



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-22:369	SUBJECT PROPERTY:	16 Cannon St E, Hamilton
ZONE:	“D1” (Downtown Central Business District)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Birch Tree Developments (16 Cannon) LP INC - Drew Koivu
Agent: AJ Clarke & Associates – Franz Kloibhofer

The following variances are requested:

1. A minimum westerly step back of 2.3m for any portion of a building exceeding 22.0m in height from a side or rear lot line shall be permitted instead of the minimum required 3.0m step back for any portion of a building exceeding 22.0m in height from a side or rear lot line
2. A minimum easterly step back of 1.2m for any portion of a building exceeding 22.0m in height from a side or rear lot line shall be permitted instead of the minimum required 3.0m step back for any portion of a building exceeding 22.0m in height from a side or rear lot line
3. A minimum parking space size of 2.3m x 5.0m for the space identified as #21 on parking level P1 instead of the minimum required 2.8m x 5.8m parking space size
4. A minimum parking space size of 2.4m x 5.0m for all other parking stacker spaces instead of the minimum required 2.8m x 5.8m parking space size
5. A minimum barrier free parking space width of 2.8m shall be permitted instead of the minimum required 4.4m barrier free parking space width
6. A balcony may encroach 1.7m into any required yard and be as close as 0.0m to the property line instead of the maximum 1.0m balcony encroachment permitted
7. A total of 4 short term bicycle spaces shall be provide instead of the minimum 5 short term bicycle spaces required.

PURPOSE & EFFECT: To facilitate file DA-21-028 to construct a 16-storey multiple dwelling;

Notes:

1. The divisions comments related to Site Plan Application DA-21-028, dated November 24th, 2022, shall remain in place unless otherwise stated.
2. An Encroachment Agreement with the Public Works Department may be required for the portion of the front entrance Canopy shown to encroach on the Road Allowance.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, January 19, 2023
TIME:	3:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

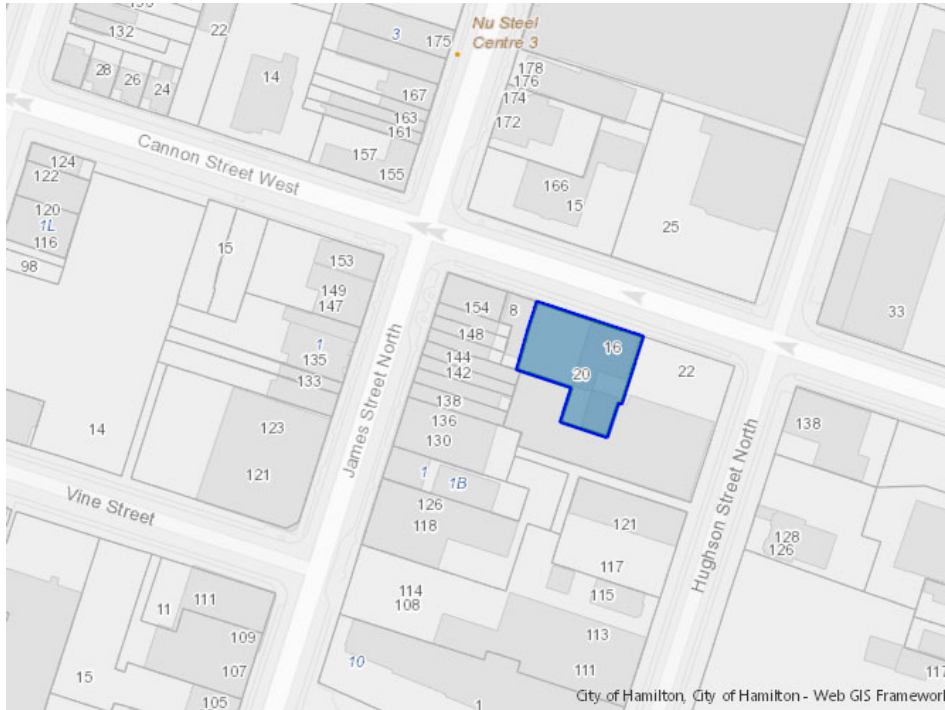
For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.



 Subject Lands

DATED: January 3, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

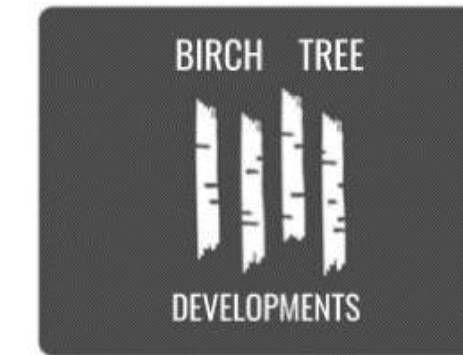
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



Birch Tree Development



A& Architects Inc.
 130 QUEENS QUAY EAST, SUITE 1018
 TORONTO, ONTARIO, M5A 0P6

MONTEREY RESIDENCES

PROJECT ADDRESS: 16 CANNON STREET E, HAMILTON, ON
 FILE NUMBER: DA-21-028
 PROJECT NUMBER: 19-109
 ISSUE DATE: 2022-10-26
 ISSUE DESCRIPTION: REISSUED FOR SITE PLAN APPROVAL

DRAWING LIST	
A000	COVER
A001	ZONING MATRIX
A100	PROJECT STATISTICS
A101	SURVEY PLAN
A102	SITE PLAN
A103	BIKE STACKER CUT SHEETS
A104	STACK PARKER CUT SHEETS
A105	CAR MANEUVERING DIAGRAMS
A200	LEVEL P2 FLOOR PLAN
A201	LEVEL P1 FLOOR PLAN
A202	LEVEL 1 FLOOR PLAN
A203	LEVEL 2 FLOOR PLAN
A204	LEVEL 3-4 FLOOR PLAN
A205	LEVEL 5-7 FLOOR PLAN
A206	LEVEL 8-15 FLOOR PLAN
A207	LEVEL MPH FLOOR PLAN
A208	ROOF PLAN
A400	NORTH ELEVATION
A401	EAST ELEVATION
A402	SOUTH ELEVATION
A403	WEST ELEVATION
A404	COLOURED NORTH ELEVATION
A405	1/50 PARTIAL ELEVATIONS, MATERIAL BOARD


DRAWING LIST	
A410	SECTION 1
A411	SECTION 2
A450	EAST ELEVATION - NEIGHBOUR WINDOW STUDY
A451	SOUTH ELEVATION - NEIGHBOUR WINDOW STUDY
A452	WEST ELEVATION - NEIGHBOUR WINDOW STUDY
A700	VIEWS
A701	AERIAL VIEW

Section	Provision	Requirement (D1)	Proposed	Compliance?
6.1.1	Permitted Uses	Multiple Dwelling Numerous other mixed uses	Multiple dwelling	Yes
6.1.3(a)	Building Setback from a Street Line	i) Max. 4.5 m for any portion of building below 11 metres in height, except where a visibility triangle shall be provided for a driveway access;	0.3 m	Yes
6.1.3(a)	Building Setback from a Street Line	i) Notwithstanding Section 6.1.3(a)(i) above, a max setback of 6 metres for that portion of a building providing an access to a garage.	0.3 m	Yes
6.1.3(a)	Building Setback from a Street Line	i) Section 6.1.3(a)(i) above, shall not apply for any portion of a building that exceeds the requirement established in 6.1.3(c)(ii) or (iii) below.	Complies	Yes
6.1.3(a)	Building Setback from a Street Line	i) Where a building(s) has been constructed and complies with Section 6.1.3(c)(ii) or (iii) below, additional buildings constructed on the subject property shall not be subject to Section 6.1.3(a)(i) above, as it relates to the setback from a front lot line.	N/A	Yes
6.1.3(a)	Building Setback from a Street Line	i) Rooftop mechanical penthouse, stair tower, and elevator bulkhead shall not be subject to Section 6.1.3(a)(i) above.	Complies	Yes
6.1.3(b)	Building Height	i) Min 7.5 metres; and,	44m	Yes
		ii) Max height in accordance with Figure 1 of Schedule "F" – Special Figures. (44 metres)	44m	Yes
6.1.3(c)	Built Form	i) Rooftop mechanical equipment shall be located an/or screened from view of any abutting street.	Yes	Yes
		ii) For an interior lot or a through lot, the min width of the ground floor façade facing the front lot line shall: 1. Be greater than or equal to 75% of the measurement of the front lot line; and, 2. Comply with Section 6.1.3(a)(i) above.	>75%	Yes
		iii) For a corner lot, the minimum combined width of the ground floor façade facing the front lot line and flankage lot line shall: 1. Be greater than or equal to 50% of the front lot line and flankage lot line; and, 2. Comply with Section 6.1.3(a)(i) above.	N/a	N/a
		iv) Notwithstanding Section 6.1.3(c)(ii) and (iii) above, a driveway with a maximum width of 7.5 metres shall be permitted for ingress and egress.	6.0 m	Yes
		v) No parking or aisles shall be located between the required building façade and the front lot line or flankage lot line.	None	Yes
		vi) A minimum of one principal entrance shall be provided: 1. Within the ground floor façade setback the least distance from a street; and, 2. Shall be accessible from the building façade with direct access from the public sidewalk.	Complies	Yes
		vii) Notwithstanding the definition of a planting strip, a sidewalk shall be permitted where required by Section 6.1.3(c)(vi) above.	Complies	Yes
6.1.3(e)	Max Lot Coverage	85%	85%	Yes
6.1.3(f)	Min Amenity Area	i) An area of 4.0 m ² for each dwelling unit; and, Reduction for Green Roof = 430m ²	503 m ²	Yes
		ii) In addition to the definition of Amenity Area in Section 3, an Amenity Area located outdoors shall be unobstructed and shall be at or above the surface and exposed to light and air.	Complies	Yes
	Building Height	In the case of buildings constructed after the effective date of this Bylaw, for any building equal to or less than 44.0 metres in height the following special regulations shall also apply: i) A minimum 3.0m stepback shall be required from the building base façade height shown in Schedule F – SF 15 Façade Height is 22m	3.0m Stepback	Yes
6.0 b)	Setbacks	iii) A minimum 3.0m stepback shall be required for any portion of a building exceeding 22.0m in height from a side or rear lot line	2.3m West; 3.0m South; East 1.2m	No

ZONING MATRIX

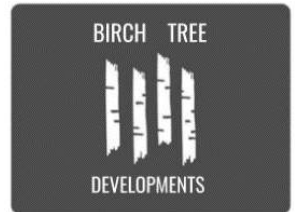
2 | 2022-10-26 | REISSUED FOR SITE PLAN APPROVAL
1 | 2022-04-11 | REISSUED FOR SITE PLAN APPROVAL

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A&R Architects Inc.
130 QUEENS QUAY EAST, SUITE 1018
TORONTO, ONTARIO, M5A 0P6
(416) 466-0100
WWW.AARCHITECTS.CA


CLIENT:



PROJECT:

MONTEREY RESIDENCES
16 CANNON STREET E,
HAMILTON, ON

FILE NUMBER:
DA-21-028



SCALE: DATE:
JUNE 2019

TITLE:
ZONING MATRIX

PROJECT NO.
19-109

A001

*SITE STATISTICS				
SITE AREA	BUILDING FOOTPRINT	TOTAL GFA	COVERAGE	DENSITY
9433 SF	747.7 m²	8,274 m²	0.85	9.44

*ABOVE GRADE STATISTICS																					
LEVEL	NUMBER OF REPEATED FLOOR	GCA		DEDUCTION										TOTAL DEDUCTION		GFA		SALEABLE			
		GCA SF	GCA SM	CAR ELEVATOR MACHINE ROOM		MECHANICAL		OPEN TO BELOW		BIKE ROOM		PARKING		DEDUCTION SM	DEDUCTION SF	GFA SF	GFA SM	SALEABLE SF	SALEABLE SM		
Level 1	1	7,614 SF	707.4 m²	33.4 m²	360 SF	3 m²	32 SF	0.0 m²	0 SF	10.2 m²	3 m²	109 SF	32 SF	341.2 m²	3,672 SF	387.7 m²	4,174 SF	3,441 SF	319.7 m²	0 SF	0 m²
Level 2	1	7,182 SF	667.2 m²	0 m²	0 SF	9.5 m²	102 SF	420.6 m²	4,527 SF	0 m²	0 SF	0 m²	0 SF	0 m²	0 SF	430 m²	4,629 SF	2,553 SF	237.2 m²	0 SF	0 m²
Level 3-4	2	13,145 SF	1,221.2 m²	0 m²	0 SF	15.3 m²	164 SF	0.0 m²	0 SF	0 m²	0 SF	0 SF	0 m²	0 SF	0 m²	15.3 m²	164 SF	12,980 SF	1,205.9 m²	10,842 SF	1,007.3 m²
Level 5-7	3	20,837 SF	1,935.8 m²	0 m²	0 SF	8.5 m²	92 SF	0.0 m²	0 SF	0 m²	0 SF	0 SF	0 m²	0 SF	8.5 m²	92 SF	20,745 SF	1,927.3 m²	17,513 SF	1,627 m²	
Level 8-15	8	49,048 SF	4,556.7 m²	0 m²	0 SF	44.5 m²	479 SF	0.0 m²	0 SF	0 m²	0 SF	0 SF	0 m²	0 SF	44.5 m²	479 SF	48,568 SF	4,512.1 m²	39,940 SF	3,710.5 m²	
MECH / AMENITY	1	3,256 SF	302.5 m²	0 m²	0 SF	191.4 m²	2,060 SF	0.0 m²	0 SF	0 m²	0 SF	0 SF	0 m²	0 SF	191.4 m²	2,060 SF	778 SF	72.3 m²	0 SF	0 m²	
		101,081 SF	9,390.8 m²	33.4 m²	360 SF	272.2 m²	2,930 SF	420.6 m²	4,527 SF	10.2 m²	109 SF	341.2 m²	3,672 SF	1,077.5 m²	11,598 SF	89,066 SF	8,274.5 m²	68,295 SF	6,344.8 m²		

*UNIT BREAKDOWN								
LEVEL	NUMBER OF REPEATED FLOOR	STUDIO	1B	1BD	2B	2BD	3B	NUMBER OF UNITS
Level 1	1	0	0	0	0	0	0	0
Level 2	1	0	0	0	0	0	0	0
Level 3-4	2	2	10	4	4	0	0	20
Level 5-7	3	3	12	6	9	0	0	30
Level 8-15	8	16	56	8	8	0	0	80
MECH / AMENITY	1	0	0	0	0	0	0	0
		21	78	10	21	0	0	130

*UNIT AREA LESS THAN 50 SM								
LEVEL	NUMBER OF REPEATED FLOOR	STUDIO	1B	1BD	2B	2BD	3B	NUMBER OF UNITS
Level 3-4	2	2	8	4	0	0	0	14
Level 5-7	3	3	12	6	0	0	0	21
Level 8-15	8	16	56	8	0	0	0	72
		21	76	10	0	0	0	107

*UNIT AREA MORE THAN 50 SM								
LEVEL	NUMBER OF REPEATED FLOOR	STUDIO	1B	1BD	2B	2BD	3B	NUMBER OF UNITS
Level 3-4	2	0	2	0	4	0	0	6
Level 5-7	3	0	0	0	9	0	0	9
Level 8-15	8	0	0	0	8	0	0	8
		0	2	0	21	0	0	23

NUMBER OF UNITS	%STUDIO	%1B	%1BD	%2B	%2BD	%3B
130	16%	60%	8%	16%	0%	0%

REQUIRED BF UNITS%			
STUDIO_BF %	1B+1BD_BF%	2B+2BD_BF %	3B_BF%
3.2	13.2	3.2	0.0

PROVIDED BF UNITS									
LEVEL	NUMBER OF REPEATED FLOOR	RESIDENTIAL UNIT COUNT							TOTAL UNIT
		STUDIO	1B	1BD	2B	2BD	3B		
Level 3-4	2	2	4	0	2	0	0	8	
Level 5-7	3	3	3	0	3	0	0	9	
Level 8-15	8	0	8	0	0	0	0	8	
		5	15	0	5	0	0	25	

*AVERAGE UNIT SIZE SF		
NUMBER OF UNITS	SALEABLE	AVERAGE UNIT
130	68,295 SF	525 SF

*AMENITY AREA						
LEVEL	INDOOR AMENITY	OUTDOOR AMENITY	BALCONY	TERRACE	TOTAL AMENITY AREA	
					SM	SF
Level 2	133.5 m²	0.0 m²	0.0 m²	0.0 m²	133.5 m²	1,437 SF
Level 3-4	0.0 m²	0.0 m²	0.0 m²	26.1 m²	26.1 m²	281 SF
Level 8	0.0 m²	0.0 m²	0.0 m²	76.2 m²	76.2 m²	820 SF
Level 10-15	0.0 m²	0.0 m²	60.7 m²	0.0 m²	60.7 m²	653 SF
Level 11-15	0.0 m²	0.0 m²	42.2 m²	0.0 m²	42.2 m²	454 SF
MECH / AMENITY	0.0 m²	164.5 m² **	0.0 m²	0.0 m²	164.5 m²	1,771 SF
	133.5 m²	164.5 m²	102.9 m²	102.2 m²	503.1 m²	5,416 SF

** INCLUDES 45M² OF GREEN ROOF AREA

*BELOW GRADE STATISTIC		
LEVEL	GCA SF	GCA SM
P2	7,730 SF	718.2 m²
P1	7,560 SF	702.4 m²
	15,290 SF	1,420.5 m²

Use	Unit Type	Unit No.	Parking Ratio	Proposed Units	Required Parking	Total Proposed
Multiple Dwelling	<50 M² GFA	0-12	0	12	0	0.27 per unit 35 parking spaces
		13+	0.3 /unit	95	28	
		>50 M² GFA	0-12	0	12	
	13-50	0.5 /unit	11	5		
	51+	0.7 /unit	0	0		
	3 Bed+	0-12	0	0	0	
		13+	0.3 /unit	0	0	
Total				130	33	

*PROPOSED PARKING		
LEVEL	PARKING TYPE	NUMBER OF PARKING
P1		30
P1	CAR STACKER (11 X 3)	3
Level 1		2
		35

*PROPOSED BIKE		
LEVEL	TYPE	NUMBER OF BIKE
P2	LONG TERM	84
Level 1	SHORT TERM	4
		88

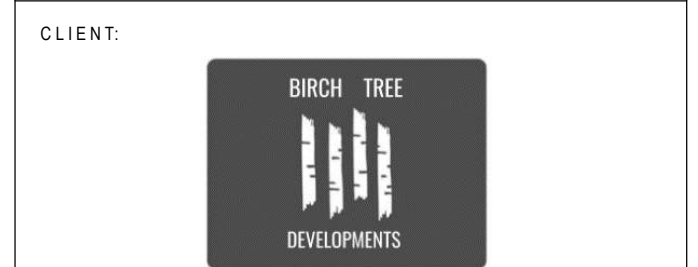
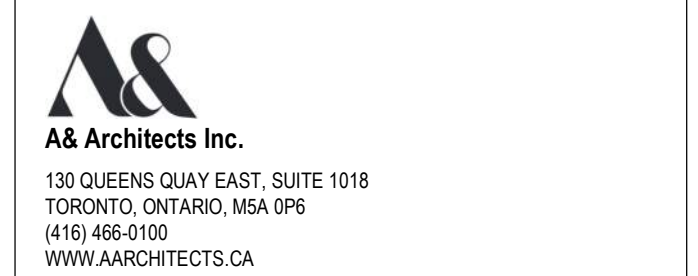
REQUIRED BIKE SPACE: %50 OF NUMBER OF UNITS : 65 (INCLUDING 5 SHORT TERM SPACES)

AVERAGE GRADE : 93.00

LOCATION	LENGTH	GRADE 1	GRADE 2	AVG GRADE	AVG GRADE LENGTH
NORTH WALL 1	1.00	92.52	92.50	92.51	92.51
NORTH WALL 2	4.75	92.50	92.40	92.45	439.14
NORTH WALL 3	6.00	92.15	92.15	92.15	552.90
NORTH WALL 4	5.23	92.31	92.25	92.28	482.62
NORTH WALL 5	3.00	92.25	92.18	92.22	276.65
NORTH WALL 6	15.30	92.18	92.00	92.09	1,408.98
EAST WALL 1	1.40	92.00	92.05	92.03	128.84
EAST WALL 2	11.30	92.05	92.50	92.28	1,042.71
SOUTH WALL 1	1.00	92.50	92.52	92.51	92.51
EAST WALL 3	9.30	92.50	92.70	92.60	861.18
EAST WALL 4	1.50	92.70	93.60	93.15	139.73
EAST WALL 5	8.30	93.60	93.76	93.68	777.54
SOUTH WALL 2	12.95	93.76	94.02	93.89	1,215.88
WEST WALL 1	11.15	94.02	93.91	93.97	1,047.71
SOUTH WALL 3	11.30	93.91	93.80	93.86	1,060.56
SOUTH WALL 4	4.90	93.80	93.75	93.78	459.50
SOUTH WALL 5	0.60	93.75	93.30	93.53	56.12
WEST WALL 2	8.85	93.30	93.10	93.20	824.82
SOUTH WALL 6	1.55	93.10	93.10	93.10	144.31
WEST WALL 3	8.90	93.10	92.52	92.81	826.01

TOTALS	128.28	11,930.19
AVERAGE GRADE ELEV. =	93.00	

6 2022-10-26 REISSUED FOR SITE PLAN APPROVAL
5 2022-04-11 REISSUED FOR SITE PLAN APPROVAL
4 2021-10-27 REISSUED FOR SITE PLAN APPROVAL
3 2021-08-27 REISSUED FOR SITE PLAN APPROVAL
2 2021-02-17 ISSUED FOR SITE PLAN APPROVAL
1 2020-07-22 ISSUED FOR DESIGN REVIEW PANEL
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PROJECT:
MONTEREY RESIDENCES
16 CANNON STREET E,
HAMILTON, ON

FILE NUMBER:
DA-21-028

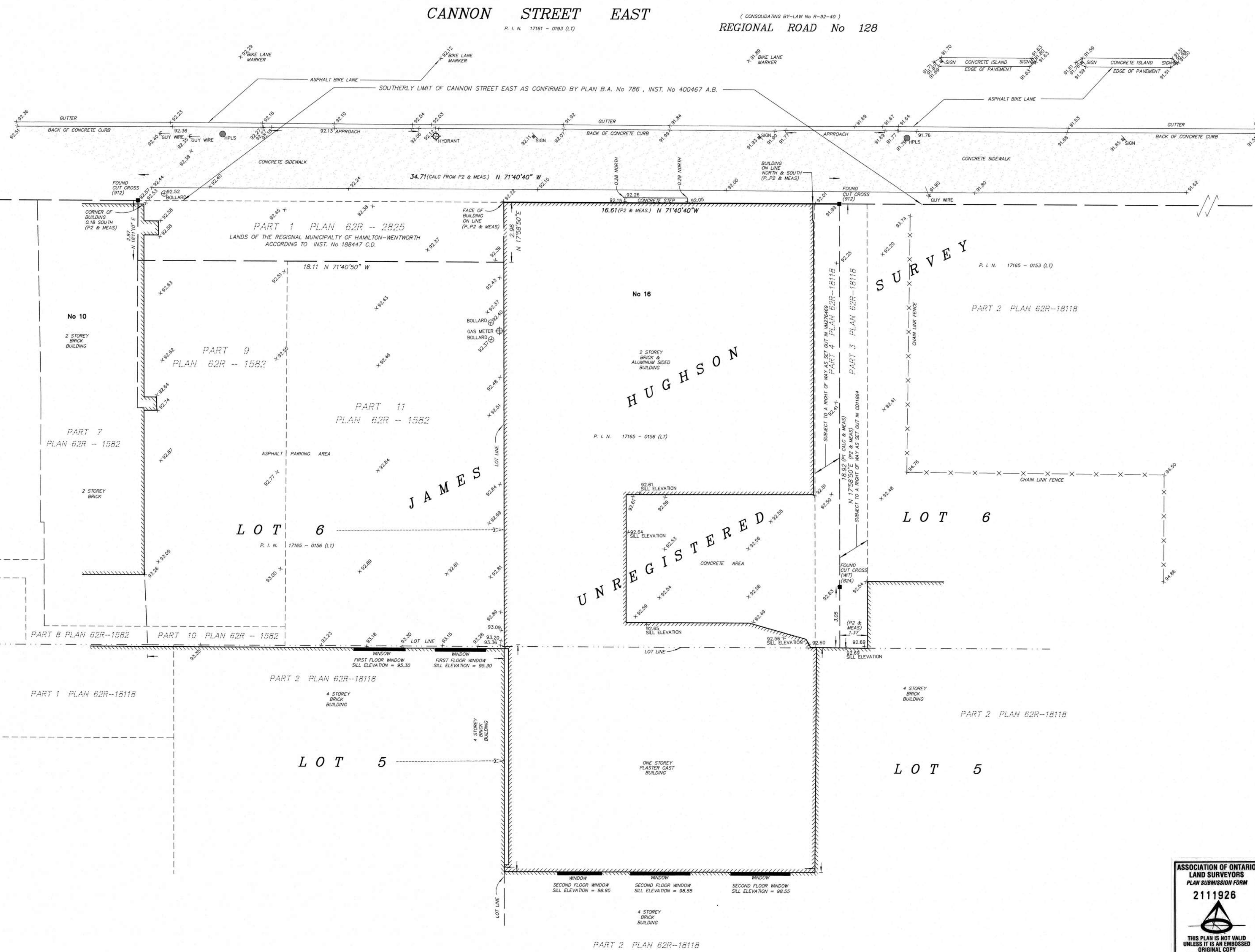
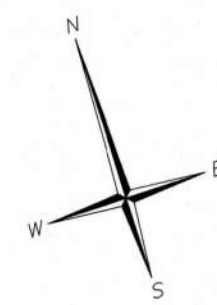


SCALE: DATE:
JUNE 2019

TITLE:
PROJECT STATISTICS

PROJECT NO.
19-109 **A100**

PLAN OF SURVEY OF PART OF THE SOUTH LIMIT OF CANNON STREET EAST AS CONFIRMED BY BOUNDARIES ACT PLAN No. 786 IN THE CITY OF HAMILTON SCALE 1:100 NICHOLAS P. MUTH O.L.S.



HUGHSON STREET NORTH (ESTABLISHED ACCORDING TO JAMES HUGHSON SURVEY - UNREGISTERED)

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERN LIMIT OF CANNON STREET EAST AS SHOWN ON PLAN B.A. No. 786 HAVING A BEARING OF N71°40'40\"/>

BENCHMARK

CITY OF HAMILTON MONUMENT No. 07720100049 1818 WITH BRASS CAP LOCATED AT THE EAST SIDE OF BAY FRONT PARK, ~85m WEST OF THE CENTRELINE OF BAY STREET NORTH AND ~22m SOUTH WEST OF THE CENTRELINE OF HARBOUR FRONT DRIVE. ELEVATION 85.227m COVID 28.78

LEGEND

SIGN THIS □ DENOTES A SURVEY MONUMENT PLANTED SIGN THIS ■ DENOTES A SURVEY MONUMENT FOUND CO. DENOTES CUT CROSS (S24) DENOTES A. T. McLAREN O.L.S. (S12) DENOTES A. J. CLARKE O.L.S. (CALC) DENOTES CALCULATED (MEAS) DENOTES MEASURED (W1) DENOTES WIRENESS (P.) DENOTES BOUNDARIES ACT PLAN No. 786 (P1) DENOTES PLAN 62R-18118 (P2) DENOTES SURVEYOR'S REAL PROPERTY REPORT BY A. J. CLARKE & ASSOCIATES DATED SEPTEMBER 22, 1997 (FILE R-2093)

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM. 2. THE SURVEY WAS COMPLETED ON THE 2nd DAY OF DECEMBER 2019.

DECEMBER 16, 2019 DATE NICHOLAS P. MUTH ONTARIO LAND SURVEYOR



A.J. Clarke and Associates Ltd. SURVEYORS • PLANNERS • ENGINEERS 25 MAIN STREET WEST, SUITE 300 HAMILTON, ONTARIO, L8P 1H1 TEL: 905-528-8761 FAX: 905-528-2288

NOTE: THE STEPS LEADING TO THE ENTRANCE FRONTING ON CANNON STREET EAST ARE LOCATED WITHIN THE LANDS OF CANNON STREET EAST TO A MAXIMUM OF 0.29m

METRIC: DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

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Table with 2 columns: Date and Description. Includes dates like 2022-10-26 and 2022-04-11 with descriptions like 'REISSUED FOR SITE PLAN APPROVAL'.

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A& Architects Inc. 130 QUEENS QUAY EAST, SUITE 1018 TORONTO, ONTARIO, M5A 0P6 (416) 466-0100 WWW.AARCHITECTS.CA



PROJECT: MONTEREY RESIDENCES 16 CANNON STREET E, HAMILTON, ON

FILE NUMBER: DA-21-028

SCALE: NS DATE: JUNE 2019

TITLE: SURVEY PLAN

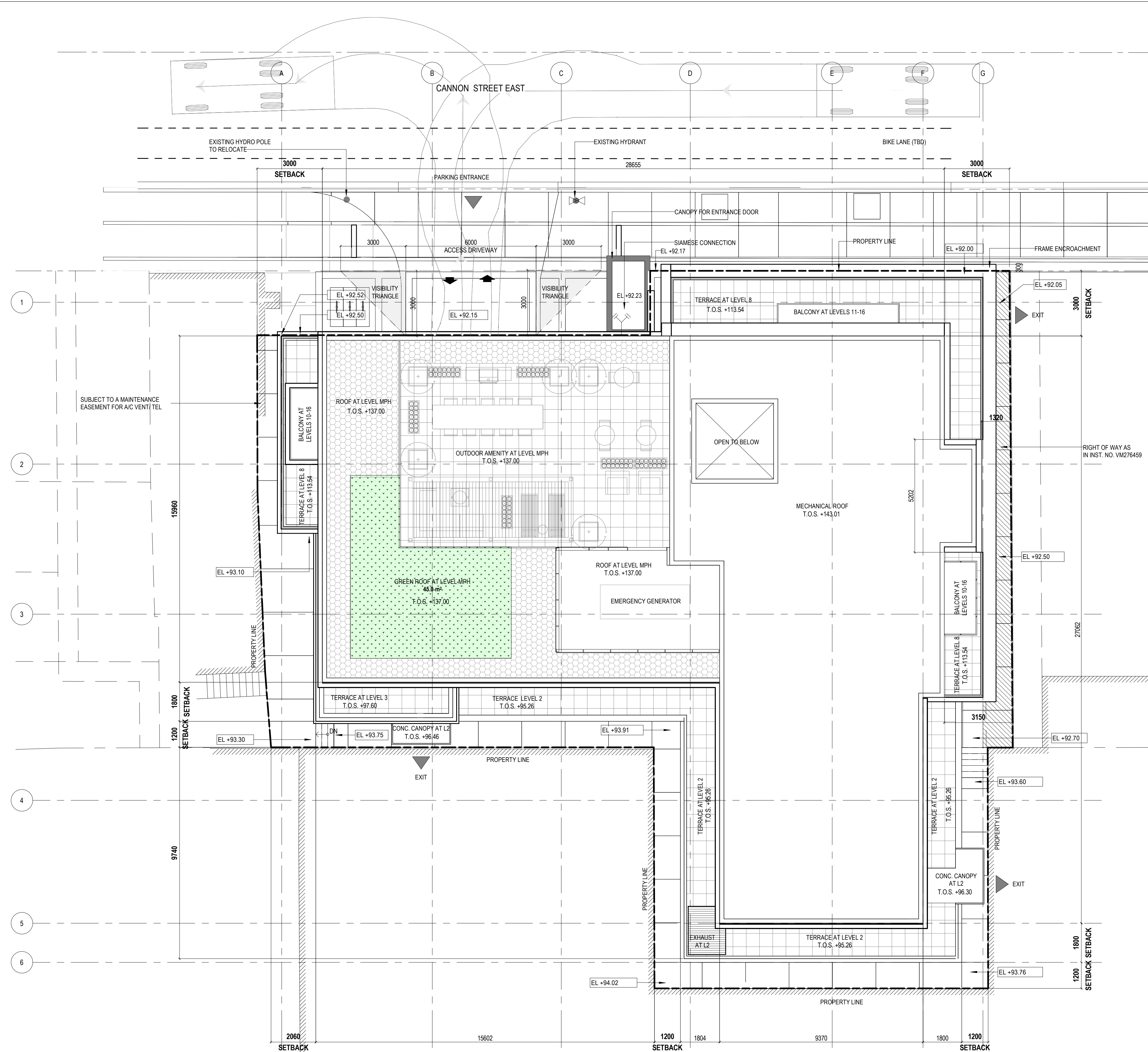
PROJECT NO. 19-109 A101

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UNDERTAKING

RE: 16 CANNON ST. E. HAMILTON (DA-21-028)

I, (WE) _____, THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION,

A) TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM;

B) TO PERFORM THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(A) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED DEC. 23, 2021;

C) TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(B) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS;

D) IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED APR. 11, 2022, THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS PLAN;

E) THAT THE OWNER AGREES TO PHYSICALLY AFFIX THE MUNICIPAL NUMBER (16) OR FULL ADDRESS (16 CANNON ST E) TO THE BUILDING OR ON A SIGN IN ACCORDANCE WITH THE CITY'S SIGN BY-LAW, IN A MANNER THAT IS VISIBLE FROM THE STREET.

F) THAT THE OWNER AGREES TO CONVEY ANY EASEMENT(S) AS DEEMED NECESSARY BY BELL CANADA TO SERVICE THIS NEW DEVELOPMENT. THE OWNER FURTHER AGREES AND ACKNOWLEDGES TO CONVEY SUCH EASEMENT AT NO COST TO BELL CANADA.

G) THAT THE OWNER AGREES TO INCLUDE IN ALL OFFERS OF PURCHASE AND SALE, A STATEMENT THAT ADVISES THE PURCHASER:

i) THAT THE HOME MAIL DELIVERY WILL BE FROM A DESIGNATED CENTRALIZED MAILBOX;

ii) THAT THE DEVELOPERS / OWNERS WILL BE RESPONSIBLE FOR OFFICIALLY NOTIFYING THE PURCHASERS OF THE EXACT CENTRALIZED MAIL BOX LOCATIONS PRIOR TO THE CLOSING OF ANY HOME SALES.

H) THAT THE OWNER AGREES TO ESTABLISH A CENTRALIZED MAIL FACILITY (REAR LOADING MAIL ROOM LOCK BOX ASSEMBLY) AT THEIR OWN EXPENSE.

I) THAT THE OWNER IS RESPONSIBLE FOR ALL WASTE REMOVAL UP UNTIL THE TIME THAT AN "AGREEMENT FOR ON-SITE COLLECTION OF SOLID WASTE" IS FINALIZED, AND MUNICIPAL COLLECTION SERVICES ARE INITIATED.

J) FOR MUNICIPAL WASTE COLLECTION, THE OWNER MUST PROVIDE A SIGNED LETTER FROM A PROFESSIONAL ENGINEER CERTIFYING THAT THE ROAD BASE ALONG THE ACCESS ROAD CAN SUPPORT AT LEAST 35,000 KILOGRAMS.

K) THAT PRIOR TO THE START OF MUNICIPAL WASTE COLLECTION SERVICE, THE DEVELOPMENT MUST BE FREE OF CONSTRUCTION DEBRIS AND CONSTRUCTION RELATED ACTIVITIES.

L) IF THE DEVELOPMENT IS NOT DESIGNED ACCORDING TO MUNICIPAL WASTE SPECIFICATIONS, THE OWNER MUST:

i) ARRANGE FOR A PRIVATE WASTE HAULER FOR THE REMOVAL OF ALL WASTE MATERIALS.

ii) AS PART OF THE PURCHASE AND SALE AGREEMENT, THE OWNER MUST DISCLOSE IN WRITING THAT THE PROPERTY IS NOT SERVICEABLE FOR MUNICIPAL WASTE COLLECTION.

DATED THIS _____ DAY OF _____ 20____

WITNESS (SIGNATURE) _____ OWNER(S) (SIGNATURE) _____ (SEAL)

WITNESS (PRINT) _____ OWNER (PRINT) _____

ADDRESS OF WITNESS _____

NOTES

1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.

2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.

3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5 M UNLESS OTHERWISE STATED.

4. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: "3 METRE BY 3 METRE VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.60 METRES ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET."

5. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5 M SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.

6. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PERMIT ROAD CUT PERMITS APPROACH APPROVAL PERMITS COMMITTEE OF ADJUSTMENT SEWER AND WATER PERMITS RELOCATION OF SERVICES ENCROACHMENT AGREEMENTS (IF REQUIRED)

7. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE CORRIDOR MANAGEMENT SECTION, PUBLIC WORKS DEPARTMENT.

8. THIS DEVELOPMENT IS ELIGIBLE FOR MUNICIPAL WASTE COLLECTION SUBJECT TO MEETING THE CITY'S REQUIREMENTS.

9. ALL FENCING SHALL CONFORM TO HAMILTON FENCE BY-LAW NO 10-142.

10. ALL SIGNS SHALL CONFORM TO HAMILTON SIGN BY-LAW 10-197.

11. A MINIMUM OF 1.2 M SEPARATION MUST BE PROVIDED WITHIN THE CITY'S ROAD ALLOWANCE AREA BETWEEN DRIVEWAYS, A FENCE AND ANY POLE, UTILITY, FIRE HYDRANT, TREE, SIGN, ETC. ANY COSTS FOR TRAFFIC SIGN OR UTILITY RELOCATION ARE THE SOLE RESPONSIBILITY OF THE APPLICANT / OWNER.

12. ENBRIDGE GAS
ENBRIDGE GAS HAS SERVICE LINES RUNNING WITHIN THE AREA WHICH MAY OR MAY NOT BE AFFECTED BY THE DEVELOPMENT. SHOULD THE SITE PLAN IMPACT THE SERVICES IT MAY BE NECESSARY TO RELOCATE THE LINES. ANY SERVICE RELOCATION WOULD BE AT THE COST OF THE PROPERTY OWNER.

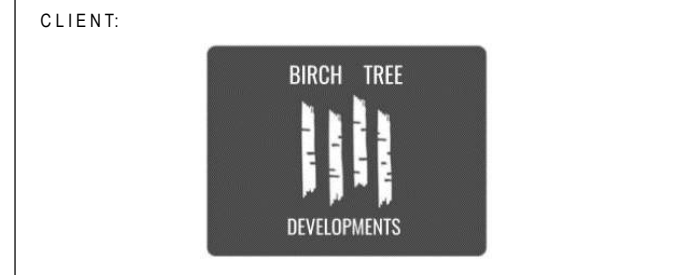
13. ALECTRA UTILITIES
1. RELOCATION, MODIFICATION, OR REMOVAL OF ANY EXISTING HYDRO FACILITIES, SHALL BE AT THE OWNERS EXPENSE.
2. DO NOT EXCAVATE WITHIN 2M OF HYDRO POLE OR ANCHORS.
3. EXCAVATION WITHIN 1M OF UNDERGROUND HYDRO PLANT IS NOT PERMITTED UNLESS APPROVAL IS GRANTED BY A HORIZON UTILITIES REPRESENTATIVE AND IS PRESENT TO PROVIDE DIRECT SUPERVISION. COST ASSOCIATED WITH THIS TASK SHALL BE AT THE OWNER'S EXPENSE.
4. ALECTRA UTILITIES MUST BE CONTACTED IF REMOVAL, ISOLATION OR RELOCATION OF EXISTING PLAN IS REQUIRED. ALL COST ASSOCIATED WITH THIS WORK WILL BE AT THE OWNERS EXPENSE.

14. NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY THE CITY OF HAMILTON, THE PROPONENT IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF HERITAGE, SPORT, TOURISM AND CULTURE INDUSTRIES (MHSTCI) SHOULD BE NOTIFIED IMMEDIATELY. (416-212-8886). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MHSTCI AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF GOVERNMENT AND CONSUMER SERVICES (416-212-7499).

5	2022-10-26	REISSUED FOR SITE PLAN APPROVAL
4	2022-04-11	REISSUED FOR SITE PLAN APPROVAL
3	2021-08-27	REISSUED FOR SITE PLAN APPROVAL
2	2021-02-17	ISSUED FOR SITE PLAN APPROVAL
1	2020-07-22	ISSUED FOR DESIGN REVIEW PANEL

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PROJECT:
MONTEREY RESIDENCES
16 CANNON STREET E,
HAMILTON, ON

FILE NUMBER:
DA-21-028

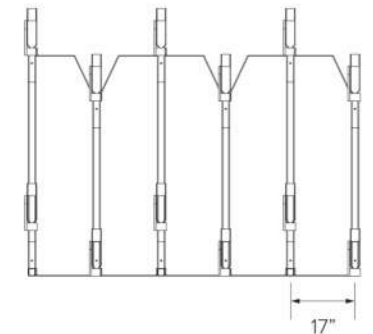
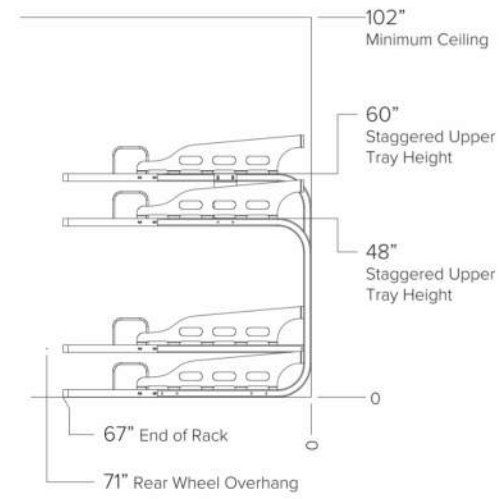
SCALE:
1 : 100

DATE:
JUNE 2019

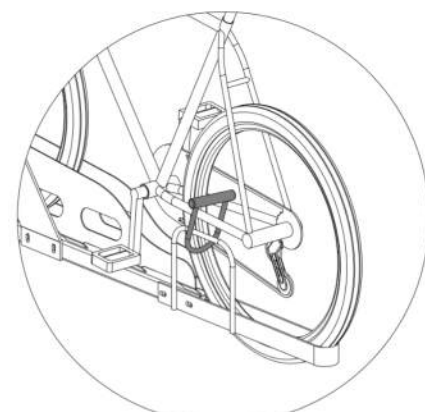
TITLE:
SITE PLAN

PROJECT NO.
19-109

A102

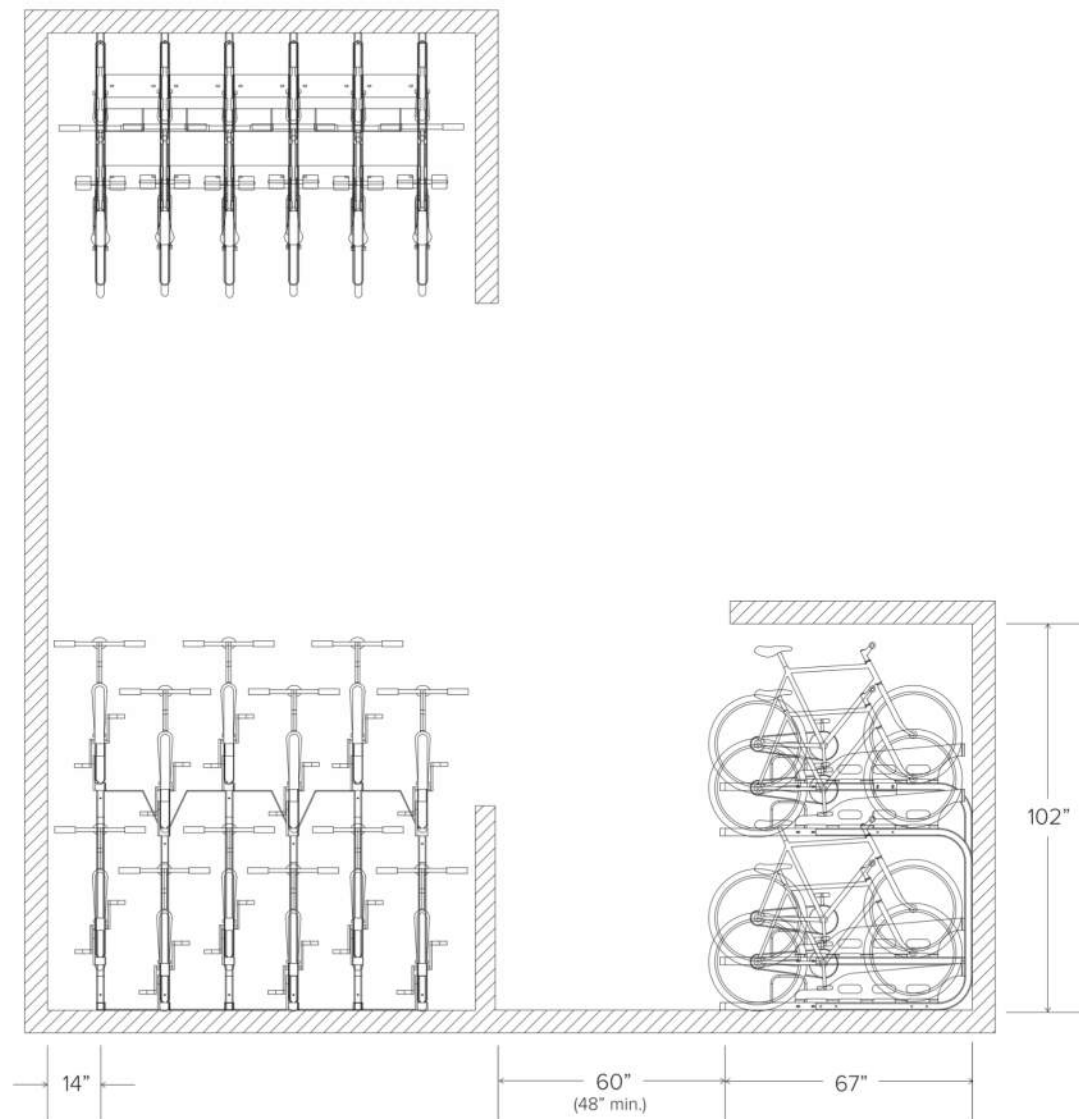


- CAPACITY** Varies per configuration
Minimum 6 bike system required for stability
- MATERIALS** Main frame tube: 2" 11g square tube
Connector plates: 1/4" plate
Bike trays: 11g plate
- FINISHES**
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
 - Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
 - Stainless**
304 grade stainless steel material with external surfaces polished to a satin finish. All surfaces passivated.
- MOUNT OPTIONS** Surface only
Each connector plate accepts 3/8" wedge anchors.

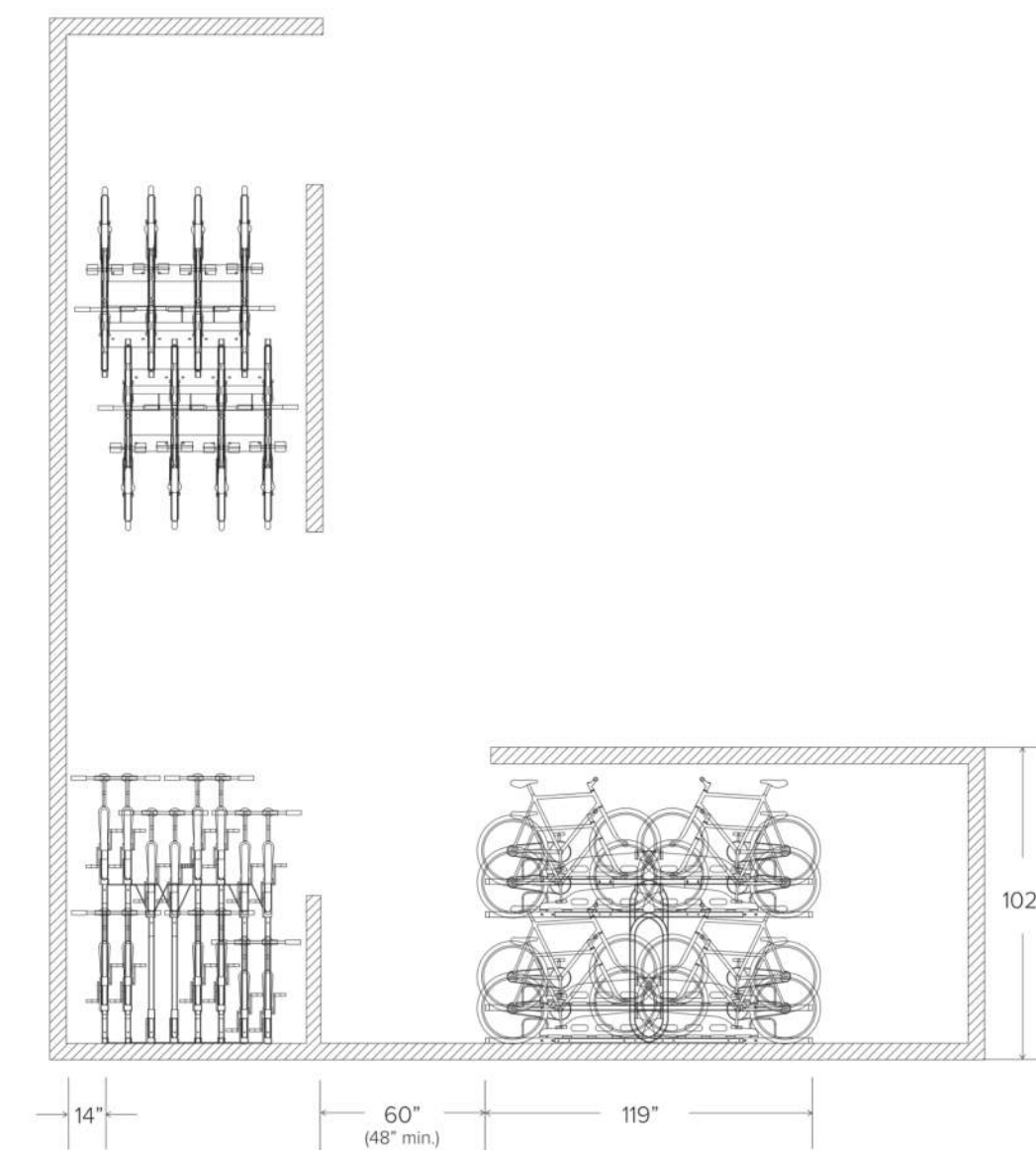


U-lock compatible

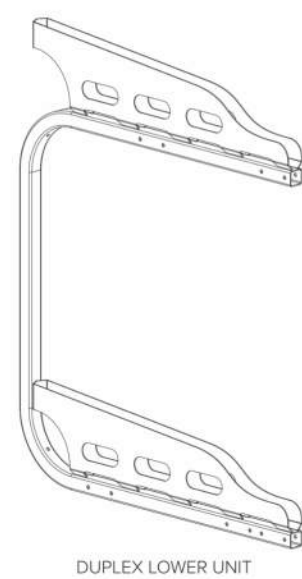
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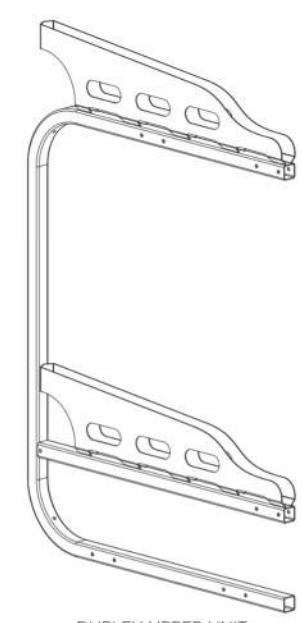
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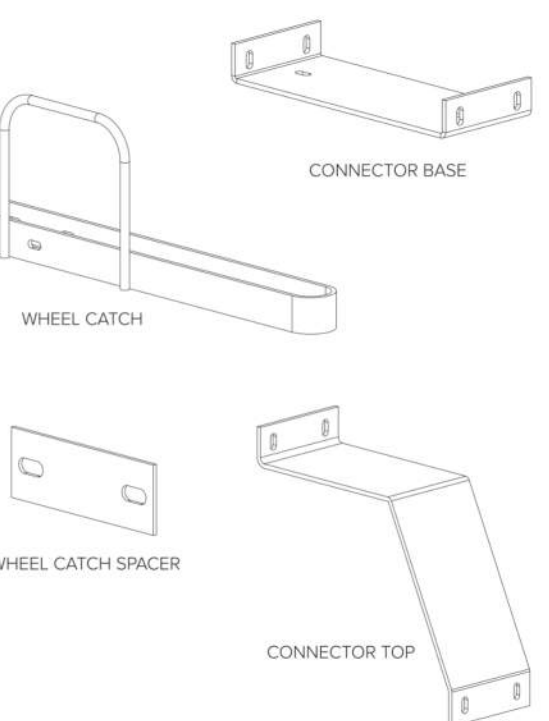
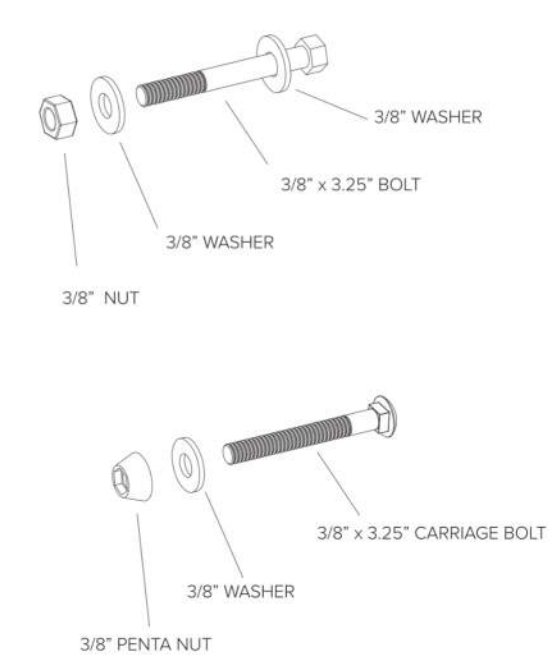
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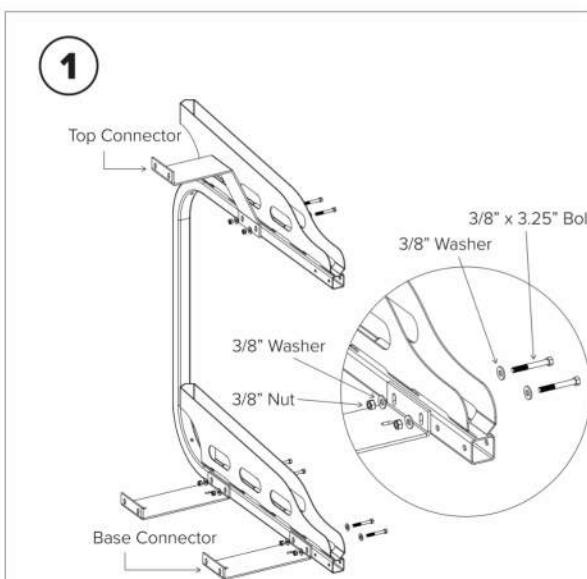
DUPLEX LOWER UNIT



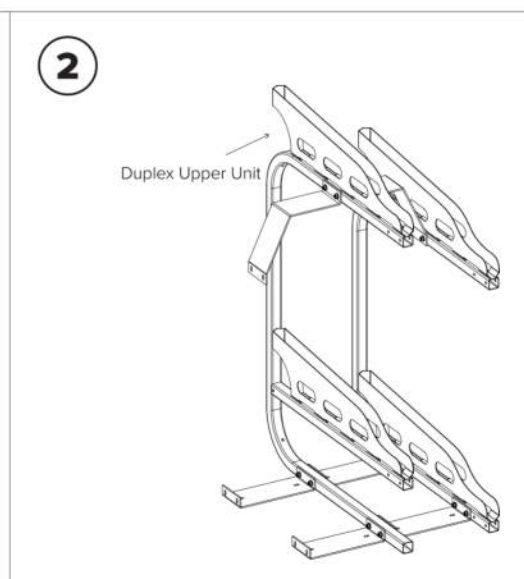
DUPLEX UPPER UNIT



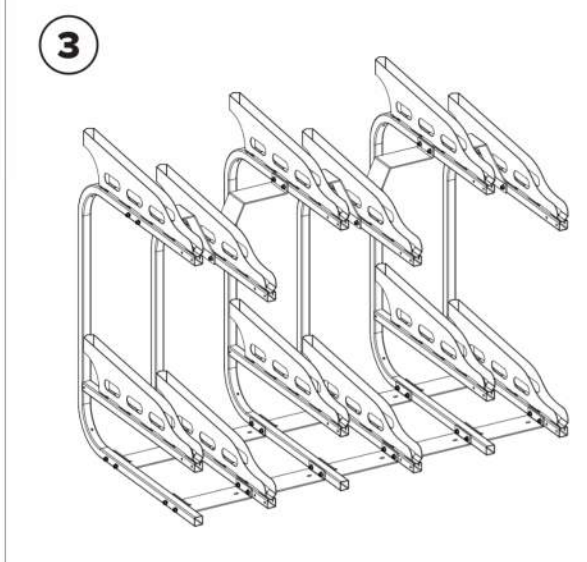
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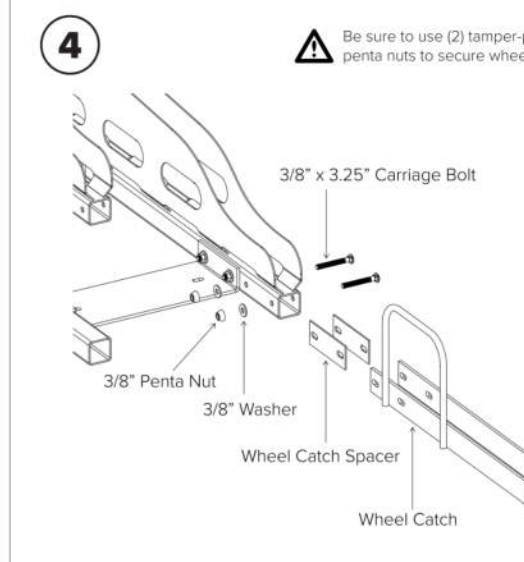
Place the first DUPLEX LOWER UNIT and attach CONNECTORS with hardware.



Drill the holes in accordance with the specifications shipped with the anchors. Make sure the holes are at least 3" away from any cracks in the base material.

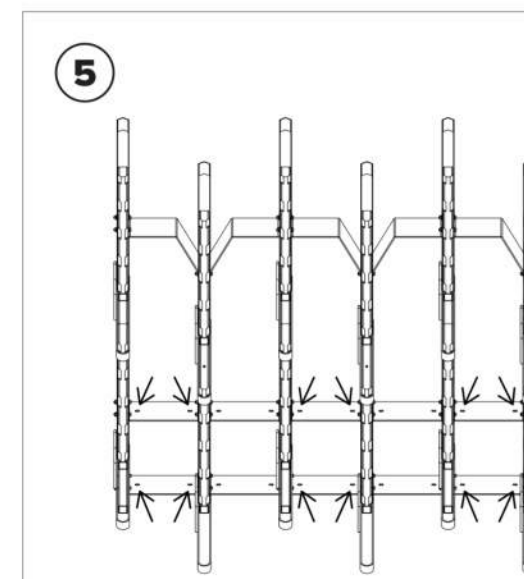


Continue repeating steps 1 and 2 as necessary.

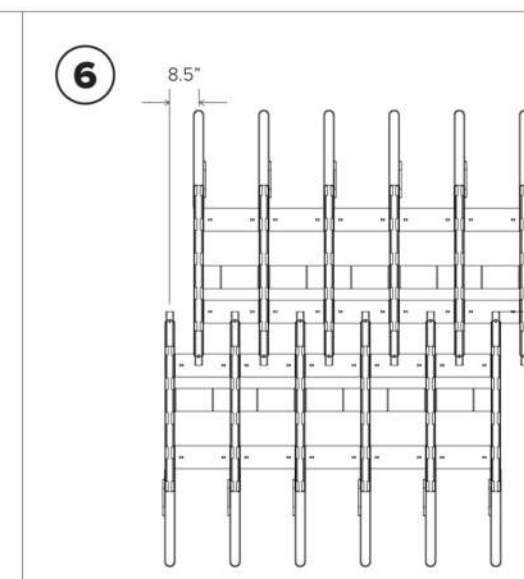


Place WHEEL_CATCH and SPACERS and attach with hardware. Repeat for all trays.

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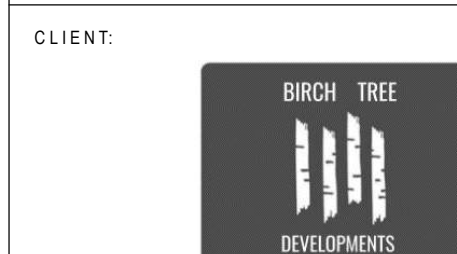
Secure the DUPLEX ASSEMBLY with 3/8" WEDGE ANCHORS. Secure at the first and last pair of bases and then every other pair of bases.



For double sided assemblies, simply place two single sided assemblies back to back with a 14" overlap.

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PROJECT:
MONTEREY RESIDENCES
16 CANNON STREET E,
HAMILTON, ON

FILE NUMBER:
DA-21-028



SCALE: DATE:
JUNE 2019

TITLE:
BIKE STACKER CUT SHEETS

PROJECT NO.
19-109 **A103**

Stack Parker G63 | Code number 583.91.490-004 | Version 09.2009 | Page 1 of 5

Standard Type G63-350

Free space: 80 → 50 → 45 + Free space

Height (H): 155

Dimensions: 230* × 480 × 155

Height (H): 165

Dimensions: 230* × 510 × 165

Height (H): 175

Dimensions: 230* × 540 × 175

Dimensions: 520 for vehicle up to 5.00 m × 10" long (540 for vehicle up to 5.20 m × 11" long)

Drainage channel with sump

Grounding

Compact Type G63-330

Height (H): 130

Height (H): 330

Exklusive Type G63-370

Height (H): 170

Height (H): 370

Garage with door in front of the car parking system

Free space for roller door

Height (H): 215

Height (H): 315

Drainage channel with sump

Product Data Stack Parker G63

CE

Dimensions: All space requirements are minimum finished dimensions. Tolerances for space requirements: ±2. Dimensions in cm.

EB (single platform) = 2 vehicles

DB (double platform) = 6 vehicles

Typ	H	DH**
G63-330	480	155
G63-350*	510	165
G63-370	540	175

Suitable for: Standard passenger car and station wagon. Height and length according to contour.

Type	H	car height
G63-330	480	150
G63-350*	510	160
G63-370	540	170

width 1.90 m

weight max. 2000 kg ***

wheel load max. 500 kg ***

Standard passenger car

Standard station wagon

Notes:

- For dividing walls, cutting through 10 x 10 cm (for pipes).
- Dimensions A1, A2 and A3 must be coordinated with the door supplier.
- If the total height is greater, the max. vehicle height for the upper parking space increases accordingly.
- Potential equalization from foundation grounding connection to system (provided by the customer).
- In compliance with DIN EN 14 010, 10 cm side yellow-black markings compliant to ISO 3864 must be applied by the customer to the edge of the pit in the entry area to mark the danger zone (see head plans page 3).
- Load increase possible only for EB against surcharge.

Standard passenger cars are vehicles without any sports options such as spoilers, low-profile tyres etc.

KLAUS multiparking

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Hermann-Krumm-Str. 2
D-88319 Altrach
Phone: +49-7545-508-0
Fax: +49-7545-508-88
E-Mail: info@multiparking.com
Internet: www.multiparking.com

Stack Parker G63 | Code number 583.91.490-004 | Version 09.2009

Stack Parker G63 | Code number 583.91.490-004 | Version 09.2009 | Page 4 of 5

Electrical installation

Installation diagram

Electrical data (to be performed by the customer)

No.	Quantity	Description	Position	Frequency
1	1	Electricity meter	in the supply line	—
2	1	Main fuse: 3 x fuse 20A (above trigger characteristic T or C)	in the supply line	1 per unit
3	1	Supply line 5 x 2.5 mm² (3 PE + N + PE) with marked wire and protective conductor	to main switch	1 per unit
4	1	Lockable main switch	in the plan installation	1 per unit
5	1	Supply line 5 x 2.5 mm² (3 PE + N + PE) with marked wire and protective conductor	from main switch to unit	1 per unit
6	every 10m	Foundation earth connector	corner pit floor	—
7	1	Equipotential bonding in accordance with DIN EN 60204 for foundation earth connector to the system	—	1 per system

Electrical data (included in delivery of Klaus Multiparking)

No.	Description
8	Terminal box
9	Control line 3 x 0.75 mm² (PE + N + PE)
10	Control line 7 x 1.5 mm² with marked wire and protective conductor
11	Operating device
12	Control line 5 x 1.5 mm² with marked wire and protective conductor
13	Hydraulic unit 5.2 kW, three-phase current, 400 V / 50 Hz
14	Control line 5 x 1.5 mm² with marked wire and protective conductor

Sound insulation

According to DIN 4109 (Sound insulation in buildings), para. 4, annotation 4, Klaus Multiparkings are part of the building services (garage systems).

Normal sound insulation:

DIN 4109, para. 4.3, contains the permissible sound level values emitted from building services for personal living and working areas. According to line 2 the maximum sound level in personal living and working areas must not exceed 20 dB (A).
Noises created by users are not subject to the requirements (see table 4, DIN 4109).

The following measures are to be taken to comply with this value:
- Sound protection package according to offer/order (Klaus Multiparking GmbH)
- Minimum sound insulation of building $R_{w, \text{min}}$ = 57 dB (to be provided by customer)

Increased sound insulation (special agreement):

DIN 4109, Amendment 2, information on planning and execution, proposals for increased sound insulation.

The following measures are to be taken to comply with this value:
- Sound protection package according to offer/order (Klaus Multiparking GmbH)
- Minimum sound insulation of building $R_{w, \text{min}}$ = 62 dB (to be provided by customer)

Note: User noises are noises created by individual users in our Multiparking systems. These can be noises from accessing the platforms, slamming of vehicle doors, motor and brake noises.

Technical data

Range of application

Generally, this parking system is not suited for short-time parkers (temporary parkers). Please do not hesitate to contact your local KLAUS agency for further assistance.

Units

Low-noise power units mounted to rubber-bonded to metal mountings are installed. Nevertheless we recommend that parking system's garage be built separately from the dwelling.

Available documents

- wall recess plans
- maintenance offer/contract
- declaration of conformity
- test sheet on airborne and slide-borne sound

Corrosion protection

See separate sheet regarding corrosion protection.

Railings

If the permissible door opening is exceeded, railings are to be mounted on the systems. If there are traffic routes next to or behind the installations, railings compliant to DIN EN ISO 13857 must be installed by the customer. Railings must also be in place during construction.

Environmental conditions

Environmental conditions for the area of multiparking systems:
Temperature range: -10 to +40°C. Relative humidity: 50% at a maximum outside temperature of +40°C.
If lifting or lowering times are specified, they refer to an environmental temperature of +10°C and with the system set up directly next to the hydraulic unit. At lower temperatures or with longer hydraulic lines, these times increase.

Stack Parker G63 | Code number 583.91.490-004 | Version 09.2009 | Page 2 of 5

Width for basement garage

Dividing walls

Single Platform (EB)	Double Platform (DB)	Single and Double Platform (EB + DB) - Example
usable platform width: 230* × 270	usable platform width: 460 × 490	usable platform width: 230* × 460* × 270
240 × 290	470 × 500	240 × 470 × 280 × 290
250 × 290	480 × 510	250 × 480 × 290 × 300
260 × 300	490 × 520	260 × 490 × 300 × 310
270 × 310	500 × 530	270 × 500 × 310 × 320

Columns in pit

Single Platform (EB)	Double Platform (DB)	Single and Double Platform (EB + DB) - Example
usable platform width: 230* × 270	usable platform width: 460 × 490	usable platform width: 230* × 460* × 270
240 × 290	470 × 500	240 × 470 × 280 × 290
250 × 290	480 × 510	250 × 480 × 290 × 300
260 × 300	490 × 520	260 × 490 × 300 × 310
270 × 310	500 × 530	270 × 500 × 310 × 320

Columns outside pit

Single Platform (EB)	Double Platform (DB)	Single and Double Platform (EB + DB)
usable platform width: 230* × 270	usable platform width: 460 × 490	usable platform width: 230* × 460* × 270
240 × 290	470 × 500	240 × 470 × 280 × 290
250 × 290	480 × 510	250 × 480 × 290 × 300
260 × 300	490 × 520	260 × 490 × 300 × 310
270 × 310	500 × 530	270 × 500 × 310 × 320

Widths for garage with door in front of car parking system

Single platform (EB)

usable platform width	door entrance width DF	L	S
230*	230	15	30
240	250	15	30
250	270	20	40
260	290	20	40
270	310	20	40

Double platform (DB)

usable platform width	door entrance width DF	L	S
460	470	15	30
470	475	17	35
480	500	17	35
490	500	15	30
500	500	20	40

* = standard width (parking space width 2.30 m)

Please note:

- End parking spaces are generally more difficult to drive into. Therefore we recommend for end parking spaces our wider platforms. For the greatest possible platform width of 270 (EB) or 500 (DB). Parking on standard width platforms with larger vehicles may make getting into and out of the vehicle difficult. This depends on type of vehicle, approach and above all on the individual driver's skill.

Stack Parker G63 | Code number 583.91.490-004 | Version 09.2009 | Page 5 of 5

To be performed by the customer

Safety fences

Any constraints that may be necessary according to DIN EN ISO 13857 in order to provide protection for the park pits for pathways directly in front, next to or behind the unit. This is also valid during construction. Railings the system are included in the series delivery when necessary.

Numbering of parking spaces

Consecutive numbering of parking spaces.

Building services

Lighting, ventilation, fire extinguishing and fire alarm systems.

Drainage

For the front area of the pit we recommend a drainage channel, which you connect to a floor drain system or sump (50 x 50 x 20 cm). The drainage channel may be inclined to the side, however not the pit floor itself (longitudinal incline is available). For reasons of environmental protection we recommend to paint the pit floor, and to provide oil and petrol separators in the connections to the public sewage network.

SCIP footings

If due to structural conditions strip footings must be effected, the customer shall provide an accessible platform reaching to the top of the said strip footings to enable and facilitate throming work.

Warning

According to DIN EN 14 010, a warning that identifies this danger area must be placed in the entrance area that conforms to ISO 3864. This must be done according to EN 91 54 (W) for systems with a pit (platforms within the pit) 10 cm from the edge of the pit.

Wall cuttings

Any necessary wall cuttings according to page 1.

Electrical supply to the main switch and the control wire line

Suitable electrical supply to the main switch and the control wire line must be provided by the customer during installation. The functionality can be monitored on site by our fitters together with the electrician. If this cannot be done during installation for some reason for which the customer is responsible, the customer must commission an electrician at their own expense and risk.

Operating device

Cable conduits and recesses for operating device (for double wing doors please contact the local agency of Klaus Multiparking).

Operating device exposed

Operating device concealed

Hydraulic system

Hydraulic system consisting of:

- Hydraulic cylinder
- Solenoid valve
- Safety valve
- Hydraulic conduits
- Screwed joints
- High-pressure hoses
- Installation material

Electric system

Electric system consisting of:

- Operating device (Emergency Stop, lock, 1 master key per parking space)
- Terminal box at wall valve
- Reed contact

Hydraulic power unit

Hydraulic power unit (low noise, installed onto a console with a rubber-bonded-to-metal mounting)

- Hydraulic oil reservoir
- Oil filling
- Internal geared wheel pump
- Pump holder
- Clutch
- 3-phase-AC motor (5.2 kW, 230/400V, 50 Hz)
- Contactor (with thermal overcurrent relay and control fuse)
- Test manometer
- Pressure relief valve
- Hydraulic hoses (which reduce noise transmission onto the hydraulic pipe)

Platforms consisting of:

- Platform base sections
- Adjustable wheel stops
- Canted access plates
- Side members
- Central side member (only DB)
- Cross members
- Safety railings - along the upper, middle and lower platform (if required)
- Screws, nuts, washers, distance tubes, etc.

Electric system consisting of:

- 2 steel pillars with base elements (mounted on the floor)
- 2 sliding platforms (mounted to the steel pillars with sliding bearings)
- 2 platforms
- 1 electronic synchronization control system (to ensure synchronous operation of the hydraulic cylinders while lowering and lifting the platform)
- 2 hydraulic cylinders
- 2 rigid supports (connect the platform)
- Welded hydraulic lines up to installed globe valve
- Dowels, screws, connecting elements, bolts, etc.
- The platforms and parking spaces are end-to-end accessible for parking!

Hydraulic power unit

Hydraulic power unit (low noise, installed onto a console with a rubber-bonded-to-metal mounting)

- Hydraulic oil reservoir
- Oil filling
- Internal geared wheel pump
- Pump holder
- Clutch
- 3-phase-AC motor (5.2 kW, 230/400V, 50 Hz)
- Contactor (with thermal overcurrent relay and control fuse)
- Test manometer
- Pressure relief valve
- Hydraulic hoses (which reduce noise transmission onto the hydraulic pipe)

We reserve the right to change this specification without further notice

The Klaus company reserves the right in the course of technical progress to use newer or other technologies, systems, processes, procedures or standards in the fulfillment of their obligations other than those originally offered provided the customer derives no disadvantage from their so doing.

Stack Parker G63 | Code number 583.91.490-004 | Version 09.2009 | Page 3 of 5

Approach

The illustrated maximum approach angles must not be exceeded. Incorrect approach angles will cause serious manoeuvring & positioning problems on the parking system for which the local agency of Klaus accepts no responsibility.

Load plan

Forces in kN

Units are dowelled to the floor. Drilling depth: approx. 15 cm. Floor and walls below the drive-in level are to be made of concrete (quality minimum C20/25!).

* = Colors used in this illustration are not ISO 3864 compliant

Installation data

Free space for longitudinal and vertical ducts (e.g. ventilation)

B1, B2, B3 = (see table on page 2)

- Free space for vertical pipelines, ventilation branch canals.
- Free space for horizontal ducting

Approach level

Free space only applicable if vehicle is parked forwards = FRONT FIRST and driver's door on the left side.

() = Dimensions in brackets illustrate an example for usable platform width 230/460 cm.

Example for ventilation branch canal and/or vertical pipelines.

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CLIENT: **BIRCH TREE DEVELOPMENTS**

PROJECT: **MONTEREY RESIDENCES**
16 CANNON STREET E,
HAMILTON, ON

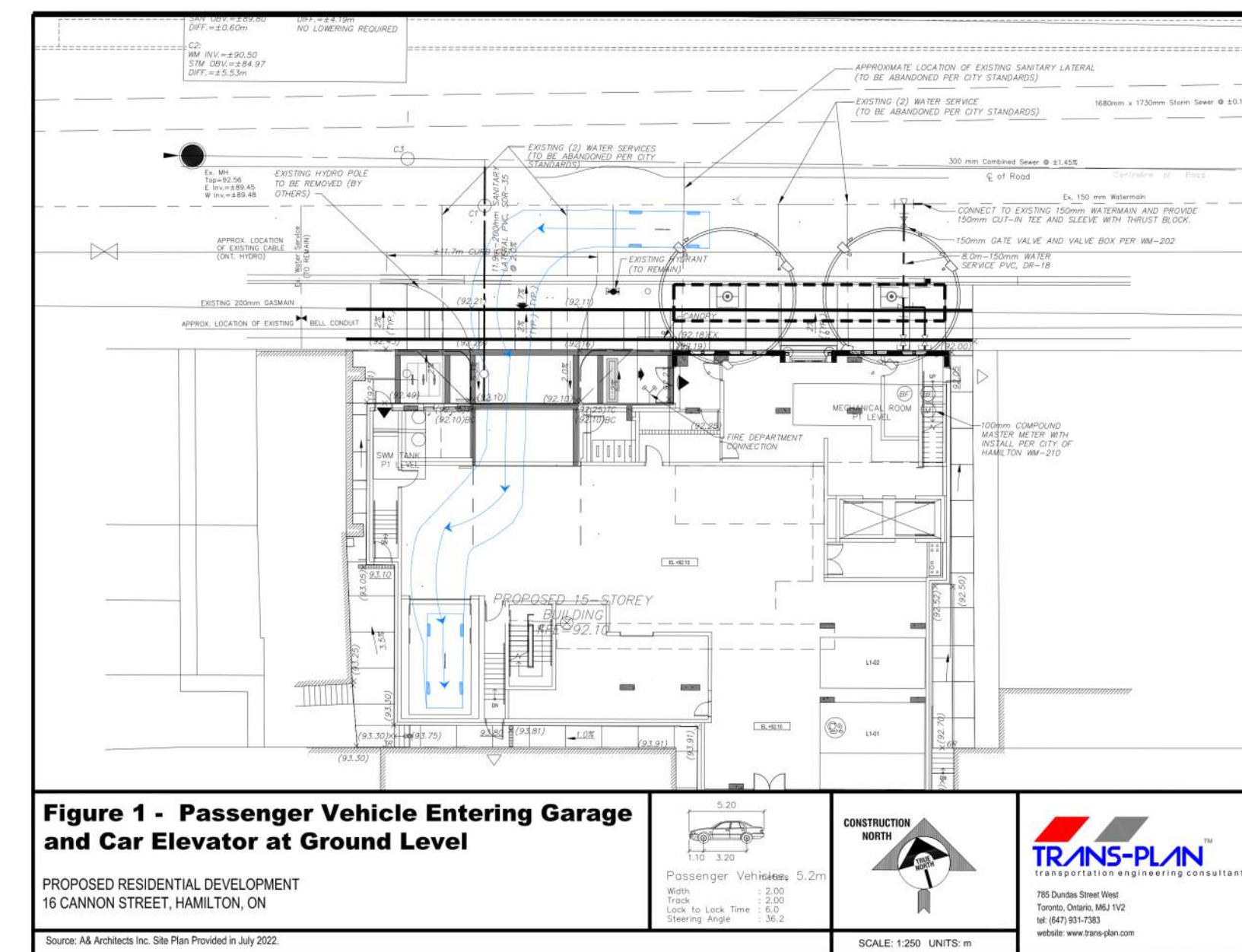
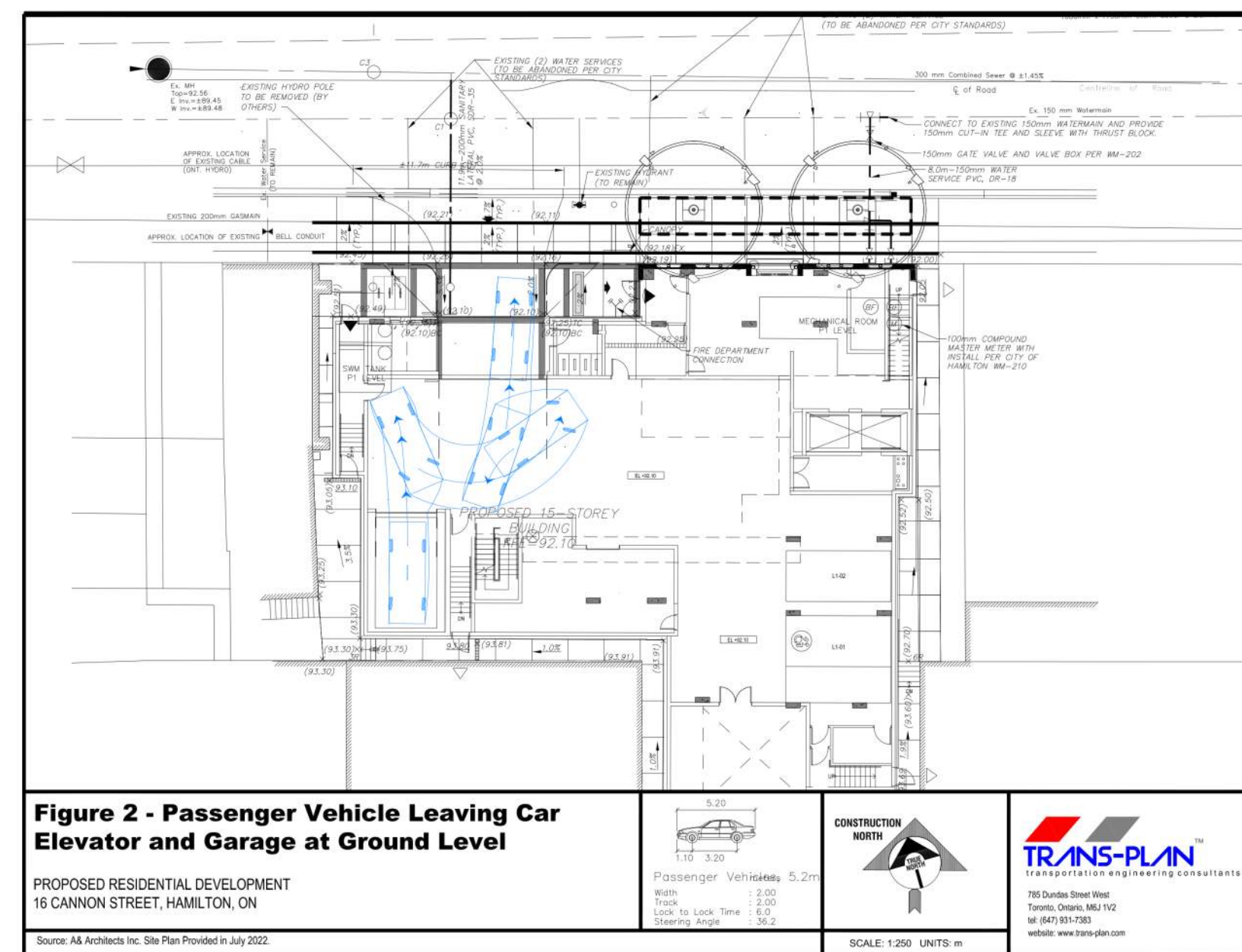
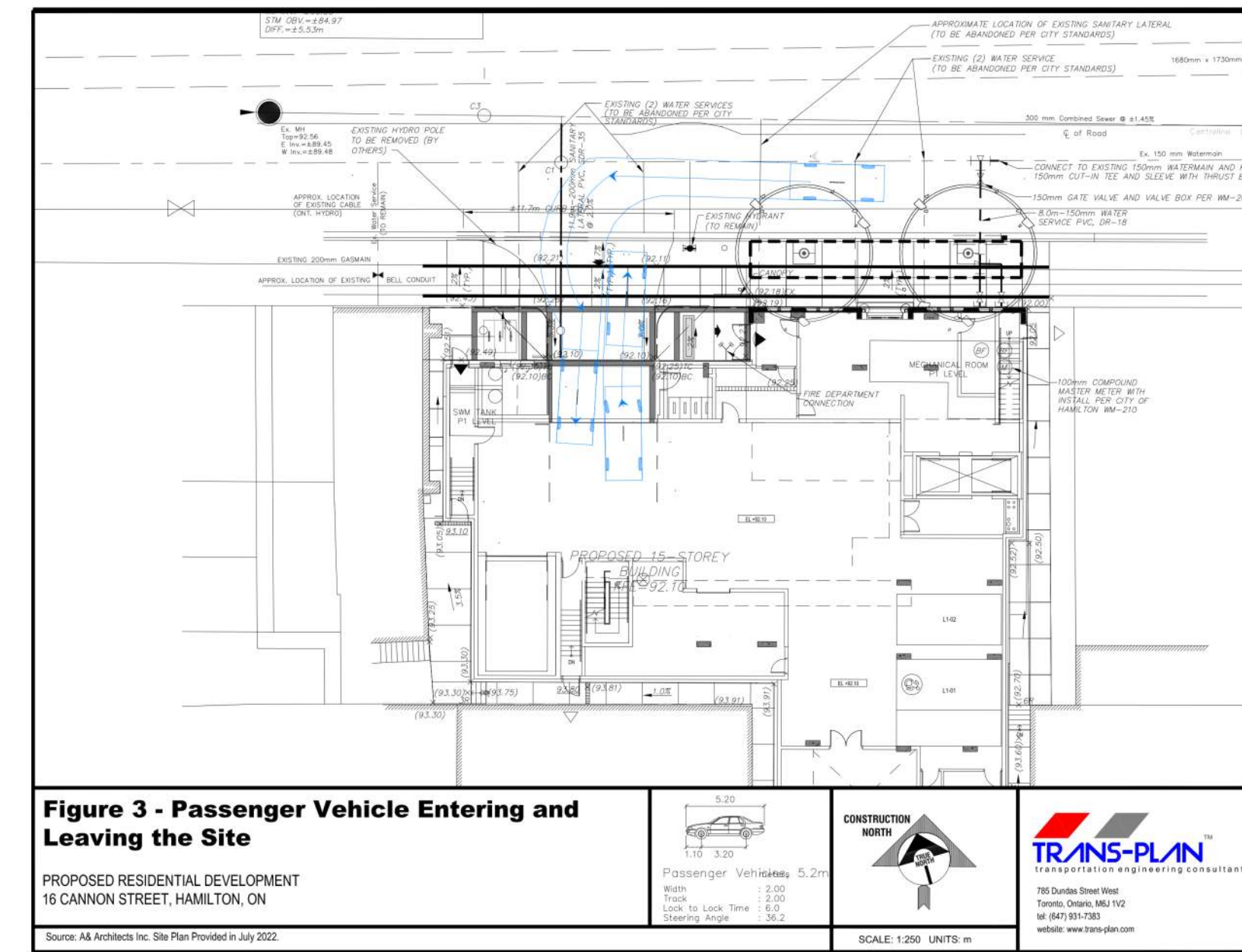
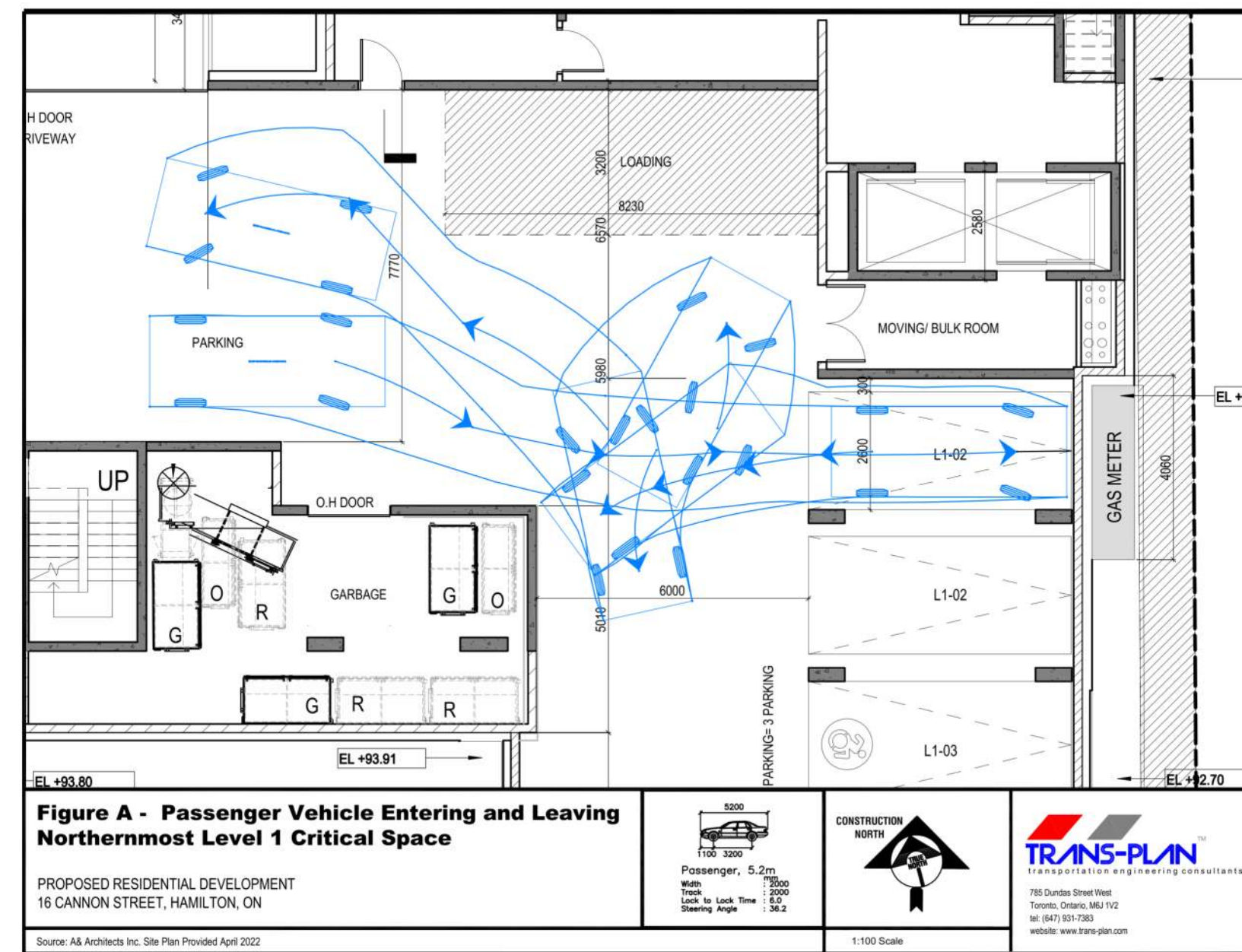
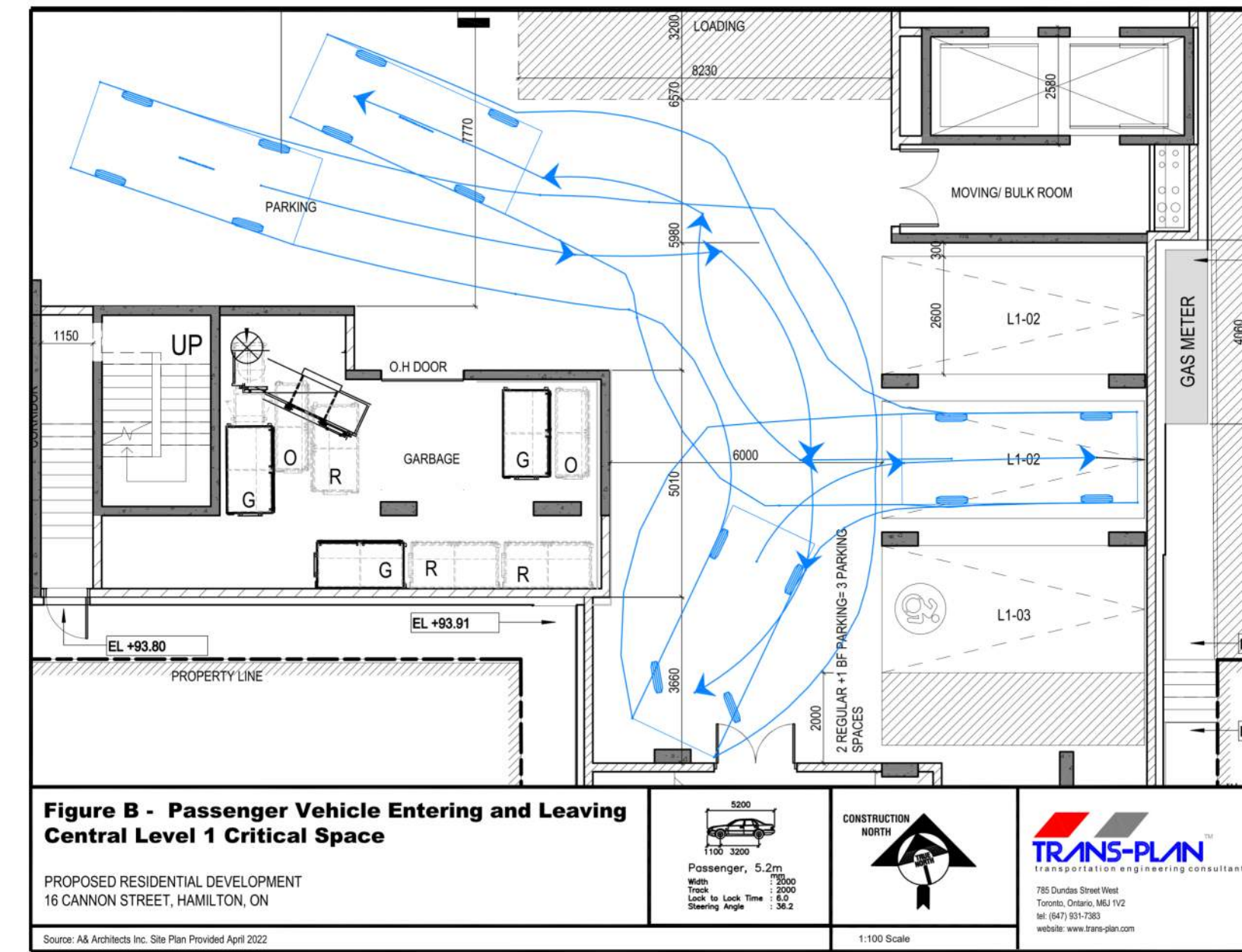
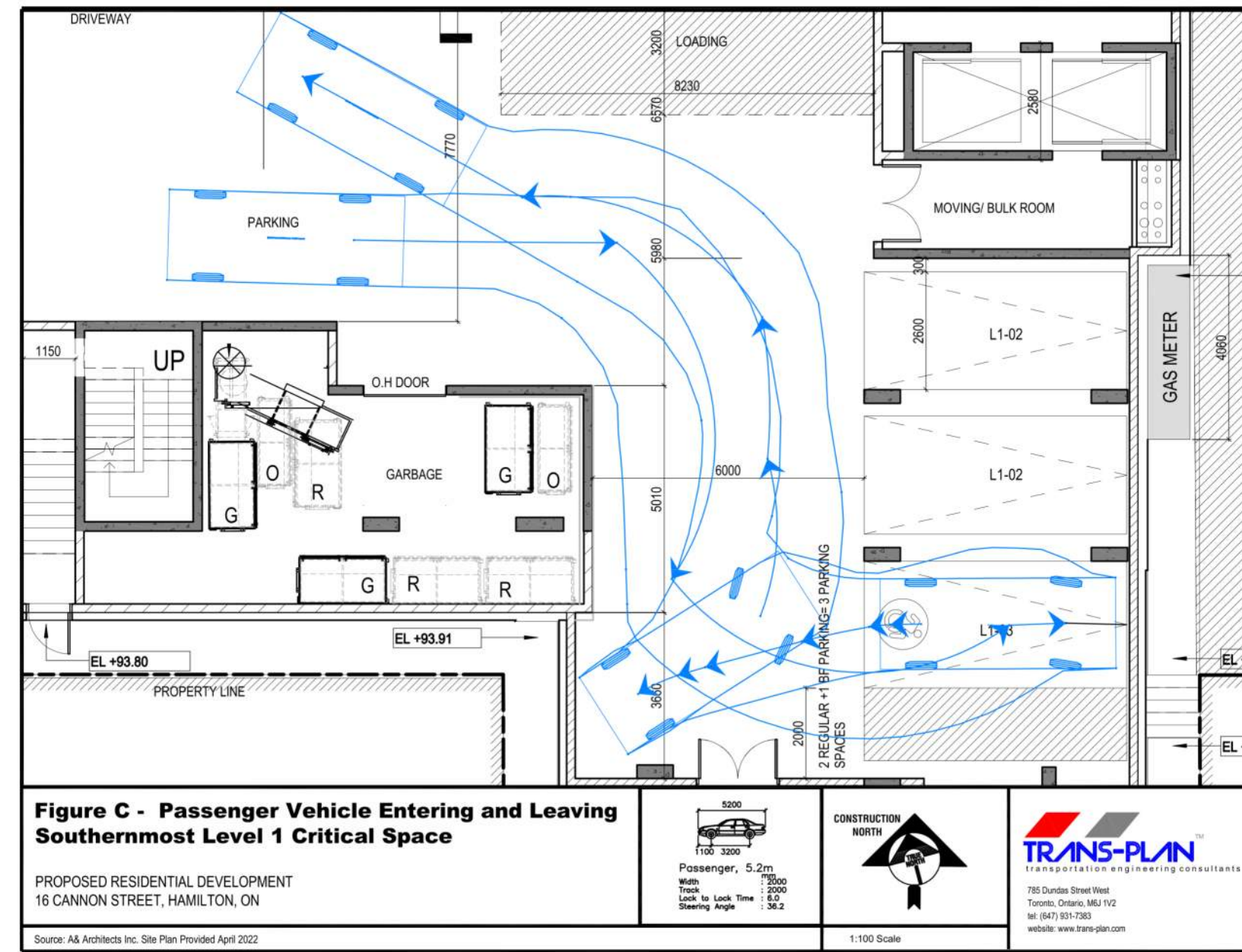
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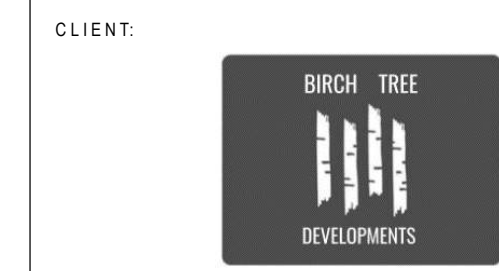
TITLE: **STACK PARKER CUT SHEETS**

PROJECT NO. **19-109** **A104**



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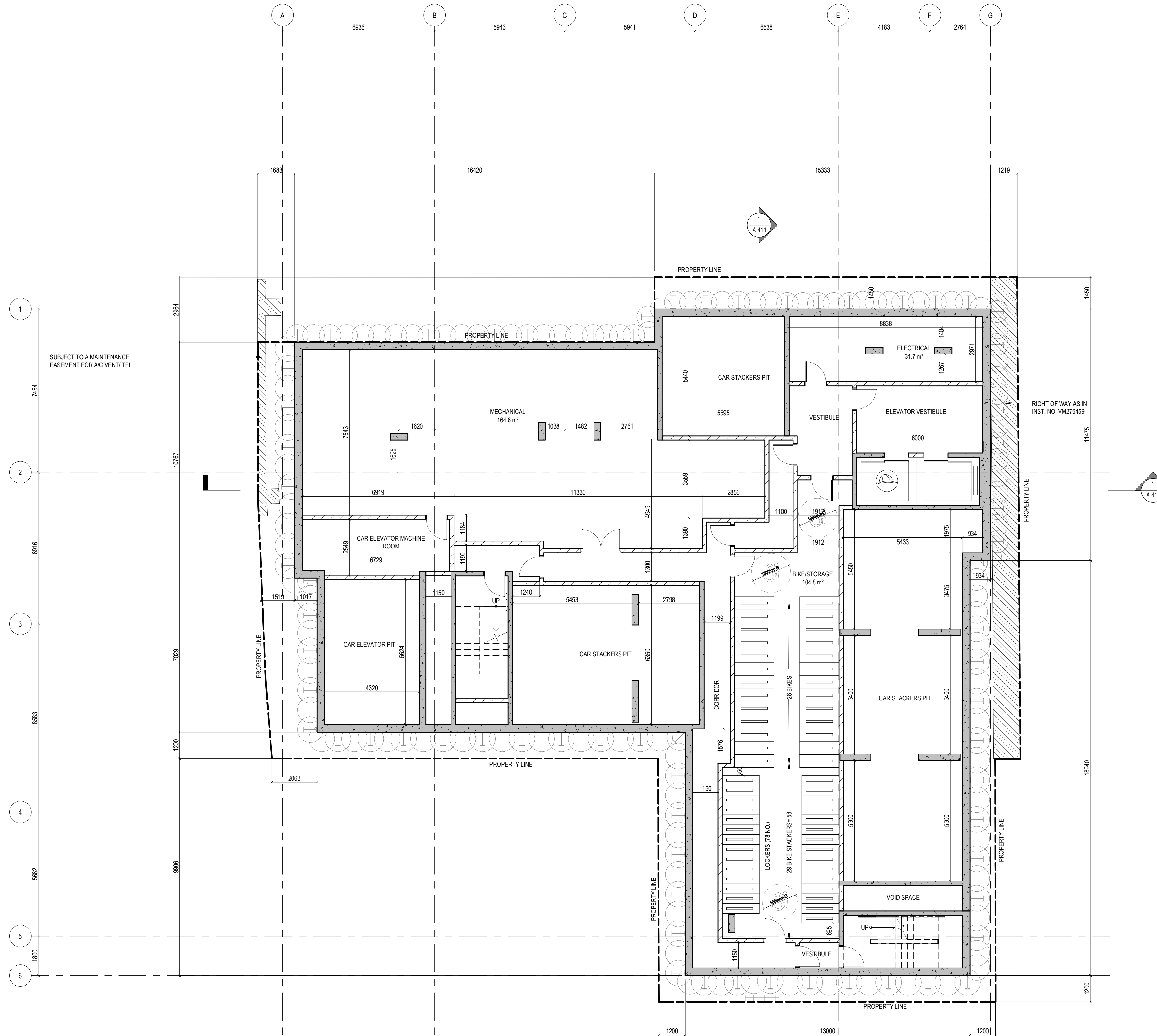
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TITLE:
CAR MANEUVERING DIAGRAMS

PROJECT NO.
19-109 **A105**



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MONTEREY RESIDENCES
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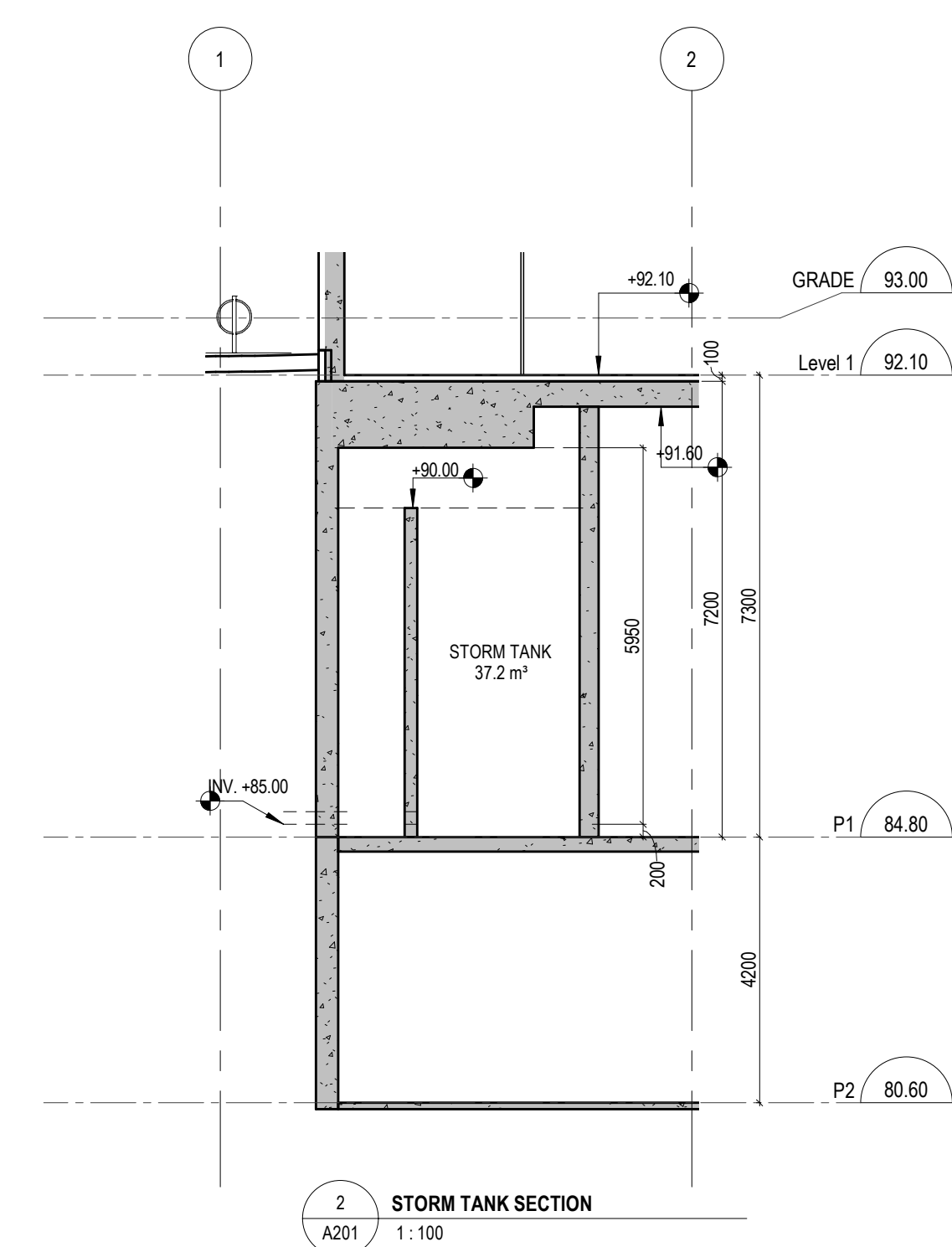
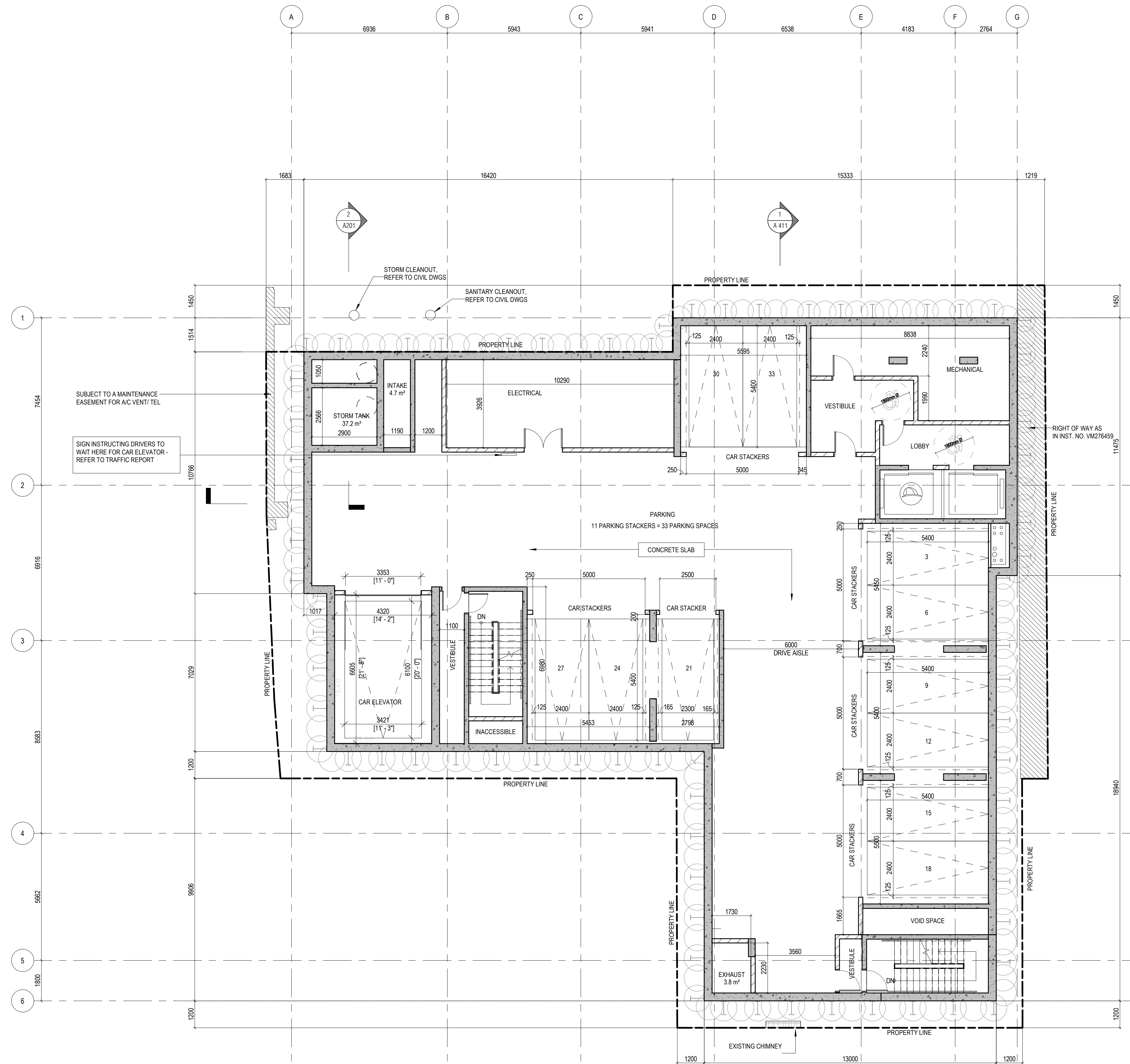
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TITLE:
LEVEL P2 FLOOR PLAN

PROJECT NO.
19-109

A200



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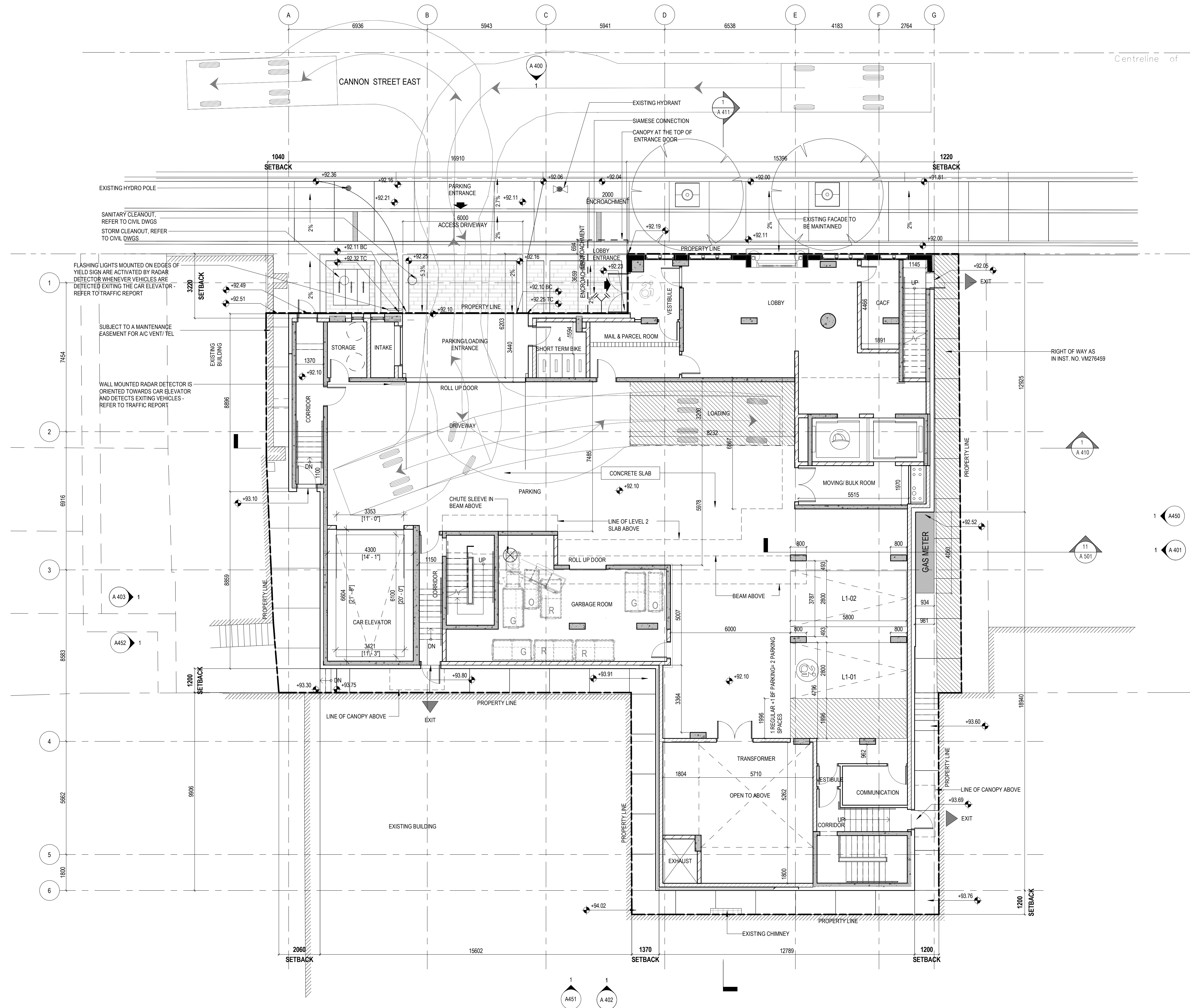
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DATE:
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TITLE:
LEVEL P1 FLOOR PLAN

PROJECT NO.
19-109

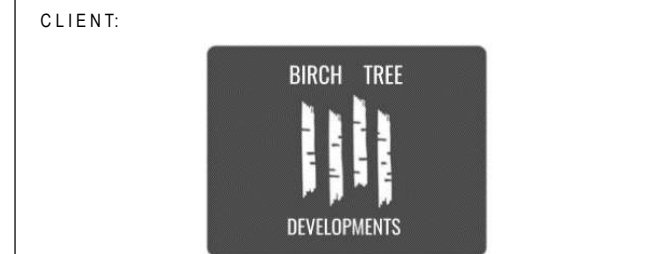
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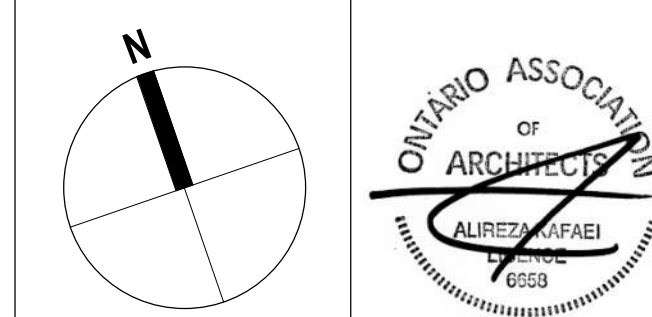
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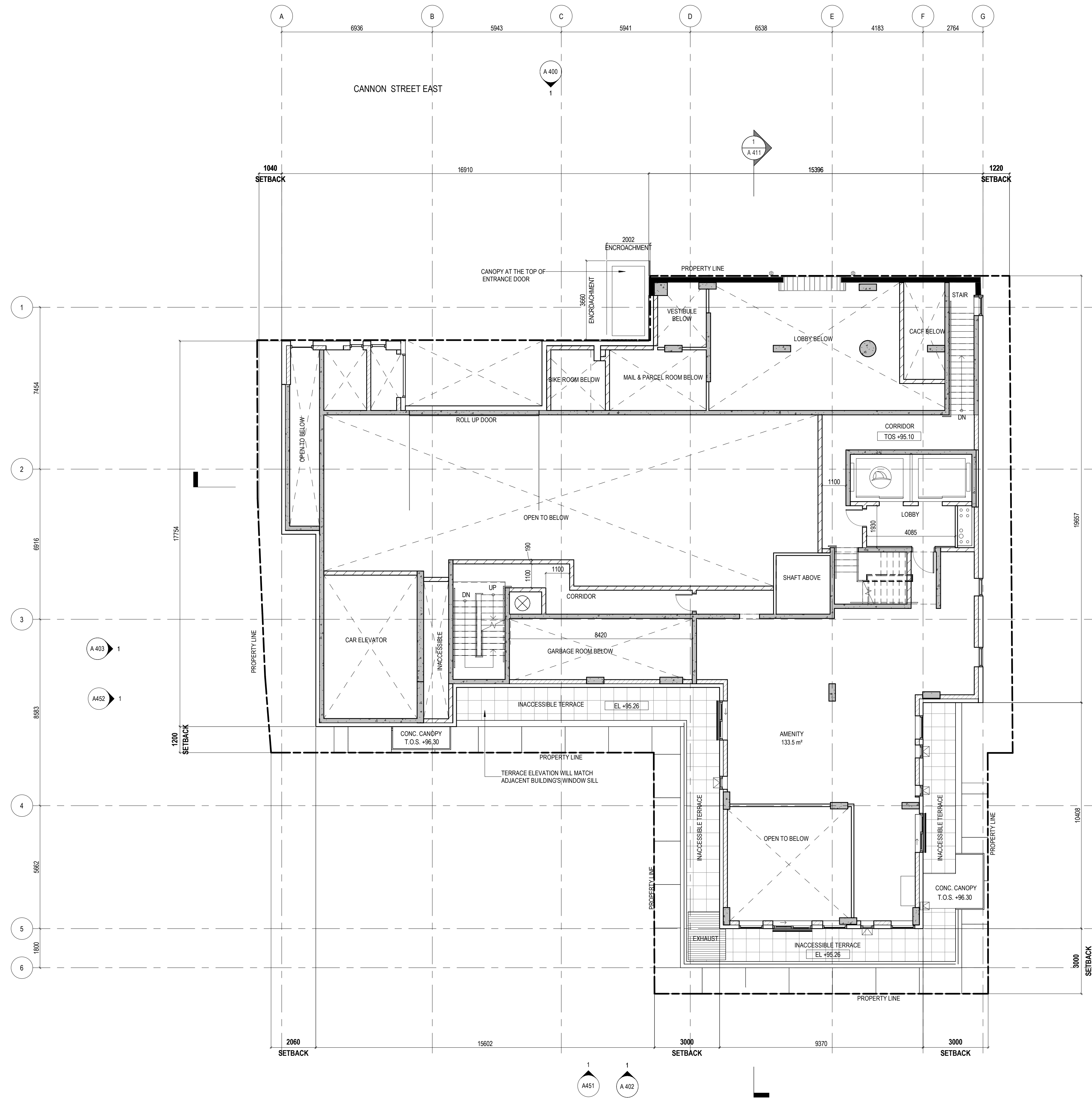
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TITLE:
LEVEL 1 FLOOR PLAN

PROJECT NO.
19-109

A202

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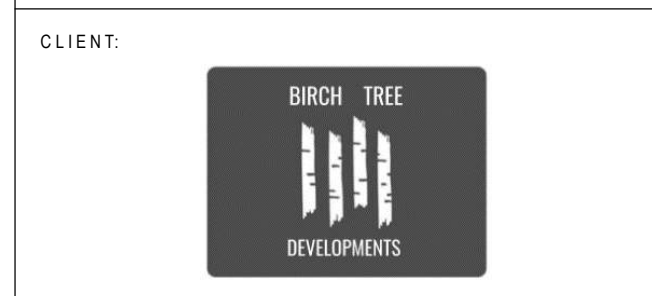


EXISTING WALL TO REMAIN

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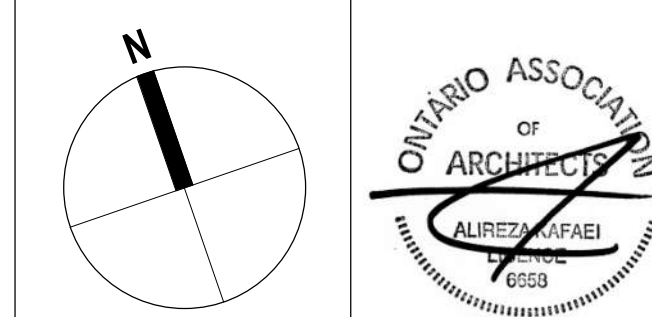
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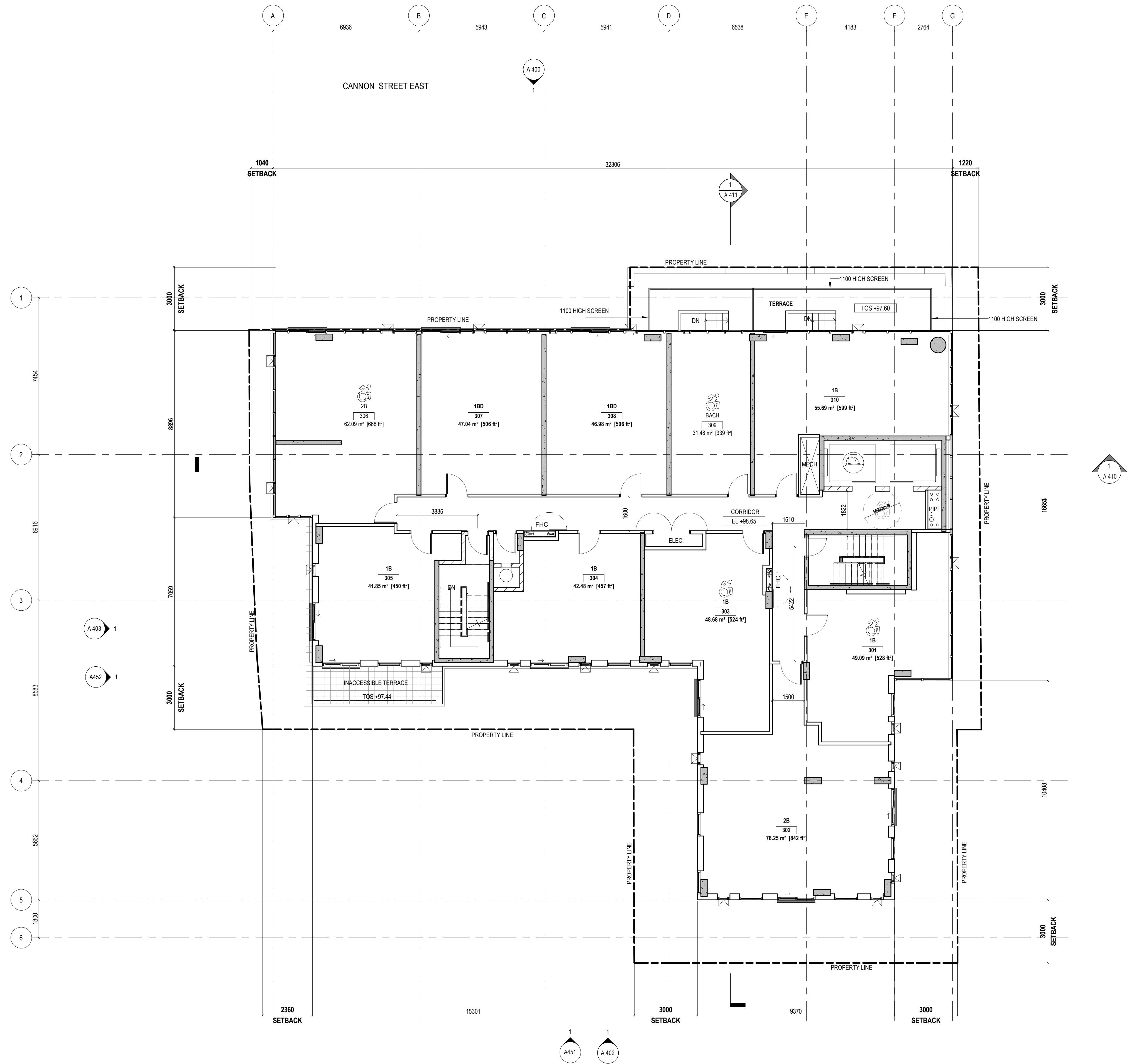


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TITLE:
LEVEL 2 FLOOR PLAN

PROJECT NO.
19-109 **A203**

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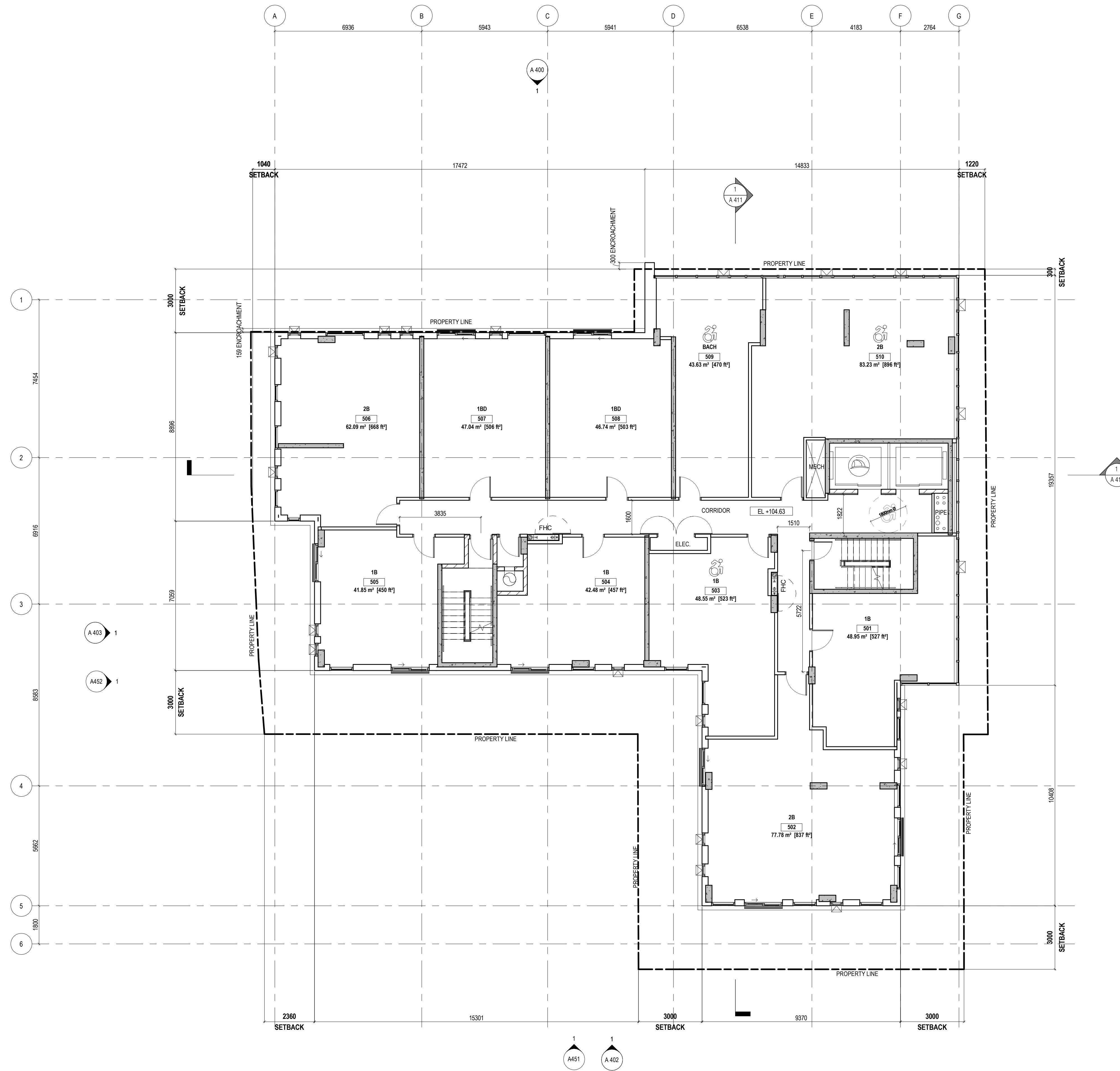
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FILE NUMBER:
DA-21-028

SCALE: **1 : 100** DATE: **JUNE 2019**

TITLE:
LEVEL 3-4 FLOOR PLAN

PROJECT NO.
19-109 **A204**



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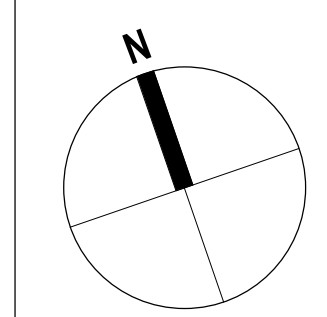
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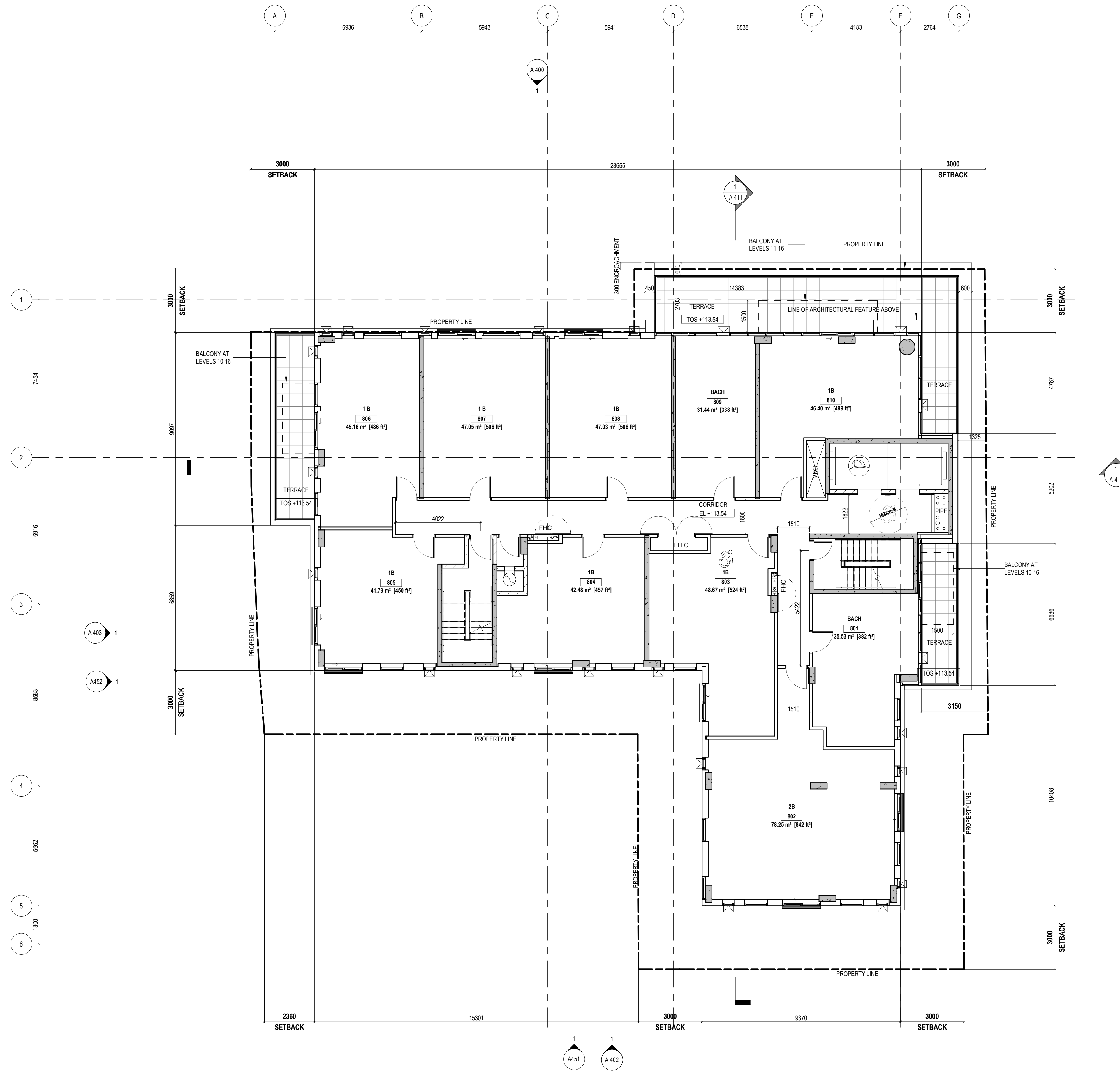
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TITLE:
LEVEL 5-7 FLOOR PLAN

PROJECT NO.
19-109

A205



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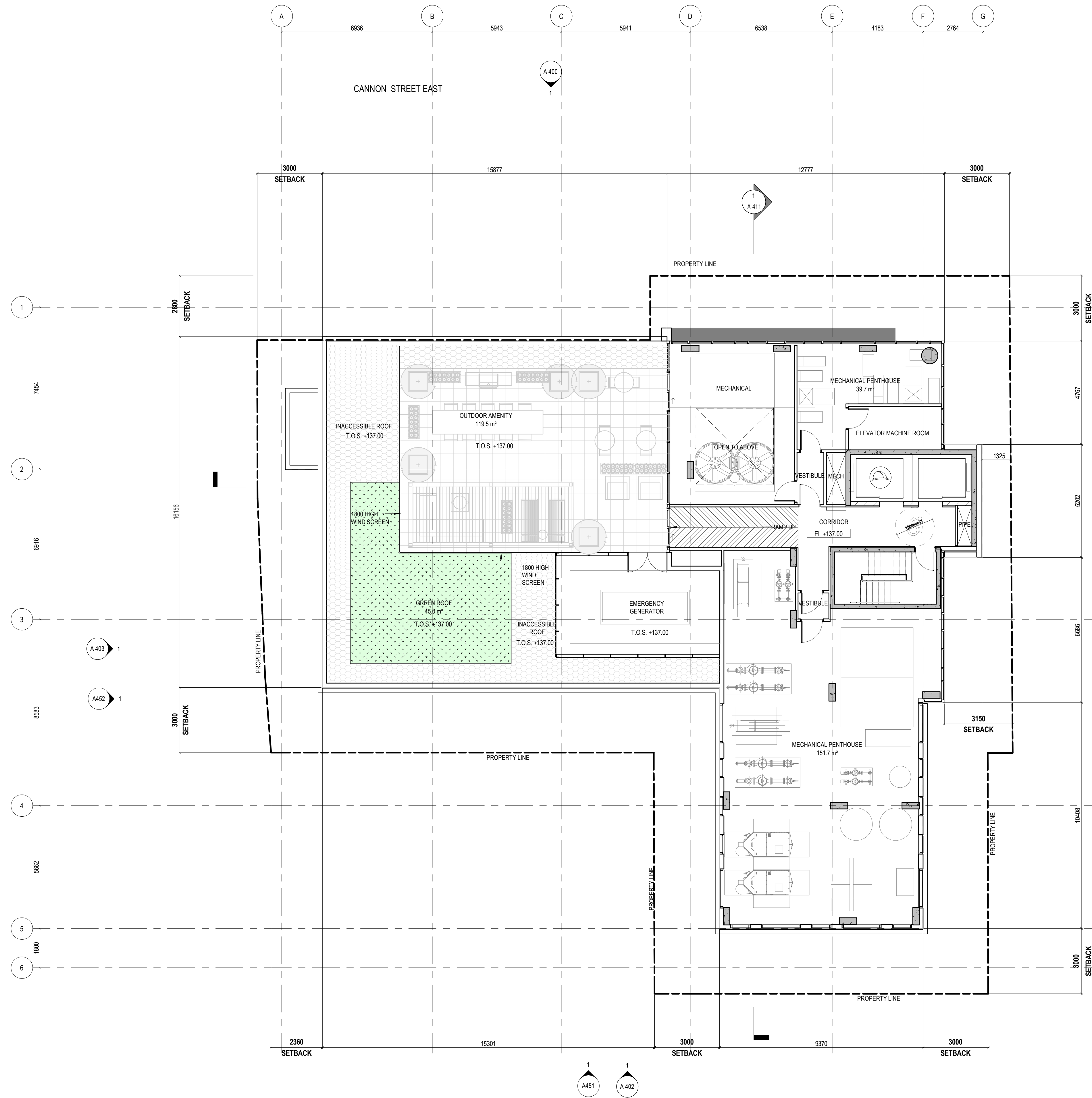
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SCALE: **1 : 100** DATE: **JUNE 2019**

TITLE:
LEVEL 8-15 FLOOR PLAN

PROJECT NO. **19-109** **A206**



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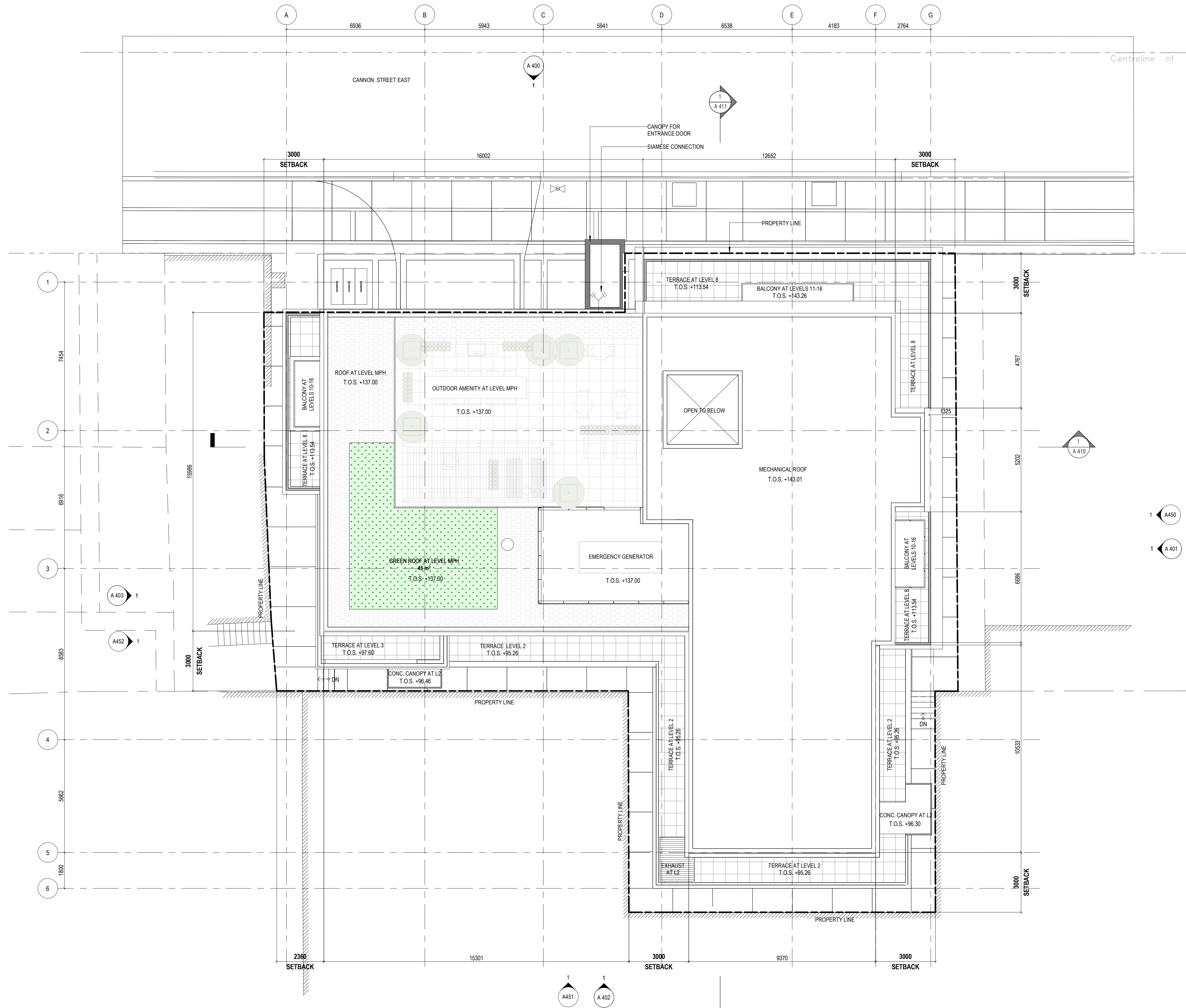
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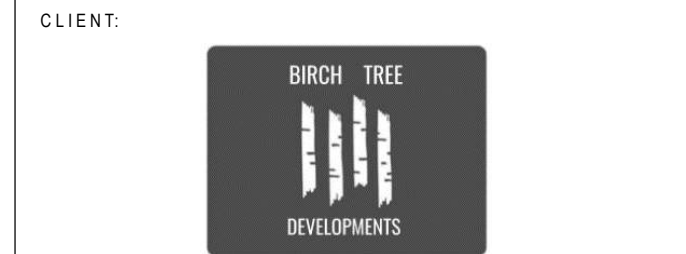
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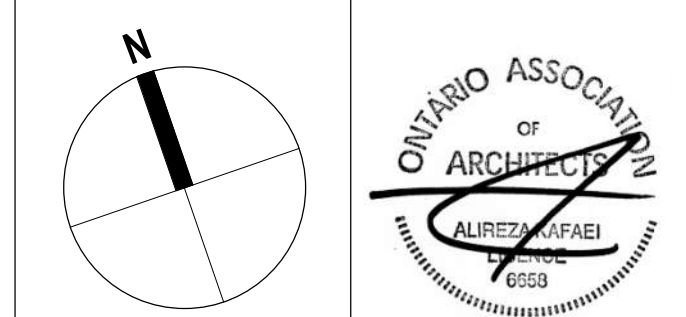
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TITLE:
ROOF PLAN

PROJECT NO.
19-109

A208



EXTERIOR FINISH LEGEND

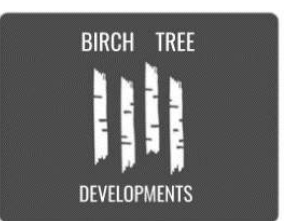
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2	CLAY RED BRICK - EXISTING
3	WINDOW WALL VISION GLASS
4	WINDOW WALL SPANDREL
5	RESIDENTIAL ENTRANCE DOOR
6	METAL PANEL - DARK GRAY
7	LOUVER
8	ARCHITECTURAL LOUVER
9	GLASS RAILING
10	WINDOW - EXISTING
11	METAL PANEL - LIGHT GREY
12	BRICK - RED

- 5 2022-10-26 REISSUED FOR SITE PLAN APPROVAL
- 4 2022-04-11 REISSUED FOR SITE PLAN APPROVAL
- 3 2021-08-27 REISSUED FOR SITE PLAN APPROVAL
- 2 2021-02-17 ISSUED FOR SITE PLAN APPROVAL
- 1 2020-07-22 ISSUED FOR DESIGN REVIEW PANEL

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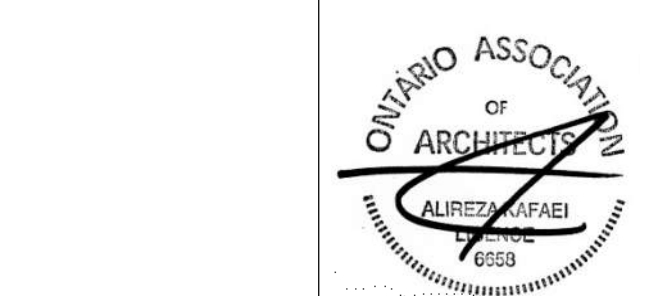


PROJECT:

MONTEREY RESIDENCES
16 CANNON STREET E,
HAMILTON, ON

FILE NUMBER:

DA-21-028



SCALE:
1 : 150

DATE:
JUNE 2019

TITLE:
NORTH ELEVATION

PROJECT NO.
19-109

A400



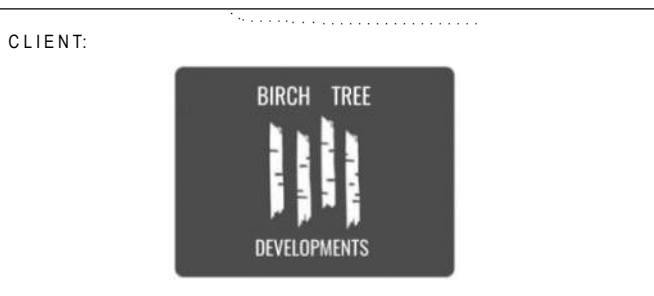
EXTERIOR FINISH LEGEND

1	METAL PANEL - WHITE
2	CLAY RED BRICK - EXISTING
3	WINDOW WALL VISION GLASS
4	WINDOW WALL SPANDREL
5	RESIDENTIAL ENTRANCE DOOR
6	METAL PANEL - DARK GRAY
7	LOUVER
8	ARCHITECTURAL LOUVER
9	GLASS RAILING
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11	METAL PANEL - LIGHT GREY
12	BRICK - RED

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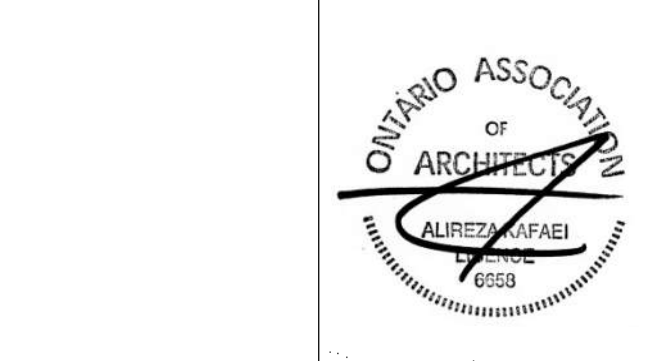
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PROJECT:
MONTEREY RESIDENCES
 16 CANNON STREET E,
 HAMILTON, ON

FILE NUMBER:
DA-21-028



SCALE: **1 : 150**
 DATE: **JUNE 2019**

TITLE:
EAST ELEVATION

PROJECT NO.
19-109
A401



EXTERIOR FINISH LEGEND

1	METAL PANEL - WHITE
2	CLAY RED BRICK - EXISTING
3	WINDOW WALL VISION GLASS
4	WINDOW WALL SPANDREL
5	RESIDENTIAL ENTRANCE DOOR
6	METAL PANEL - DARK GRAY
7	LOUVER
8	ARCHITECTURAL LOUVER
9	GLASS RAILING
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12	BRICK - RED

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MONTEREY RESIDENCES
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FILE NUMBER:

DA-21-028



SCALE:
1 : 150

DATE:
JUNE 2019

TITLE:
SOUTH ELEVATION

PROJECT NO.
19-109

A402



EXTERIOR FINISH LEGEND

1	METAL PANEL - WHITE
2	CLAY RED BRICK - EXISTING
3	WINDOW WALL VISION GLASS
4	WINDOW WALL SPANDREL
5	RESIDENTIAL ENTRANCE DOOR
6	METAL PANEL - DARK GRAY
7	LOUVER
8	ARCHITECTURAL LOUVER
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MONTEREY RESIDENCES
 16 CANNON STREET E,
 HAMILTON, ON

FILE NUMBER:
DA-21-028

SCALE: **1 : 150** DATE: **JUNE 2019**

TITLE:
WEST ELEVATION

PROJECT NO.
19-109 **A403**



A

B

C

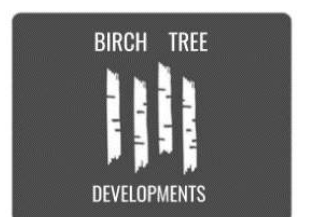
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FILE NUMBER:

DA-21-028



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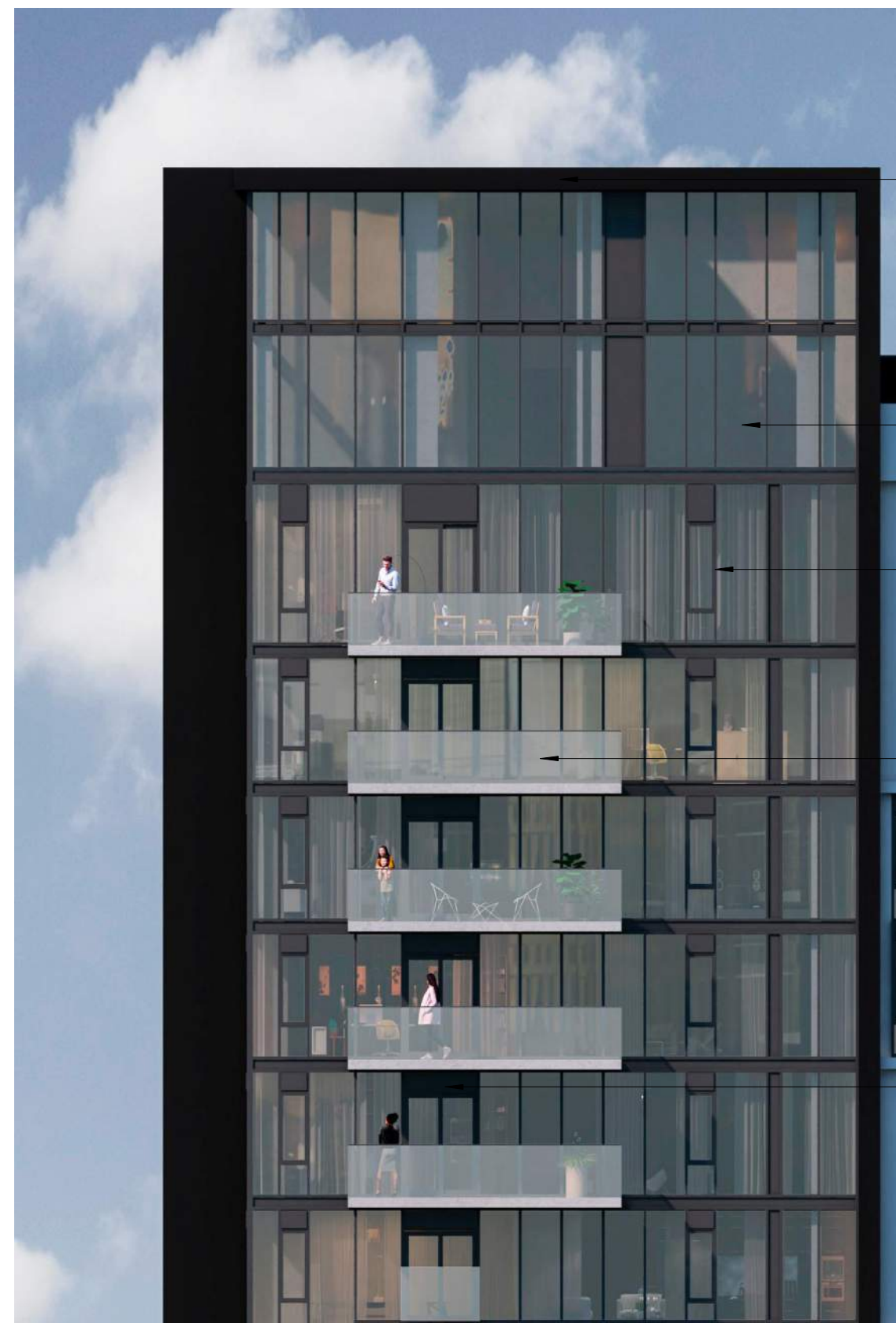
DATE:
 JUNE 2019

TITLE:

COLOURED NORTH ELEVATION

PROJECT NO.
 19-109

A404



DARK GRAY METAL PANEL (MT-3)

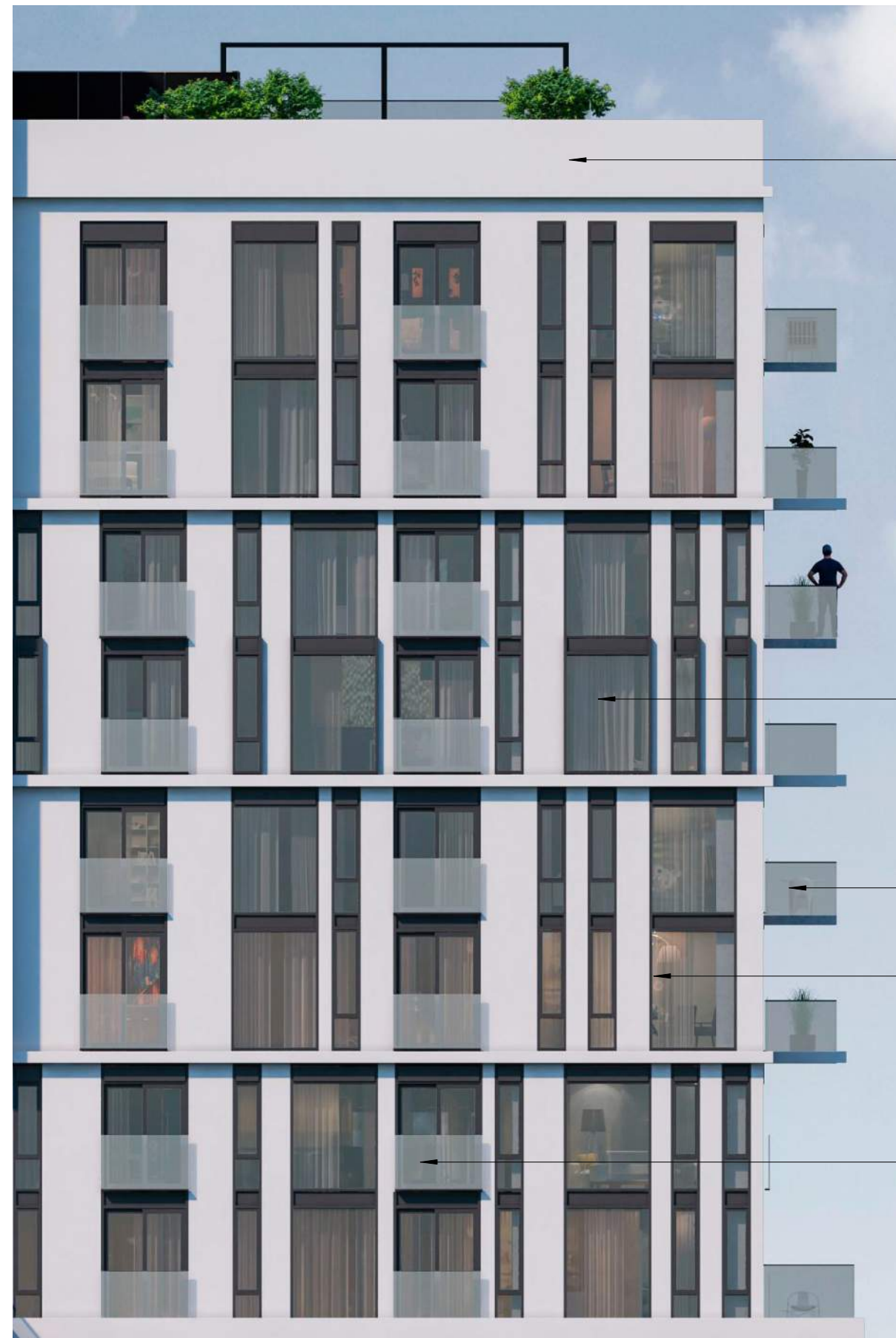
WINDOW WALL VISION GLASS (GL-1)

LIGHT GRAY WINDOW MULLION (MT-2)

RAILING/ CLEAR GLASS

ALUMINUM LOUVER

A



WHITE METAL PANEL (MT-1)

WINDOW WALL VISION GLASS (GL-1)

RAILING/ CLEAR GLASS

LIGHT GRAY WINDOW MULLION (MT-2)

RAILING JULIET (BALCONY CLEAR GLASS)

B



MT-1

MT-2

MT-3



GL-1



WHITE METAL PANEL (MT-1)

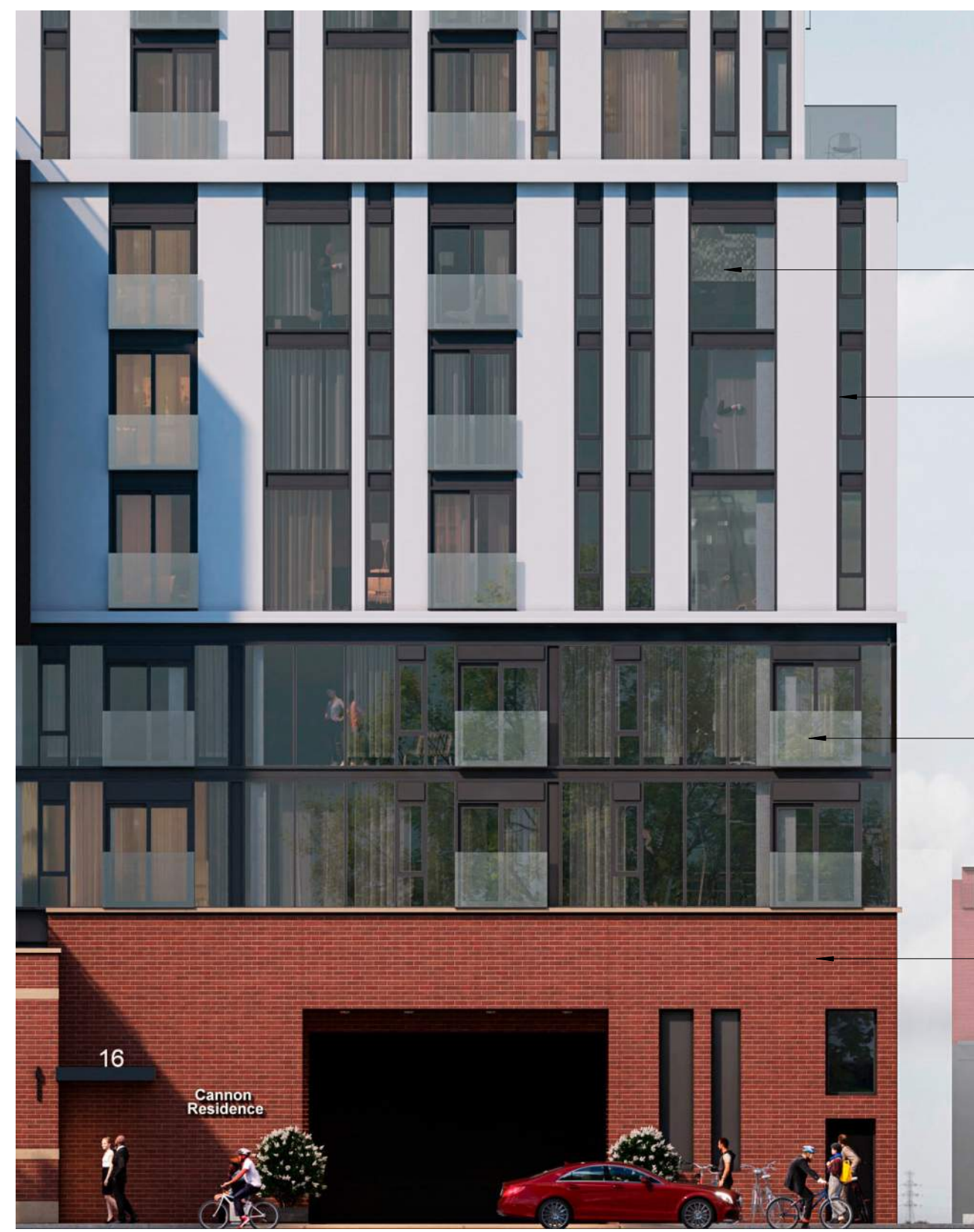
LIGHT GRAY WINDOW MULLION (MT-2)

RAILING JULIET (BALCONY CLEAR GLASS)

RED BRICK (BR-1)

DARK GRAY METAL CANOPY (MT-3)

D



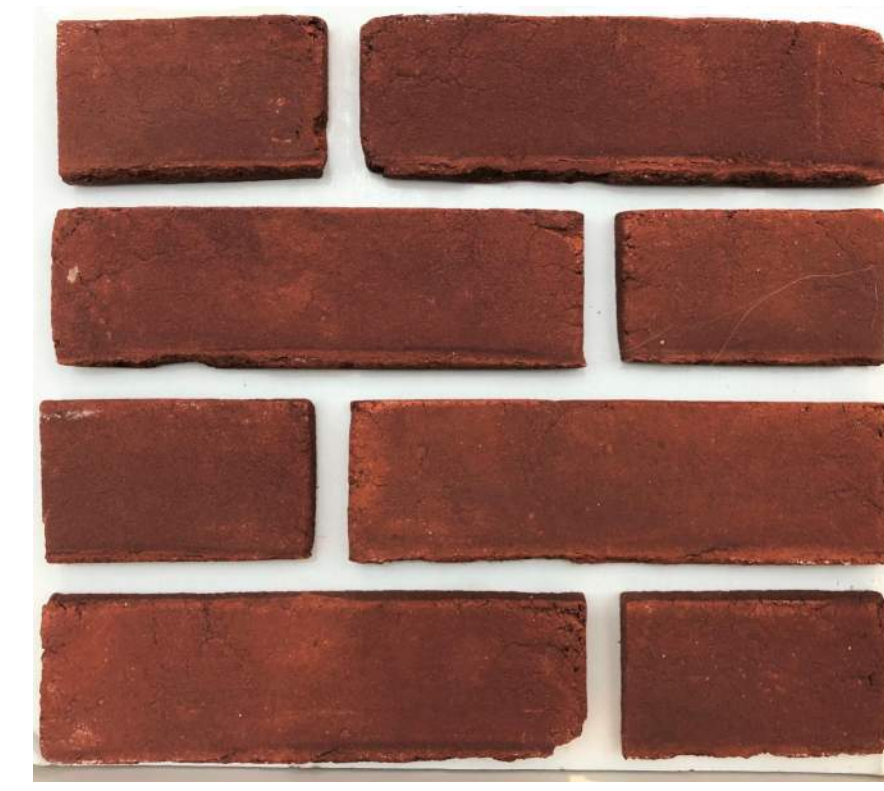
WINDOW WALL VISION GLASS (GL-1)

LIGHT GRAY WINDOW MULLION (MT-2)

RAILING JULIET (BALCONY CLEAR GLASS)

RED BRICK (BR-1)

C

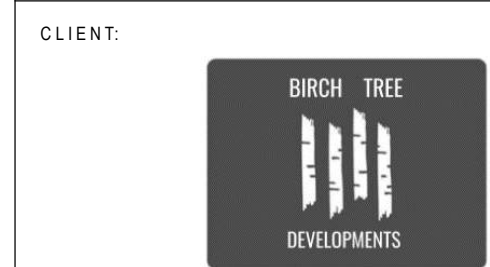


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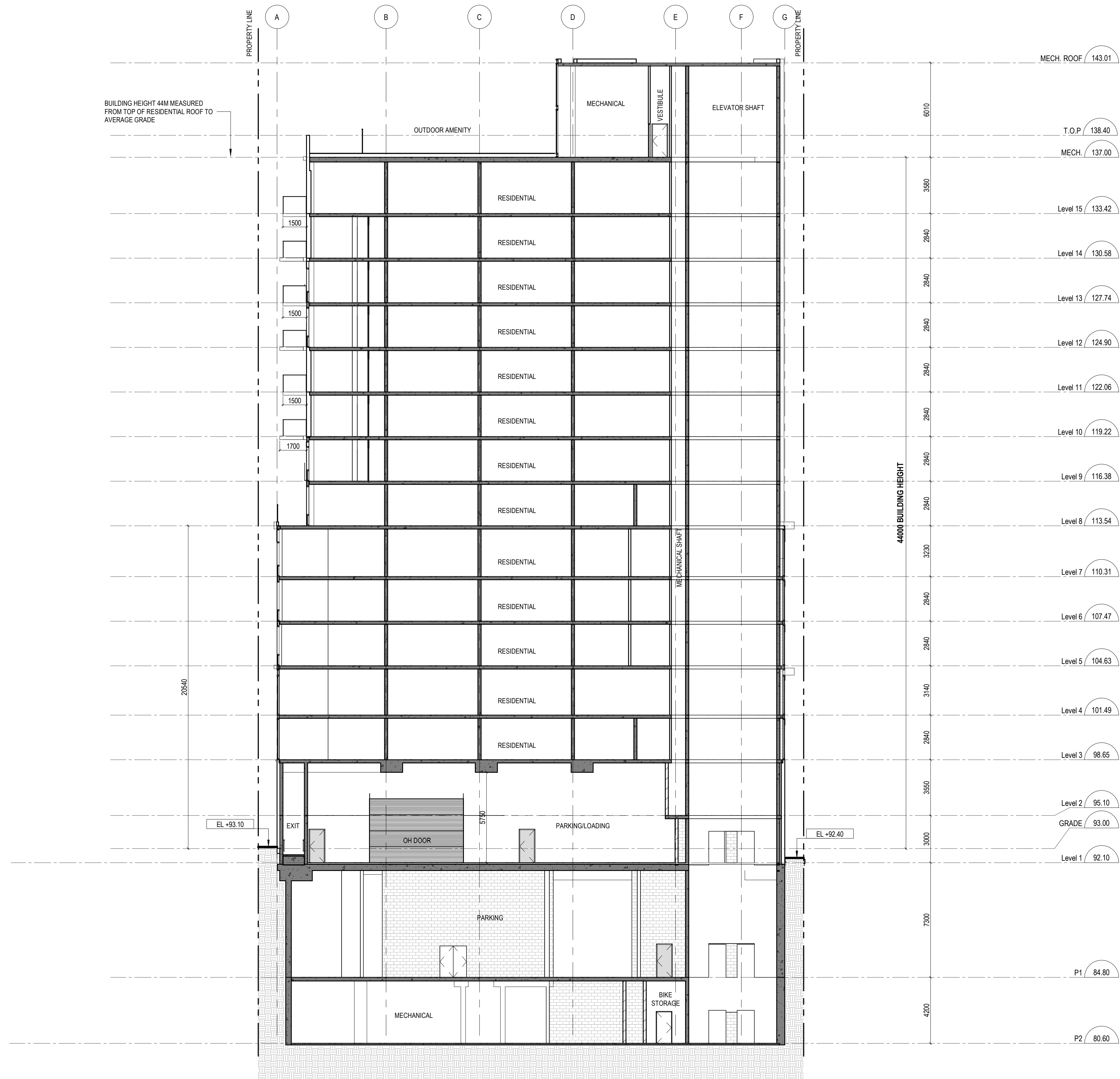


SCALE: DATE:
 JUNE 2019

TITLE:
 1/50 PARTIAL ELEVATIONS,
 MATERIAL BOARD

PROJECT NO.
 19-109

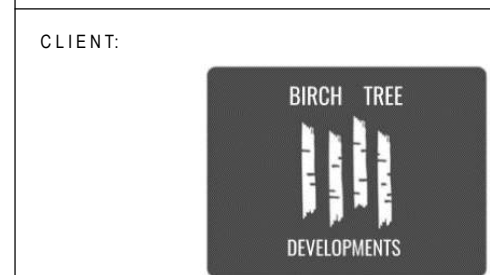
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PROJECT:
MONTEREY RESIDENCES
 16 CANNON STREET E,
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FILE NUMBER:
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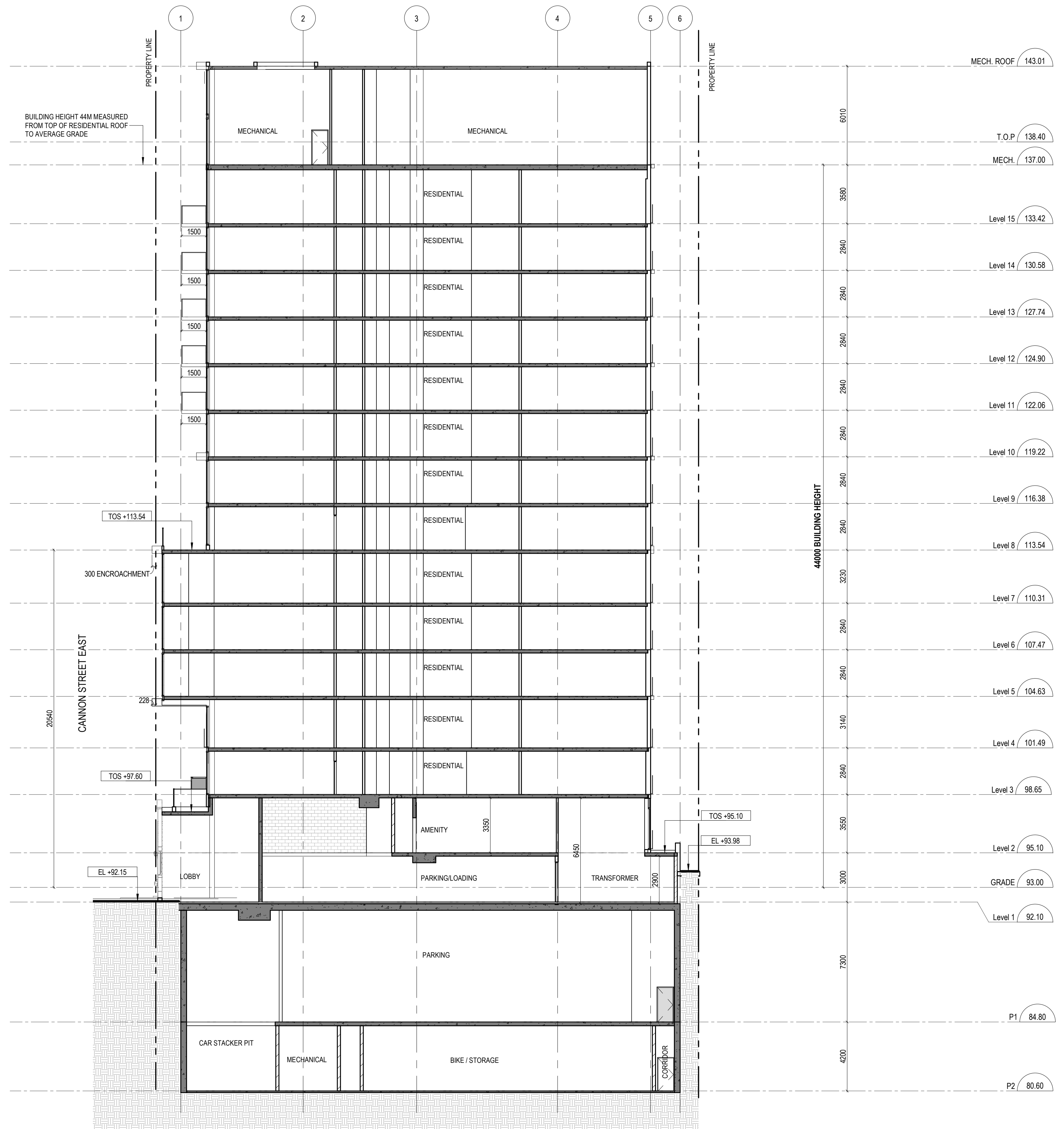
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DATE:
JUNE 2019

TITLE:
SECTION 1

PROJECT NO.
19-109

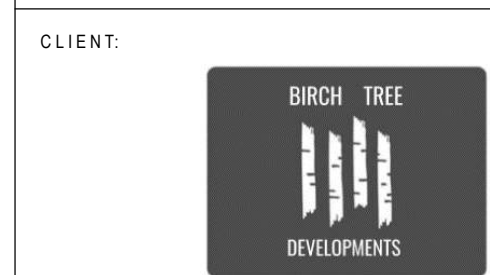
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3	2021-08-27	REISSUED FOR SITE PLAN APPROVAL
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MONTEREY RESIDENCES
 16 CANNON STREET E,
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FILE NUMBER:
DA-21-028



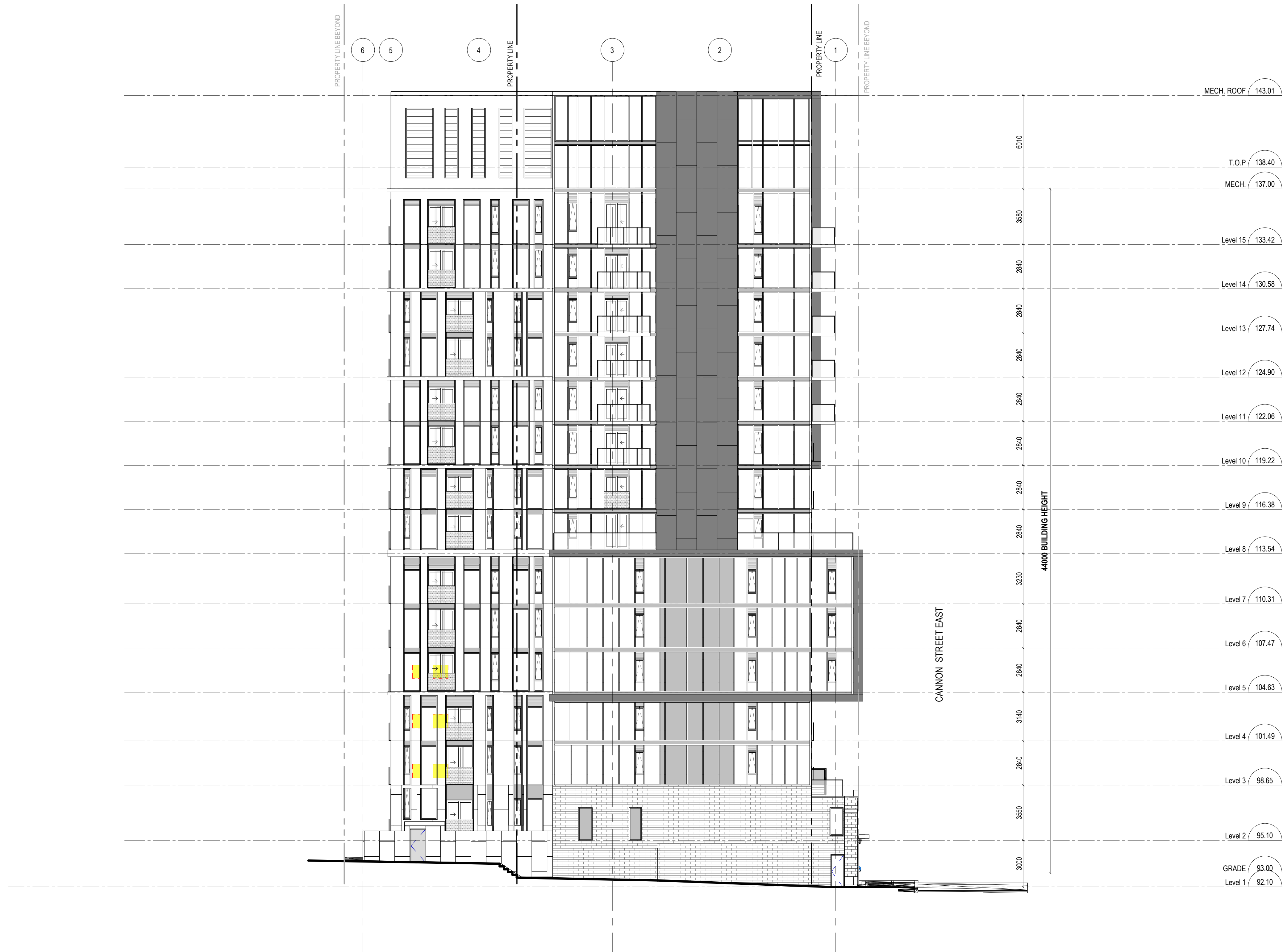
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DATE:
JUNE 2019

TITLE:
SECTION 2

PROJECT NO.
19-109

A411

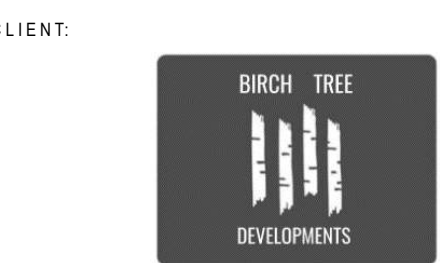


■ WINDOWS OF NEIGHBORING BUILDING

5	2022-10-26	REISSUED FOR SITE PLAN APPROVAL
4	2022-04-11	REISSUED FOR SITE PLAN APPROVAL
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PROJECT:
MONTEREY RESIDENCES
 16 CANNON STREET E,
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FILE NUMBER:
DA-21-028



SCALE:
1 : 150

DATE:
JUNE 2019

TITLE:
EAST ELEVATION - NEIGHBOUR WINDOW STUDY

PROJECT NO.
19-109

A450



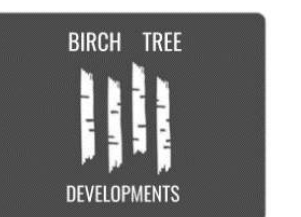
WINDOWS OF NEIGHBORING BUILDING

- 5 2022-10-26 REISSUED FOR SITE PLAN APPROVAL
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MONTEREY RESIDENCES
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FILE NUMBER:

DA-21-028



SCALE:
1 : 150

DATE:
JUNE 2019

TITLE:
**SOUTH ELEVATION -
 NEIGHBOUR WINDOW STUDY**

PROJECT NO.
19-109

A451



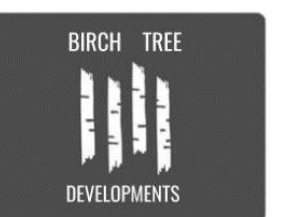
■ WINDOWS OF NEIGHBORING BUILDING

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MONTEREY RESIDENCES
 16 CANNON STREET E,
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FILE NUMBER:

DA-21-028



SCALE:
 1 : 150

DATE:
 JUNE 2019

TITLE:
**WEST ELEVATION - NEIGHBOUR
 WINDOW STUDY**

PROJECT NO.
 19-109

A452



NORTHEAST VIEW



NORTHWEST VIEW

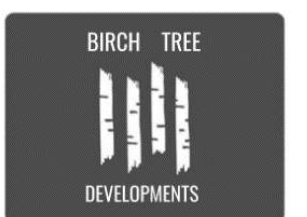
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PROJECT:

MONTEREY RESIDENCES
 16 CANNON STREET E,
 HAMILTON, ON

FILE NUMBER:

DA-21-028



SCALE:

DATE:
 JUNE 2019

TITLE:
 VIEWS

PROJECT NO.
 19-109

A700

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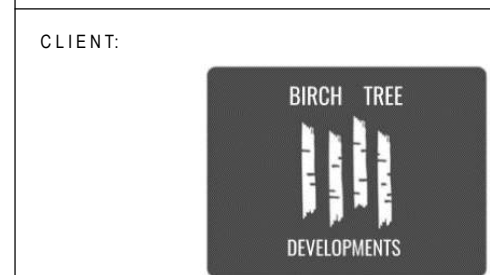


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FILE NUMBER:
 DA-21-028



SCALE: DATE:
 JUNE 2019

TITLE:
 AERIAL VIEW

PROJECT NO. **A701**
 19-109

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A. J. Clarke and Associates Ltd.
SURVEYORS • PLANNERS • ENGINEERS

November 14, 2022

City of Hamilton
Planning and Economic Development
City Hall 5th Floor
71 Main St W, Hamilton, ON L8P 4Y5

Attn: Ms. Jamila Sheffield
Secretary Treasurer, Committee of Adjustment (email: Jamila.Sheffield@hamilton.ca)

Re: 16 Cannon St E – Minor Variance Submission for Site Plan Application (DA-21-028)

Dear Ms. Sheffield:

A. J. Clarke and Associates Ltd. have been retained by Birch Tree Developments (16 Cannon) LP Inc. to coordinate applications to facilitate the construction of a 15-storey residential development on the lands municipally known as 16 Cannon Street, in the City of Hamilton. The Site Plan Application received conditional approval in December 2021. The following materials are provided in support of the Minor Variance Application to facilitate the proposed built form:

- One (1) digital copy of the signed and executed Minor Variance Application;
- One (1) cheque in the amount of \$3,465.00 representing the required application fee for the Minor Variance Application;
- One (1) digital copy of the Architectural Package, dated October 26, 2022, prepared by A&A Architects Inc.

In December 2021, a Site Plan Application was conditionally approved, (File DA-21-028). Proposed was a 16-storey, 129-unit, multiple dwelling with underground stacked parking system. Since that time, the site plan has been altered to accommodate staff comments and recommendations and is now 15 storeys containing 130 units. Numerous other studies and reports were submitted through the Site Plan Approvals process.

URBAN HAMILTON OFFICIAL PLAN

The subject lands are designated as “Downtown Mixed Use Area” as per Schedule E-1 of the Urban Hamilton Official Plan.

The ‘Downtown Mixed Use Area’ designation permits uses such as; various commercial uses, various institutional uses, entertainment and recreational uses, accommodation uses, and residential uses.



DOWNTOWN HAMILTON SECONDARY PLAN

The lands are further designated with the 'Pedestrian Focus' and 'Mid-Rise' Building Height features as per Map B.6.1-1 and Map B.6.1-2 of the Downtown Hamilton Secondary Plan. However, the Zoning By-law permits a height of 44 metres.

Areas designated as 'Downtown Mixed Use – Pedestrian Focus' designation shall "maintain its key role as the governmental, institutional, educational, cultural, and residential center of the City. The Downtown Mixed Use policies of the Secondary Plan are intended to support intensive, urban-scale mixed use development."

Additionally, the policies with Volume 2 Chapter B Section 6.1.6.2 shall apply for lands designated as 'Pedestrian Focus'. It should be noted, as per Schedule C of the Official Plan, that this portion of Cannon Street East is designated as a 'Minor Arterial' road.

The proposed use as a multiple dwelling is permitted. As noted above, the building height is above the Secondary Plan limit, however 44 metres is permitted within the Zoning By-law.

MINOR VARIANCES

After completing review of the Hamilton Zoning Bylaw 05-200, several variances will be required to facilitate the proposed development. A detailed description of each variance requested is provided below. In our opinion, the variances taken collectively and individually are supportable and maintain the intent and purpose of the Urban Hamilton Official Plan and City of Hamilton Zoning By-law No. 05-200. They are as listed below:

1. To permit a minimum setback of 2.3 metres along the westerly side yard, whereas 3.0 metres is required.
2. To permit a minimum setback of 1.2 metres along the easterly side yard, whereas 3.0 metres is required.
3. To permit a minimum parking space size of 2.3 metres x 5.0 metres for one (Space 21) parking stacker spaces on site, whereas 2.8 x 5.8 metres is required.
4. To permit a minimum parking space size of 2.4 metres x 5.0 metres for all other parking stacker spaces on site, whereas 2.8 x 5.8 metres is required.
5. To permit a minimum barrier free parking space size of 2.8 metres, whereas a width of 4.7 metres is required.
6. To permit a porch or canopy to encroach 1.7 metres into any required yard up to 0.0m from the property line.
7. To permit four (4) short term bicycle parking spaces, whereas five (5) are required.



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Four Tests

As per Section 45(1) of the Planning Act (1990), the Committee of Adjustment has the power to authorize "... a minor variance from the provisions of the by-law, in respect of the land, building or structure or the use thereof...".

Accordingly, the Committee of Adjustment has the power to approve variances to the permitted uses from the existing provisions of the Zoning By-law. Any minor variance must demonstrate, in the opinion of the Committee, that the proposed variance meets the four (4) tests outlined under the Planning Act, which are as follows:

- 1) Is it minor in nature?
- 2) Is it desirable for the appropriate development or use of the land?
- 3) Does it maintain the general intent/purpose of the Official Plan?
- 4) Does it maintain the general intent/purpose of the Zoning By-law?

Our office has taken care to prepare responses to each of the four tests for all afore-mentioned variances.

1. Do the proposed variances maintain the intent and purpose of the Urban Hamilton Official Plan?

The parcel in which the proposed 130-unit residential tower is to be constructed on a tight and irregular-shaped parcel of land. With that in mind, the proposed development has made an efficient use of the space and has optimized its density and efficiency. The design also adheres to the principles set forth in the Urban Hamilton Official Plan. The applicable principles include:

Pol.B.3.3.2.3 Urban design should foster a sense of community pride and identity by:

- b) promoting quality design consistent with the locale and surrounding environment;*
- c) recognizing and protecting the cultural history of the City and its communities;*
- d) conserving and respecting the existing built heritage features of the City and its communities;*
- g) contributing to the character and ambiance of the community through appropriate design of streetscapes and amenity areas;*
- h) respecting prominent sites, views, and vistas in the City;*

The proposed development will conserve the built and cultural heritage by preserving the heritage building frontage along Cannon Street East. The proposed building materials for the extension of the building are sensitive to those used in the heritage building and the surrounding neighbourhood as they incorporate the predominant use of red brick and other similar building materials. The development will create an attractive streetscape through landscaped and appropriate setbacks from the street. The design is also a compact form of development that not only uses the land efficiently but makes use of green roof amenity space and innovative design not only in the buildings image, but in using technology such as stacked parking systems to make use of space while simultaneously providing the necessary infrastructure for the building and its residents.



Chapter A.1.4 sets forth the Principles of the Official Plan. The proposed development follows every applicable principle:

- The compact form contributes to healthy urban communities that provide opportunities to live, work, play, and learn;
- By utilizing underdeveloped lands it prevents the need to develop greenfield sites, thereby helping preserve environmental systems;
- The site is accessible by automobile, public transit (a bus stop is located within several metres of the property parcel), and pedestrian access;
- Promotes the growing, strong, prosperous and diverse economy of the area and financial stability to surrounding commercial uses, and;
- It is a strategic and wise use of existing infrastructure services and existing built forms.

Chapter E – Urban Designations outlines the policy for every land use designation in the UHOP. Subsection 4.4 – Downtown Mixed Use Designation, describes the function, permitted and prohibited uses, scale, and design policies. When regarding design, Policy B.4.4.11 states:

Building mass shall consider the pedestrian nature of the area designated Downtown Mixed Use. Massing techniques such as stepped back or terraced floors may be required.

The proposed development has already addressed concerns regarding the step backs from the street. The variances requested for the side yard step backs are minimal and will have little, if any, negative impact on the pedestrian space of the street below. As can be seen at the site, and through the architectural package, the surrounding uses include surface parking lots, a four-storey office, and a two-storey mixed use building. The step backs proposed will not negatively impact these neighbouring uses or the public space of the street, will have minimal effect on the public space access to sunlight, and will create a consistent built form.

The variance seeking the allowance to permit a porch or canopy to encroach 1.7 metres into any required yard up to 0.0 metres from the property line is required to facilitate an aesthetically pleasing shelter at several access points. The intent of the Official Plan is to facilitate streetscape design that is supportive of active pedestrian movement and as such this variance maintains the intent of the Official Plan. It should be noted that the Concrete canopies on the first floor encroach up to 0.0m from the property line, however, the balconies above do not encroach up to the property line. The variance represents the worst case scenario located on the first floor of the site.

Policy E.2.3.15 states “Parking shall continue to be provided within the Downtown Urban Growth Centre to serve the needs of residents, employees, and consumers, and shall increasingly be provided in underground or above ground structures where feasible. The proposed development utilizes the limited space of the subject site by using underground and stacked parking systems to address the parking requirements. However, several variances are necessary to accommodate a reduction in parking space size for the parking stackers as well as parking space dimensions next to walls or columns.



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The reduction to accommodate the stacked parking systems is necessary as the manufacturer of the parking stackers have changed the size of the platforms, resulting in a deficiency in parking space size. Stacking system details can be found within the concurrently submitted architectural package. The intent of the parking dimensions is to accommodate access to and from vehicles once parked. Residents will not require this space as they will not be accessing their vehicle from the stacked spaces, but rather the elevator – which maintains the required dimensions.

The parking stackers can accommodate appropriately sized vehicles and accommodate the anticipated parking demand stemming from the development. As such, the variance maintains the purpose and intent of the Official Plan.

Two standard parking spaces are also provided. A Variance is required for the width of the barrier free space. The columns in which this space abuts are located at either end of the parking space and will have no impact on vehicle access. The area beside the Barrier Free Space is designated for access to and from the space and is appropriate to facilitate access for a person requiring a barrier free parking space.

Lastly, the variance requested to permit four (4) short term bicycle spaces, whereas five (5) are required is a minor technicality, as three additional short-term parking spaces are being built within the right-of-way. These additional spaces put the development above the minimum requirement and will be addressed with an Encroachment Agreement. However, the three (3) additional spaces cannot be counted for Zoning Purposes, as such a technical variance is required.

Collectively, the proposed variances maintain the purpose and intent of the Urban Hamilton Official Plan.

2. Do the proposed variances maintain the intent and purpose of the City of Hamilton Zoning By-law 05-200?

The required variances to the City of Hamilton Zoning By-law No. 05-200 are intended to facilitate a desirable built form that will have no negative impacts to the surrounding neighbourhood.

The first variances will be to address by-law 6.b).ii) which is described as follows:

“A minimum 3.0 metre setback shall be required for any portion of a building exceeding 22.0 metres in height from a side or rear lot line.”

The proposed development will require a reduction along the westerly side lot line to 2.3 metres, and the easterly side lot line setback of 1.2 metres. The intent of this provision is to reduce the effects of building mass on public space and reduce issues arising from overlook. In addition to the points made above regarding the Official Plan, the proposed development is within the height allowance as shown in Special Figure F of the Zoning By-law and has no tall, neighbouring, structures. The subject site is small in comparison to similar developments of this scale and the development makes very efficient use of space to accommodate a high density of dwellings. This relatively narrow



structure will have very little impact on the neighbourhood in terms of access to sunlight in adjacent public spaces.

A variance will also be required to permit a porch or canopy to encroach 1.7m into any required yard up to 0.0m from the property line, whereas By-law 4.6.d) states:

A porch, deck or canopy may encroach into any required yard to a maximum of 1.0 metres, or to a maximum of half the distance of the required yard, whichever is the lesser.

The intent of this by-law is to prevent over development of the built form and imposition onto neighbouring land uses and streetscape. This variance is required to facilitate the aesthetically pleasing design proposed. This canopy will also facilitate a more active, pedestrian streetscape as it provides shelter from the elements on the ground floor of the development. The intent of the zoning by-law is maintained.

The reduction in parking space dimensions has already been explained in the section above. There are several dimensions that will require variances. One of the proposed stacking systems (Space 21 as indicated in the architectural package), will require the largest reduction in size to 2.3 metres in width and 5.0 metres in length, this one stacker is intended for single vehicles, whereas the remaining stackers are for two vehicles, parked side by side. This stacked parking system will still appropriately service the needs of the required parking. The remaining stacked parking systems will require a reduction to 2.4 metres in width by 5.0 metres in length. The reduction is necessary as the manufacturer of the parking stackers have changed the size of the platforms, resulting in a deficiency in parking space size. The parking stackers can accommodate appropriately sized vehicles and accommodate the anticipated parking demand stemming from the development. As such, the variance maintains the purpose and intent of the Zoning By-law and are technical in nature.

A reduction in the parking dimensions is required for Spaces L1-01 (barrier-free). This is to address by-law 5.2.b) which states:

Unless permitted by another regulation in this By-law, parking space sizes shall be:

- i) Minimum 2.8 metres in width and 5.8 metres in length;*
- ii) Where a wall, column, or any other obstruction is located abutting or within any parking space within an above ground or underground parking structure, the minimum width of a parking space shall be increased by 0.3 metres for each wall, column, or obstruction;*

Parking space L1-01 is a barrier-free parking space. As per by-law 5.2.f) this space would require a width of 4.7 metres. The space is shown to have the dimensions of 2.8m in width. The intent of the by-law is to allow for access with the assistance of wheelchairs and similar devices to vehicles. As can be seen in the drawings there is an open space of 1.97 metres adjacent to the parking space, creating an overall width of 4.7 metres.



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As reviewed, and discussed above, the required variances maintain the intent of the zoning by-law.

3. Are the proposed variances appropriate for the development of the subject lands?

As noted above, the variance is intended to facilitate a desirable built form within the Downtown Urban Growth Centre. As noted above, the proposed variances conform with the Urban Hamilton Official Plan and maintain the intent of the City of Hamilton Zoning By-law 05-200. The proposed development will provide 130 residential units within the downtown area, utilizing efficient redevelopment and infill techniques that optimize density and use innovative technologies and design. The built form does not impose on the public realm, or neighbouring sites, and maintains the streetscape consistency through its effective preservation of the frontage of the heritage building currently on the subject site. The proposed development will contribute to and enhance the streetscape. The variances are therefore appropriate for the development of the subject lands.

4. Are the proposed variances minor in nature?

There are no perceived impacts on the neighbourhood stemming from the proposed development and the required variances being sought. The variances relate to the internal function of the building and the aesthetic design choices made to facilitate the built form shown. Accordingly, it is our professional planning opinion that the variances are minor in nature.

Conclusion

In accordance with the above criteria, variances to permit reduced side yard step backs above 22 metres, reductions in parking space dimensions to accommodate stacked parking systems and address columns, to permit canopies extending to the lot line, and to permit 'reduced' short-term bicycle parking will be required to facilitate the proposed development. The development maintains the intent of the Official Plan and Zoning By-law. It is of our opinion that the variances represent good planning and should be approved.

I trust that you will find the enclosed satisfactory for your purposes. Please confirm receipt of this submission and we look forward to being scheduled for the next available hearing date. If you have any questions or require additional information, please do not hesitate to contact our office.

Yours truly,

Franz Kloibhofer, MCIP, RPP
Principal Planner
A. J. Clarke and Associates Ltd.

Copy: Birch Tree Developments (16 Cannon) LP Inc.

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)		[REDACTED]
Applicant(s)		
Agent or Solicitor		

1.2 All correspondence should be sent to Owner Applicant
 Agent/Solicitor

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No
 If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No
 If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	16 Cannon St East		
Assessment Roll Number	02015355975		
Former Municipality	Barton		
Lot	14	Concession	2
Registered Plan Number	62R-1582	Lot(s)	Pt Lt 6, James Hughson Survey
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

Subject to a right-of-way as in INST. NO. VM276459

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Please see attached cover letter.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Please see attached cover letter.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
34.72	±32.8	876.354 sq m	20.1 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Two-Storey Building (no.16)	encroachment of 0.3m	0.11m encroachment	0 m	pre-1875 for base building

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
15-storey multiple dwelling	encroachment of 2.3m (maintains existing facade)	1.2m	1.04m(west) & 1.22m (east)	TBD

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
two-storey building	±441.94 sq m	unknown	2	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
15-storey multiple dwelling	747.7 sq m	8,796 sq m	15	44 m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)
-

- 4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 - privately owned and operated individual septic system
 - other means (specify)
-

4.7 Type of access: (check appropriate box)

- provincial highway
 - municipal road, seasonally maintained
 - municipal road, maintained all year
 - right of way
 - other public road
-

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Multiple dwelling - 130 Units

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
2-storey commercial with residential, parking lot, 4-storey office,

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
funeral home, residential

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Residential,

7.4 Length of time the existing uses of the subject property have continued:
since late 20th century

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Downtown Mixed Use Area - Partial Pedestrian Focus

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? D1 - Downtown Central Business District

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number: