



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

<b>APPLICATION NO.:</b>	<b>DN/A-22:377</b>	<b>SUBJECT PROPERTY:</b>	25 Witherspoon St, Dundas
<b>ZONE:</b>	“R2” (Single Detached Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law former Town of Dundas 3581-86, as Amended

**APPLICANTS:**      Owner: Duncan & Jennifer McNeil  
                                 Agent: Carrothers & Associates - Nataliya Yatsenko

The following variances are requested:

1. A minimum interior side yard of 0.5 metres instead of the requirement that one side of an interior lot upon which there is no garage or carport shall have a minimum setback of 5.0 metres.
2. The unenclosed front porch shall be permitted to be a distance of 3.1 metres from the front lot line instead of the requirement that every such porch projection shall be distant at least 4.0 metres from the front lot line.

**PURPOSE & EFFECT:**      To permit the construction of an unenclosed front porch and addition to an existing single detached dwelling.

**Notes:**

1. Upon approval of variance #1, the request of a variance for the proposed balcony and porch encroachment into the required side yard would no longer be required.
2. The Dundas Zoning By-law 3581-86 permits eaves and gutters to project not more than one-half of its width, or 1.0 metres, whichever is lesser. Insufficient information has been provided for the East portion of the addition in order to determine compliance. Further variances will be required if compliance cannot be achieved.
3. The Dundas Zoning By-law 3581-86 requires residential buildings to have a minimum of 50% landscaped area within the front yard. Insufficient information has been provided in order to determine zoning compliance. Further variances will be required if compliance cannot be achieved.

**DN/A-22:377**

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, January 19, 2023</b>
<b>TIME:</b>	<b>2:05 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

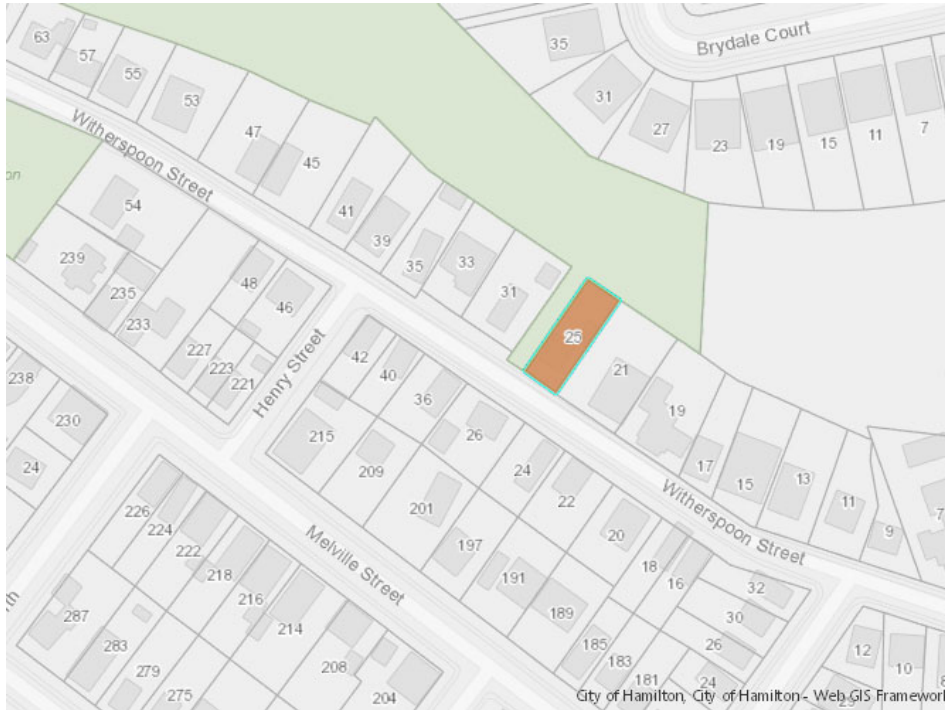
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 Subject Lands

DATED: January 3, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



**SURVEYOR'S REAL PROPERTY REPORT**  
 PART 1, PLAN OF  
**LOT 27**  
**REGISTRAR'S COMPILED PLAN 1474**  
 IN THE  
**CITY OF HAMILTON**

SCALE 1:100 METRIC



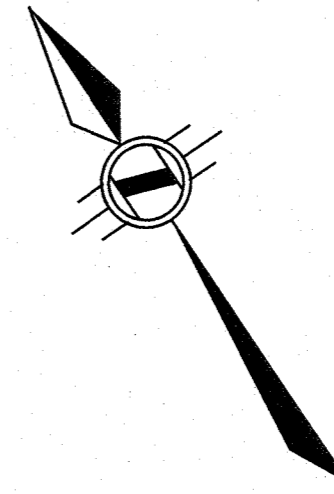
R.A. McLAREN, O.I.S. - 2022

**SURVEYOR'S REAL PROPERTY REPORT**  
**(PART 2)**

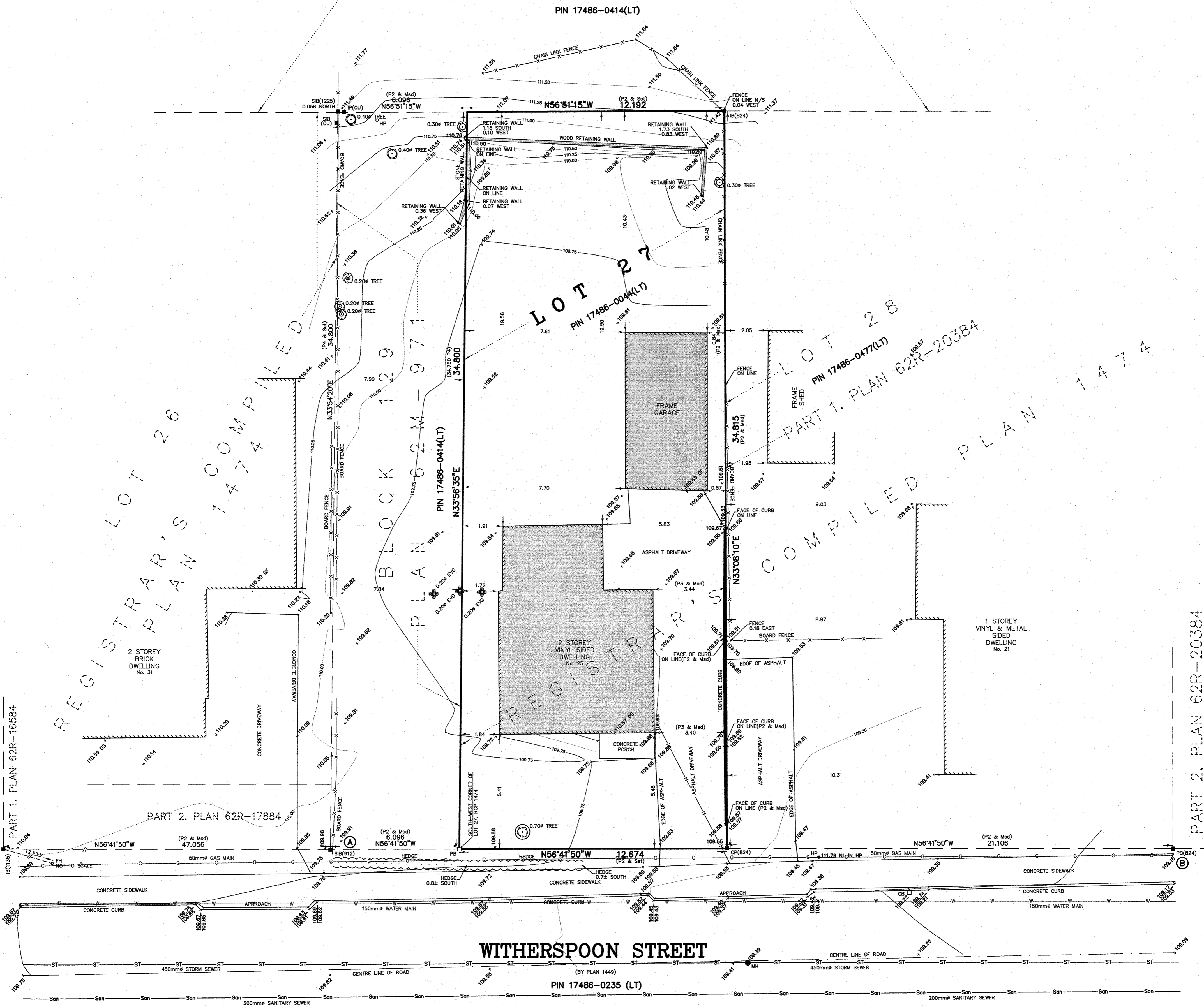
LOT 27, REGISTRAR'S COMPILED PLAN 1474 IS NOT SUBJECT TO ANY EASEMENTS.

THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

THIS PLAN WAS PREPARED FOR DUNCAN AND JENNIFER McNEILL



**BLOCK 129**  
**PLAN 62M-971**



**WITHERSPOON STREET**

PIN 17486-0235 (LT)

**LEGEND**

- DENOTES MONUMENT SET
- MONUMENT FOUND
- SB IRON BAR
- SB STANDARD IRON BAR
- PB PLASTIC BAR
- CP IRON PIPE
- CP CONCRETE PIN
- 824 A.T. McLAREN LTD
- 912 A.L. CLARKE AND ASSOCIATES LTD.
- 1135 L.G. WOODS SURVEYING INC.
- 1225 DAVID B. SEARLES SURVEYING LTD.
- OU ORIGIN UNKNOWN
- P1 REGISTRAR'S COMPILED PLAN 1474
- P2 PLAN 62R-20384
- P3 PLAN BY A.T. McLAREN LTD. DATED NOVEMBER 15, 2015, FILE NO. 34790
- P4 PLAN 62M-971
- CB CATCH BASIN
- DS DOOR SILL
- FR FIRE HYDRANT
- EVG EVERGREEN
- HP HYDRO PILE
- MF GARAGE FLOOR
- MH MANHOLE

**BEARING NOTE:**

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED LOCATIONS WERE DERIVED FROM THE CITY OF HAMILTON PUBLIC WORKS DEPARTMENT DRAWING No. 08-H-04 (PAGE 2 OF 3)

**NOTE:**

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999674824

**BENCHMARK:**

MOMUMENT 00819708641

**NOTE:**

UNDERGROUND SERVICE AND UTILITY LOCATIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION

INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION

**INTEGRATION DATA**

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0), COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10	NORTHING	EASTING
ORP @ 4791423.894	584083.374	
ORP @ 4791402.099	584081.724	

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ELEVATION: 109.952 metres CGVD-1928:1978

**SITE BENCH MARK**  
 OUT CROSS  
 ELEV. = 109.51

**SURVEYOR'S CERTIFICATE**

1. I CERTIFY THAT THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 15TH DAY OF SEPTEMBER, 2022

DATE: 15SEP22  
 ROB A. McLAREN, O.I.S.

© R.A. McLAREN, O.I.S. - 2022. NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF R.A. McLAREN, O.I.S.

**A.T. McLaren Limited**  
 LEGAL AND ENGINEERING SURVEYS  
 69 JOHN STREET SOUTH, SUITE 230  
 HAMILTON, ONTARIO, L8N 2B9  
 PHONE (905) 527-8559 FAX (905) 527-0032

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 35182  
 Drawn: JM, Checked: JC, Orig. Chg: ZA, Scale: 1:100, Dwg. No.: 37118



# PRIVATE RESIDENCE

## INTERIOR RENOVATION AND ADDITION

25 WITHERSPOON STREET, HAMILTON, ON. L9H 2C4

ISSUED FOR COMMITTEE OF ADJUSTMENT



LOCATION MAP:



EXISTING FRONT ELEVATION (FOR REFERENCE ONLY):

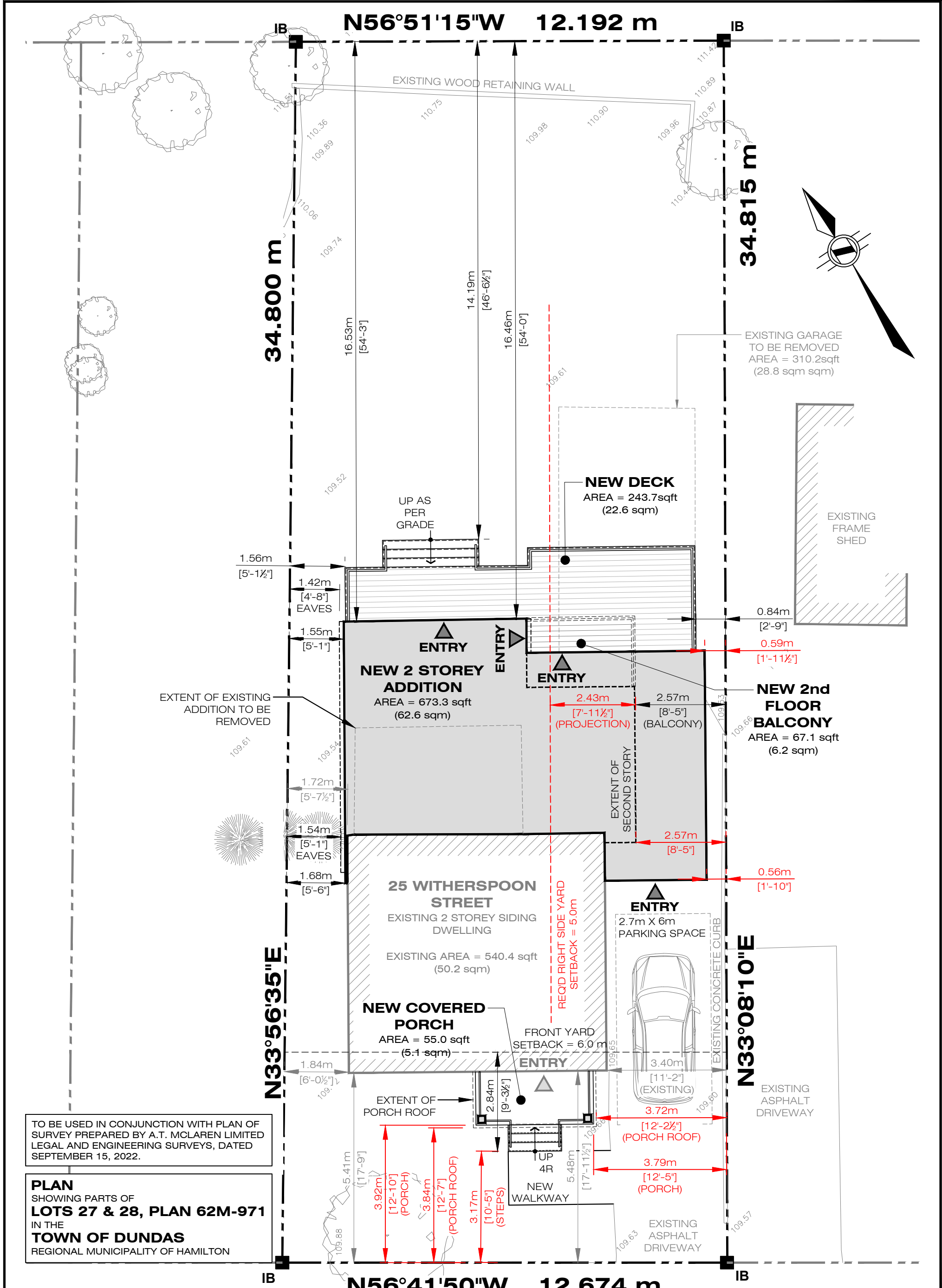


NEW FRONT ELEVATION (FOR REFERENCE ONLY):

ZONING AND PROPERTY STATISTICS		
ADDRESS:	25 WITHERSPOON STREET, DUNDAS, ON.	
ZONING:	R2	
	BY-LAW:	EXISTING:
MIN. LOT AREA:	450.0 m <sup>2</sup>	433.0 m <sup>2</sup>
MIN. LOT FRONTAGE:	15.0 m	12.6 m
REQUIRED PARKING SPACES:	1.0	1.0

SETBACKS	BY-LAW:	PROPOSED:
FRONT YARD TO HOUSE	6.0 m	(EXIST.) 5.41 m
FRONT YARD TO PORCH	4.0 m	<b>**3.17 m</b>
FRONT YARD PORCH PROJECTION	3.0 m	2.84 m
REAR YARD TO ADDITION	7.5 m	16.46 m
LEFT YARD TO HOUSE	1.2 m	(EXIST.) 1.72 m
LEFT YARD TO ADDITION	1.2 m	1.55 m
LEFT YARD TO ADDITION EAVES	0.6 m	1.42 m
LEFT YARD TO DECK	0.5 m	1.56 m
RIGHT YARD TO HOUSE	5.0m	(EXIST.) 3.04m
RIGHT YARD TO ADDITION	5.0 m	<b>**0.56 m</b>
RIGHT YARD TO PORCH	5.0 m	<b>**3.72 m</b>
RIGHT YARD TO DECK	5.0 m	0.84 m
RIGHT YARD BALCONY PROJECTION	1.5 m	<b>**2.43 m</b>
MAX HEIGHT	10.5 m	8.03 m
<b>**VARIANCE REQUIRED</b>		

<h3>ISSUED FOR COMMITTEE OF ADJUSTMENT</h3>	Project Name: <b>PRIVATE RESIDENCE</b> INTERIOR RENOVATION AND ADDITION 25 WITHERSPOON ST HAMILTON, ON L9H 2C4	<table border="1"> <tr> <td>2</td> <td>17 NOV/22</td> <td>ISSUED FOR CoFA</td> </tr> <tr> <td>2</td> <td>17 NOV/22</td> <td>ISSUED FOR REVIEW</td> </tr> <tr> <td>1</td> <td>08 NOV/22</td> <td>ISSUED FOR REVIEW</td> </tr> <tr> <td>No.</td> <td>Date:</td> <td>Issue/Revision</td> </tr> </table>	2	17 NOV/22	ISSUED FOR CoFA	2	17 NOV/22	ISSUED FOR REVIEW	1	08 NOV/22	ISSUED FOR REVIEW	No.	Date:	Issue/Revision	Drawn By: Checked By: Scale: Date: NOV 2022 Project No. 2022-63
	2		17 NOV/22	ISSUED FOR CoFA											
2	17 NOV/22	ISSUED FOR REVIEW													
1	08 NOV/22	ISSUED FOR REVIEW													
No.	Date:	Issue/Revision													
	Sheet Title: COVER PAGE AND ZONING		A1												



TO BE USED IN CONJUNCTION WITH PLAN OF SURVEY PREPARED BY A.T. MCLAREN LIMITED LEGAL AND ENGINEERING SURVEYS, DATED SEPTEMBER 15, 2022.

**PLAN**  
SHOWING PARTS OF  
**LOTS 27 & 28, PLAN 62M-971**  
IN THE  
**TOWN OF DUNDAS**  
REGIONAL MUNICIPALITY OF HAMILTON

**ISSUED FOR  
COMMITTEE OF ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE  
INTERIOR RENOVATION  
AND ADDITION**  
25 WITHERSPOON ST  
HAMILTON, ON L9H 2C4

Sheet Title:  
**SITE PLAN**

No.	Date	Issue/Revision
2	17 NOV/22	ISSUED FOR CoFA
2	17 NOV/22	ISSUED FOR REVIEW
1	08 NOV/22	ISSUED FOR REVIEW

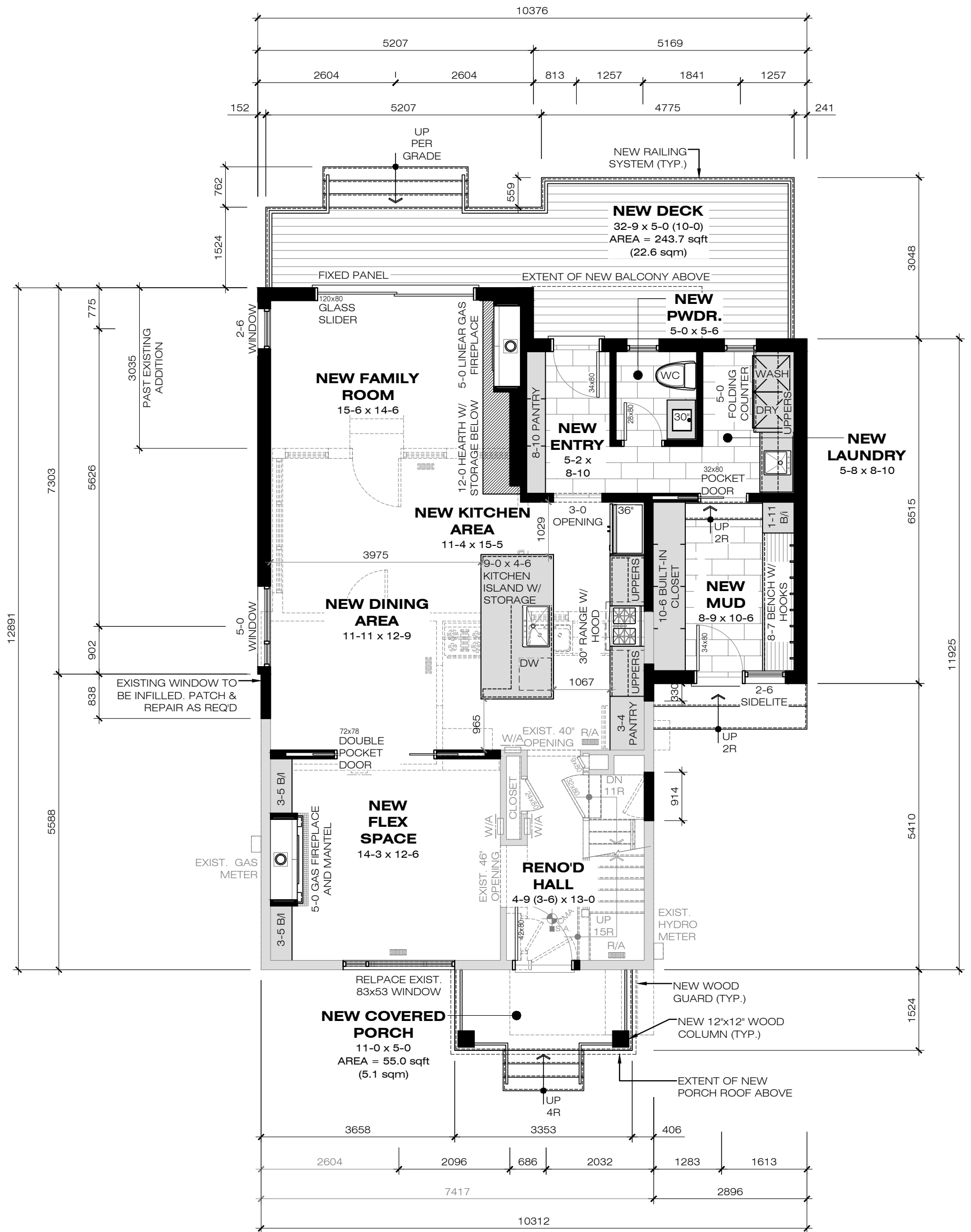
Drawn By:	
Checked By:	
Scale:	1:100
Date:	NOV 2022
Project No.:	2022-63

**A2**









**MAIN FLOOR**  
 EXISTING AREA = 540.4 sqft (50.2 sqm)  
 ADDITION AREA = 673.3 sqft (62.6 sqm)  
 NEW TOTAL AREA = 1213.7 sqft (112.8 sqm)  
 CEILING HEIGHT = 7-10" UNO.  
 HABITABLE ROOMS = 4

**WALL LEGEND**

- EXISTING INTERIOR / EXTERIOR WALLS TO REMAIN
- NEW INTERIOR / EXTERIOR WALLS
- EXISTING WALLS TO BE REMOVED

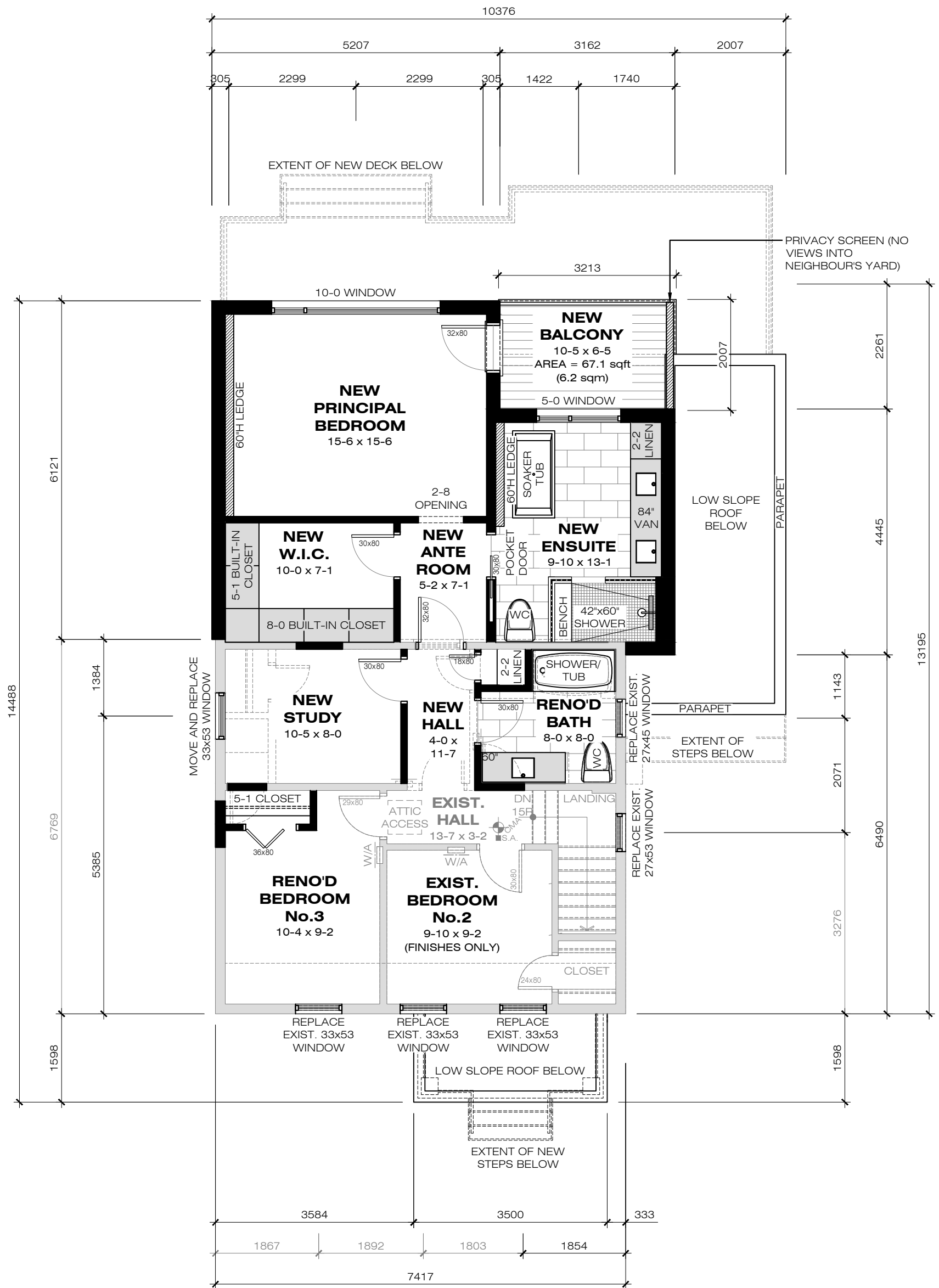
**ISSUED FOR COMMITTEE OF ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE**  
 INTERIOR RENOVATION  
 AND ADDITION  
 25 WITHERSPOON ST  
 HAMILTON, ON L9H 2C4

Sheet Title:  
**MAIN FLOOR PLAN**

Drawn By:			
Checked By:			
Scale:	1:75		
Date:	NOV 2022		
Project No.:	2022-63		
No.	Date:	Issue/Revision	By:
2	17 NOV/22	ISSUED FOR CoA	
2	17 NOV/22	ISSUED FOR REVIEW	
1	08 NOV/22	ISSUED FOR REVIEW	

**A4**



**SECOND FLOOR PLAN**  
 EXISTING AREA = 540.4 sqft (50.2 sqm)  
 ADDITION AREA = 487.6 sqft (45.3 sqm)  
 NEW TOTAL AREA = 1029.8 sqft (95.7 sqm)

CEILING HEIGHT = 7'-10"  
 HABITABLE ROOMS = 4

**WALL LEGEND**

- EXISTING INTERIOR / EXTERIOR WALLS TO REMAIN
- NEW INTERIOR / EXTERIOR WALLS
- EXISTING WALLS TO BE REMOVED

**ISSUED FOR COMMITTEE OF ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE  
 INTERIOR RENOVATION  
 AND ADDITION**  
 25 WITHERSPOON ST  
 HAMILTON, ON L9H 2C4

Sheet Title:  
**SECOND FLOOR PLAN**

No.	Date	Issue/Revision
2	17 NOV/22	ISSUED FOR CoFA
2	17 NOV/22	ISSUED FOR REVIEW
1	08 NOV/22	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	NOV 2022
Project No.:	2022-63

**A5**



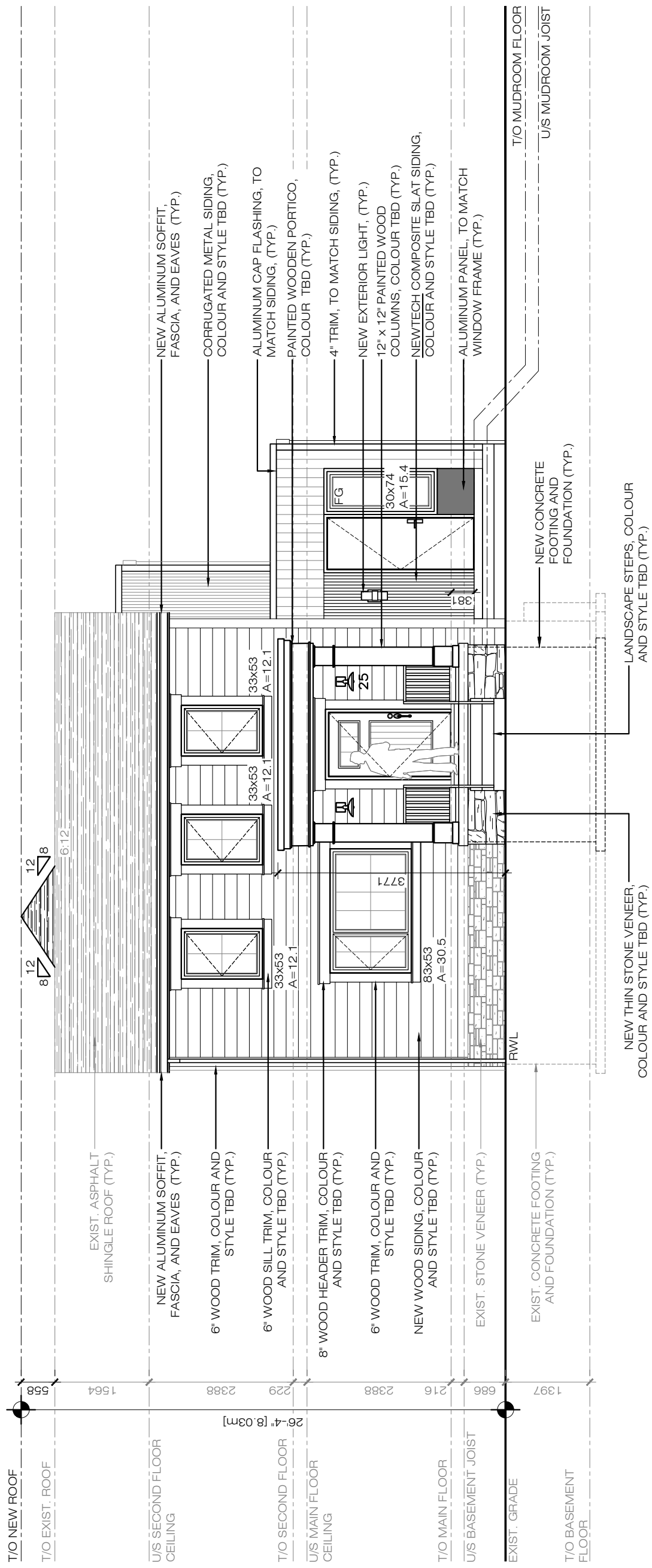




EXTERIOR ELEVATION : (FOR REFERENCE ONLY)



EXTERIOR ELEVATION : (FOR REFERENCE ONLY)



**FRONT ELEVATION**

**ISSUED FOR COMMITTEE OF ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE  
INTERIOR RENOVATION  
AND ADDITION**  
25 WITHERSPOON ST  
HAMILTON, ON L9H 2C4

Sheet Title:  
**FRONT ELEVATION**

No.	Date:	Issue/Revision
2	17 NOV/22	ISSUED FOR CoFA
2	17 NOV/22	ISSUED FOR REVIEW
1	08 NOV/22	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	NOV 2022
Project No.	2022-63

**A7**

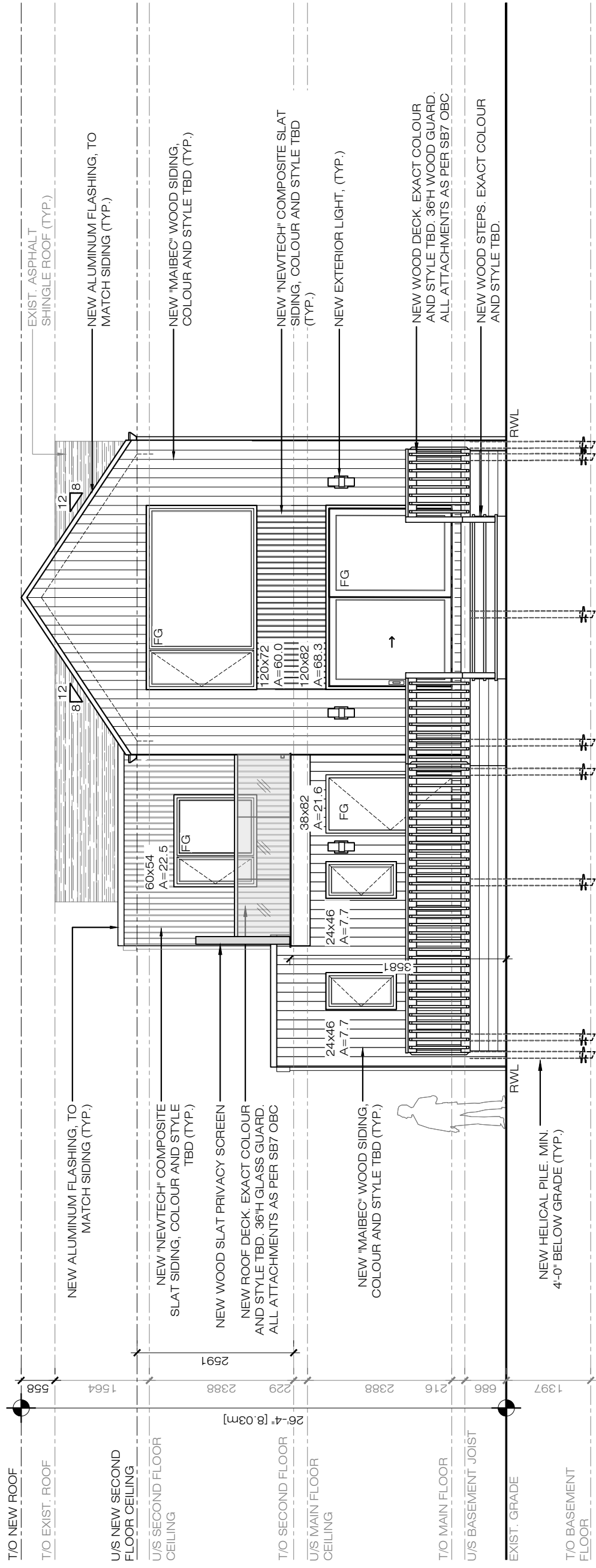




EXTERIOR ELEVATION : (FOR REFERENCE ONLY)



EXTERIOR ELEVATION : (FOR REFERENCE ONLY)



**REAR ELEVATION**

**ISSUED FOR COMMITTEE OF ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE**  
 INTERIOR RENOVATION  
 AND ADDITION  
 25 WITHERSPOON ST  
 HAMILTON, ON L9H 2C4

Sheet Title:  
**REAR ELEVATION**

No.	Date:	Issue/Revision
2	17 NOV/22	ISSUED FOR CoFA
2	17 NOV/22	ISSUED FOR REVIEW
1	08 NOV/22	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	NOV 2022
Project No.	2022-63

**A9**

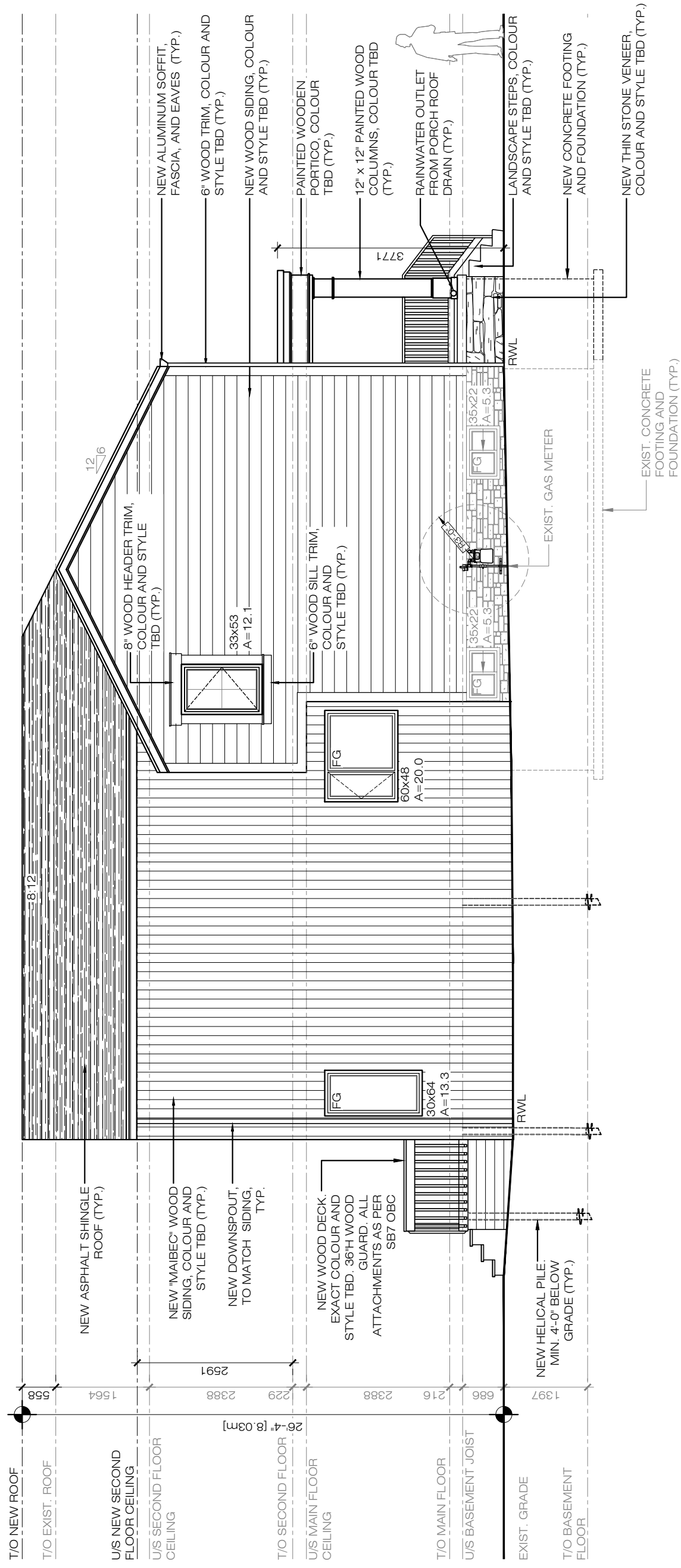




EXTERIOR ELEVATION : (FOR REFERENCE ONLY)



EXTERIOR ELEVATION : (FOR REFERENCE ONLY)



LEFT SIDE ELEVATION

**ISSUED FOR COMMITTEE OF ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE**  
 INTERIOR RENOVATION AND ADDITION  
 25 WITHERSPOON ST  
 HAMILTON, ON L9H 2C4

Sheet Title:  
**LEFT SIDE ELVATION**

No.	Date:	Issue/Revision
2	17 NOV/22	ISSUED FOR CofA
2	17 NOV/22	ISSUED FOR REVIEW
1	08 NOV/22	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	NOV 2022
Project No.:	2022-63

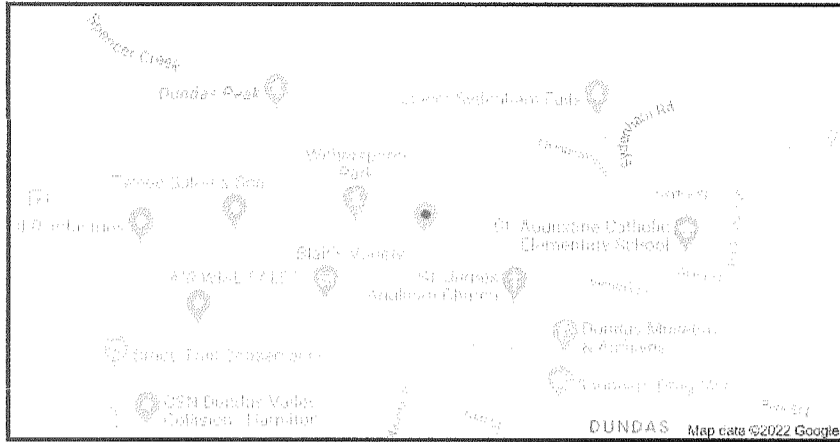
**A10**

# PRIVATE RESIDENCE

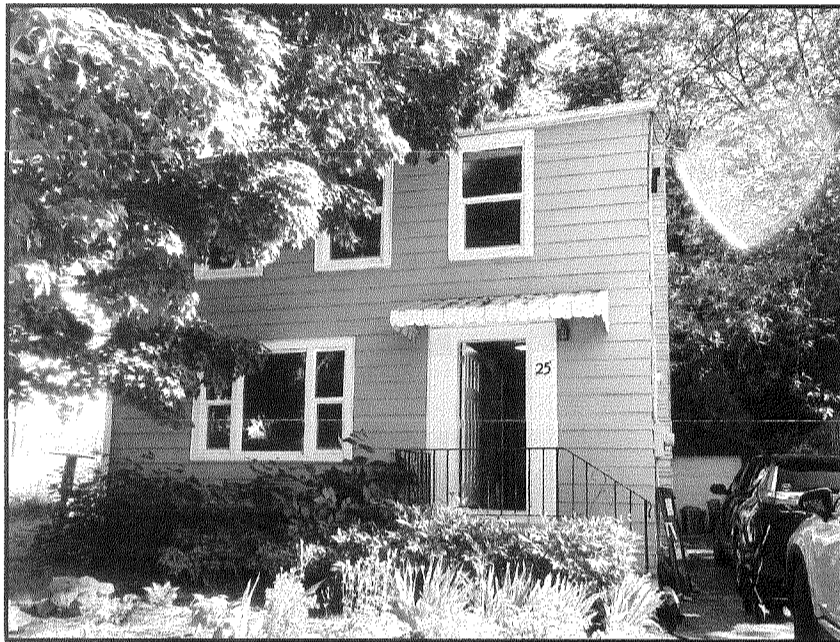
## INTERIOR RENOVATION AND ADDITION

25 WITHERSPOON STREET, HAMILTON, ON. L9H 2C4

ISSUED FOR COMMITTEE OF ADJUSTMENT



LOCATION MAP:



EXISTING FRONT ELEVATION (FOR REFERENCE ONLY):



NEW FRONT ELEVATION (FOR REFERENCE ONLY):

ZONING AND PROPERTY STATISTICS		
ADDRESS:	25 WITHERSPOON STREET, DUNDAS, ON.	
ZONING:	R2	
	BY-LAW:	EXISTING:
MIN. LOT AREA:	450.0 m <sup>2</sup>	433.0 m <sup>2</sup>
MIN. LOT FRONTAGE:	15.0 m	12.6 m
REQUIRED PARKING SPACES:	1.0	1.0

SETBACKS	BY-LAW:	PROPOSED:
FRONT YARD TO HOUSE	6.0 m	(EXIST.) 5.41 m
FRONT YARD TO PORCH	4.0 m	**3.17 m
FRONT YARD PORCH PROJECTION	3.0 m	2.84 m
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**VARIANCE REQUIRED		

**ISSUED FOR COMMITTEE OF ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE  
 INTERIOR RENOVATION  
 AND ADDITION**  
 25 WITHERSPOON ST  
 HAMILTON, ON L9H 2C4

Sheet Title:  
**COVER PAGE AND ZONING**

No.	Date:	Issue/Revision
2	17 NOV/22	ISSUED FOR CoA
2	17 NOV/22	ISSUED FOR REVIEW
1	08 NOV/22	ISSUED FOR REVIEW

Drawn By:  
 Checked By:  
 Scale:  
 Date: NOV 2022  
 Project No.: 2022-63

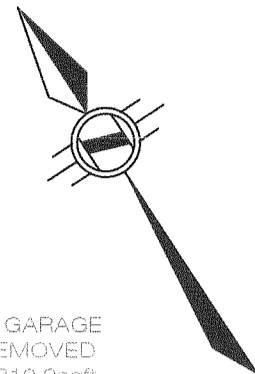
A1



N56°51'15"W 12.192 m

34.800 m

34.815 m



EXISTING WOOD RETAINING WALL

EXISTING GARAGE TO BE REMOVED  
AREA = 310.2sqft  
(28.8 sqm sqm)

NEW DECK  
AREA = 243.7sqft  
(22.6 sqm)

EXISTING FRAME SHED

UP AS PER GRADE

1.56m  
[5'-1½"]

1.42m  
[4'-8"]  
EAVES

1.55m  
[5'-1"]

ENTRY

NEW 2 STOREY ADDITION  
AREA = 673.3 sqft  
(62.6 sqm)

ENTRY

NEW 2nd FLOOR BALCONY  
AREA = 67.1 sqft  
(6.2 sqm)

EXTENT OF EXISTING ADDITION TO BE REMOVED

2.43m  
[7'-11½"]  
(PROJECTION)

2.57m  
[8'-5"]  
(BALCONY)

0.84m  
[2'-9"]

0.59m  
[1'-11½"]

EXTENT OF SECOND STORY

2.57m  
[8'-5"]

1.72m  
[5'-7½"]

1.54m  
[5'-1"]  
EAVES

1.68m  
[5'-6"]

25 WITHERSPOON STREET  
EXISTING 2 STOREY SIDING DWELLING  
EXISTING AREA = 540.4 sqft  
(50.2 sqm)

0.56m  
[1'-10"]

NEW COVERED PORCH  
AREA = 55.0 sqft  
(5.1 sqm)

ENTRY  
2.7m X 6m  
PARKING SPACE

N33°08'10"E

EXISTING ASPHALT DRIVEWAY

FRONT YARD SETBACK = 6.0 m

ENTRY

3.40m  
[11'-2"]  
(EXISTING)

3.72m  
[12'-2½"]  
(PORCH ROOF)

3.79m  
[12'-5"]  
(PORCH)

EXISTING ASPHALT DRIVEWAY

EXTENT OF PORCH ROOF

UP 4R

NEW WALKWAY

UP 4R

TO BE USED IN CONJUNCTION WITH PLAN OF SURVEY PREPARED BY A.T. MCLAREN LIMITED LEGAL AND ENGINEERING SURVEYS, DATED SEPTEMBER 15, 2022.

PLAN  
SHOWING PARTS OF  
LOTS 27 & 28, PLAN 62M-971  
IN THE  
TOWN OF DUNDAS  
REGIONAL MUNICIPALITY OF HAMILTON

N33°56'35"E

N56°41'50"W 12.674 m

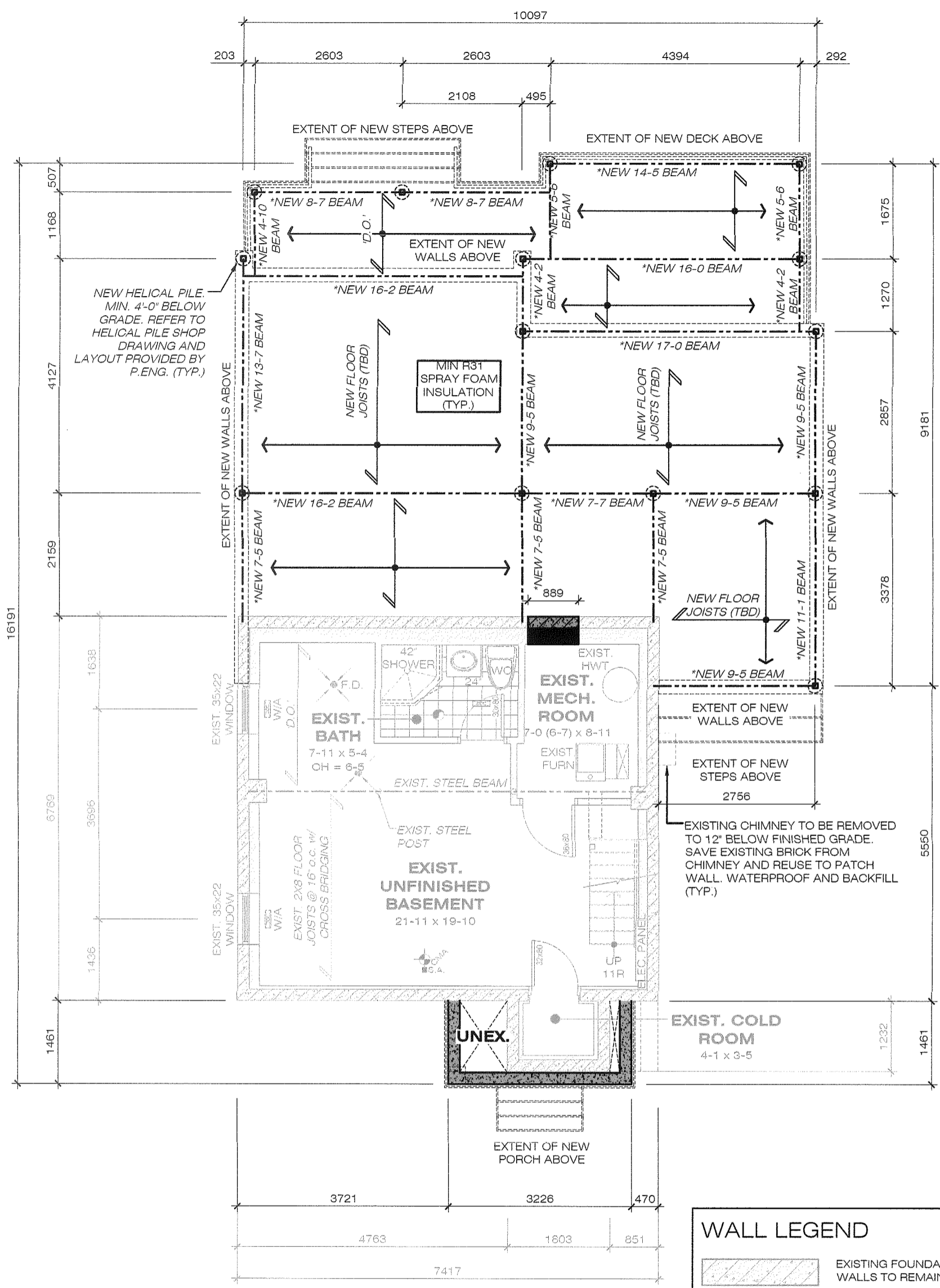
ISSUED FOR COMMITTEE OF ADJUSTMENT

Project Name:  
PRIVATE RESIDENCE  
INTERIOR RENOVATION  
AND ADDITION  
25 WITHERSPOON ST  
HAMILTON, ON L9H 2C4  
Sheet Title:  
SITE PLAN

No.	Date	Issue/Revision	By
2	17 NOV/22	ISSUED FOR CoA	
2	17 NOV/22	ISSUED FOR REVIEW	
1	08 NOV/22	ISSUED FOR REVIEW	

Drawn By:  
Checked By:  
Scale: 1:100  
Date: NOV 2022  
Project No: 2022-63  
**A2**





**BASEMENT / FOUNDATION PLAN**

EXISTING AREA = 564.3 sqft (52.4 sqm)

CEILING HEIGHT = 6'-10" U.N.O.  
HABITABLE ROOMS = 0

WALL LEGEND	
	EXISTING FOUNDATION WALLS TO REMAIN
	NEW FOUNDATION WALLS
	NEW INTERIOR / EXTERIOR WALLS
	EXISTING INTERIOR / EXTERIOR WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED

**ISSUED FOR COMMITTEE OF ADJUSTMENT**

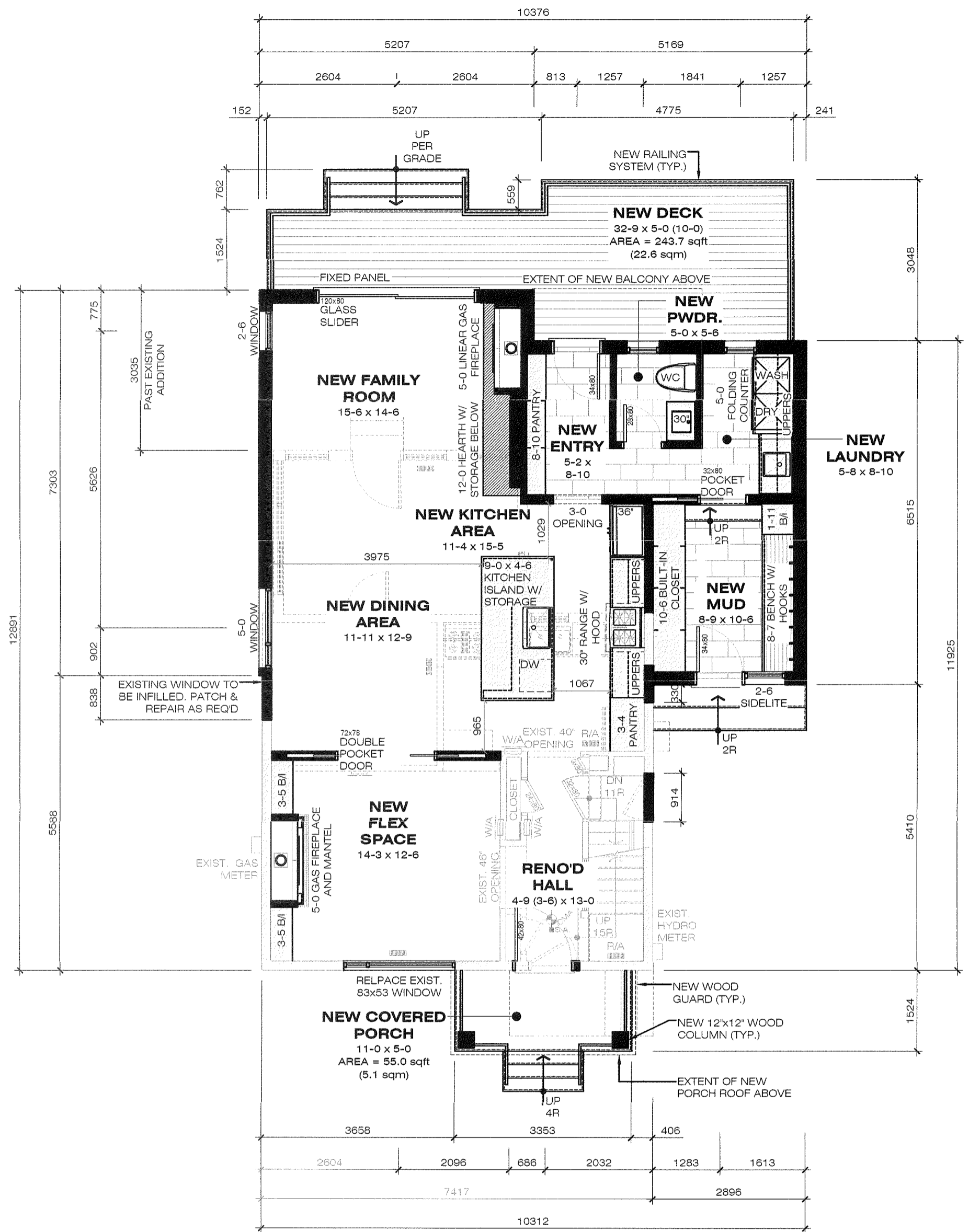
Project Name:  
**PRIVATE RESIDENCE  
INTERIOR RENOVATION  
AND ADDITION**  
25 WITHERSPOON ST  
HAMILTON, ON L9H 2C4

Sheet Title:  
**BASEMENT FLOOR PLAN**

No.	Date	Issue/Revision
2	17 NOV/22	ISSUED FOR CoA
2	17 NOV/22	ISSUED FOR REVIEW
1	08 NOV/22	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	NOV 2022
Project No.:	2022-63

**A3**



**MAIN FLOOR**  
 EXISTING AREA = 540.4 sqft (50.2 sqm)  
 ADDITION AREA = 673.3 sqft (62.6 sqm)  
 NEW TOTAL AREA = 1213.7 sqft (112.8 sqm)

CEILING HEIGHT = 7-10" UNO.  
 HABITABLE ROOMS = 4

WALL LEGEND	
	EXISTING INTERIOR / EXTERIOR WALLS TO REMAIN
	NEW INTERIOR / EXTERIOR WALLS
	EXISTING WALLS TO BE REMOVED

**ISSUED FOR COMMITTEE OF ADJUSTMENT**

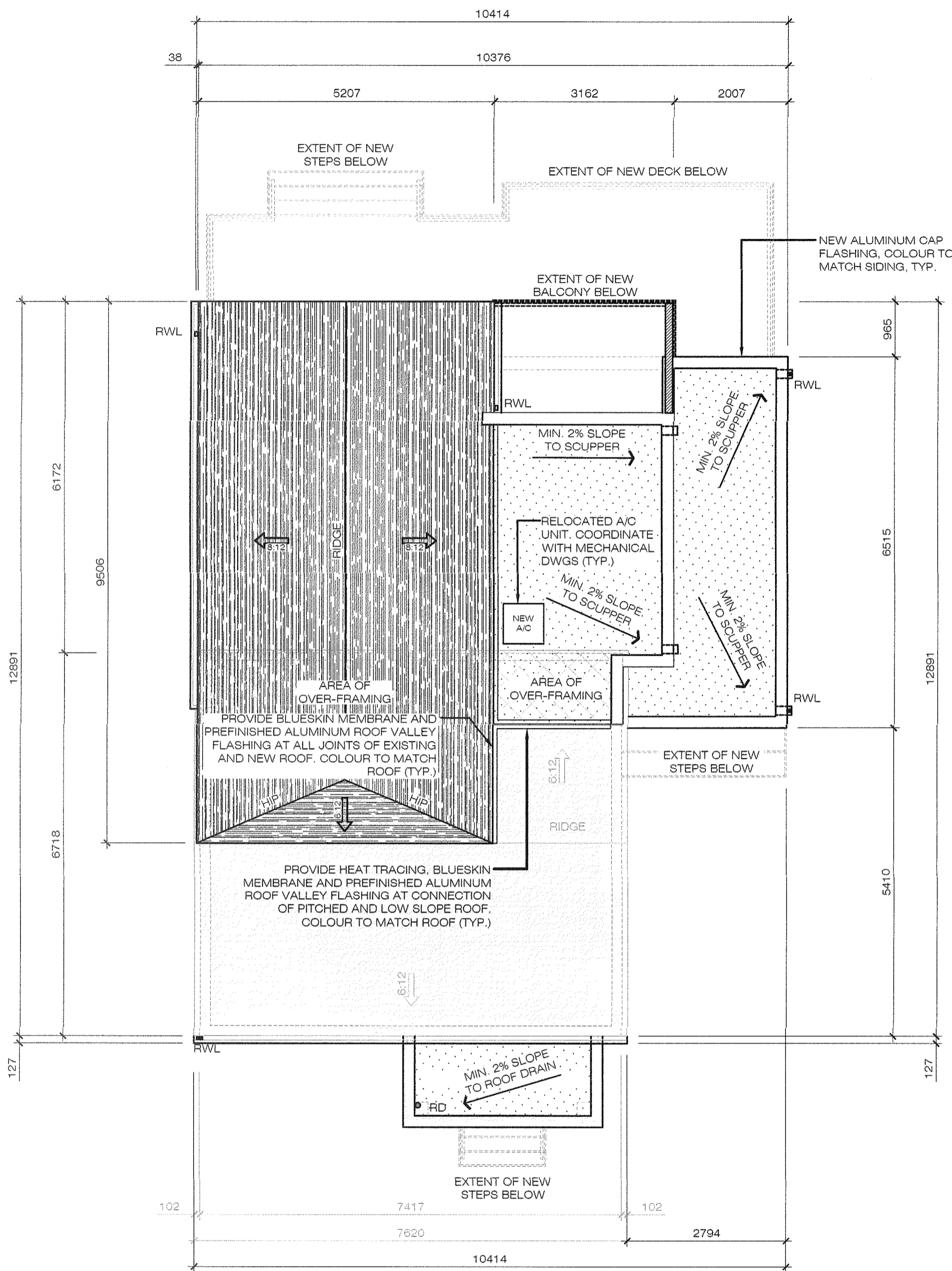
Project Name:  
**PRIVATE RESIDENCE INTERIOR RENOVATION AND ADDITION**  
 25 WITHERSPOON ST  
 HAMILTON, ON L9H 2C4

Sheet Title:  
**MAIN FLOOR PLAN**

No.	Date	Issue/Revision
2	17 NOV/22	ISSUED FOR CoA
2	17 NOV/22	ISSUED FOR REVIEW
1	08 NOV/22	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	NOV 2022
Project No:	2022-63

**A4**



**ROOF PLAN**

ROOF HATCH LEGEND	
	NEW LOW SLOPE ROOF
	NEW ASPHALT SINGLES
	EXISTING ASPHALT SHINGLES
	DENOTES OVERFRAMING

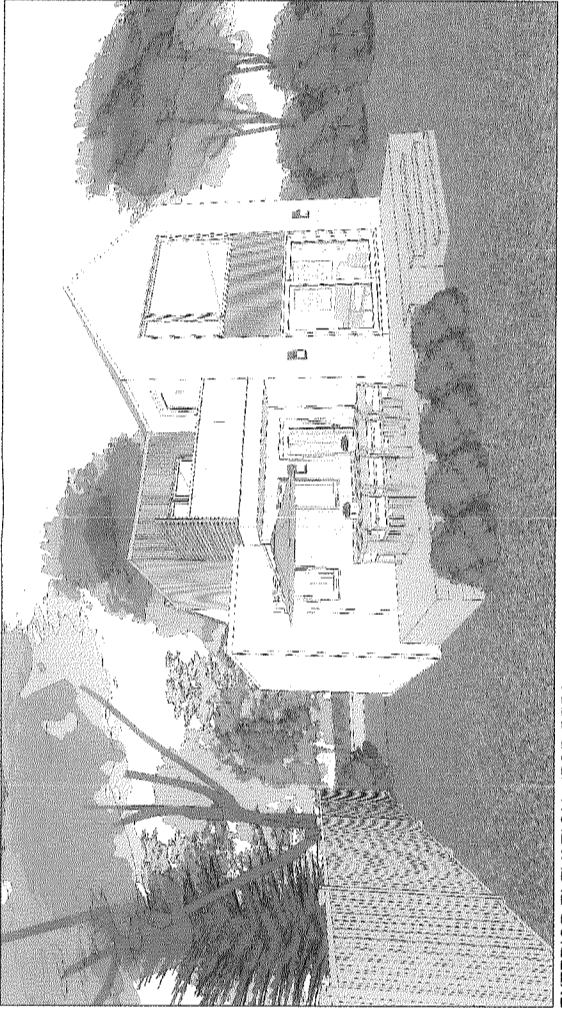
**ISSUED FOR COMMITTEE OF ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE  
 INTERIOR RENOVATION  
 AND ADDITION**  
 25 WITHERSPOON ST  
 HAMILTON, ON L9H 2C4

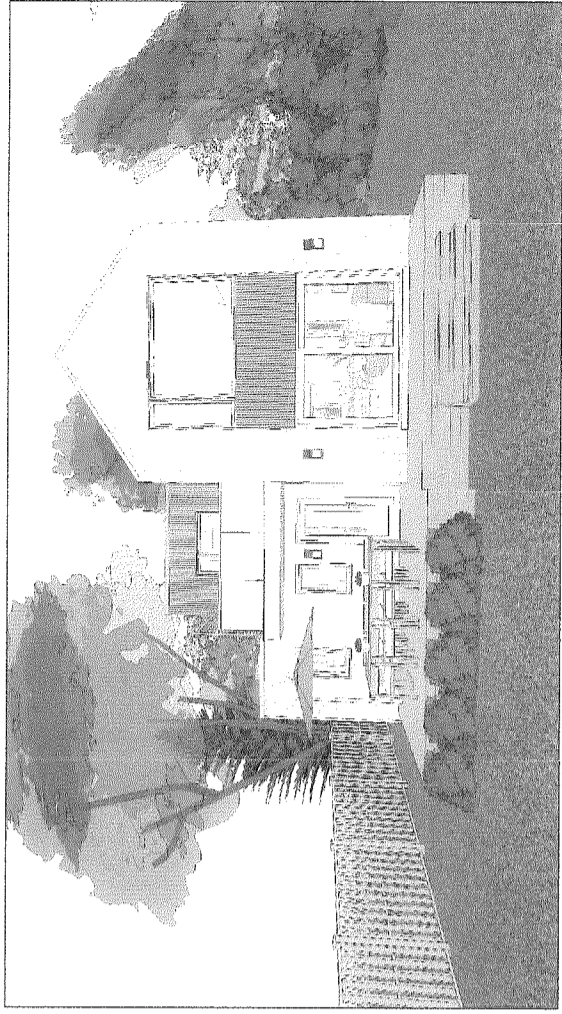
Sheet Title:  
**ROOF FLOOR PLAN**

Drawn By:			
Checked By:			
Scale:	1:75		
Date:	NOV 2022		
Project No:	2022-63		
No.	Date	Issue/Revision	By:
2	17 NOV/22	ISSUED FOR CoA	
2	17 NOV/22	ISSUED FOR REVIEW	
1	08 NOV/22	ISSUED FOR REVIEW	

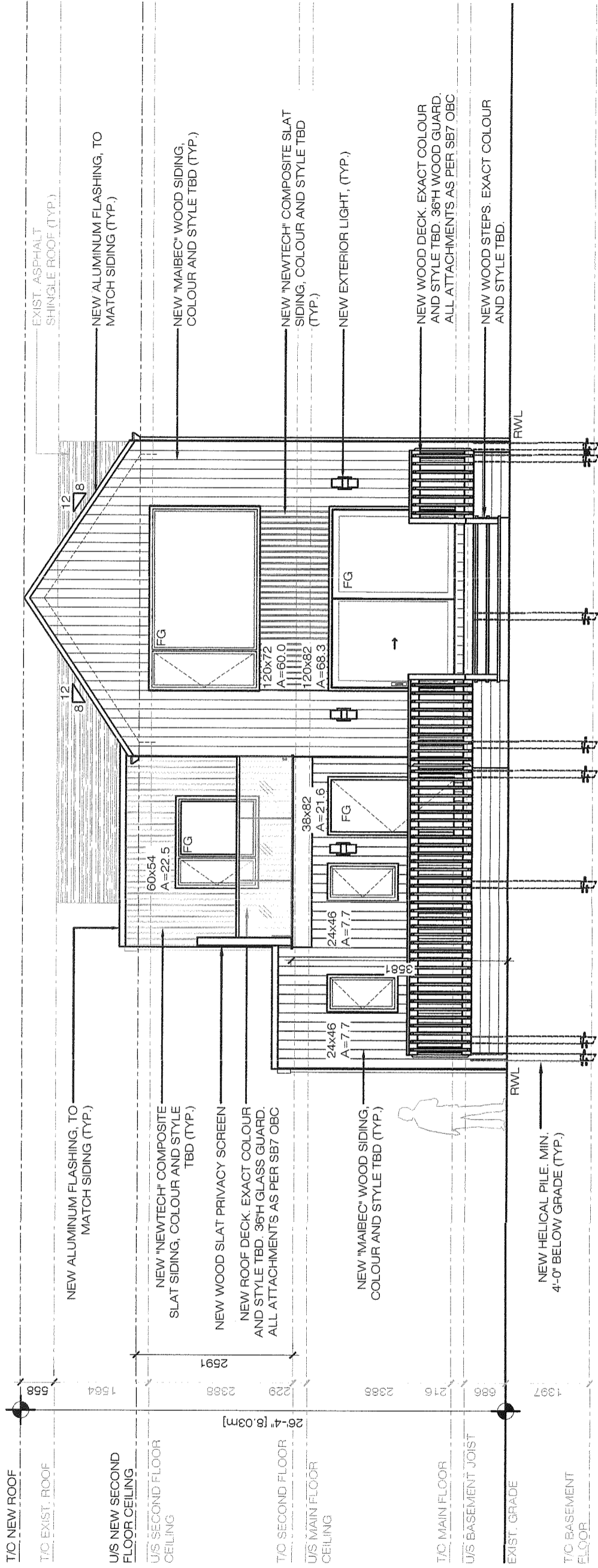
**A6**



EXTERIOR ELEVATION : (FOR REFERENCE ONLY)



EXTERIOR ELEVATION : (FOR REFERENCE ONLY)



REAR ELEVATION

ISSUED FOR COMMITTEE OF ADJUSTMENT

Project Name:  
**PRIVATE RESIDENCE  
 INTERIOR RENOVATION  
 AND ADDITION**  
 25 WITHERSPOON ST  
 HAMILTON, ON L9H 2C4

Sheet Title:  
**REAR ELEVATION**

No.	Date:	Issue/Revision
2	17 NOV/22	ISSUED FOR CoA
2	17 NOV/22	ISSUED FOR REVIEW
1	08 NOV/22	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	NOV 2022
Project No:	2022-63

**A9**







Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE *PLANNING ACT*

### 1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)	Duncan and Jennifer McNeil		Phone:
Applicant(s)	Nataliya Yatsenko of Carrothers and Associates		E-mail:
Agent or Solicitor			Phone:
			E-mail:

1.2 All correspondence should be sent to  Owner  Applicant  
 Agent/Solicitor

1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No  
If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email  Yes\*  No  
If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

### 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	25 Witherspoon St		
Assessment Roll Number			
Former Municipality	Dundas		
Lot		Concession	
Registered Plan Number	62M-971	Lot(s)	27 and 28
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

---

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Proposed 3.17m front yard porch setback where 4.0m is permitted.

Proposed 0.56m right yard addition setback where 5.0 is permitted.

Proposed 3.72m right yard porch setback where 5.0m is permitted.

Proposed 2.43m right yard balcony projection where 1.5m is permitted.

3.2 Why it is not possible to comply with the provisions of the By-law?

Please see attached letter.

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
12.60m	34.81m	430m <sup>2</sup>	n/a

- publicly owned and operated sanitary sewage system
  - privately owned and operated individual septic system
  - other means (specify)
- 

- 4.7 Type of access: (check appropriate box)
- provincial highway
  - municipal road, seasonally maintained
  - municipal road, maintained all year
  - right of way
  - other public road
- 

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
 Single family detached dwelling

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4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
 Single family detached dwelling

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## 7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:  
 July 12, 2022
- 
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
 Single family detached dwelling
- 
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
 Single family detached dwelling
- 
- 7.4 Length of time the existing uses of the subject property have continued:  
 Home built in 1949
- 

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Neighborhoods

---

Please provide an explanation of how the application conforms with the Official Plan.  
 Renovation of an existing single family detached dwelling in existing neighborhood.

7.6 What is the existing zoning of the subject land? R2

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7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

Yes       No

If yes, please provide the file number:



---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes       No

If yes, please provide the file number:

---

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes       No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

**8 ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing:      1

8.2 Number of Dwelling Units Proposed:      1

8.3 Additional Information (please include separate sheet if needed):