



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-22:368	SUBJECT PROPERTY:	365 MacNab St N, Hamilton
ZONE:	“D” (Urban Protected Residential One- and Two-Family Dwellings)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: Owner: Alex Drossos & Kara Schnarr
Agent: The Deck Yard – Stephanie Allen

The following variances are requested:

1. A terrace, uncovered porch, platform or ornamental feature may be distant 0.0m from the southerly side yard instead of the minimum 0.5m required.

PURPOSE & EFFECT: To permit the construction of a new rear yard deck;

Notes:

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, January 19, 2023
TIME:	3:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

HM/A-22:368

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 Subject Lands

DATED: January 3, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

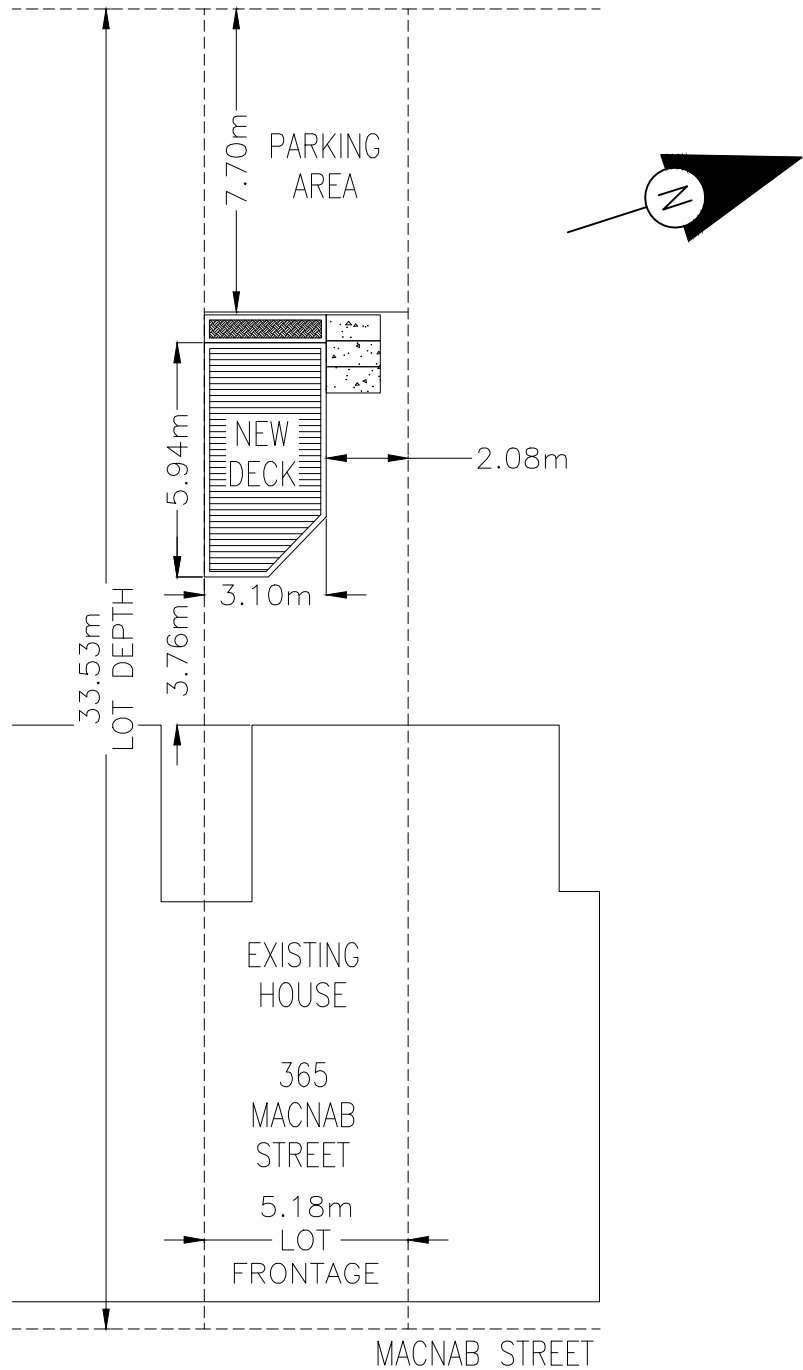
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.


We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



1 SITE PLAN

SCALE: 1/16" = 1'

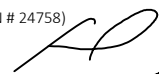


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 Head Office
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 Dundas, On L9H 7L6
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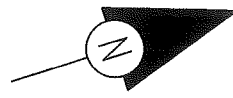
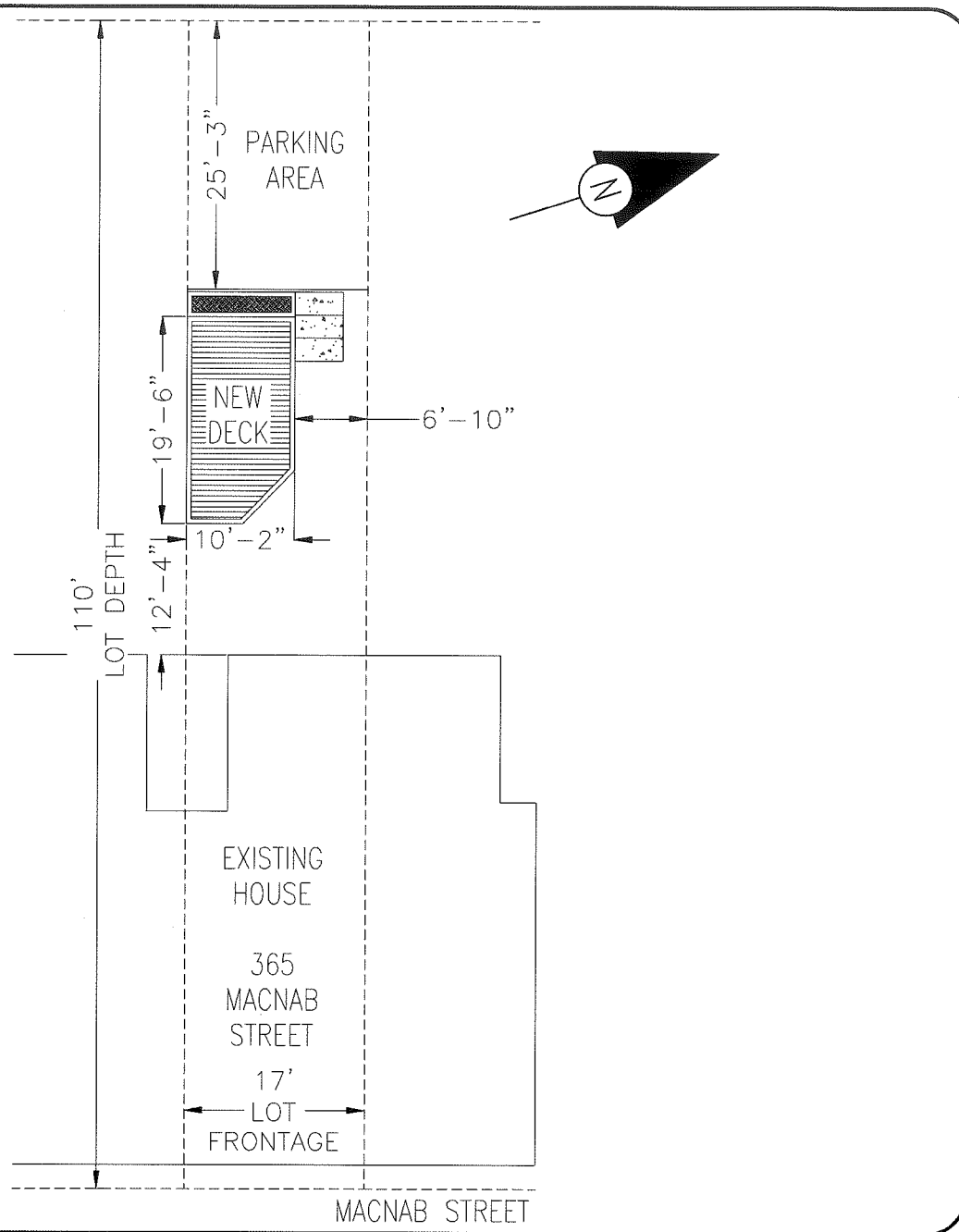
Project Name:
KARA & ALEX SCHNARR

Project Address:
**365 MACNAB STREET
 HAMILTON, L8L 1K8**

I have reviewed and take responsibility for the design and am qualified in the appropriate category as a designer under subsection 3.2.5 of Division C of the Ontario Building Code.

Name: Brad Arnold (BCIN # 24758)
 Signature: 

Drawn By: MATTHEW KOVACS	SP101
Date: JULY 24, 2022	SP101



1 SITE PLAN
SCALE: 1/16" = 1'

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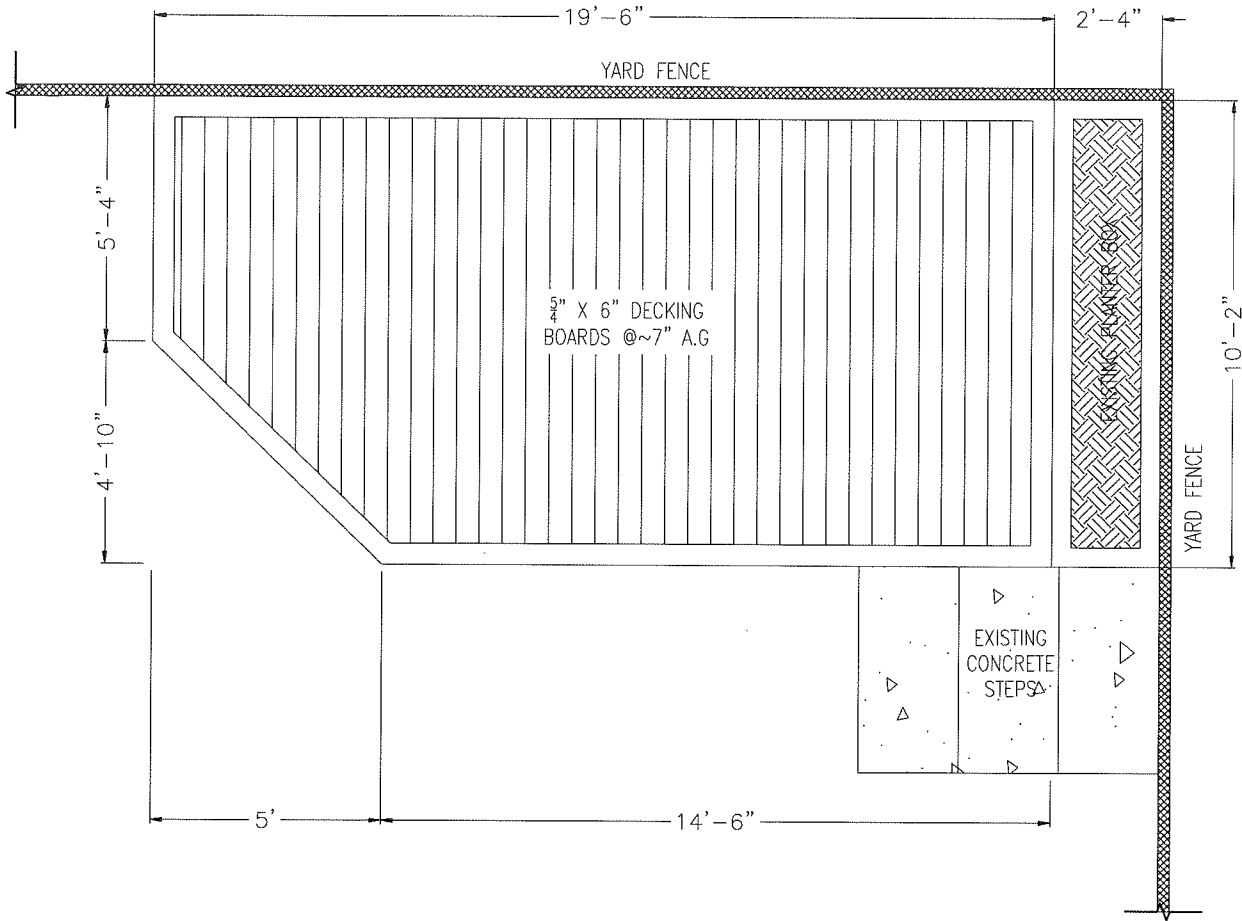
Date:
JULY 24, 2022

SP101

GENERAL NOTES

- ① A MINIMUM LIVE LOAD OF 1.9 KPA APPLIED IN ALL LOCATIONS
- ② THE PRESCRIBED SNOW LOAD FOR SELECTED ONTARIO LOCATIONS IS INDICATED IN TABLE 1.2 IN SUPPLEMENTARY GUIDELINE SB-1 OF THE ONTARIO BUILDING CODE. THE SNOW LOAD SHALL BE APPLIED AS THE MINIMUM LIVE LOAD WHERE IT IS GREATER THAN 1.9 KPA
- ③ LUMBER NO. 2 SPF OR BETTER TO BE USED ALONG WITH CORROSION RESISTANT SPIRAL NAILS OR SCREWS
- ④ CANTILEVERED JOISTS AND BEAMS ARE LIMITED TO 1/6 THE MEMBERS LENGTH
- ⑤ CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL. THE BEARING CAPACITY OF THE SOIL SHALL BE DETERMINED PRIOR TO CONSTRUCTION
- ⑥ HELICAL PILES SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS AND BE INSTALLED BY CERTIFIED INSTALLER. HELICAL CONFORMITY REPORT TO BE RECEIVED FROM INSTALLER/ENGINEER.
- ⑦ JOISTS SPANNING MORE THAN 6'-0" TO HAVE BRIDGING AT LEAST EVERY 6'-0"
- ⑧ MAXIMUM BEAM & JOIST CANTILEVERS:
 - 2"X6" MEMBERS = NOT PERMITTED
 - 2"X8" MEMBERS = 1'-4"
 - 2"X10" MEMBERS = 2'-0"
 - 2"X12" MEMBERS = 2'-0"
- ⑨ MINIMUM BEARING FOR BEAMS & JOISTS:
 - MIN. BEAM BEARING = 3½"
 - MIN. JOIST BEARING = 1½"
- ⑩ INSTALLATION OF MANUFACTURED LOW MAINTENANCE DECK BOARDS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
- ⑪ INSTALLATION OF PRE-FABRICATED COMPONENTS (RAILING SYSTEMS, ETC.) TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
- ⑫ EXTERIOR STAIRS:
 - MIN. RISE = 5"
 - MAX. RISE = 7"
 - MIN. RUN = 11"
 - MAX. RUN = 14"
 - MIN. WIDTH = 34"
 - MIN. HEADROOM = 6'-5"
- ⑬ EXTERIOR GUARDS:
 - DECK TO GRADE > 5'-11" = 3'-6" HEIGHT
 - DECK TO GRADE < 5'-11" = 3'-0" HEIGHT
 - STAIRS = 3'-0" HEIGHT
 - MAX. BETWEEN PICKETS = 4"
 - NO MEMBER OR ATTACHMENT BETWEEN 5½" - 3'-0" HIGH SHALL FACILITATE CLIMBING

	Hickory Dickory Decks Head Office 115 Dundas St W (Highway #5) Dundas, On L9H 7L6 P: 905-689-4774 E: hddoffice@gmail.com
Project Name: <p style="text-align: center; margin: 0;">KARA & ALEX SCHNARR</p>	
Project Address: <p style="text-align: center; margin: 0;">365 MACNAB STREET HAMILTON, L8L 1K8</p>	
I have reviewed and take responsibility for the design and am qualified in the appropriate category as a designer under subsection 3.2.5 of Division C of the Ontario Building Code. Name: Brad Arnold (BCIN # 24758) Signature: 	
Drawn By: <p style="text-align: center; margin: 0;">MATTHEW KOVACS</p>	AO 01
Date: <p style="text-align: center; margin: 0;">JULY 24, 2022</p>	AO 01



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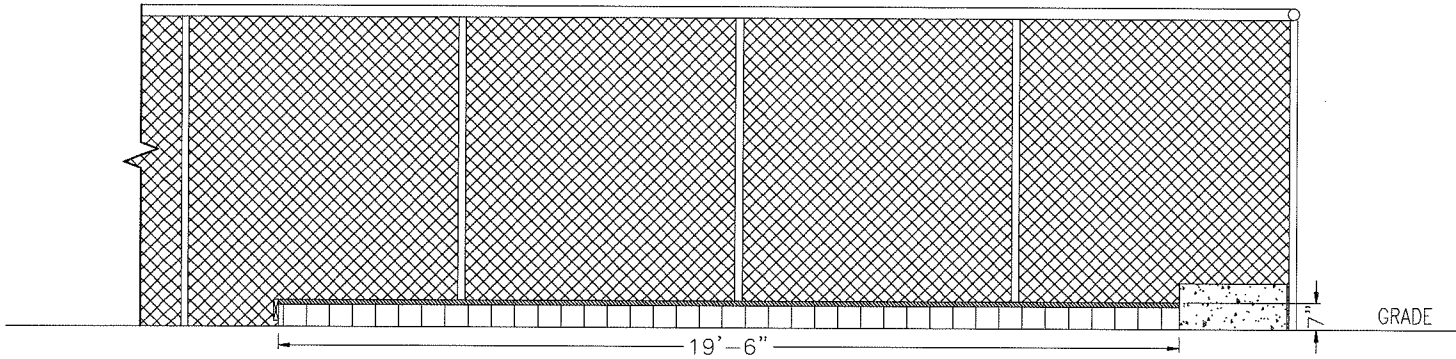
Name: Brad Arnold (BCIN # 24758)
 Signature: *BA*

Drawn By:
MATTHEW KOVACS


Date:
JULY 24, 2022

1 DECK FLOOR PLAN
 SCALE: 1/4" = 1'

A1 01
 A1

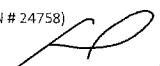


1 ELEVATION
SCALE: $\frac{1}{4}'' = 1'$

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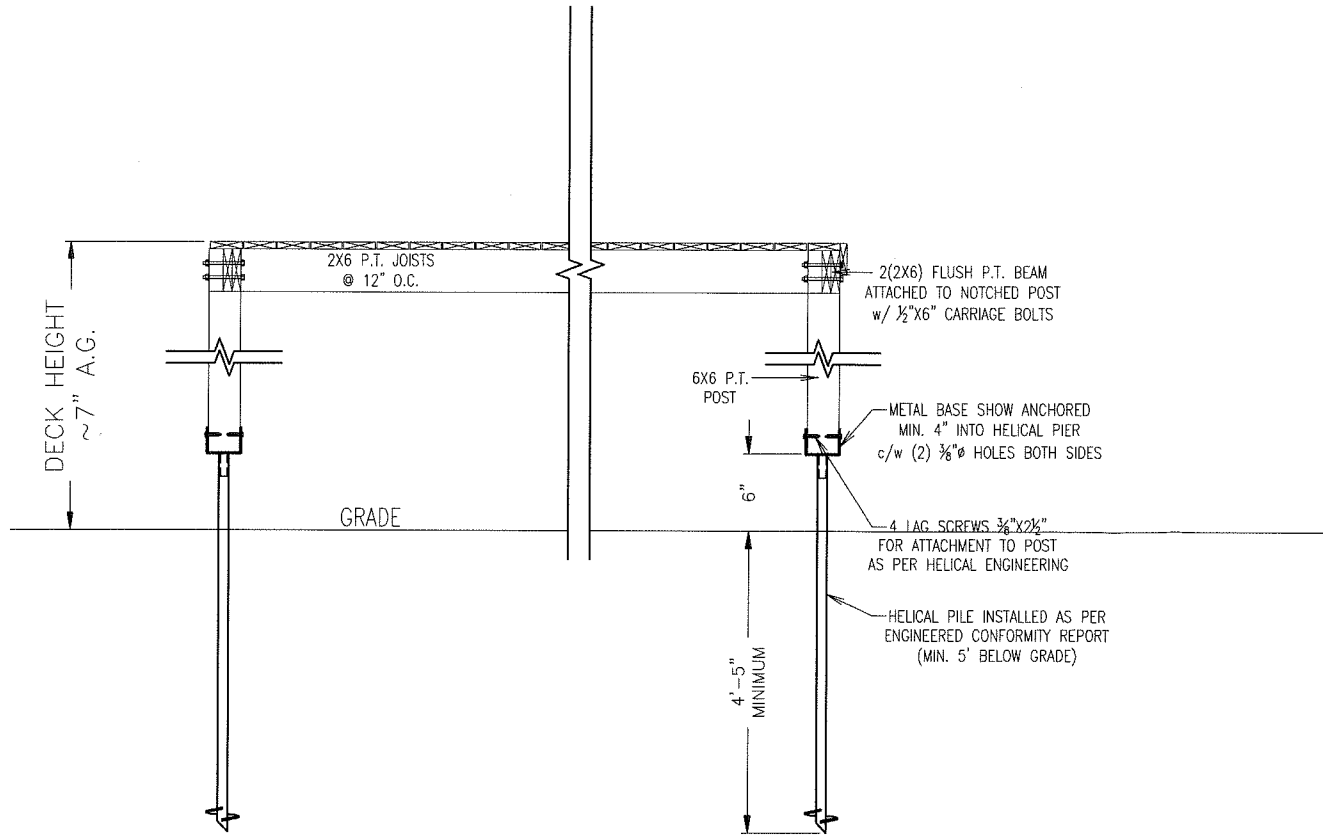
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Name: Brad Arnold (BCIN # 24758)
Signature: 

Drawn By: MATTHEW KOVACS	01
Date: JULY 24, 2022	A2

CROSS SECTION VIEW



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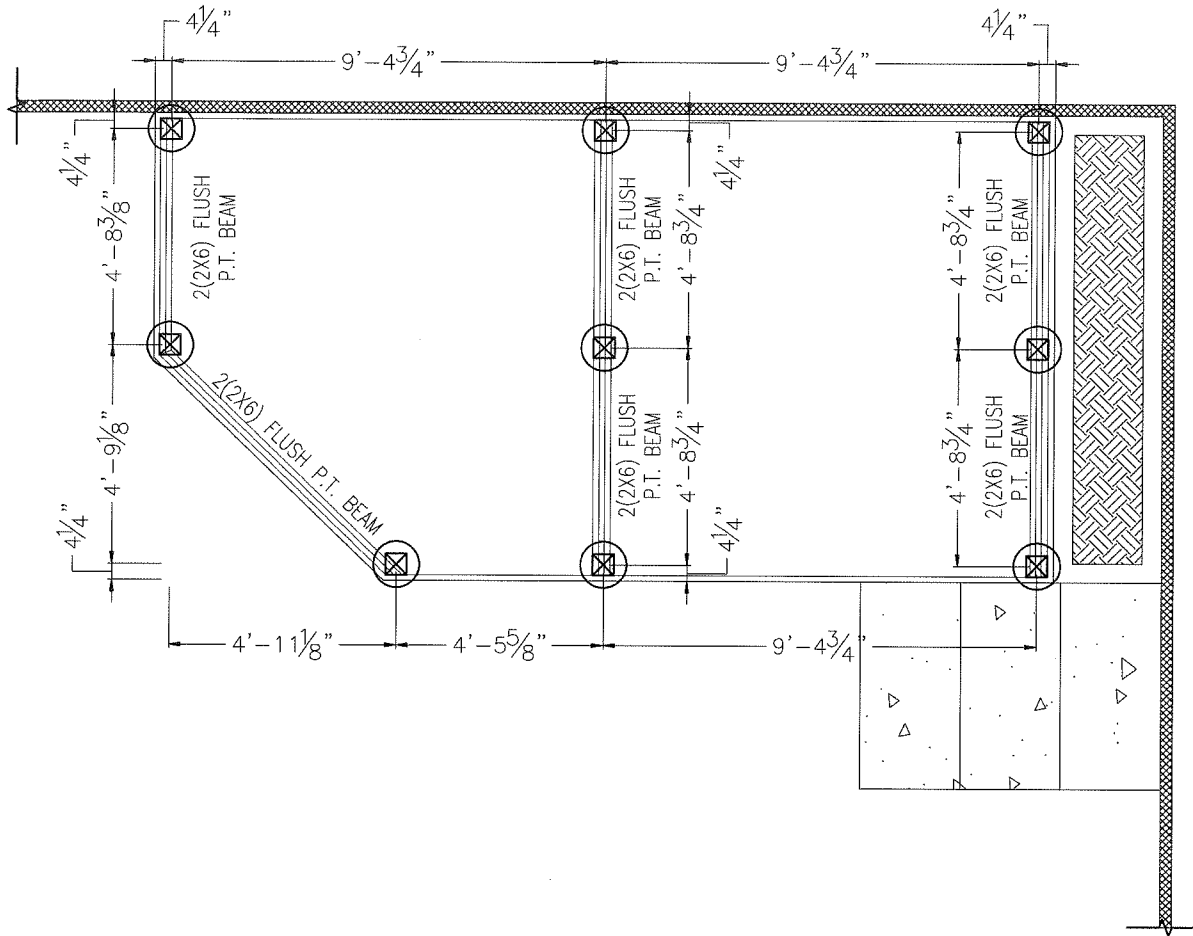
Name: Brad Arnold (BCIN # 24758)
 Signature: *BA*

Drawn By:
MATTHEW KOVACS

Date:
JULY 24, 2022

A4 01

1 TYPICAL DECK CROSS SECTION
 SCALE: 3/8" = 1'



1 FOUNDATION PLAN
SCALE: 1/4" = 1'

⊗ 6x6 P.T. POST ON HELICAL PILES
(5' BELOW GRADE)

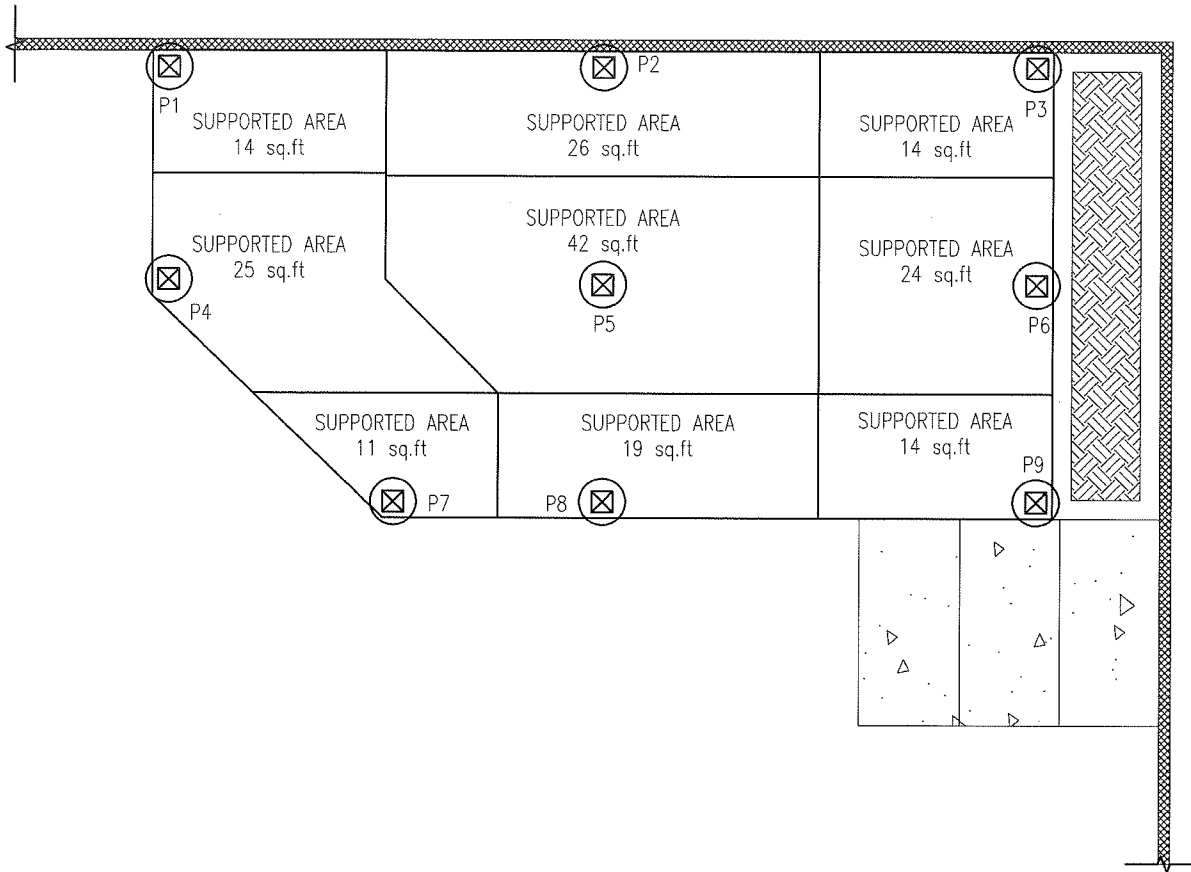
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 Signature: *BA*

Drawn By: MATTHEW KOVACS	01
Date: JULY 24, 2022	E1



1 HELICAL PLAN
SCALE: 1/4" = 1'

⊗ 6x6 P.T. POST ON HELICAL PILES
(5' BELOW GRADE)

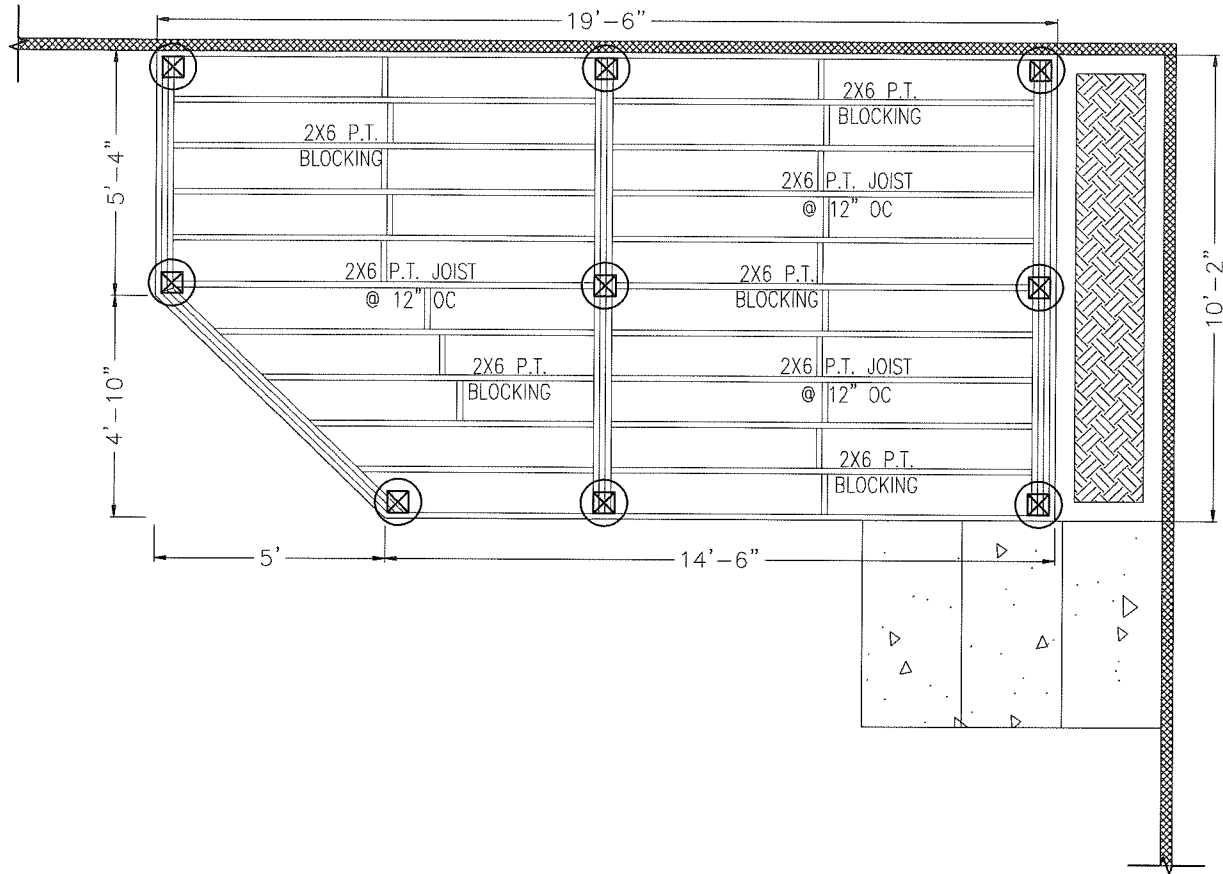
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 Name: Brad Arnold (BCIN # 24758)
 Signature: *BA*

Drawn By: MATTHEW KOVACS	02
Date: JULY 24, 2022	17



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 Name: Brad Arnold (BCIN # 24758)
 Signature: *BA*

Drawn By:
MATTHEW KOVACS

Date:
JULY 24, 2022

1 SUBSTRUCTURE PLAN
 SCALE: 1/4" = 1'

6x6 P.T. POST ON HELICAL PILES
 (5' BELOW GRADE)

10/15



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)	Alex Drossas & Kara Schnarr		
Applicant(s)	Stephanie Allen		
Agent or Solicitor			Phone: _____ E-mail: _____

- 1.2 All correspondence should be sent to Owner Applicant
 Agent/Solicitor
- 1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor
- 1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor
- 1.4 Request for digital copy of sign Yes* No
If YES, provide email address where sign is to be sent shalcrow@decks.ca
- 1.5 All correspondence may be sent by email Yes* No
If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	365 MacNab St N		
Assessment Roll Number	251802011200730 0000		
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

- To encroach into the side yard setback by 0.5m
- Rear yard deck to be 0m from south side setback and 2m from north side setback

Second Dwelling Unit

Reconstruction of Existing Dwelling

Rear Deck.

3.2 Why it is not possible to comply with the provisions of the By-law?

Narrow Lot, deck along side of property line to allow usable space while maintaining access to rear of yard

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
5.2 m	33.5 m	174 m ²	8 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Attached Family Dwelling	0.7m	18.2m	0m	Circa 1910

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Rear Deck	19.1m	8.5m	0m / 2.1m	2022/2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Attached Family Dwelling	70.5 m ²	141 m ²	2	~6m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Rear Deck	17.4 m ²	17.4 m ²	1	~0.2m

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify)

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Attached Row/Townhouse Family Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Attached Row/Townhouse Family Dwellings

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

December 19/2014

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Attached Row/Townhouse Family Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Attached Row/Townhouse Family Dwelling

7.4 Length of time the existing uses of the subject property have continued:

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Low Density Residential (West Harbour Secondary Plan)

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) N/A

Please provide an explanation of how the application conforms with the Official Plan.

Existing accessory structures in surrounding area have very minimal or 0m side setbacks.

7.6 What is the existing zoning of the subject land?

D
Urban Protected Residential - One and Two Family Dwellings

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: