



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>FL/A-22:376</b>	<b>SUBJECT PROPERTY:</b>	113 Overdale Ave, Flamborough
<b>ZONE:</b>	"R1-6" (Urban Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law former Town of Flamborough 90-145-Z, as Amended

**APPLICANTS:** Owner: David Chad Hutchison  
Agent: Carrothers & Associates - Nataliya Yatsenko

The following variances are requested:

1. A maximum lot coverage of 18% shall be provided instead of the maximum permitted lot coverage of 15%.
2. A maximum floor space of 275 square metres shall be provided instead of the maximum permitted floor space of 186 square metres.

**PURPOSE & EFFECT:** To permit the construction of a new one storey side yard addition, new covered and uncovered deck in the rear yard and attached garage addition onto the existing single detached dwelling.

**Notes:** N/A

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, January 19, 2023</b>
<b>TIME:</b>	<b>2:10 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>

To be streamed (viewing only) at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

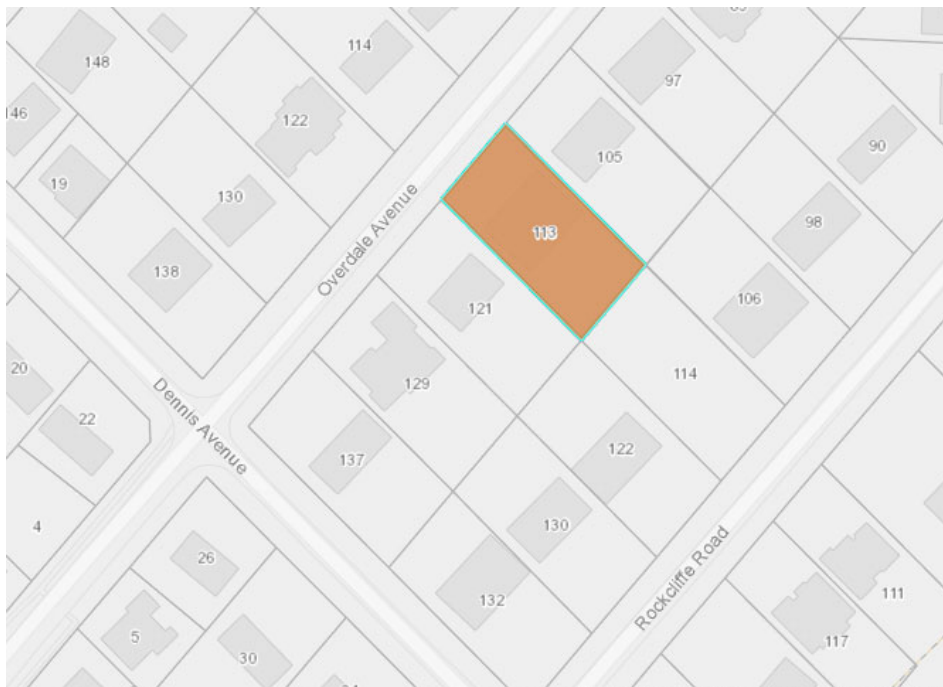
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 Subject Lands

DATED: January 3, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

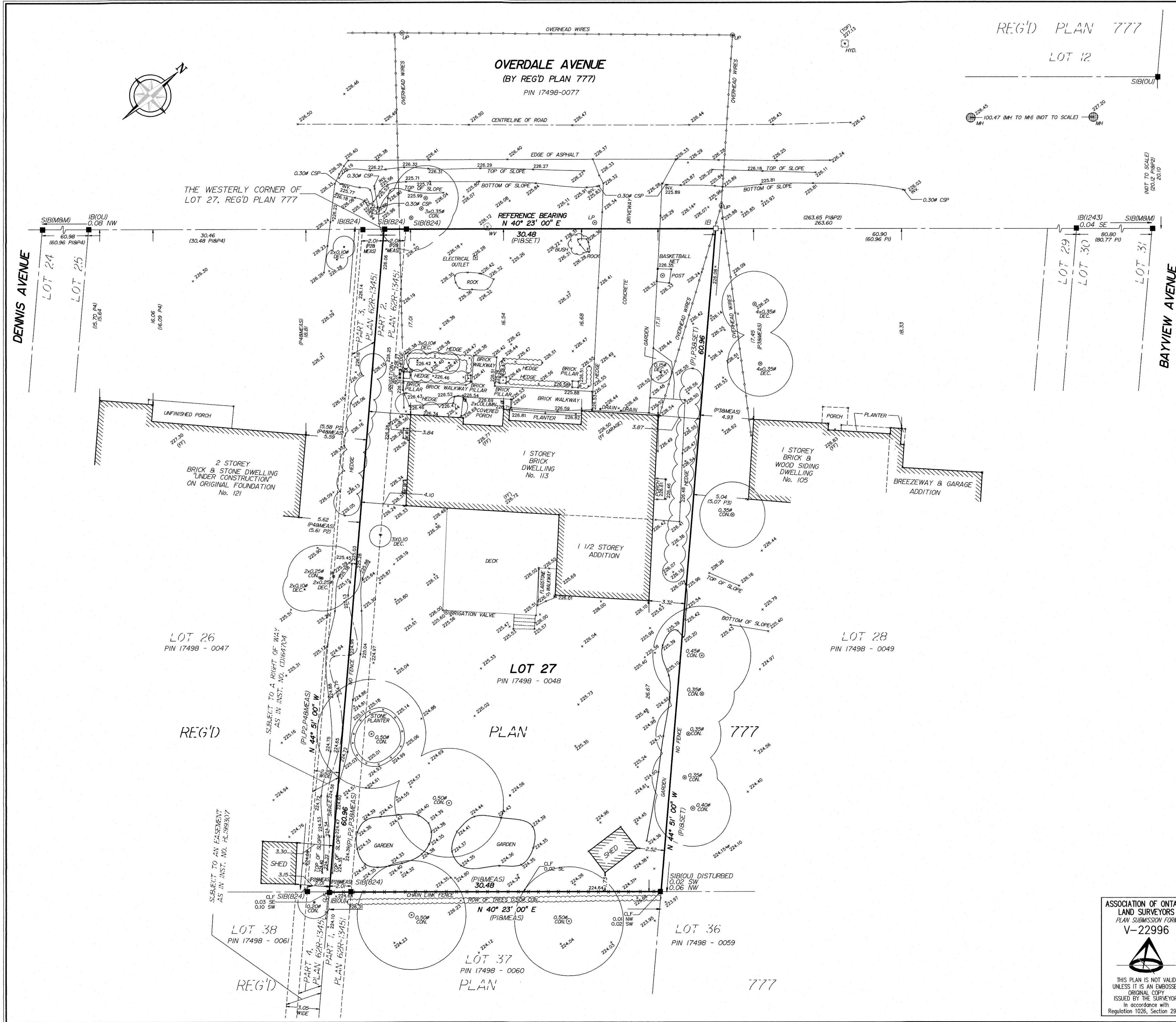
#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.





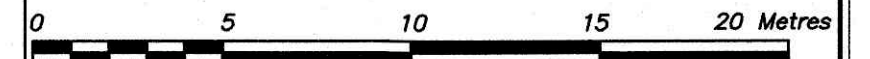
REG'D PLAN 777

LOT 12

OVERDALE AVENUE  
(BY REG'D PLAN 777)  
PIN 17498-0077

**SURVEYOR'S REAL PROPERTY REPORT - PART 1**

PLAN OF SURVEY AND TOPOGRAPHY OF  
**LOT 27**  
**REGISTERED PLAN 777**  
**CITY OF HAMILTON**



SCALE 1 : 200  
J. H. Gelbloom Surveying Limited  
Ontario Land Surveyor 2022

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The reproduction, alteration, or use of this REPORT in whole or in part, without the written permission of J. H. Gelbloom Surveying Limited is Strictly Prohibited.

**SURVEYOR'S REAL PROPERTY REPORT - PART 2**

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY  
None

NOTABLES  
Note the Location of the Chain Link Fence at the Back of the Subject Property.

**LEGEND**

■	Survey Monument Found
□	Survey Monument Set
SIB	Standard Iron Bar
IB	Iron Bar
(OU)	Origin Unknown
(M&M)	Mackay & Mackay, O.L.S.
(B24)	A. T. McLaren Ltd., O.L.S.
(1243)	Barich Grenke Surveying Ltd., O.L.S.
PROP	Proportioned Distance
P1	Registered Plan 777
P2	PLAN 62R-13451
P3	Plan of Survey by Mackay & Mackay, O.L.S., dated December 15, 1953
P4	Plan of Survey by A. T. McLaren Ltd., O.L.S., dated July 4, 1963
CLF	Chain Link Fence
DEC.	Deciduous Tree
CON.	Coniferous Tree
FF	Finished Floor Elevation
INV.	Invert Elevation
CSP	Corrugated Steel Pipe
W.W.	Window Well
LP	Lamp Post
UP	Utility Pole
WV	Water Valve
MH	Maintenance Hole
HYD	Hydrant
N	North
S	South
E	East
W	West

**BENCHMARK**  
Elevations are Geodetic and are Referred to the COSINE Benchmark No. 07720020052, having an Elevation of 228.636 m.

**NOTE**  
This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.  
All building ties are from the foundation and are perpendicular to property lines, unless otherwise noted.

This REPORT was prepared for Chad Hutchison and the undersigned accepts no responsibility for use by other parties.

**NOTE**  
Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

**BEARING NOTE**  
Bearings are Astronomic, and are Referred to the Southeasterly limit of Overdale Avenue as shown on Reg'd Plan 777, having a Bearing of N 40° 23' 00" E.

**SURVEYOR'S CERTIFICATE**  
I certify that:  
1: This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, and the Regulations made under them.  
2: The survey was completed on the 13th day of April, 2022.

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-22996

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).

April 20, 2022  
Date

Andrew Musil, O.L.S.  
Party Chief: F.M. Drawn By: M.S. Checked By: J.G. Project: 22-033

**J. H. Gelbloom Surveying Limited**  
Ontario Land Surveyor  
476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4  
office@jhgsurveying.ca  
Phone: (905) 338-6210 Fax: (905) 338-9446

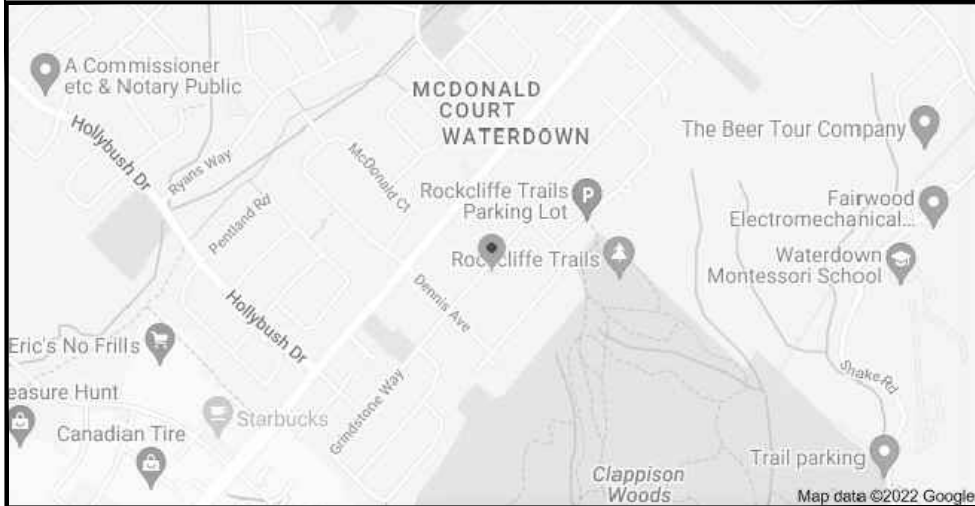


# PRIVATE RESIDENCE

## REAR YARD ADDITION AND INTERIOR RENO.

113 OVERDALE AVE., WATERDOWN, ON. L9H 7G3

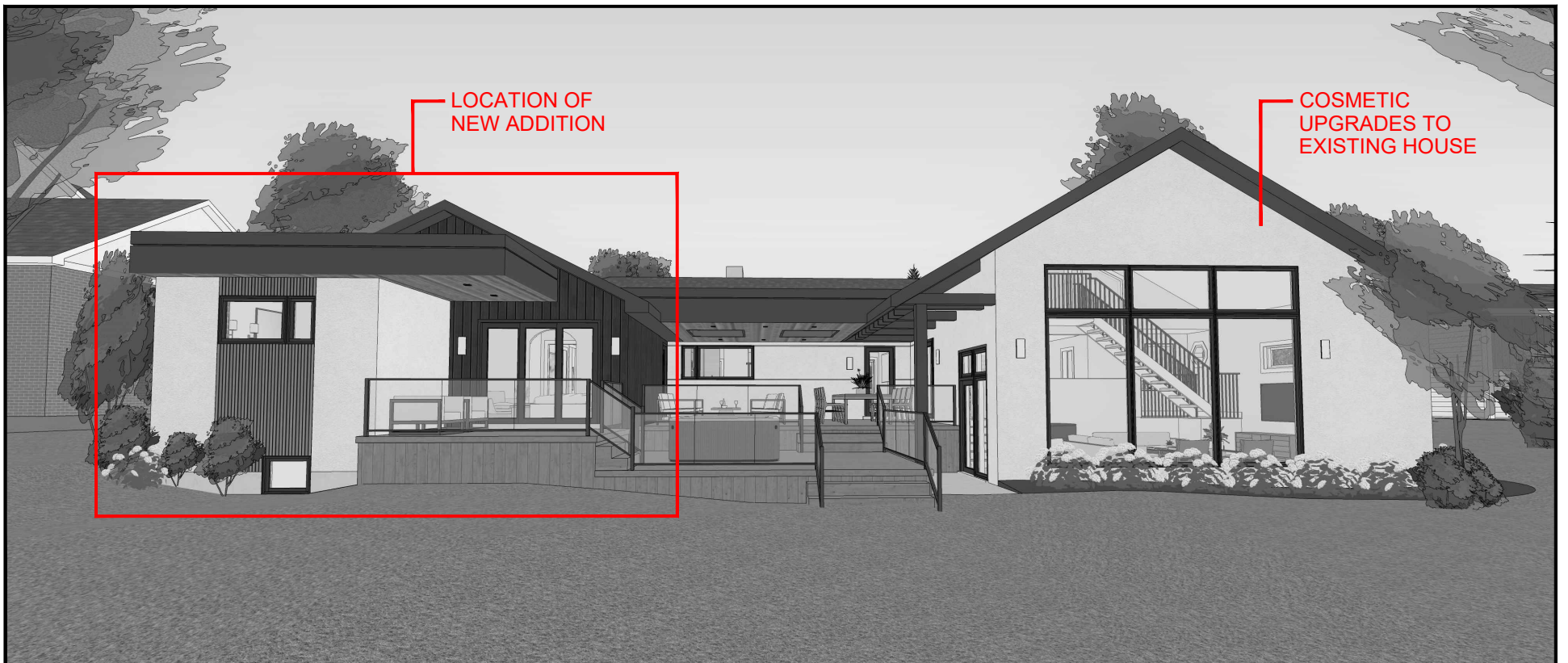
ISSUED FOR COMMITTEE OF ADJUSTMENT



LOCATION MAP:



EXISTING REAR ELEVATION (FOR REFERENCE):



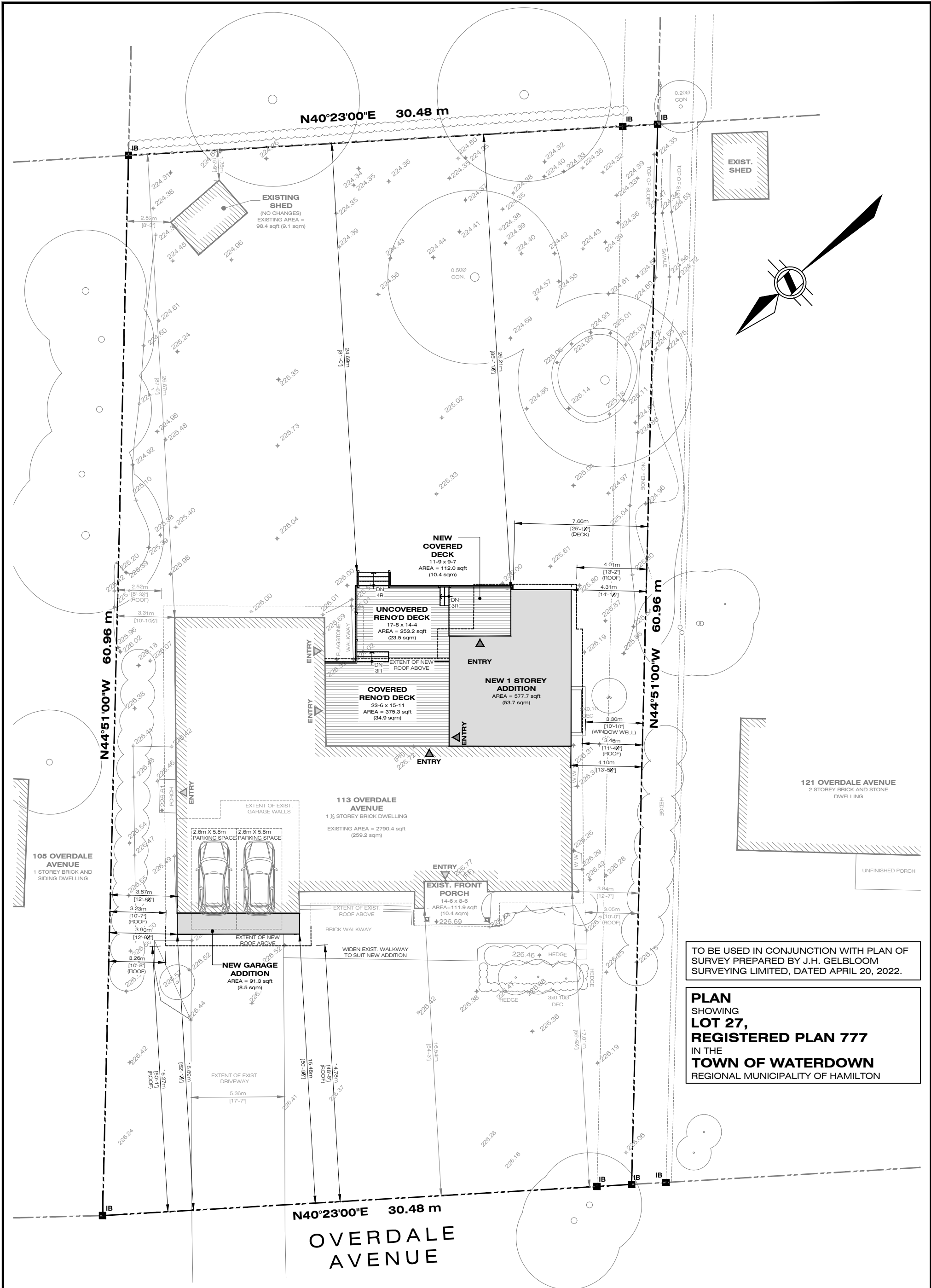
NEW ELEVATION (FOR REFERENCE ONLY):

ZONING AND PROPERTY STATISTICS		
ADDRESS:	113 OVERDALE AVENUE, HAMILTON, ON.	
ZONING:	R1-6	
	BY-LAW:	EXISTING:
MIN. LOT AREA:	1390 m <sup>2</sup>	1851.1 m <sup>2</sup>
MIN. LOT FRONTAGE:	30 m	30.48 m

LOT COVERAGE		
	AREA:	PERCENTAGE:
EXISTING HOUSE (GARAGE INCLUDED)	259.2 m <sup>2</sup>	14.0 %
EXISTING SHED	9.1 m <sup>2</sup>	0.5 %
NEW ONE STOREY ADDITION	53.7 m <sup>2</sup>	2.9 %
NEW GARAGE ADDITION	8.5 m <sup>2</sup>	0.5 %
<b>TOTAL MAX. COVERAGE ALLOWED:</b>	<b>277.7 m<sup>2</sup></b>	<b>15 %</b>
<b>TOTAL PROPOSED COVERAGE:</b>	<b>330.5 m<sup>2</sup></b>	<b>**17.9 %</b>

SETBACKS		
	BY-LAW:	PROPOSED:
FRONT YARD	7.5 m	(EXIST.) 16.54 m
FRONT YARD - GARAGE	7.5 m	15.48 m
REAR YARD - HOUSE	10 m	(EXIST.) 26.67 m
REAR YARD - ADDITION	10 m	26.21 m
REAR YARD - DECK	10 m	24.69 m
INTERIOR SIDE YARD - HOUSE (LEFT SIDE)	3.0 m	(EXIST.) 3.31 m
INTERIOR SIDE YARD - GARAGE (LEFT SIDE)	3.0 m	3.87 m
INT. SIDE YARD - GARAGE ROOF (LEFT SIDE)	2.35 m	3.23 m
INTERIOR SIDE YARD - HOUSE (RIGHT SIDE)	3.0 m	(EXIST.) 3.84 m
INTERIOR SIDE YARD - ADDITION (RIGHT SIDE)	3.0 m	4.10 m
INTERIOR SIDE YARD (RIGHT SIDE ROOF)	2.35 m	3.46 m
INT. SIDE YARD - WINDOW WELL (RIGHT SIDE)	3.0 m	3.30 m
INTERIOR SIDE YARD - DECK (RIGHT SIDE)	3.0 m	7.66 m
MAX. FLOOR SPACE - EXISTING (MAIN FLOOR)	186 m <sup>2</sup>	219.5 m <sup>2</sup>
MAX. FLOOR SPACE - NEW (MAIN FLOOR)	186 m <sup>2</sup>	<b>**273.1 m<sup>2</sup></b>
MAX HEIGHT OF EXISTING ROOF (MIDPOINT)	8.2 m	(EXIST.) 5.91 m
MAX HEIGHT OF ADDITION ROOF (MIDPOINT)	8.2 m	4.17 m
REQUIRED PARKING SPACES	1	2
<b>**VARIANCE REQUIRED</b>		

<h3>ISSUED FOR COMMITTEE OF ADJUSTMENT</h3>	Project Name: <b>PRIVATE RESIDENCE</b> REAR YARD ADDITION AND INTERIOR RENOVATION 113 OVERDALE AVENUE, WATERDOWN, ONTARIO. L9H 7G3	<table border="1"> <tr> <td>2</td> <td>NOV 10/22</td> <td>ISSUED FOR CoFA</td> </tr> <tr> <td>1</td> <td>NOV 03/22</td> <td>ISSUED FOR REVIEW</td> </tr> <tr> <td>No.</td> <td>Date:</td> <td>Issue/Revision</td> </tr> </table>	2	NOV 10/22	ISSUED FOR CoFA	1	NOV 03/22	ISSUED FOR REVIEW	No.	Date:	Issue/Revision	Drawn By: Checked By: Scale: N.T.S. Date: NOVEMBER 2022 Project No: 2022-22
	2		NOV 10/22	ISSUED FOR CoFA								
1	NOV 03/22	ISSUED FOR REVIEW										
No.	Date:	Issue/Revision										
Sheet Title: <b>COVER PAGE AND ZONING STATS</b>	<h1>A1</h1>											



TO BE USED IN CONJUNCTION WITH PLAN OF SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LIMITED, DATED APRIL 20, 2022.

**PLAN**  
SHOWING  
**LOT 27,**  
**REGISTERED PLAN 777**  
IN THE  
**TOWN OF WATERDOWN**  
REGIONAL MUNICIPALITY OF HAMILTON

**ISSUED FOR  
COMMITTEE OF  
ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE  
REAR YARD ADDITION AND  
INTERIOR RENOVATION**  
113 OVERDALE AVENUE,  
WATERDOWN, ONTARIO. L9H 7G3

Sheet Title:  
**SITE PLAN**

No.	Date:	Issue/Revision
2	NOV 10/22	ISSUED FOR CoFA
1	NOV 03/22	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:200
Date:	NOVEMBER 2022
Project No.	2022-22

**SP**

**ISSUED FOR  
COMMITTEE OF  
ADJUSTMENT**

Project Name:  
**PRIVATE RESIDENCE  
REAR YARD ADDITION AND  
INTERIOR RENOVATION**  
113 OVERDALE AVENUE,  
WATERLOON, ONTARIO, L9H 7G3

Sheet Title:  
**BASEMENT/  
FOUNDATION PLAN**

No.	Date	Issue/Revision
1	NOV 03/22	ISSUED FOR REVIEW
2	NOV 10/22	ISSUED FOR CMA

Drawn By:

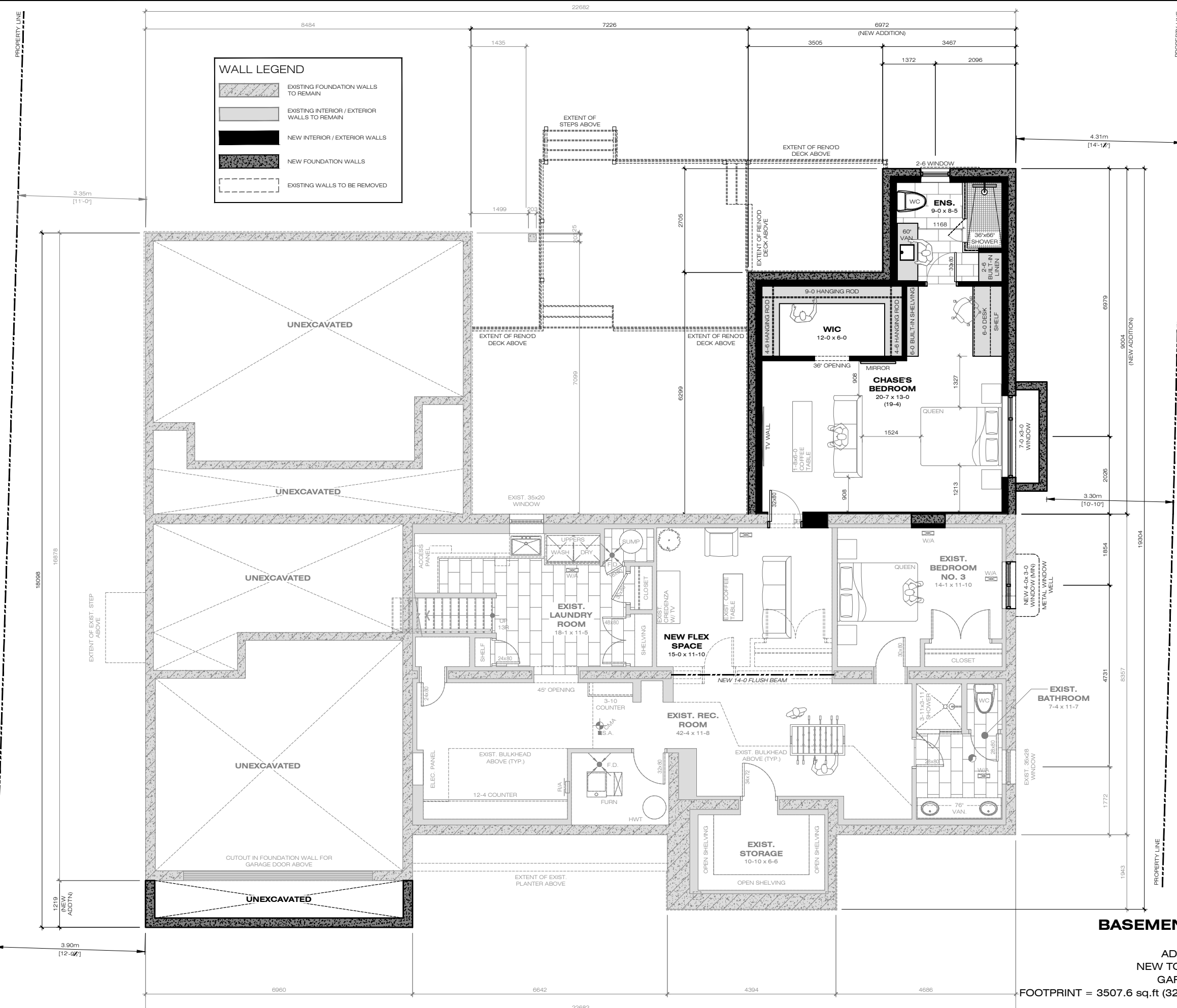
Checked By:

Scale: 1:100

Date: NOVEMBER 2022

Project No: 2022-22

**A2**



**BASEMENT / FOUNDATION PLAN**

AREA = 1529.0 sqft (142.0 sqm)  
 ADDITION AREA = 573.7 sqft (53.3 sqm)  
 NEW TOTAL AREA = 2102.7 sqft (195.3 sqm)  
 GARAGE ADDITION = 45.7 sqft (4.2 sqm)  
 FOOTPRINT = 3507.6 sq.ft (325.7 sqm) (INCLUDES GARAGE AREA)  
 U/S FLOOR JOISTS = 7'-2" UNO.



**ISSUED FOR  
COMMITTEE OF  
ADJUSTMENT**

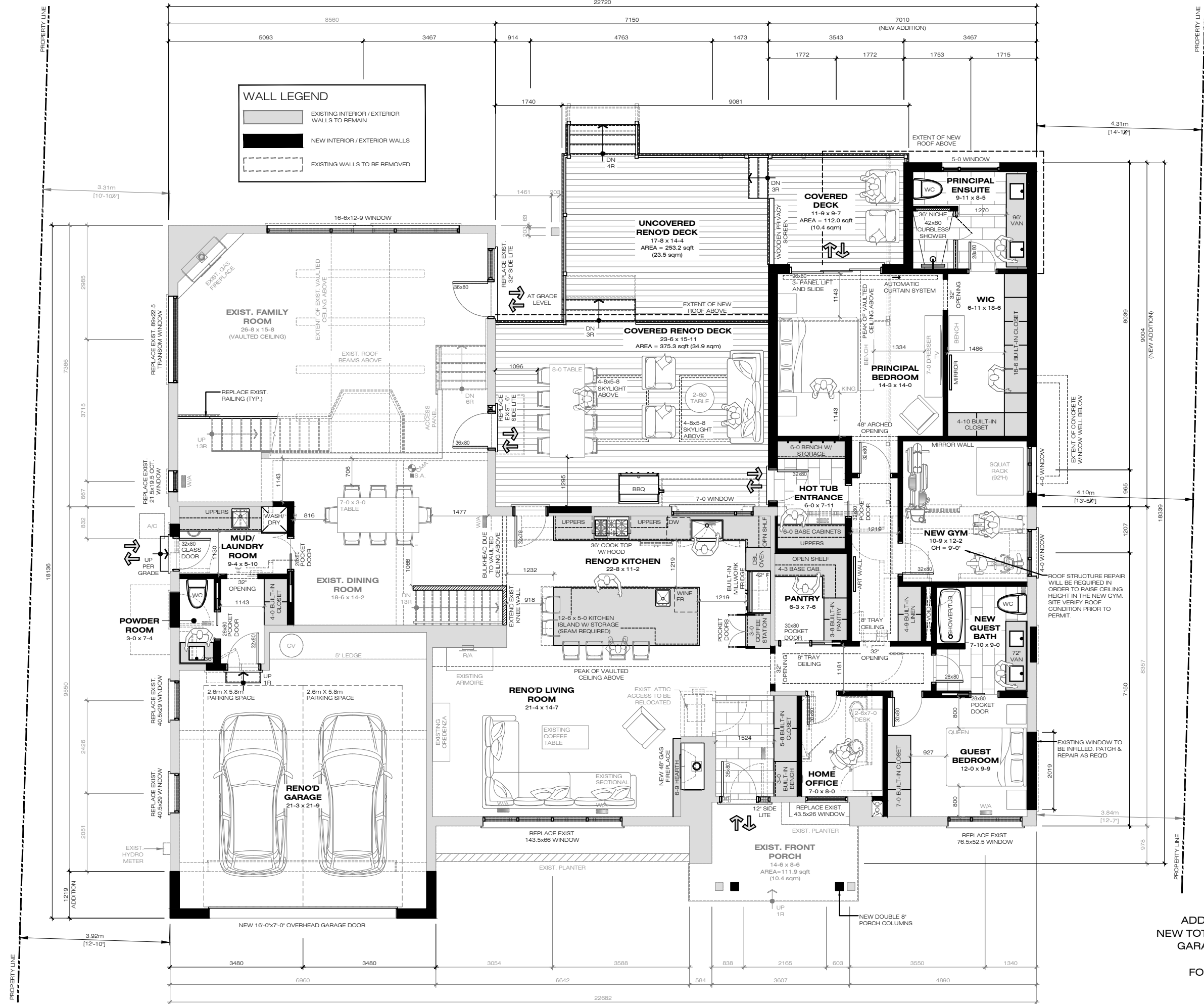
Project Name:  
**PRIVATE RESIDENCE  
REAR YARD ADDITION AND  
INTERIOR RENOVATION**  
113 OVERDALE AVENUE,  
WATERLOON, ONTARIO, L9H 7G3

Sheet Title:  
**MAIN FLOOR PLAN**

No.	Date	Issue/Revision
2	NOV 10/22	ISSUED FOR CMA
1	NOV 03/22	ISSUED FOR REVIEW

**A3**

Drawn By:  
Checked By:  
Scale: 1:100  
Date: NOVEMBER 2022  
Project No: 2022-22

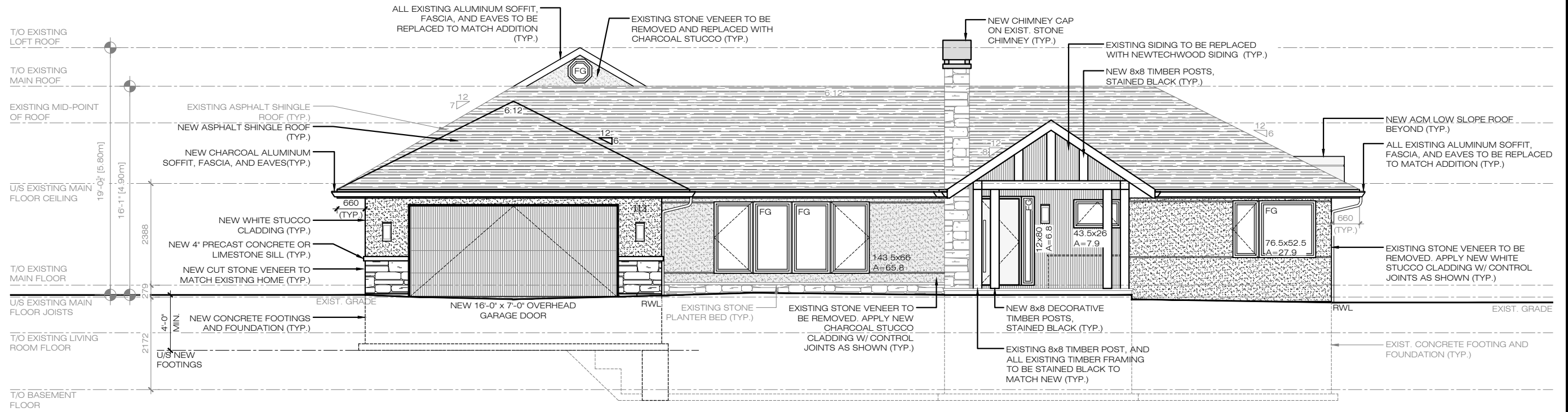


**MAIN FLOOR PLAN**  
 AREA = 2362.3 sqft (219.5 sqm)  
 ADDITION AREA = 577.7 sqft (53.7 sqm)  
 NEW TOTAL AREA = 2940.0 sqft (273.1 sqm)  
 GARAGE ADDITION = 91.3 sqft (8.5 sqm)

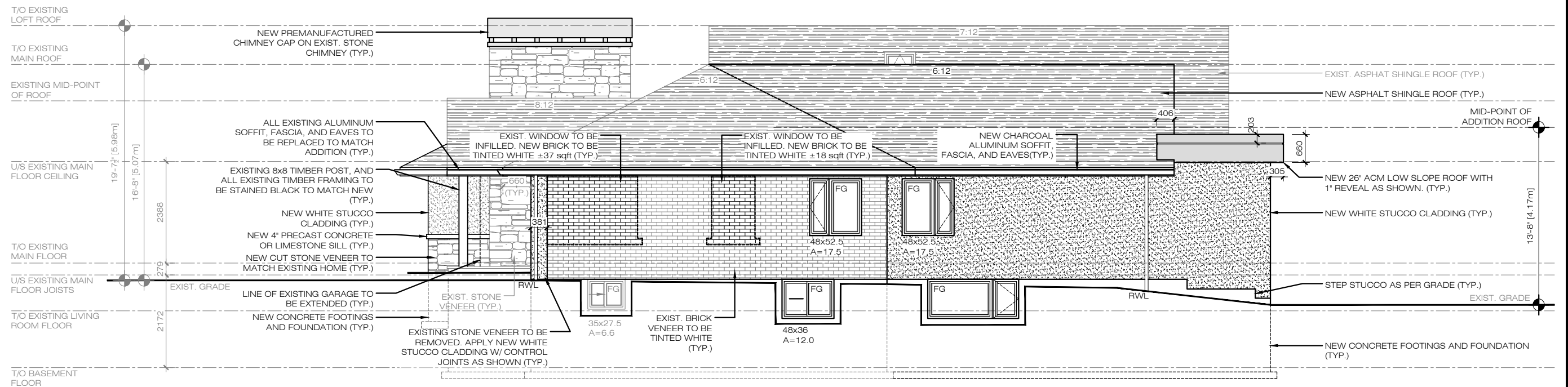
FOOTPRINT = 3459.4 sq.ft (321.4 sqm)  
 (INCLUDES GARAGE AREA)  
 CEILING HEIGHT = 7'-10" UNO.



**ISSUED FOR  
COMMITTEE OF  
ADJUSTMENT**



**FRONT ELEVATION**



**RIGHT SIDE ELEVATION**

**Project Name:**  
**PRIVATE RESIDENCE**  
**REAR YARD ADDITION AND**  
**INTERIOR RENOVATION**  
**113 OVERDALE AVENUE,**  
**WATERLOO, ONTARIO, L9H 7G3**

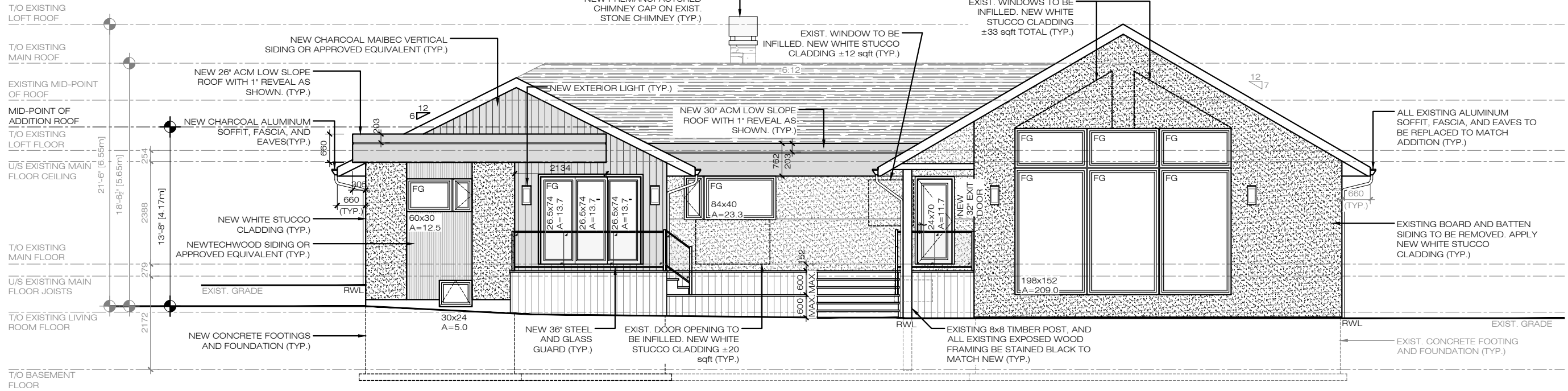
**Sheet Title:**  
**FRONT AND RIGHT SIDE**  
**ELEVATIONS**

No.	Date	Issue/Revision
2	NOV 10/22	ISSUED FOR CMA
1	NOV 03/22	ISSUED FOR REVIEW

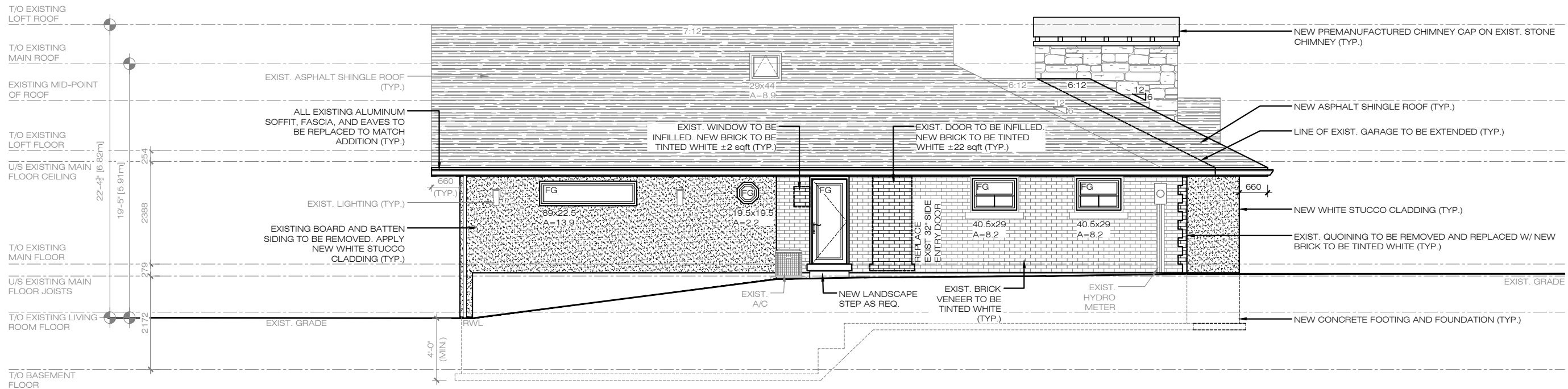
Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Scale: 1:100  
 Date: NOVEMBER 2022  
 Project No: 2022-22

**A4**

**ISSUED FOR  
COMMITTEE OF  
ADJUSTMENT**



**REAR ELEVATION**



**LEFT SIDE ELEVATION**

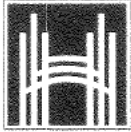
Project Name:  
**PRIVATE RESIDENCE  
REAR YARD ADDITION AND  
INTERIOR RENOVATION  
113 OVERDALE AVENUE,  
WATERLOO, ONTARIO, L9H 7G3**

Sheet Title:  
**REAR AND LEFT SIDE  
ELEVATIONS**

No.	Date	Issue/Revision
2	NOV 10/22	ISSUED FOR CMA
1	NOV 03/22	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:100
Date:	NOVEMBER 2022
Project No.:	2022-22

**A5**



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION  
UNDER SECTION 45 OF THE PLANNING ACT**

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS	
Registered Owners(s)	DAVID CHAD HUTCHISON	[REDACTED]	
Applicant(s)	NATALINA VATSENKO OF CARLSTADT & ASSOCIATES		
Agent or Solicitor			Phone:
			E-mail:

1.2 All correspondence should be sent to  Owner  Applicant  
 Agent/Solicitor

1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No  
If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email  Yes\*  No  
If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:



Municipal Address	113 OVERDALE AVENUE, WATER DOWN, ON. L9H 7G3		
Assessment Roll Number			
Former Municipality			
Lot	27	Concession	
Registered Plan Number	777	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

RIGHT YARD IS SUBJECT TO A RIGHT OF WAY AS IN INST. NO. CD164704

### 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

PROPOSED LOT COVERAGE OF 17.9% WHERE 15% IS PERMITTED.  
 PROPOSED FLOOR SPACE OF 273.1m<sup>2</sup> WHERE 186m<sup>2</sup> IS PERMITTED.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

PLEASE SEE THE ATTACHED LETTER.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
30.48 m	60.96 m	1851.1 m <sup>2</sup>	N/A

To: Committee of Adjustment – City of Hamilton

Re: 113 Overdale Avenue – Minor Variance Application

Date: November 18<sup>th</sup>, 2022

## Minor Variance Application – Expanded Answers

It is our opinion that the proposed house additions have been designed to be compatible with the adjacent properties and surrounding community, and that the requested minor variances are appropriate and desirable for the following reasons:

### I. Proposed 17.95% lot coverage where 15% is permitted.

- a. *The new addition would only increase the lot coverage by 2.95% and therefore represent intensification of the existing low density residential use in a manner that is compatible with the abutting land uses and surrounding community. There will be no changes to the character of the subject property in terms of consideration to sunlight, grading, parking, and noise that would result in adverse impacts to the surrounding area.*
- b. *The additional lot coverage will allow the owners to expand their garage so they can properly park a car inside. Currently it is too small to fit a regular size vehicle.*

### II. Proposed main floor space area of 273.1 m<sup>2</sup> where 186 m<sup>2</sup> is permitted.

- a. *The design intent is to maintain the dwelling as a 1 storey. The owners would prefer to have their principal bedroom, study, and other living areas on the main floor as it will help facilitate their lifestyle as they grow older in age.*
- b. *The existing home is at 219.5m<sup>2</sup> floor space area which is over the 186m<sup>2</sup> and is compatible and not out of character with the neighbourhood.*
- c. *The new addition increases the main floor space by 53.6m<sup>2</sup>, to a total of 273.1m<sup>2</sup>. If we were to design and build this as a 2-storey addition and put the new principal bedroom upstairs, the required main floor space as per the by-law could increase to 372m<sup>2</sup>. Therefore, it is our opinion that the size of the lot can handle the additional main floor space without any changes to the character of the subject property in terms of consideration to sunlight, grading, parking, and noise that would result in adverse impacts to the surrounding area.*

## Summary

It is our opinion that granting the requested minor variances will facilitate construction of additions to the existing single detached dwelling that are consistent and compatible with the character of the surrounding residential neighborhood and are appropriate for the location of the Subject Property.

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
DWELLING	16.54m	26.67m	3.84m / 3.32m	N/A
SHED	N/A	1.73m	2.52m	N/A

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
REAR YARD ADDITION	N/A	26.21m	4.10m	APRIL 2023
GARAGE ADDITION	15.98m	N/A	3.87m	APRIL 2023
DECK	N/A	24.69m	N/A	APRIL 2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
DWELLING	219.5m <sup>2</sup>	267.9m <sup>2</sup>	2	6.82m
SHED	9.1m <sup>2</sup>	9.1m <sup>2</sup>	1	N/A

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
REAR YARD ADDITION	53.7m <sup>2</sup>	53.7m <sup>2</sup>	1	5.31m
GARAGE ADDITION	8.5m <sup>2</sup>	8.5m <sup>2</sup>	1	4.55m
DECK	68.0m <sup>2</sup>	68.8m <sup>2</sup>	N/A	N/A

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)
- 

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)
- 

- 4.6 Type of sewage disposal proposed: (check appropriate box)



- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED DWELLING

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

July 31, 2020

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE DETACHED DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE DETACHED DWELLING

7.4 Length of time the existing uses of the subject property have continued:

Likely since 1950s

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) NEIGHBOURHOODS

Please provide an explanation of how the application conforms with the Official Plan.

RENOVATION OF AN EXISTING SFD IN AN EXISTING NEIGHBOURHOOD

7.6 What is the existing zoning of the subject land? R7-6

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: