received" for processing.
law A  If yes  21.1  21.2  Is the P	the owner previously applied for relief in respect of the subject property? (Zoning Barnendment or Minor Variance)  Yes X No  please provide the file number:  If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  Yes X No  If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failute to do so may result in an application not being "received" for processing.