



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	HM/A-22:401	SUBJECT PROPERTY:	248 PALING AVENUE, HAMILTON, Ontario
ZONE:	"R1a" (Low Density Residential – Small Lot)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended 22-197

APPLICANTS: Owner: Justine Raven & Richard Emberley
Agent: Raed Al-Rawi (Professional Floor Plans Inc.)

The following variances are requested:

Detached Garage) notwithstanding that:

1. A minimum front yard setback of 0.65 metres shall be provided instead of the minimum required front yard setback of 3.0 metres.
2. A minimum side yard setback of 0.61 metres shall be provided instead of the minimum required front yard setback of 3.0 metres.
3. A porch shall project into the entirety of the required front yard and up to zero (0) metres to the front lot line instead of the required minimum projection of 1.5 metres into a required yard or half the distance of the required yard, whichever is the lesser.
4. The Total Aggregate Gross Floor Area for an Accessory Structure shall be 70 metres squared or 25.74% of the total lot coverage instead of the maximum required 45 metres squared or 7.5% of the total lot coverage, whichever is lesser.
5. A minimum side yard setback for an Accessory Structure shall be 0.50 metres instead of the minimum required side yard setback of 1.2 metres.
6. A parking space shall be 2.7 metres in width and 5.8 metres in length instead of the minimum required 2.8 metres in width and 5.8 metres in length.

PURPOSE & EFFECT: So as to permit the construction of a Single Detached Dwelling and Accessory Building.

Notes:

- i) The proposed front porch and steps is shown to project into the entirety of the required front yard and up to the front lot line whereas a porch is permitted to encroach a maximum of 1.5 metres or half the distance of the required front yard, whichever is lesser. As such, a variance has been provided to address this.
- ii) Be advised, an Encroachment Agreement with the Public Works department may be required for the front porch steps encroaching into the Paling Avenue Right of Way, as indicated on the Site Plan provided.
- iii) Be advised, the Gross Floor Area for the Accessory Building has been calculated based on the total aggregate floor area of the main floor and basement (storage) level, less any area devoted to parking. As such, the originally requested variance for 42.66 m² (15.68%) permitted gross floor area has been altered to incorporate the area as calculated above.
- iv) Be advised, insufficient information has been provided to determine compliance for Mechanical and Unitary Equipment. Should any such equipment be proposed the requirements of Section 4.9 shall apply, or additional variances may be required.
- v) The proposed parking space in the rear yard is indicated to be 2.7 metres in width and 6.0 metres in length whereas a parking space is required to be 2.8 metres in width and 5.8 metres in length. As such, a variance as been provided to address this.
- vi) Be advised, insufficient information has been provided to determine materials used for the parking spaces in the rear yard. As per Section 5.2 stable surfaces such as asphalt, concrete or other hard-surfaced material, crushed stone, permeable pavers or gravel and shall be maintained in a dust free condition. Should any such materials not be provided for a parking surface, additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, February 2, 2023
TIME:	1:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-22:401, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: January 17, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

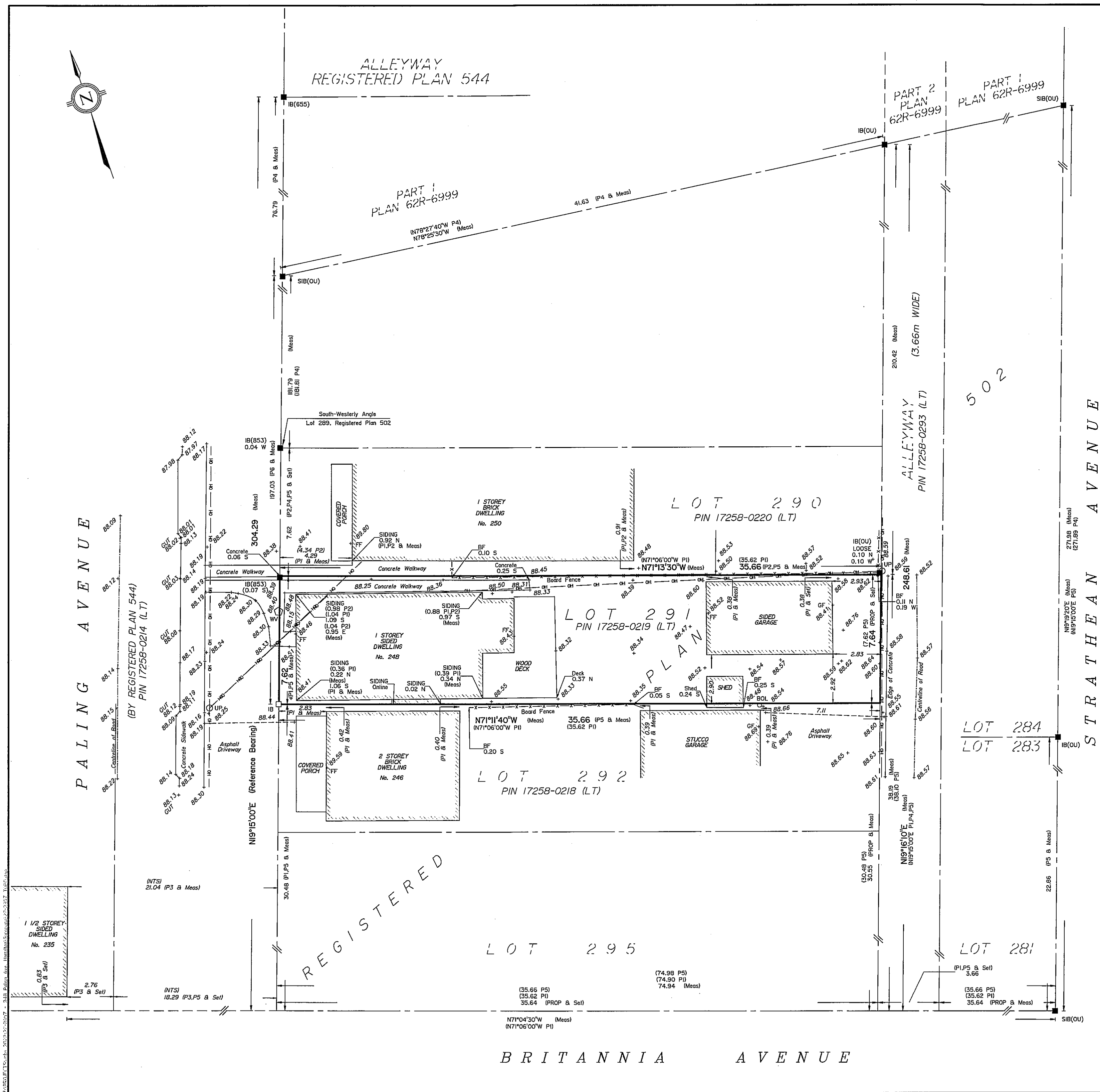
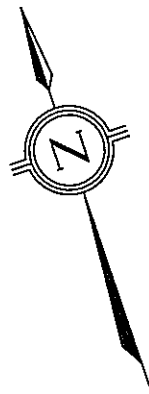
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN WITH TOPOGRAPHIC DETAIL
LOT 291
REGISTERED PLAN 502
IN THE
CITY OF HAMILTON

SCALE & NOTES

Scale 1:150



BARICH GRENKIE SURVEYING LTD.

A DIVISION OF GEOMAPLE

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METRIC

DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 07720020012 HAVING AN ELEVATION OF 84.543 m.

BEARING NOTE

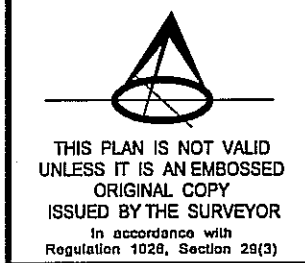
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF PALLING AVENUE AS SHOWN ON REGISTERED PLAN 502 HAVING A BEARING OF N19°15'00"E.

FOR BEARING COMPARISONS, A ROTATION OF 1°31'00" CLOCKWISE WAS APPLIED TO BEARINGS ON P4,P6

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
OU	DENOTES	ORIGIN UNKNOWN
853	DENOTES	M.A. CHIDLEY, O.L.S.
P1	DENOTES	PLAN BY GUIDO CONSOLI SURVEYING LTD.
		DATED MAY 25, 1989
P2	DENOTES	PLAN BY M. A. CHIDLEY, O.L.S.
		DATED FEBRUARY 15, 1975
P3	DENOTES	PLAN BY A. T. McLAREN LTD.
		DATED AUGUST 12, 1982
P4	DENOTES	PLAN 62R-6999
P5	DENOTES	REGISTERED PLAN 502
P6	DENOTES	PLAN BY GUIDO CONSOLI SURVEYING LTD.
		DATED JUNE 29, 1990
UP	DENOTES	UTILITY POLE
TC	DENOTES	TOP OF CURB ELEVATION
GUT	DENOTES	GUTTER ELEVATION
OH	DENOTES	OVERHEAD UTILITY CABLES
DT	DENOTES	DECIDUOUS TREE
CT	DENOTES	CONIFEROUS TREE
BF	DENOTES	BOARD FENCE
FF	DENOTES	FINISHED FLOOR ELEVATION
GF	DENOTES	GARAGE FLOOR ELEVATION
NTS	DENOTES	NOT TO SCALE
WV	DENOTES	WATER VALVE

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-18030



THIS PLAN WAS PREPARED FOR PROFILE INC. AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S REAL PROPERTY REPORT

PART 2

DESCRIPTION SUMMARY - LANDS DESCRIBED IN PIN 17258-0219 (LT).
LOT 291, REGISTERED PLAN 502

REGISTERED EASEMENTS/RIGHTS-OF-WAY - NONE FOUND ON TITLE.

ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND WALKWAYS AS SHOWN ON THE FACE OF THE PLAN.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS - THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BYLAWS

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON MAY 12, 2022.

MAY 13, 2022

ERIC G. SALZER
O.L.S., O.L.I.P.

Barich Grenkie
Surveying Ltd.

297 HWY No. 8 (UNIT 101) - STONEY CREEK, ON
L8G 1E5 (409) 662-6767

A DIVISION OF GEOMAPLE

DWN BY: EWA

CHK BY: EGS

JOB No. 22-2957

CITY OF HAMILTON ZONING BY-LAW

	BY LAW	PROPOSED
ZONING	R1a	DETACHED DWELLING
LOT AREA	270.00 m² Min.	271.91 m² (Existing.)
LOT FRONTAGE	9.00 m Min.	7.62 m (Existing.)
MIN. FRONT YARD	3.00 m	0.66 m
MIN. EXTERIOR SIDE YARD	N.A.	N.A.
MIN. INTERIOR SIDE YARD	1.20 m, 1.20 m	1.20 m, 0.63 m
MIN. REAR YARD	7.50 m	14.84 m
MAX. HEIGHT	10.50 m Max.	9.53 m

BUILDING AREA	
	PROPOSED
FIRST FLOOR AREA	102.50 m²
SECOND FLOOR AREA	116.50 m²
TOTAL	219.00 m²

LOWER LEVEL (FINISHED BASEMENT AREA)	105.91 m²
PORCH (COVERED)	14.00 m²
GARAGE (DETACH)	33.45 m²

TOTAL COVERAGE AREA (FIRST FLOOR+GARAGE+PORCH)	149.95 m²
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FLOOR AREA INDEX	N/A	80.54 % (219.00 m²)
LOT COVERAGE	N/A	55.15 % (149.95 m²)

GENERAL DEMOLITION NOTES

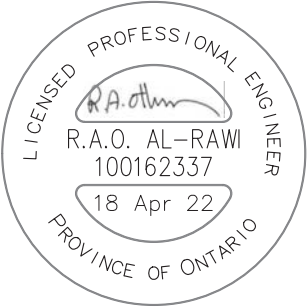
1. DISPOSE OF REMOVED ITEMS IN A LAWFUL MANNER IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MUNICIPALITY HAVING JURISDICTION
2. ALL EXISTING WALLS AND ITEMS TO BE REMOVED ARE SHOWN DASHED.
3. OWNER TO HAVE RIGHT TO FIRST REFUSAL OF ALL ITEMS REMOVED. ALL REMOVED ITEM SHALL BE DISPOSED OF AS PER NOTE No. 1.
4. COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALL RELATED COMPONENTS OF DEMOLITION, MODIFICATION AND NEW INSTALLATION.
5. SAWCUT AND REMOVE THE EXISTING SLAB ON GRADE TO FACILITATE ANY BURIED MECHANICAL AND/OR ELECTRICAL ITEMS. PATCH AND MAKE GOOD SLAB ON GRADE AFTER NEW SERVICES ARE IN PLACE. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS.
6. REMOVE, RELOCATE AND/OR REROUTE ALL MECHANICAL AND ELECTRICAL SERVICES AND CONNECTIONS AS REQUIRED TO ACCOMMODATE DEMOLITION OR AS NECESSARY AS A RESULT OF DEMOLITION.
7. SUPPLY AND INSTALL NECESSARY SHORING AND/OR BRACING AS REQUIRED FOR TEMPORARY SUPPORT OF EXISTING STRUCTURE. COORDINATE WITH A STRUCTURAL ENGINEER AS REQUIRED.
8. ENSURE ALL FLOOR AREAS ARE FREE OF HAZARDS AFTER DEMOLITION IS COMPLETE. LEVEL, PATCH, FILL AND GRIND FLOOR AS REQUIRED TO ACHIEVE A SMOOTH SANITARY SURFACE READY TO RECEIVE FLOOR FINISH.
9. CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO EXISTING AS BUILT WALLS, SURFACES AND FINISHES TO REMAIN.
10. PROTECT SALVAGED AND/OR ITEMS TO REMAIN FROM DAMAGE. PROVIDE ADEQUATE COVERINGS AND/OR STORAGE AS REQUIRED.
11. EXISTING EXIT SIGNAGE, FIRE ALARM SYSTEM AND EMERGENCY LIGHTING TO BE LEFT IN OPERATION DURING DEMOLITION AND DURATION OF CONTRACT OR UNTIL NEW INSTALLED.
12. SUPPLY AND MAINTAIN ON A DAILY BASIS ALL INTERIOR AND EXTERIOR TEMPORARY COVERINGS, FENCING, TARPING, HOARDING, FLOOR PLATES, SIGNAGE AND OTHER SEPARATIONS REQUIRED TO MAINTAIN THE SAFETY OF THE PUBLIC DURING WORK OF THIS CONTRACT. COORDINATE THESE PROTECTIVE MEASURES WITH THE OWNER. REMOVE AND/OR DISPOSE OF ALL FROM SITE AFTER COMPLETION OF WORK OF THIS CONTRACT.
13. MAINTAIN A CLEAN, SAFE AND ORDERLY SITE AT ALL TIMES.
14. COORDINATE WITH OWNER THE STAGING AREAS FOR SITE TRAILER AND MATERIALS STORAGE.
15. COORDINATE WITH OWNER AREA(S) FOR WASTE BIN LOCATION. SUPPLY AND MAINTAIN PROTECTIVE MEASURES TO ENSURE THE PUBLICS SAFETY.
16. COORDINATE WITH THE OWNER ANY STAGING OF WORK AND/OR DISRUPTION OF PARKING AND TRAFFIC FLOWS.
17. SHOULD MATERIAL RESEMBLING SPRAY OR TROWEL APPLIED ASBESTOS OR OTHER TOXIC OR HAZARDOUS MATERIALS BE ENCOUNTERED IN THE COARSE OF DEMOLITION, STOP WORK, TAKE PREVENTATIVE MEASURES AND NOTIFY ARCHITECT AND/OR OWNER IMMEDIATELY. DO NOT PROCEED UNTIL WRITTEN INSTRUCTIONS HAVE BEEN RECEIVED.
18. THE DRAWINGS INDICATE THE PHYSICAL DIMENSIONS, EXISTING LEVELS AND SIMILAR ITEMS BEING INDICATED WHERE KNOWN. ALL INFORMATION RELATIVE TO EXISTING SHE CONDITIONS IS OFFERED TO ASSIST THE CONTRACTOR IN EVALUATION OF THE WORK, BUT WITH NO SPECIFIC REPRESENTATION EITHER EXPRESSED OR IMPLIED, AS TO COMPLETENESS OR ACCURACY.

FIRM NAME: PROFESSIONAL FLOOR PLANS INC.

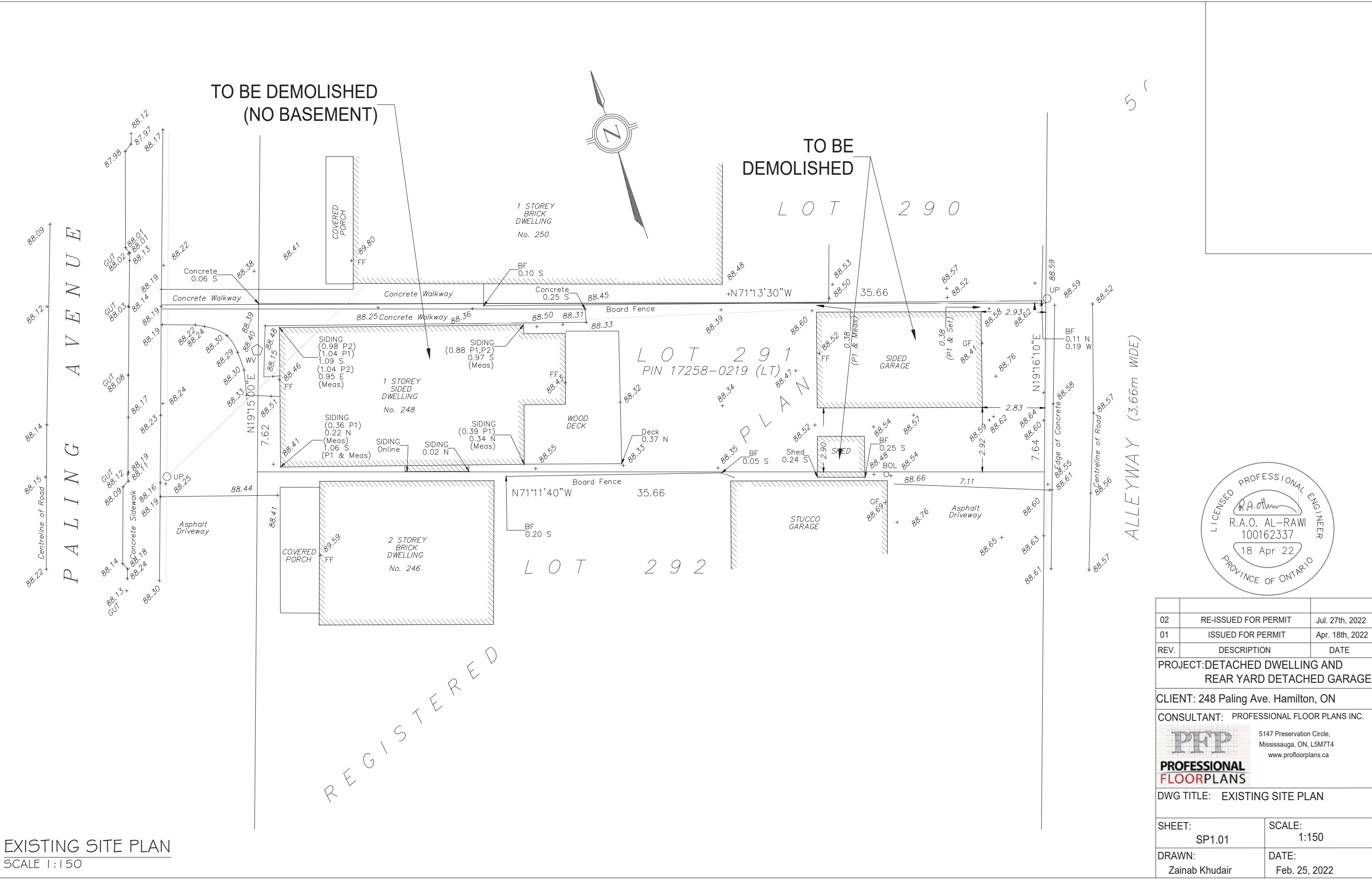
NAME OF PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE

LOCATION:
248 PALING AVENUE, HAMILTON, ON L8H 5J9

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9							OBC SECTION REFERENCE				
1	PROJECT DESCRIPTION:				<input checked="" type="checkbox"/> NEW			<input type="checkbox"/> PART 3		<input checked="" type="checkbox"/> PART 9		
	PROPOSED TWO-STOREIS				<input type="checkbox"/> ADDITION			2.1.1 [A]		2.1.1		
	<input type="checkbox"/> CHANGE OF USE				<input type="checkbox"/> ALTERATION			3.2.2.43 [A]		9.10.1.3.		
2	MAJOR OCCUPANCY(S): GROUP C							3.1.2.1.(1)		9.10.2.		
3	BUILDING AREA: 149.95 M2 (1,614.05 SQ.FT)							1.4.1.2. [A]		1.4.1.2. [A]		
4	GROSS AREA: 219.00 M2 (2,357.30 SQ.FT)							1.4.1.2. [A]		1.4.1.2. [A]		
5	NUMBER OF STOREYS:		ABOVE GRADE: 2		BELOW GRADE: 1		3.2.1.1. & 1.1.3.2 [A]		1.4.1.2. [A] & 9.10.4			
6	NUMBER OF STREETS/FIRE FIGHTER ACCESS: 1							3.2.2.10. & 3.2.5.		9.10.20.		
7	BUILDING CLASSIFICATION: C							3.2.2.20.-.83		9.10.2.		
8	SPRINKLER SYSTEM PROPOSED:				<input type="checkbox"/> ENTIRE BUILDING			3.2.2.20.-.83		9.10.8.2.		
					<input type="checkbox"/> SELECTED COMPARTMENTS			3.2.1.5.				
					<input type="checkbox"/> SELECTED FLOOR AREAS			3.2.2.17.				
					<input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING			INDEX		INDEX		
					<input checked="" type="checkbox"/> NOT REQUIRED							
9	STANDPIPE REQUIRED				<input type="checkbox"/> YES <input checked="" type="checkbox"/> No			3.2.5.9		N/A		
10	FIRE ALARM REQUIRED				<input type="checkbox"/> YES <input checked="" type="checkbox"/> No			3.2.4.		9.10.19.		
11	WATER SERVICE/SUPPLY IS ADEQUATE				<input checked="" type="checkbox"/> YES <input type="checkbox"/> No			3.2.5.7.		N/A		
12	HIGH BUILDING				<input type="checkbox"/> YES <input checked="" type="checkbox"/> No			3.2.6.		N/A		
13	CONSTRUCTION RESTRICTIONS		<input type="checkbox"/> COMBUSTIBLE		<input type="checkbox"/> NON-COMBUSTIBLE		<input checked="" type="checkbox"/> BOTH		3.2.2.20.-.83		9.10.6.	
	ACTUAL CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE		<input type="checkbox"/> NON-COMBUSTIBLE		<input checked="" type="checkbox"/> BOTH					
14	MEZZANINE(S) AREA: N/A							3.2.1.1.(3)-(8)		9.10.4.1.		
15	OCCUPANT LOAD BASED ON <input checked="" type="checkbox"/> TWO PERSONS/SLEEPING ROOM							3.1.17.		9.9.1.3.		
	No. OF SLEEPING ROOMS = 3				OCCUPANCY GROUP C		LOAD 6 PERSONS		3.7.			
16	BARRIER-FREE DESIGN				<input type="checkbox"/> YES <input checked="" type="checkbox"/> No			3.8.		9.5.2.		
17	HAZARDOUS SUBSTANCES				<input type="checkbox"/> YES <input checked="" type="checkbox"/> No			3.3.1.2. & 3.3.1.19.		9.10.1.3.(4)		
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES			LISTED DESIGN No.			3.2.2.20.-.83 & 3.2.1.4.		9.10.8. & 9.10.9.		
		FRR (HOURS)			OR DESCRIPTION (SG-2)							
		FLOORS	45 MIN		-							
		ROOF	N/A		-							
		MEZZANINE	N/A		-							
		FFR OF SUPPORTING MEMBERS			LISTED DESIGN No.							
					OR DESCRIPTION (SG-2)							
		FLOORS	45 MIN		-							
		ROOF	N/A		-							
		MEZZANINE	N/A		-							
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS										3.2.3. 9.10.14. 9.10.15.	
	WALL	AREA OF EBF (SQ.M.)	L.D. (M.)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	PERMITTED MAX. % OF GLAZED OPENINGS	PROPOSED % OF GLAZED OPENINGS				
EAST	FRONT	38.17	10.18	-	100.00	30.02	100.00	23.85				
WEST	REAR	38.17	14.04	-	100.00	32.35	100.00	26.96				
NORTH	RIGHT	132.60	0.60	-	0.00	0.00	0.00	0.00				
SOUTH	LEFT	132.60	1.20	-	7.00	4.34	7.00	4.34				
20	OTHER - DESCRIBE:											



02	RE-ISSUED FOR PERMIT	Jul. 27th, 2022
01	ISSUED FOR PERMIT	Apr. 18th, 2022
REV.	DESCRIPTION	DATE
PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
CLIENT: 248 Paling Ave. Hamilton, ON		
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
<div><div><div>PFP</div><div>PROFESSIONAL FLOORPLANS</div></div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.profloorplans.ca</div></div>		
DWG TITLE: GENERAL NOTES & BUILDING MATRIX		
SHEET: A0.02		SCALE: N.T.S
DRAWN: Zainab Khudair		DATE: Feb. 25, 2022

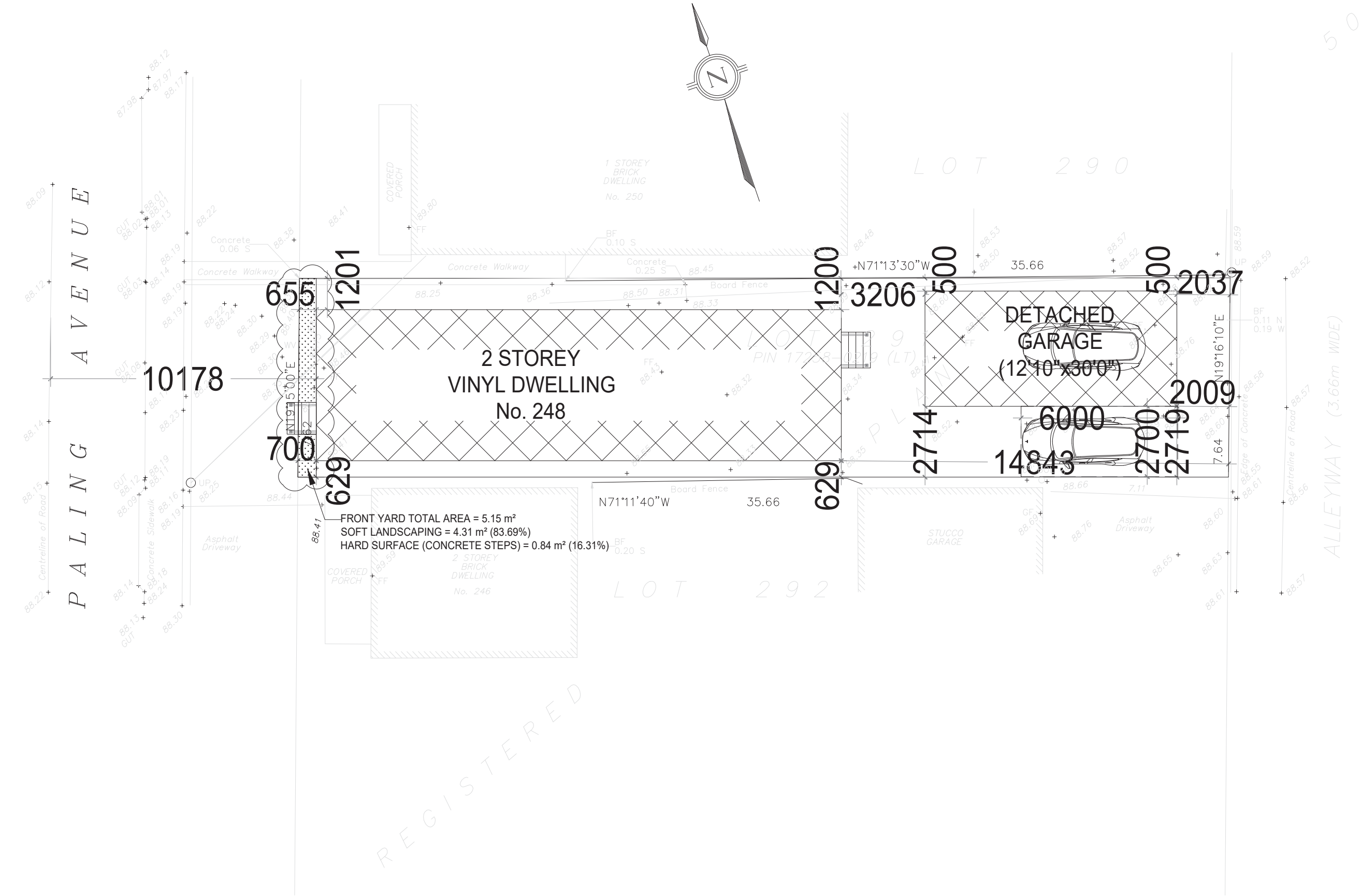


EXISTING SITE PLAN
SCALE 1:150

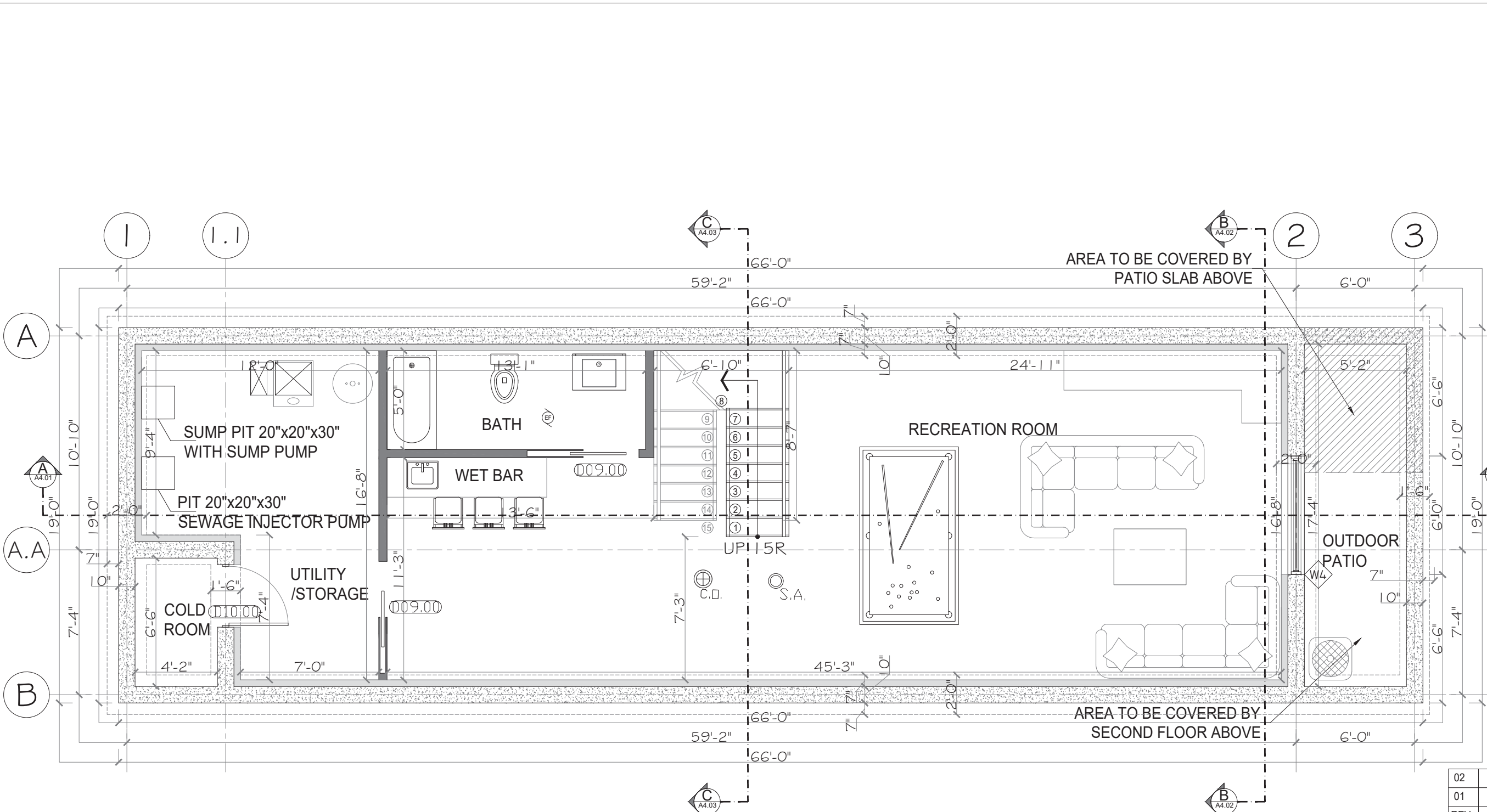


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REV.	DESCRIPTION	DATE
PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
CLIENT: 248 Paling Ave. Hamilton, ON		
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
<div><div><div>PFP</div><div>PROFESSIONAL FLOORPLANS</div></div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca</div></div>		
DWG TITLE: EXISTING SITE PLAN		
SHEET: SP1.01		SCALE: 1:150
DRAWN: Zainab Khudair		DATE: Feb. 25, 2022

PROPOSED SITE PLAN
SCALE 1:100



02	RE-ISSUED FOR PERMIT	Jul. 27th, 2022
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REV.	DESCRIPTION	DATE
PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
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CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
<div><div><div>PFP</div><div>PROFESSIONAL FLOORPLANS</div></div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca</div></div>		
DWG TITLE: PROPOSED SITE PLAN		
SHEET: SP1.03		SCALE: 1:100
DRAWN: Zainab Khudair		DATE: Feb. 25, 2022



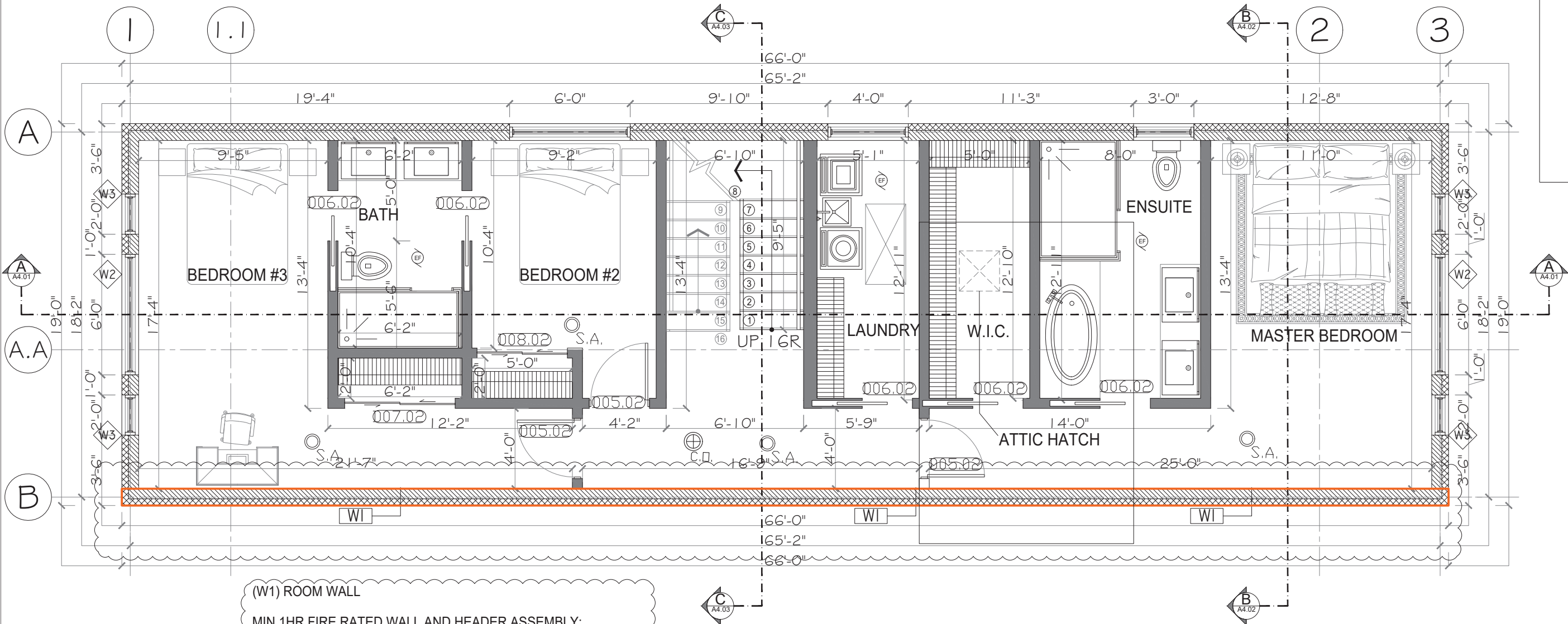
BASEMENT PLAN
SCALE 3/16"=1'-0"

- LEGEND**
- CONCRETE WALL
 - DRY WALL WITH EXTERIOR CLADDING
 - DRYWALL
 - FLOOR JOIST
 - S.A. INTER-CONNECTED SMOKE ALARM WITH STROBE
 - C.D. INTER-CONNECTED CARBON MONOXIDE ALARM WITH STROBE
 - RAIN WATER LEADER
 - EF EXHAUST FAN
 - FLOOR DRAIN

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PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
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CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
<div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.profloorplans.ca</div></div>		
DWG TITLE: BASEMENT PLAN		
SHEET: A1.01		SCALE: 3/16"=1'-0"
DRAWN: Zainab Khudair		DATE: Feb. 25, 2022



02	RE-ISSUED FOR PERMIT	Jul. 27th, 2022
01	ISSUED FOR PERMIT	Apr. 18th, 2022
REV.	DESCRIPTION	DATE
PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
CLIENT: 248 Paling Ave. Hamilton, ON		
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
 <div> <p>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca</p> </div>		
DWG TITLE:		
FIRST FLOOR PLAN		
SHEET:		SCALE:
A1.02		3/16"=1'-0"
DRAWN:		DATE:
Zainab Khudair		Feb. 25, 2022



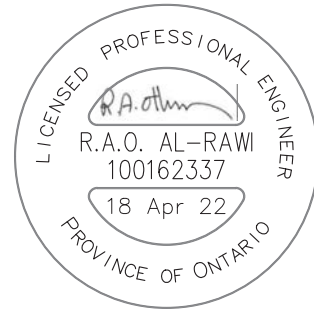
(W1) ROOM WALL

MIN. 1HR FIRE RATED WALL AND HEADER ASSEMBLY:

- METAL SIDING
- MOISTURE BARRIER
- 5/8" X-TYPE EXTERIOR GYPSUM SHEATHING
- INSULATION SHEATHING
- 2" x 6" WALL STUDS @ 16" O.C W/ MIN R-22 BATT INSULATION
- VAPOUR BARRIER
- 5/8" X- TYPE GYPSUM BOARD

LEGEND

- CONCRETE WALL
- DRY WALL WITH EXTERIOR CLADDING
- DRY WALL
- FLOOR JOIST
- S.A. INTER-CONNECTED SMOKE ALARM WITH STROBE
- C.D. INTER-CONNECTED CARBON MONOXIDE ALARM WITH STROBE
- RAIN WATER LEADER
- EF EXHAUST FAN
- FLOOR DRAIN



SECOND FLOOR PLAN
SCALE 3/16"=1'-0"

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REV.	DESCRIPTION	DATE

PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE

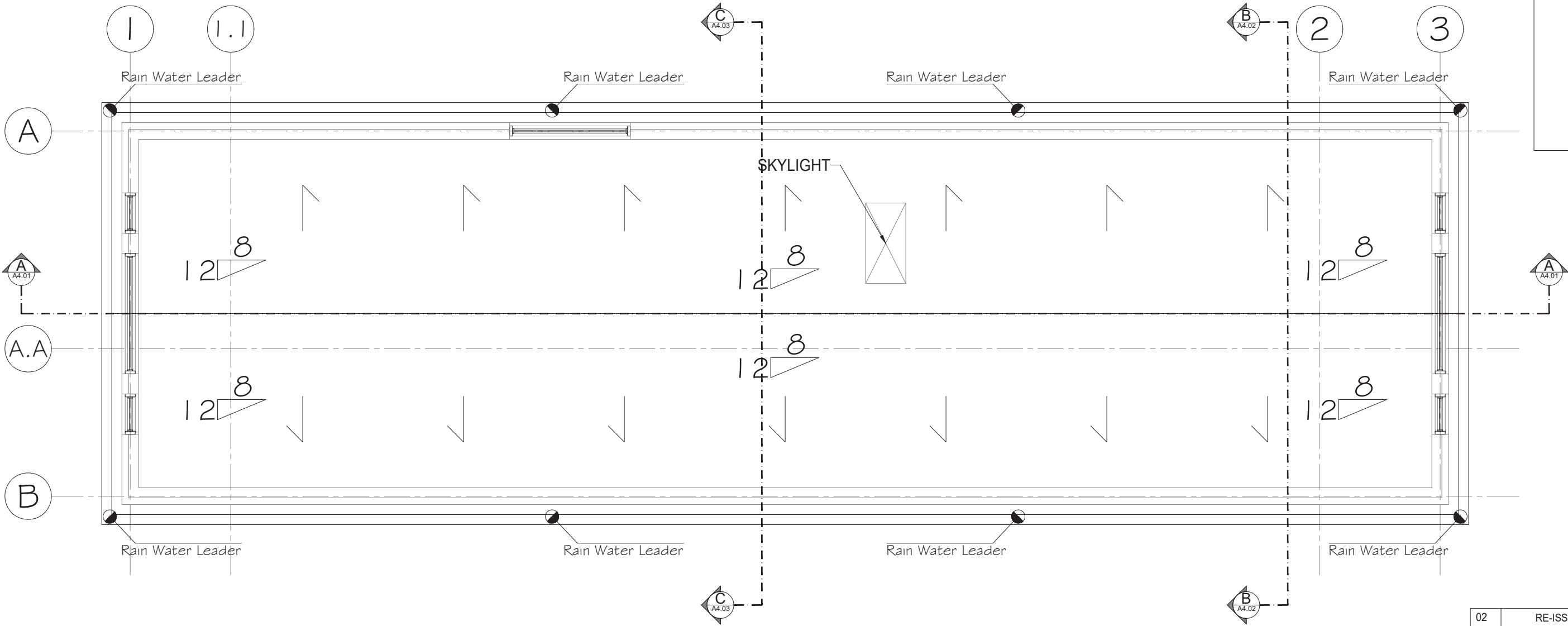
CLIENT: 248 Paling Ave. Hamilton, ON

CONSULTANT: PROFESSIONAL FLOOR PLANS INC.



DWG TITLE:
SECOND FLOOR PLAN

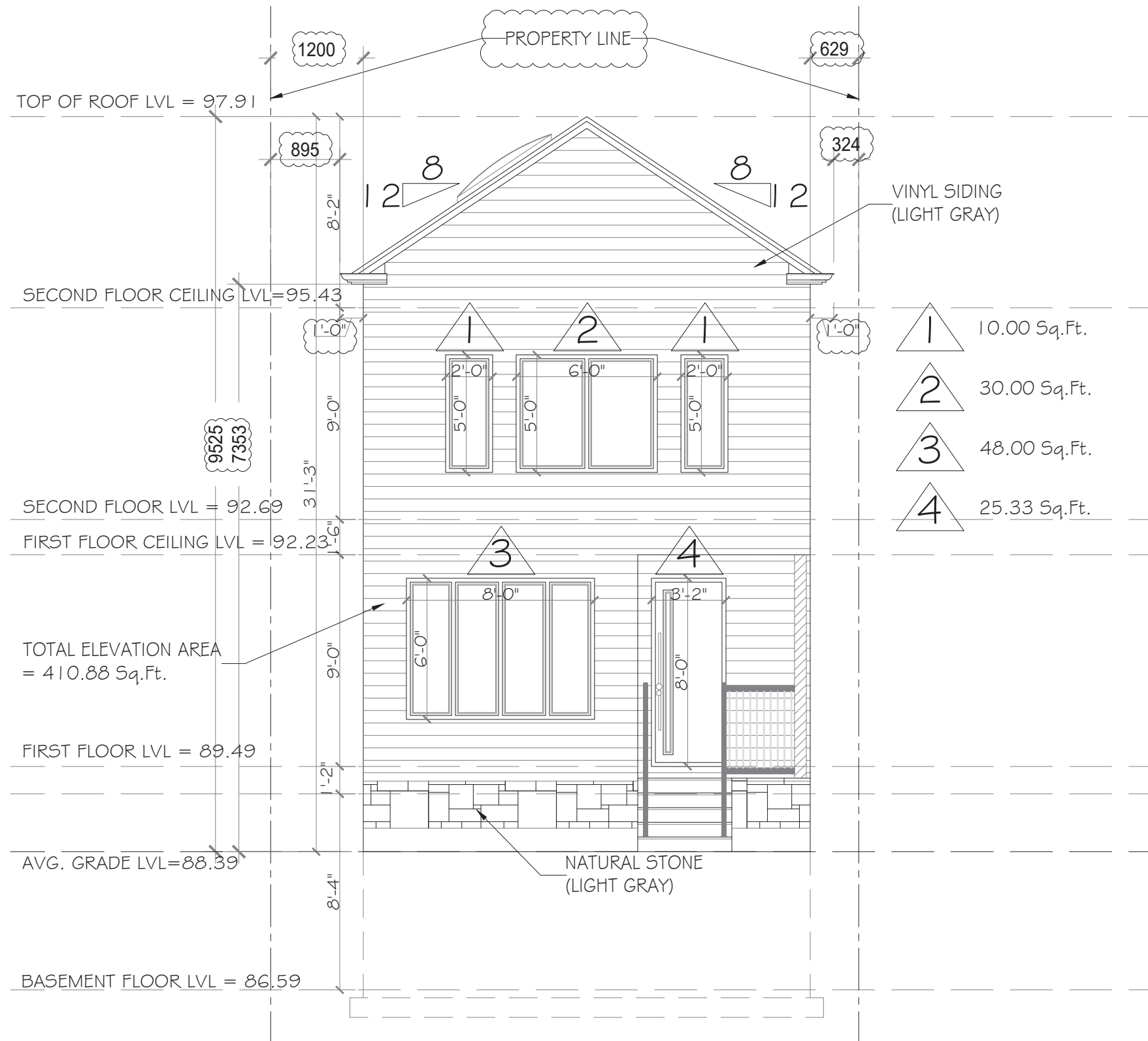
SHEET: A1.03	SCALE: 3/16"=1'-0"
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022



ROOF PLAN
SCALE 3/16"=1'-0"



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<div><div></div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.profloorplans.ca</div></div>		
DWG TITLE: ROOF PLAN		
SHEET: A1.04	SCALE: 3/16"=1'-0"	
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022	

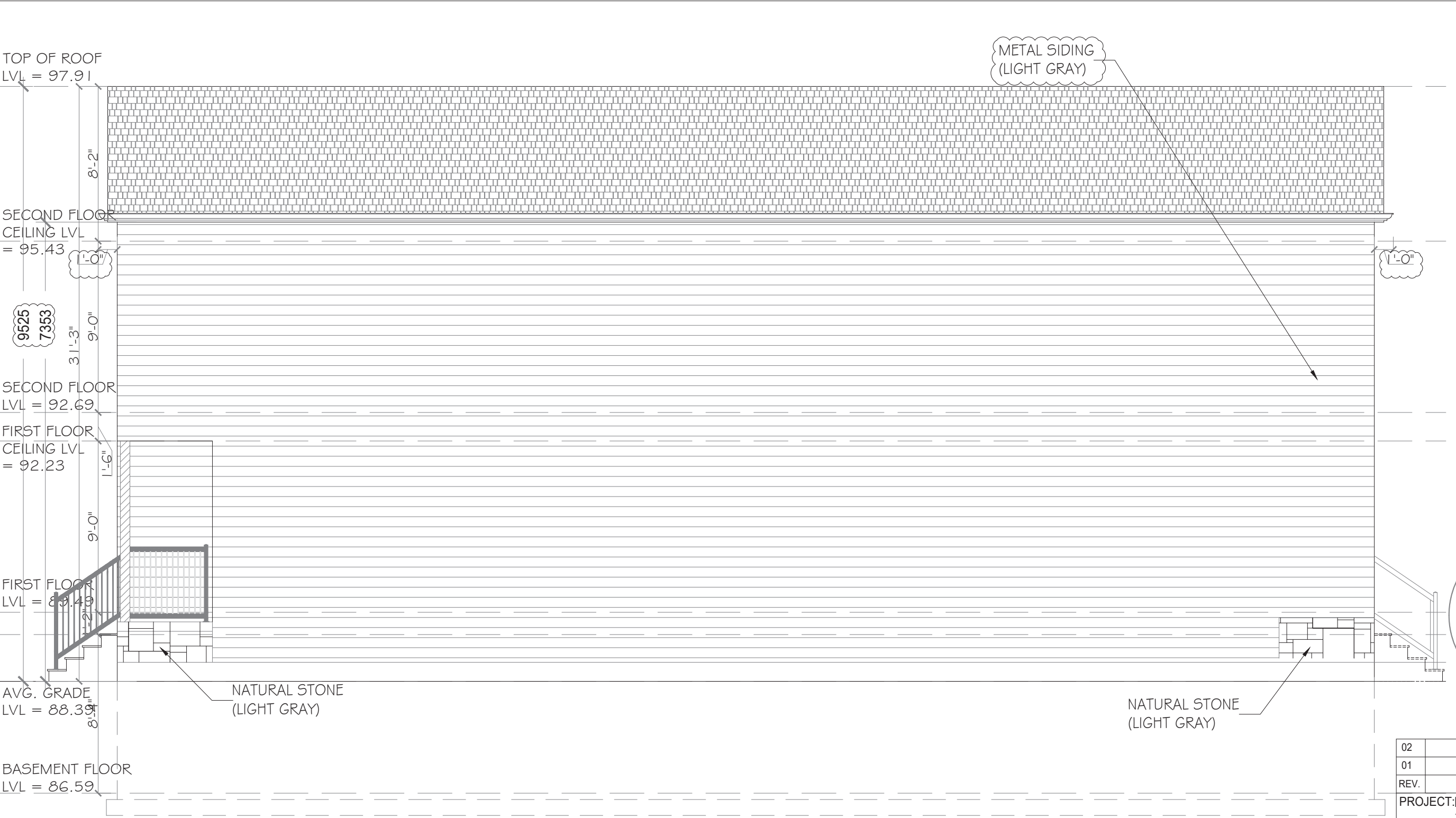


FRONT ELEVATION
SCALE 3/16"=1'-0"

19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS					3.2.3.	9.10.14.	9.10.15.
	WALL	AREA OF EBF (SQ.M.)	L.D. (M.)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	PERMITTED MAX. % OF GLAZED OPENINGS	PROPOSED % OF GLAZED OPENINGS
EAST	FRONT	38.17	10.18	-	100.00	30.02	100.00	23.85



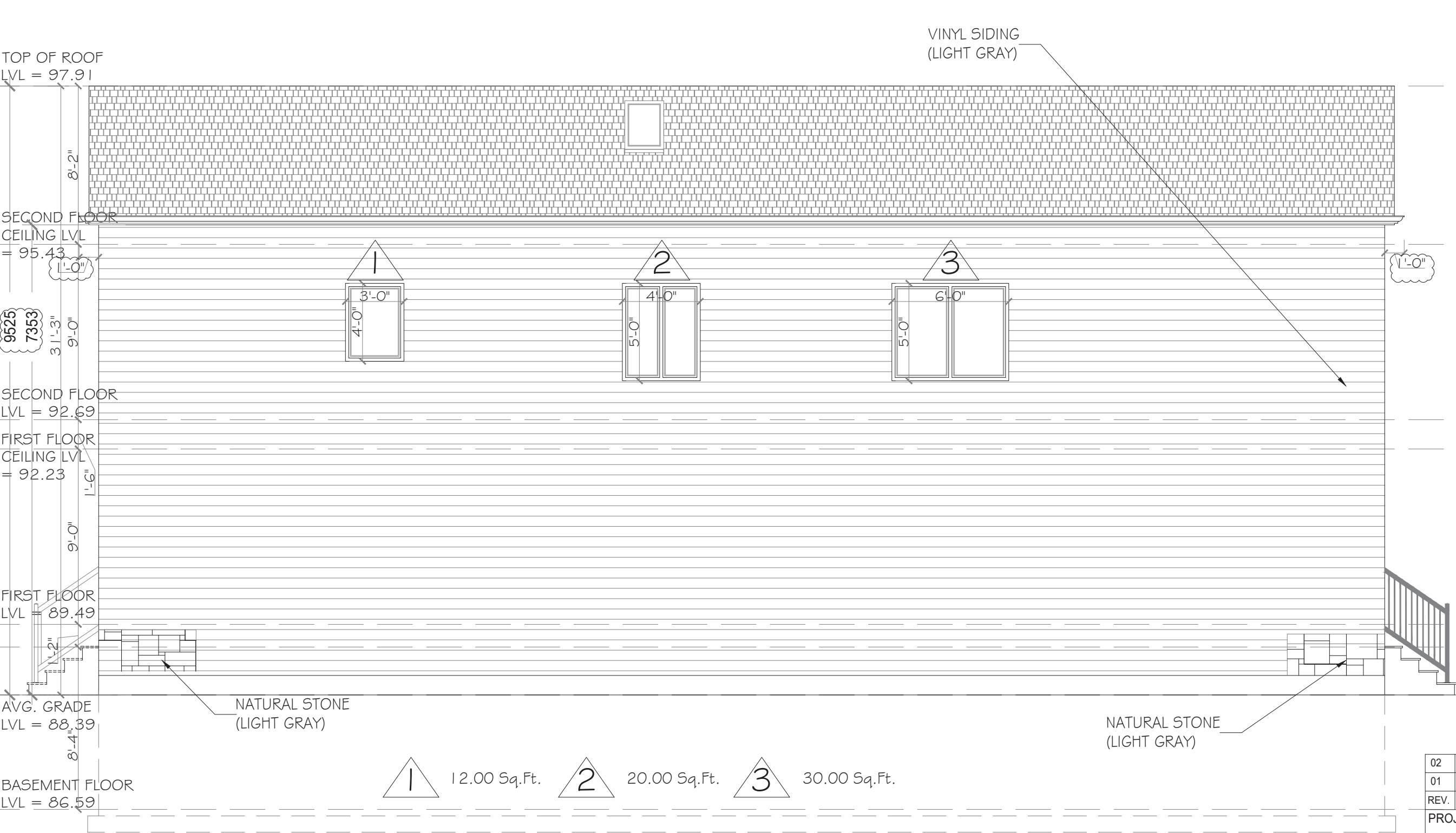
02	RE-ISSUED FOR PERMIT	Jul. 27th, 2022
01	ISSUED FOR PERMIT	Apr. 18th, 2022
REV.	DESCRIPTION	DATE
PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
CLIENT: 248 Paling Ave. Hamilton, ON		
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
<div><div>PFP PROFESSIONAL FLOORPLANS</div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca</div></div>		
DWG TITLE: FRONT ELEVATION		
SHEET: A2.01		SCALE: 3/16"=1'-0"
DRAWN: Zainab Khudair		DATE: Feb. 25, 2022



NORTH ELEVATION
SCALE 3/16"=1'-0"

19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS					3.2.3.	9.10.14.	9.10.15.
	WALL	AREA OF EBF (SQ.M.)	L.D. (M.)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	PERMITTED MAX. % OF GLAZED OPENINGS	PROPOSED % OF GLAZED OPENINGS
NORTH	RIGHT	132.60	0.60	-	0.00	0.00	0.00	0.00

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CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
		5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca
DWG TITLE:		
NORTH ELEVATION		
SHEET: A2.02		SCALE: 3/16"=1'-0"
DRAWN: Zainab Khudair		DATE: Feb. 25, 2022

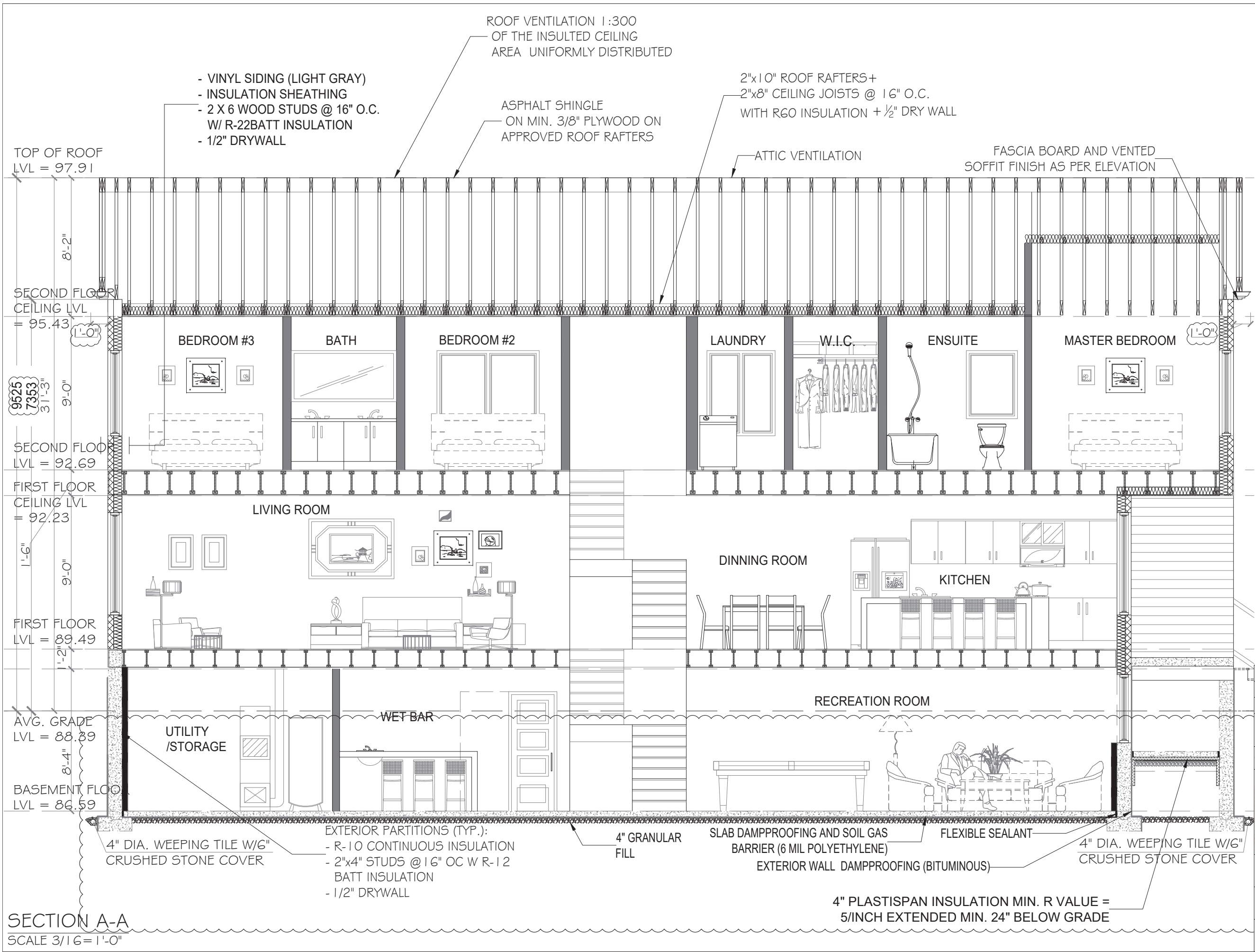


SOUTH ELEVATION
SCALE 3/16"= 1'-0"

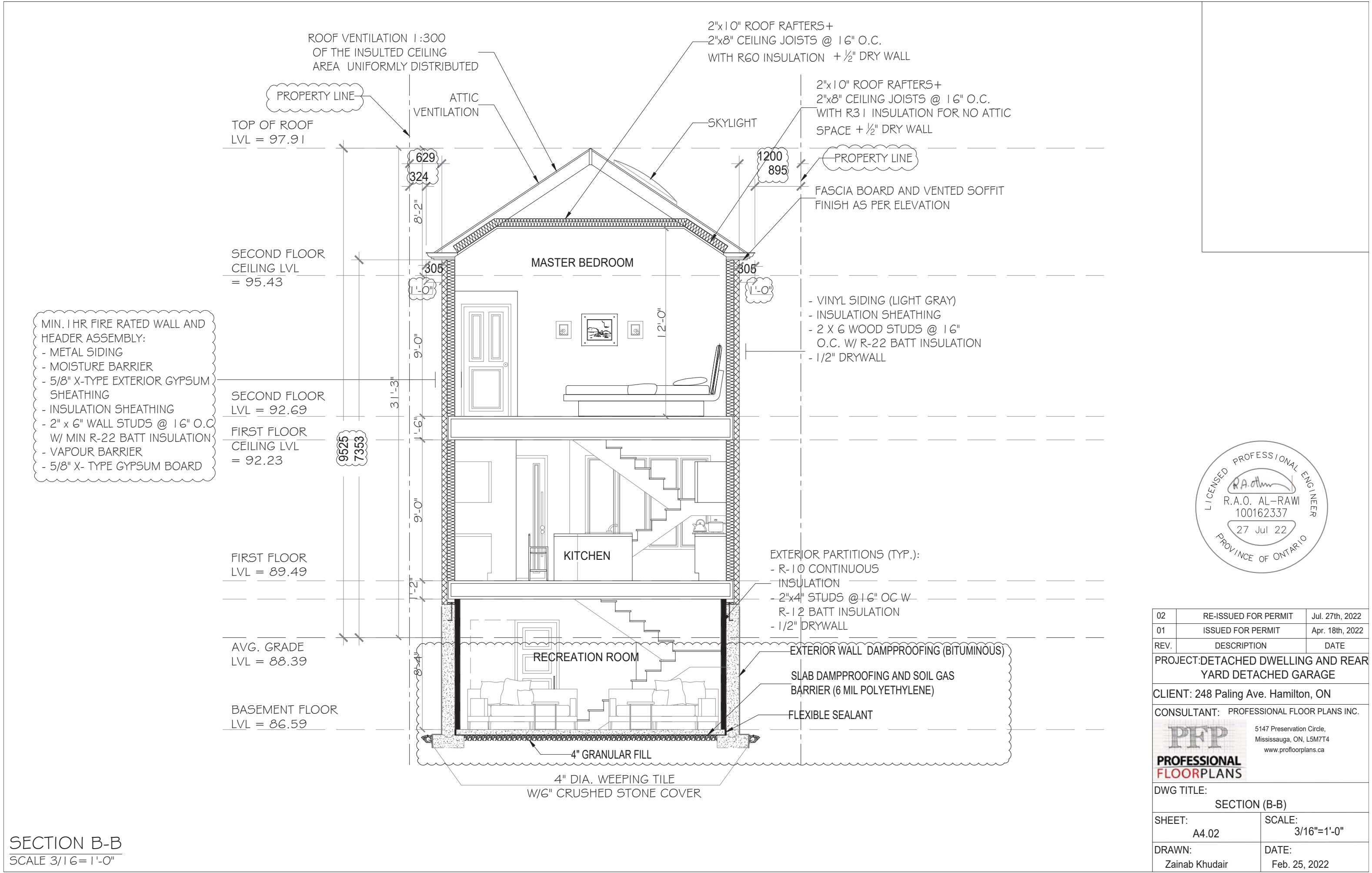
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS					3.2.3.	9.10.14.	9.10.15.
	WALL	AREA OF EBF (SQ.M.)	L.D. (M.)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	PERMITTED MAX. % OF GLAZED OPENINGS	PROPOSED % OF GLAZED OPENINGS
SOUTH	LEFT	132.60	1.20	-	7.00	4.34	7.00	4.34



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		5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca
DWG TITLE:		
SOUTH ELEVATION		
SHEET: A2.03		SCALE: 3/16"=1'-0"
DRAWN: Zainab Khudair		DATE: Feb. 25, 2022

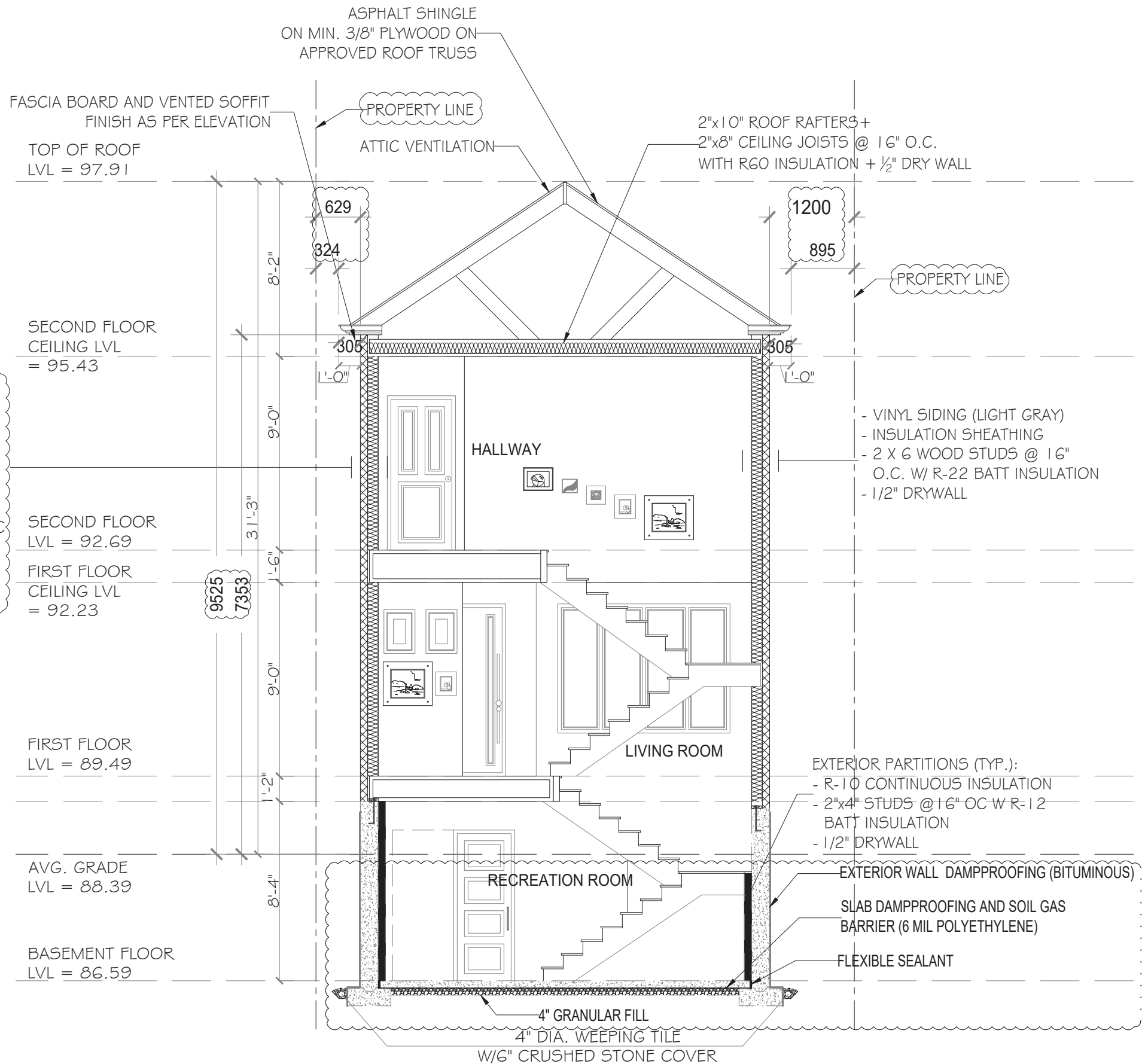


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REV.	DESCRIPTION	DATE
PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
CLIENT: 248 Paling Ave. Hamilton, ON		
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
 5147 Preservation Circle, Mississauga, ON, L5M7T4 www.profloorplans.ca		
DWG TITLE:		
SECTION (A-A)		
SHEET:	A4.01	SCALE: 3/16"=1'-0"
DRAWN:	Zainab Khudair	DATE: Feb. 25, 2022

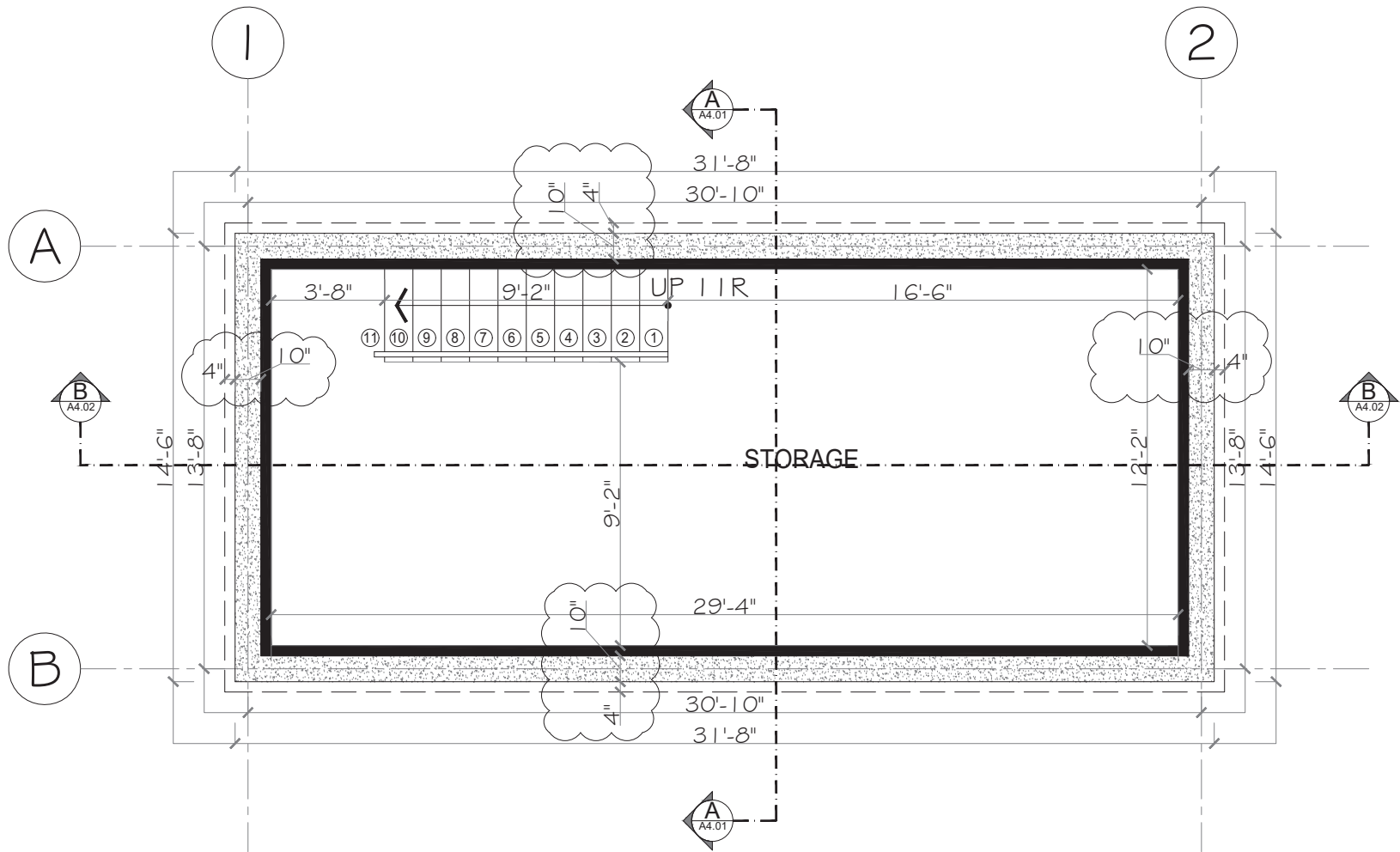


02	RE-ISSUED FOR PERMIT	Jul. 27th, 2022
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REV.	DESCRIPTION	DATE
PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
CLIENT: 248 Paling Ave. Hamilton, ON		
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
<div><div><div>PFP</div><div>PROFESSIONAL FLOORPLANS</div></div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca</div></div>		
DWG TITLE: SECTION (B-B)		
SHEET: A4.02	SCALE: 3/16"=1'-0"	
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022	

SECTION C-C
SCALE 3/16"=1'-0"



02	RE-ISSUED FOR PERMIT	Jul. 27th, 2022
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REV.	DESCRIPTION	DATE
PROJECT: DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
CLIENT: 248 Paling Ave. Hamilton, ON		
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
 5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca		
DWG TITLE:		
SECTION (C-C)		
SHEET:	A4.03	SCALE: 3/16"=1'-0"
DRAWN:	Zainab Khudair	DATE: Feb. 25, 2022

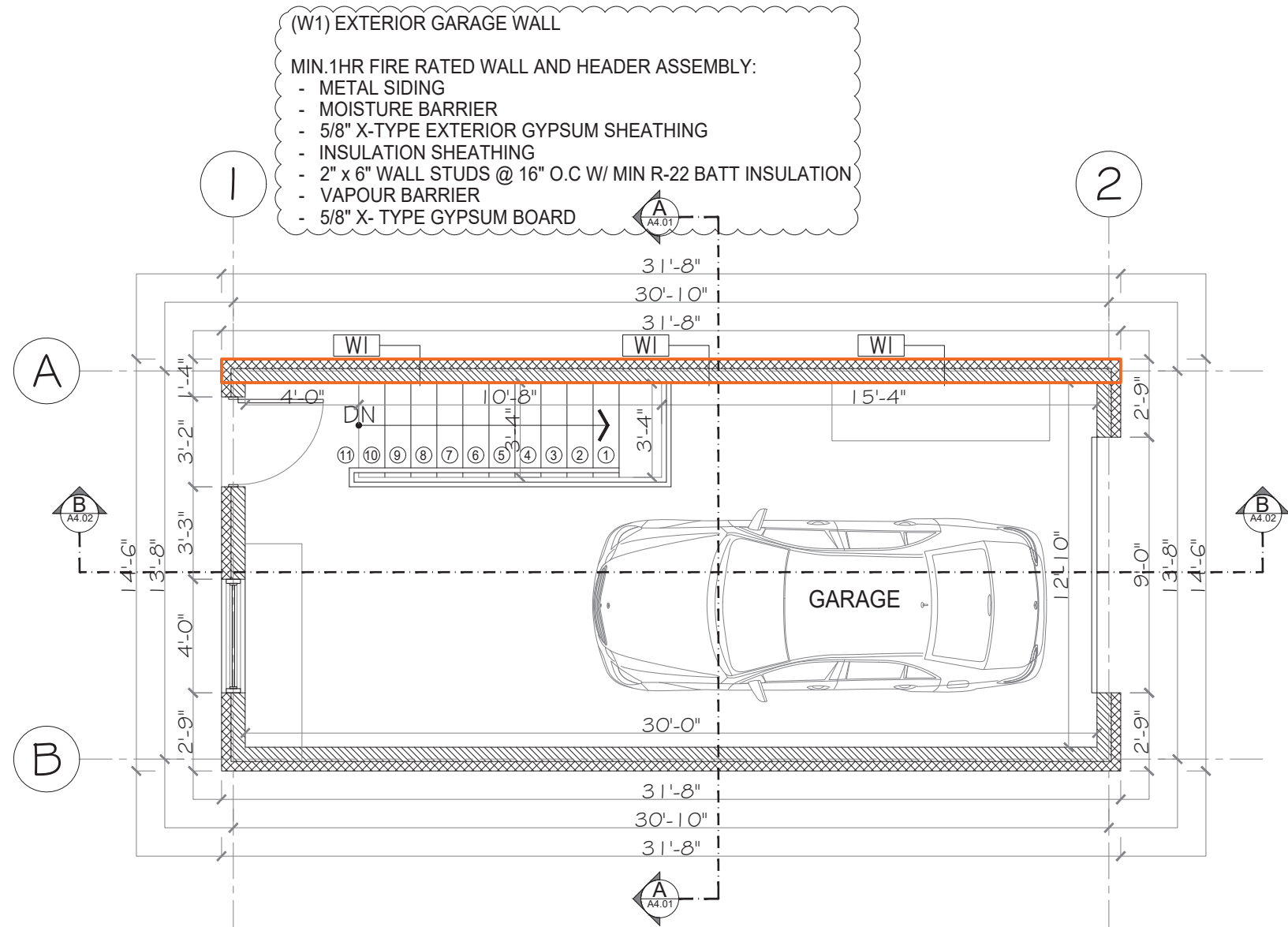


UNDERGROUND STORAGE PLAN
SCALE 3/16"=1'-0"

02	RE-ISSUED FOR PERMIT	Jul. 27th, 2022
01	ISSUED FOR PERMIT	Apr. 18th, 2022
REV.	DESCRIPTION	DATE
PROJECT:DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
CLIENT: 248 Paling Ave. Hamilton, ON		
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
<div><div><div>PFP</div><div>PROFESSIONAL FLOORPLANS</div></div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca</div></div>		
DWG TITLE: UNDERGROUND STORAGE PLAN		
SHEET: A1.01	SCALE: 3/16"=1'-0"	
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022	

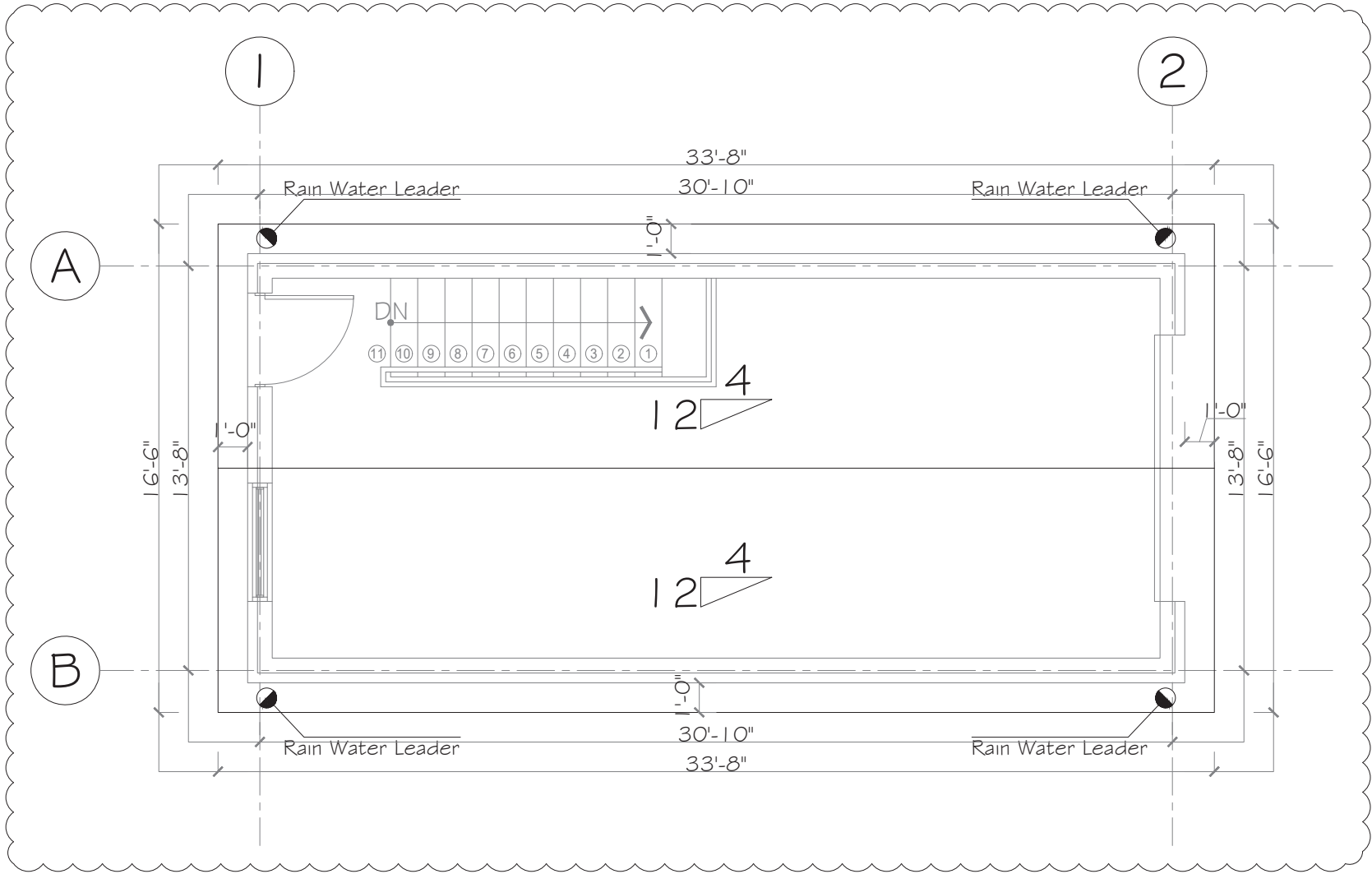
GARAGE FLOOR PLAN

SCALE 3/16"=1'-0"

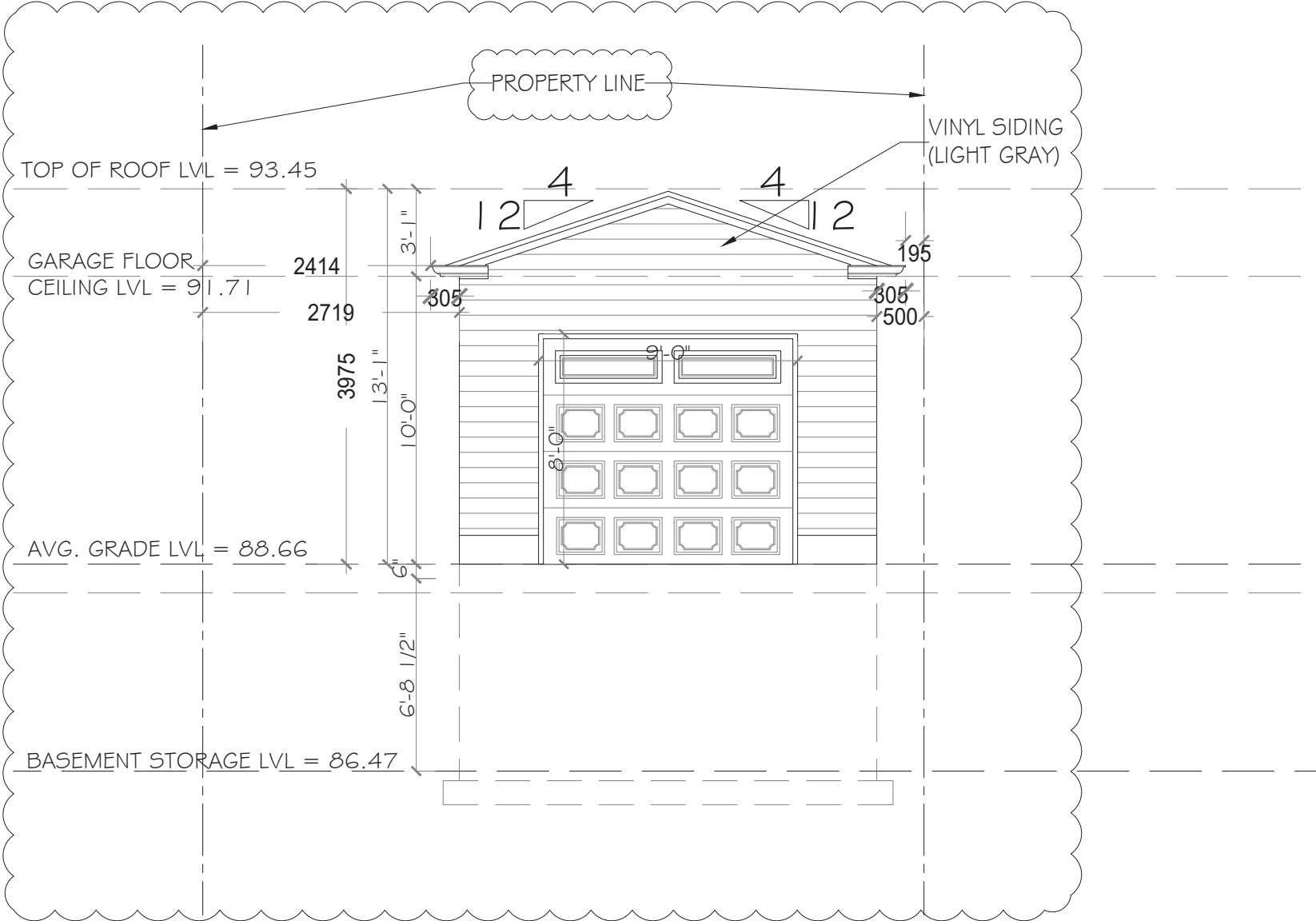


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REV.	DESCRIPTION	DATE
PROJECT:DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
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CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
<div><div><div>PFP</div><div>PROFESSIONAL FLOORPLANS</div></div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca</div></div>		
DWG TITLE: GARAGE FLOOR PLAN		
SHEET: A1.02	SCALE: 3/16"=1'-0"	
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022	

GARAGE ROOF PLAN
SCALE 3/16"=1'-0"



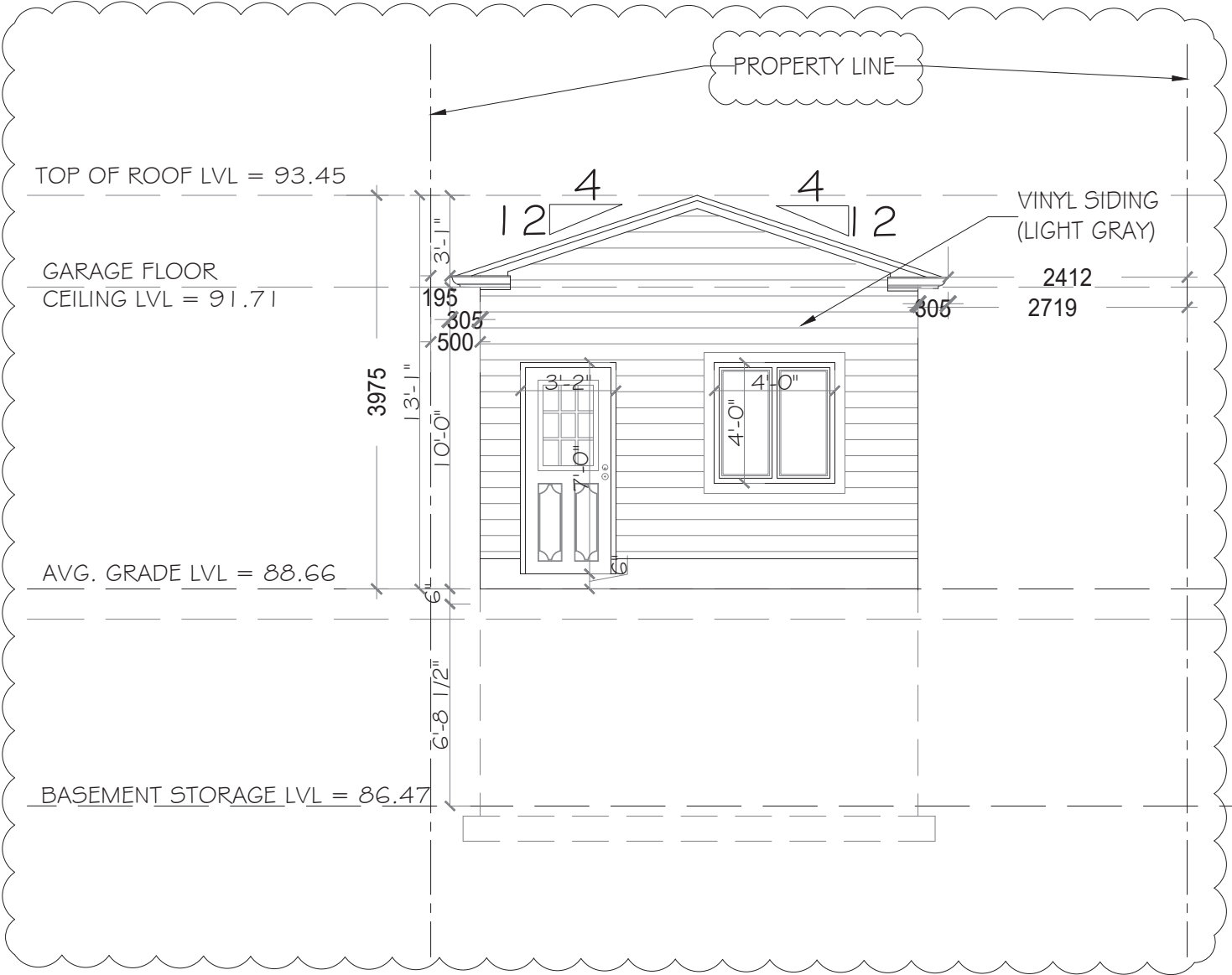
02	RE-ISSUED FOR PERMIT	Jul. 27th, 2022
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REV.	DESCRIPTION	DATE
PROJECT:DETACHED DWELLING AND REAR YARD DETACHED GARAGE		
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CONSULTANT: PROFESSIONAL FLOOR PLANS INC.		
 5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca		
DWG TITLE: GARAGE ROOF PLAN		
SHEET: A1.03	SCALE: 3/16"=1'-0"	
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022	



FRONT ELEVATION
SCALE 3/16"=1'-0"



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<div><div><div>PFP</div><div>PROFESSIONAL FLOORPLANS</div></div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca</div></div>		
DWG TITLE: FRONT ELEVATION		
SHEET: A2.01	SCALE: 3/16"=1'-0"	
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022	



02	RE-ISSUED FOR PERMIT	Jul. 27th, 2022
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REV.	DESCRIPTION	DATE

PROJECT: DETACHED DWELLING AND REAR
YARD DETACHED GARAGE

CLIENT: 248 Paling Ave. Hamilton, ON

CONSULTANT: PROFESSIONAL FLOOR PLANS INC.

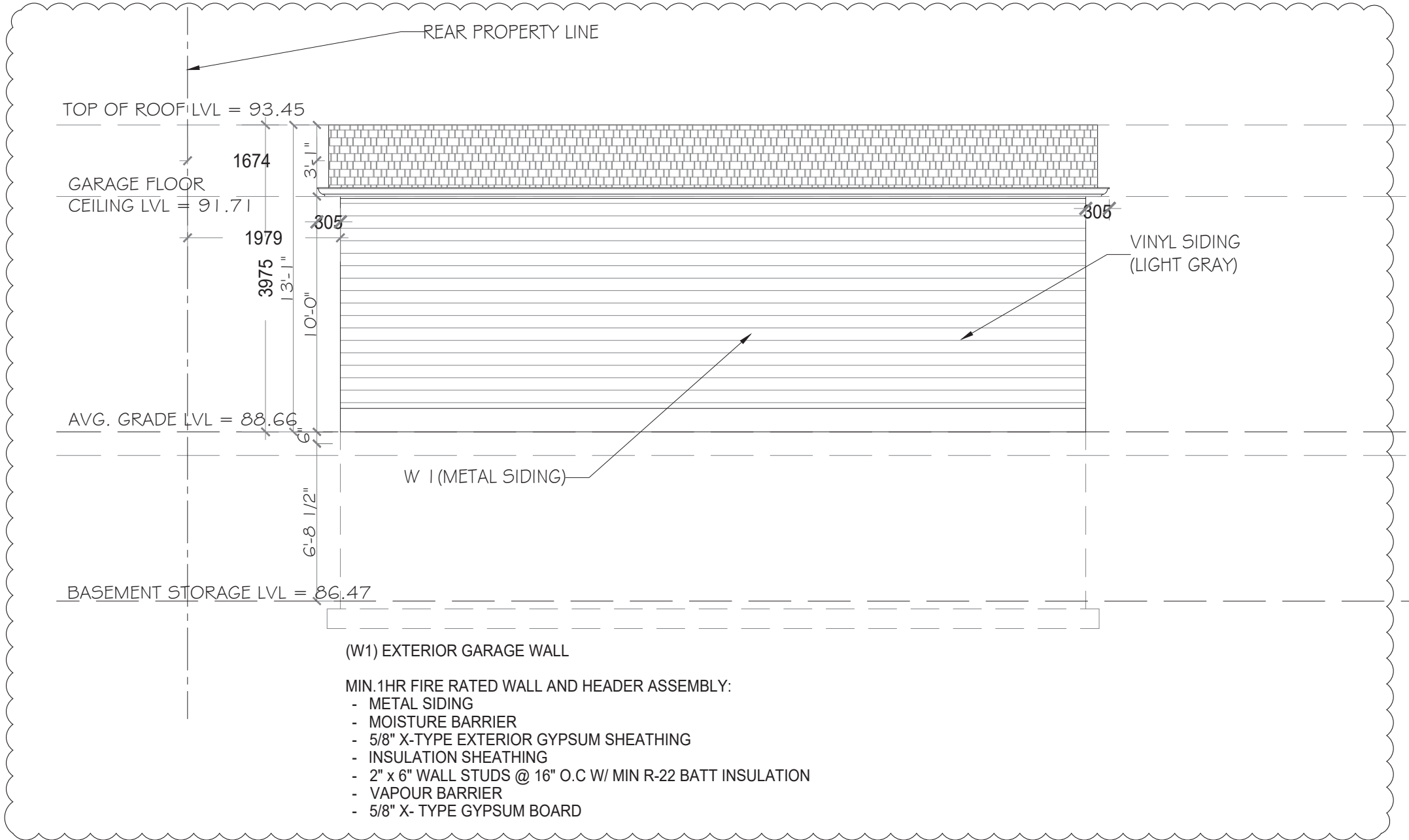


5147 Preservation Circle,
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DWG TITLE:
REAR ELEVATION

SHEET: A2.02	SCALE: 3/16"=1'-0"
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022

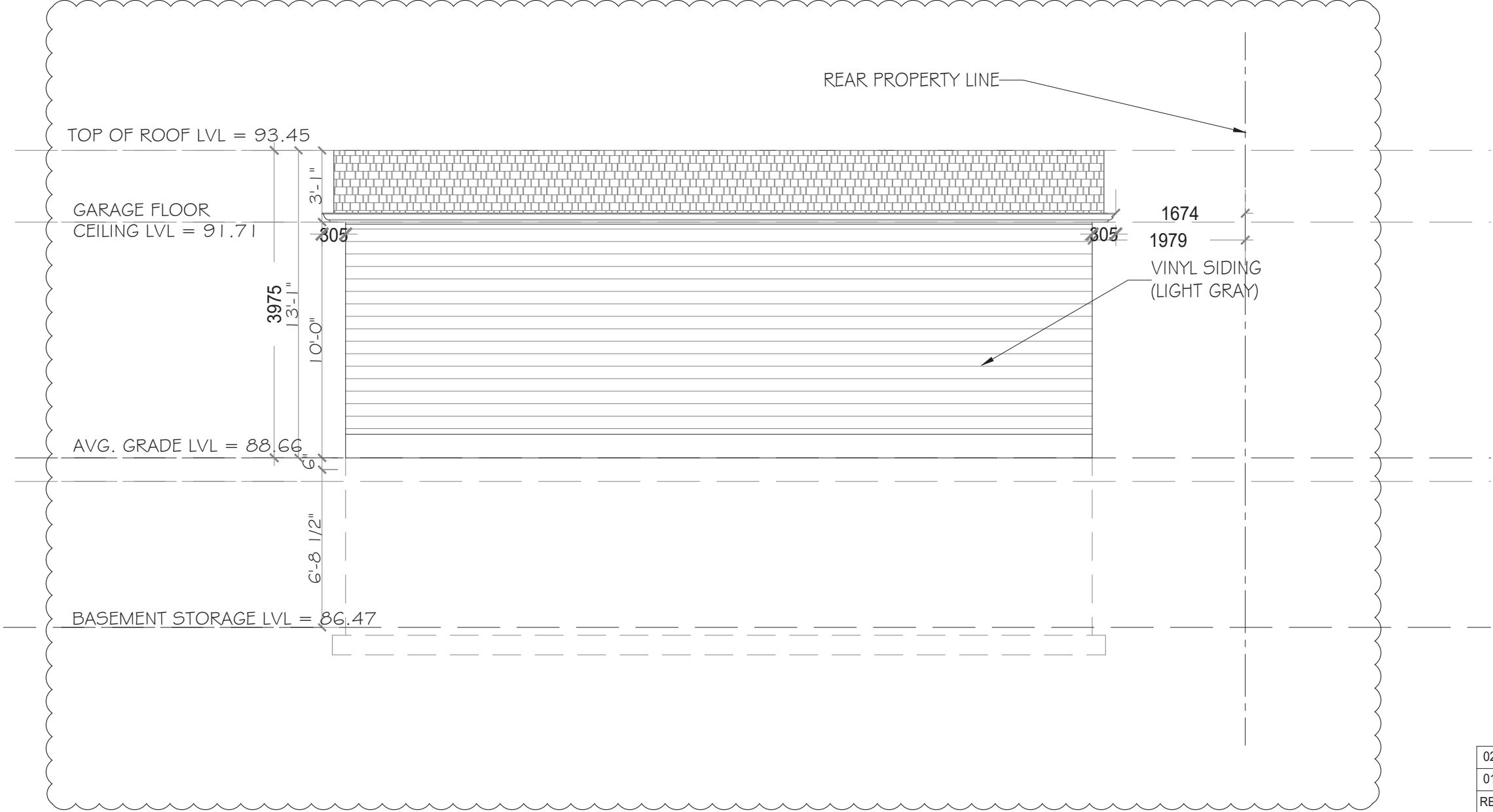
REAR ELEVATION
SCALE 3/16"=1'-0"



NORTH ELEVATION
SCALE 3/16"=1'-0"



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		5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca
DWG TITLE: NORTH ELEVATION		
SHEET: A2.03		SCALE: 3/16"=1'-0"
DRAWN: Zainab Khudair		DATE: Feb. 25, 2022



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REV.	DESCRIPTION	DATE

PROJECT:DETACHED DWELLING AND REAR
YARD DETACHED GARAGE

CLIENT: 248 Paling Ave. Hamilton, ON

CONSULTANT: PROFESSIONAL FLOOR PLANS INC.

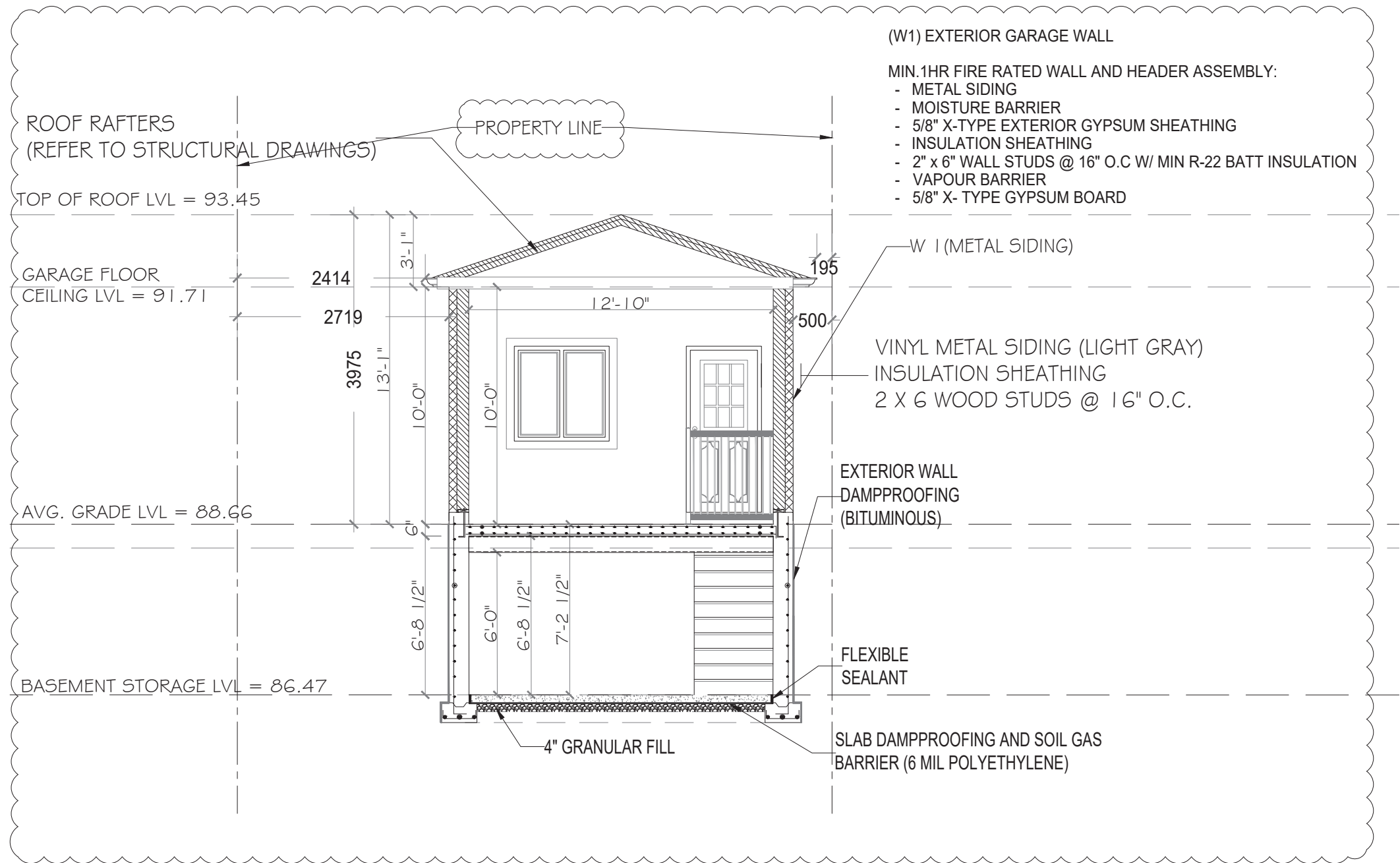


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www.proffloorplans.ca

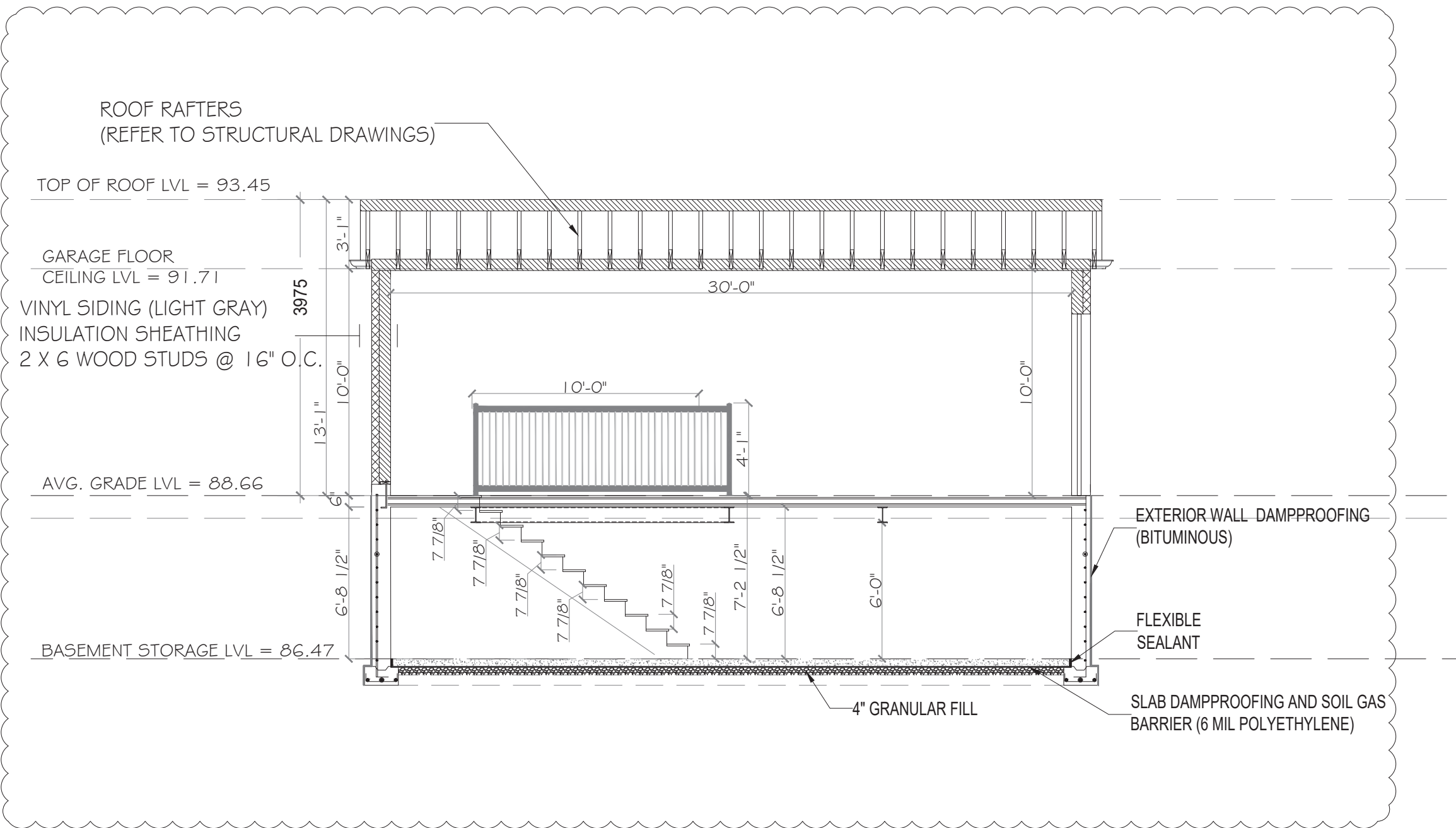
DWG TITLE:
SOUTH ELEVATION

SHEET: A2.04	SCALE: 3/16"=1'-0"
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022

SOUTH ELEVATION
SCALE 3/16"=1'-0"



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 5147 Preservation Circle, Mississauga, ON, L5M7T4 www.proffloorplans.ca		
DWG TITLE: SECTION (A-A)		
SHEET: A4.01	SCALE: 3/16" = 1'-0"	
DRAWN: Zainab Khudair	DATE: Feb. 25, 2022	



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<div><div><div>PFP</div><div>PROFESSIONAL FLOORPLANS</div></div><div>5147 Preservation Circle, Mississauga, ON, L5M7T4 www.profloorplans.ca</div></div>		
DWG TITLE:		
SECTION (B-B)		
SHEET:	A4.02	SCALE: 3/16"=1'-0"
DRAWN:	Zainab Khudair	DATE: Feb. 25, 2022

SECTION B-B
SCALE 3/16"=1'-0"

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)		
Agent or Solicitor		

- 1.2 All correspondence should be sent to ☒ Owner ☐ Applicant
☒ Agent/Solicitor
- 1.2 All correspondence should be sent to ☐ Purchaser ☒ Owner
☐ Applicant ☒ Agent/Solicitor
- 1.3 Sign should be sent to ☐ Purchaser ☒ Owner
☐ Applicant ☐ Agent/Solicitor
- 1.4 Request for digital copy of sign ☒ Yes* ☐ No
 If YES, provide email address where sign is to be sent raed@profloorplans.ca, remberley@hotmail.com
- 1.5 All correspondence may be sent by email ☒ Yes* ☐ No
 If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	248 Paling Ave., Hamilton, ON L8H 5J9		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number	502	Lot(s)	291
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Refer to the attached sheet for all variances for the dwelling and garage

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Lot size and dimensions are limited. Zoning is changed from Zone C to R1a

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.62 m	35.66 m	271.91 sq.m	7.20m

3.1 Nature and extent of relief applied for:

Dwelling:

1. South interior side yard of 0.63m while Zoning bylaw calls for 1.20 m
2. Front yard setback of 0.66m while Zoning bylaw calls for 3.00 m

Detached Garage (Accessory Structure):

1. Aggregate gross floor area of all accessory buildings (Proposed detached garage) of 42.66 sq.m in which zoning bylaw calls for the minimum of 45.00 sq.m or 7.5% of total lot coverage ($271.91 \times 0.075 = 20.40$ sq.m).
2. North side yard setback of 0.50m while zoning bylaw calls for 1.2m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
1 Storey existing detached dwelling	0.66 m	21.75 m	0.22 m, 0.97 m	More than 50 years
Detached Garage in rear yard	25.35 m	2.83 m	0.38 m, 2.90 m	More than 50 years

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 Storey existing detached dwelling	0.66 m	14.84 m	1.20 m, 0.63 m	March 2023
Detached garage in rear yard	24.00 m	2.00 m	0.50 m, 2.71 m	March 2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
1 Storey existing detached dwelling	75.90 sq.m	75.90 sq.m	1	5.00 m
Detached Garage	32.21 sq.m	32.21 sq.m	1	4.00 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2 Storey existing detached dwelling	102.50 sq.m	219.00 sq.m	2	9.53 m
Detached Garage	33.45 sq.m	33.45 sq.m	1	3.98 m

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
-

- 4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage system
☐ privately owned and operated individual septic system
☐ other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year

- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling with rear yard detached garage

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling with rear yard detached garage

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

Feb. 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Dwelling with rear yard detached garage

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Dwelling with rear yard detached garage

7.4 Length of time the existing uses of the subject property have continued:

More than 50 Years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Residential (Neighbourhoods)

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? Low Density Residential - Small Lot (R1a) (Formerly C (Residential))

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number: