

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-22:409	SUBJECT PROPERTY:	65 AIKMAN AVENUE, HAMILTON, Ontario
ZONE:	"E" (Multiple Dwellings, Lodges & Clubs)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: Owner: Haji Abbas
Agent: Richie Khanna R & R Designs Inc.

The following variances are requested:

1. A minimum floor area of 46.0m² shall be permitted for Units #1, 2 and 3 and minimum floor area of 20.4m² shall be permitted for Unit #4 instead of the minimum 65.0m² floor area required per each dwelling unit.
2. A minimum lot area of 223.1m² shall be permitted for a converted dwelling containing four (4) dwelling units instead of the minimum required 450.0m² lot area for required for a dwelling containing more than three dwelling units.
3. A minimum of two (2) parking shall be permitted to be maintained instead of the minimum six (6) parking spaces required for a converted dwelling containing four (4) dwelling units.

PURPOSE & EFFECT: To facilitate the conversion of the existing dwelling containing two dwelling units to contain a total of four (4) units.

Notes:

Previous Committee of Adjustment decision HM/A-15:281, permitted variances to the existing lot area and parking conditions in order to facilitate the existing two dwelling units.

The Zoning By-law does not permit an outside stairway other than an exterior exit. Please note that a second storey or above porch will be considered an exterior stair/fire escape only if the upper area is no larger than the minimum landing area for an egress stair as required by the OBC. The applicant shall ensure that the proposed outside stairs are in line with the Ontario Building Code; otherwise, further variances shall be required.

The applicant shall ensure that the external appearance shall be preserved as required by the Zoning By-law. Details regarding the exterior appearance were not provided. In addition, no elevation plans were included with this submission.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, February 2, 2023
TIME:	1:50 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-22:409, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

CONVERSION TO FOUR FAMILY DWELLING UNIT -
65 AIKMAN AVE, HAMILTON, ON L8M 1P8

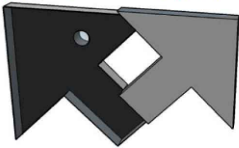


EXISTING BUILDING IMAGE



AREA OF WORK

KEY MAP



Robert Taunton P.Eng.
roberttaunton@hotmail.com

STRUCTURAL



ARCHITECTURAL

SCOPE OF WORK:

1. CONVERSION FROM 2 FAMILY DWELLING UNIT TO 4 FAMILY DWELLING UNIT.
2. STRUCTURAL ADDITION OF INTERIOR STAIRCASE FROM SECOND LEVEL TO ATTIC.
3. NEW INTERIOR FINISHES, BATHROOM FIXTURES, AND OTHER RELATED WORKS.

SCOPE OF WORK

TITLE/SITE		REVISIONS				
ARCHITECTURAL						
A0.01	COVER PAGE	●				
A0.02	GENERAL NOTES	●				
A0.03	WALL SCHEDULE AND LEGEND	●				
SP.01	SITE PLAN	●				
A1.01	EXISTING BASEMENT PLAN	●				
A1.02	EXISTING MAIN FLOOR PLAN	●				
A1.03	EXISTING SECOND FLOOR PLAN	●				
A1.04	EXISTING ATTIC FLOOR PLAN	●				
A2.01	PROPOSED BASEMENT PLAN	●				
A2.02	PROPOSED MAIN FLOOR PLAN	●				
A2.03	PROPOSED SECOND FLOOR PLAN	●				
A2.04	PROPOSED ATTIC FLOOR PLAN	●				
A3.01	PROPOSED BUILDING SECTION	●				
STRUCTURAL						
S0.0	GENERAL STRUCTURAL NOTES	●				
S0.1	ATTIC FLOOR FRAMING PLAN	●				

SHEET INDEX



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3	2022-10-18	FOR PERMIT		V.V
2	2022-09-14	FOR CLIENT REVIEW		V.V
1	2022-09-02	AS BUILT		V.V
NO.	DATE	DESCRIPTION		BY
REVISIONS				
PROJECT ADDRESS		65 AIKMAN AVE, HAMILTON, ON L8M 1P8		
SCALE		AS NOTED		
DATE		2022-08-15		
PAGE TITLE		COVER PAGE		
PROJECT NO. RR50-2022		DRAWING NO.		
DRAWN BY VV		A0.01		
REVIEWED BY R.K				

GENERAL NOTES:

- 1. CONTRACTOR TO VERIFY ALL DESIGN DRAWINGS AS THEY APPLY FOR EACH TRADE AS APPLICABLE TO THE PROJECT.
- 2. INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE WALLS ETC. INSPECT WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING. VERIFY WITH OWNER.
- 3. ALL BEAMS WITH POINT LOADS TO BE SIZED BY PROFESSIONAL ENGINEER.
- 4. PROVIDE ENGINEERED LINTELS FOR ALL OPENINGS SUPPORTING TRUSSES SPANNING MORE THAN 4 FEET.
- 5. ALL LEVEL BEAMS @ HEADERS TO BE PRE-ENGINEERED BY LVL SUPPLIER.
- 6. ANY PORTION OF CONCRETE WALL THAT IS Laterally unsupported for 48" or more in length, must be engineered.
- 7. ENERGY REQUIREMENTS AS PER SB-12 OF THE O.B.C.
- 8. MILLWORK SUB-CONTRACTOR OR GENERAL CONTRACTOR SHALL VERIFY ON SITE ALL DIMENSIONS THAT ARE NECESSARY FOR THE CONSTRUCTION & INSTALLATION OF FURNITURE, MILLWORK AND EQUIPMENT.
- 9. ALL SUB FLOORS SCREWED & GLUED TO FLOOR JOISTS.
- 10. ALL PERIMETER WALLS TO BE STRIPED FROM THE INSIDE, CLEANED, ALL MOLD TO BE REMOVED AND DAMAGED AREAS TO BE REPAIRED AND PREPARED TO RECEIVE NEW FINISH. (UNLESS NOTED OTHERWISE).
- 11. ALL SWITCHES AND OUTLETS TO BE INSTALLED AS

PER PART 9.34.2 OF THE O.B.C.

- 12. PLUMBING NOTE: PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR SHOWER UNITS. PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR ALL FAUCETS OR WATER HEATER SOURCE.
- 13. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND ALL FINISHED GRADES ON SITE.
- 14. ALL DIMENSIONS ARE TO INTERIOR WALL FACE. ONLY NEW INTERIOR PARTITION DIMENSIONS SHOWN ON PROPOSED DRAWING. EXTERIOR WALL AND EXITING INTERIOR WALL DIMENSIONS SHALL BE VERIFIED ON SITE.
- 15. FOR INTERIOR FINISHES, VERIFY WITH OWNER.
- 16. IF THERE IS NO SPECIFIED, EXISTING ITEMS TO REMAIN, REPAIR IF IT IS REQUIRED.

FIRE PROTECTION:

- 1. INTERCONNECTED CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN THE BASEMENT IN A RETURN DUCT THAT WILL SHUT OFF THE FURNACE FAN IN THE EVENT OF A FIRE. CARBON MONOXIDE DETECTORS REQUIRED FOR ALL FUEL APPLIANCES (O.B.C. 9.33.4.2).
- 2. INSTALL SMOKE ALARMS IN EACH SLEEPING ROOM ON EVERY FLOOR AS PER 9.10.19.3.(1) (B).
- 3. SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND. SMOKE ALARMS SHOULD CONFORM TO SECTION 9.10.19.6. (SILENCING).
- 4. ALL SMOKE ALARMS TO BE INTERCONNECTED AS PER 9.10.19.5. ALL SMOKE ALARMS TO HAVE VISUAL SIGNAL DEVICE IN ADDITION TO AN AUDIBLE SIGNAL DEVICE.

FIRE SEPARATION NOTES:

- 1. EXISTING FIRE SEPARATIONS TO BE MAINTAINED.
- 2. DAMAGED AREAS SHALL BE CORRECTED BY THE G.C. ANY PENETRATIONS SHALL BE SEALED TO ENSURE NO COMPROMISE OF FIRE RATINGS.
- 3. EVERY DOOR IN A FIRE SEPARATION SHALL HAVE A SELF-CLOSING DEVICE AS PER 9.10.12.10. (1).

WASHROOMS:

- 1. WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS.
- 2. USE MOISTURE RESISTANT DRYWALL IN WET AREAS.

STAIRS:

- 1. ALL HANDRAILS AND GUARDS TO BE INSTALLED AS PER SB-1 OF THE O.B.C.






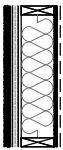


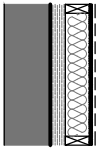



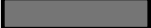





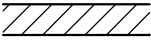


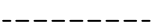

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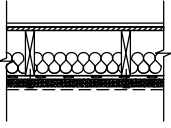

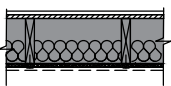

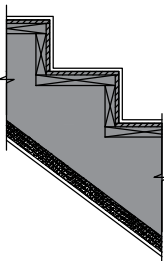











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PROJECT NO. RR50-2022	DRAWING NO.	A0.02
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REVIEWED BY R.K		

EXTERIOR WALL ASSEMBLY			
WALL TAG	PLAN LEGEND	WALL CONSTRUCTION	WALL ASSEMBLY DESCRIPTION
			EXISTING EXTERIOR WALL EXISTING FRR NOT LESS THAN 45MIN (SB-3, TABLE 1, W1b)
			NEW EXTERIOR WALL <ul style="list-style-type: none">- EXTERIOR FINISH STUCCO (MATCH WITH EXISTING)- 1-1/2 RIGID INSULATION- BLUE SKIN VP-160- 1/2" EXTERIOR PLYWOOD- 2X6 WOOD STUD @16"O/C (NEW CONSTRUCTION)- BATT INSULATION (NOT LESS THAN R-22)- 6" MIL POLY VAPOUR BARRIER- 1/2" GWB- INTERIOR FINISH
			FOUNDATION WALL INSTALL INTERIOR INSULATION AS REQUIRED, SEE PROPOSED BASEMENT FLOOR PLAN FOR LOCATIONS. (R-20ci MINIMUM) <ul style="list-style-type: none">- EXISTING FOUNDATION WALL- WATERPROOFING MEMBRANE EXTEND 6" ABOVE GRADE LINE- NEW 2" RIGID INSULATION (ROCKWOOL R10ci)- NEW 2"x4 WOOD STUD @16 O/C W/ BATT INSULATION (R-12)- NEW ONE LAYER REGULAR 1/2" GYPSUM WALL BOARD- NEW FINISH (VERIFY WITH OWNER)

INTERIOR PARTITION WALLS			
WALL TAG	PLAN LEGEND	WALL CONSTRUCTION	WALL ASSEMBLY DESCRIPTION
			EXISTING INTERIOR PARTITION WALL - TO REMAIN <ul style="list-style-type: none">- INTERIOR FINISH- 1/2" (12.7MM) REGULAR GWB- 2X4 WOOD STUD @ 16" O.C.- 1/2" (12.7MM) REGULAR GWB- INTERIOR FINISH PROVIDE FOR DWELLING UNIT INSIDE INTERIOR WALLS
			NEW INTERIOR FIRE SEPARATION WALL <ul style="list-style-type: none">- INTERIOR FINISH- 5/8" (15.9MM) TYPE X GWB- NEW OR EXISTING 2"x4" STUD @ 16" O.C.- RESILIENT METAL CHANNELS- 2 LAYERS 5/8" (15.9MM) TYPE X GWB- INTERIOR FINISH PROVIDE FOR MECHANICAL ROOM (RESILIENT METAL CHANNELS TO BE IN THE INTERIOR SIDE OF THE MECHANICAL ROOM). FRR NOT LESS THAN 1HR (SB-3, TABLE 1, W4a) SOUND TRANSMISSION (STC) 51
			NEW INTERIOR PARTITION WALL <ul style="list-style-type: none">- INTERIOR FINISH- 1/2" (12.7MM) REGULAR GWB- 2X4 WOOD STUD @ 16" O.C.- 1/2" (12.7MM) REGULAR GWB- INTERIOR FINISH PROVIDE FOR DWELLING INTERIOR PARTITIONS.
			EXISTING INTERIOR PARTITION WALL - TO DEMOLISH <ul style="list-style-type: none">- INTERIOR FINISH- 1/2" (12.7MM) REGULAR GWB- 2X4 WOOD STUD @ 16" O.C.- 1/2" (12.7MM) REGULAR GWB- INTERIOR FINISH

FLOOR & ROOF ASSEMBLY		
FLOOR TAG	FLOOR CONSTRUCTION	FLOOR ASSEMBLY DESCRIPTION
		<u>EXISTING GROUND FLOOR ASSEMBLY</u> <ul style="list-style-type: none">- NEW FLOOR FINISH- EXISTING WOOD FLOOR ASSEMBLY TO REMAIN 1/2"(15.5MM) PLYWOOD SUBFLOOR WOOD JOIST @16" O.C.- NEW 1 LAYER 1/2" REGULAR GWB- NEW CEILING FINISH
		<u>FLOOR ASSEMBLY - FIRE RATED</u> <ul style="list-style-type: none">- NEW FLOOR FINISH- EXISTING WOOD FLOOR ASSEMBLY TO REMAIN 1/2"(15.5MM) PLYWOOD SUBFLOOR WOOD JOIST @16" O.C.- NEW ABSORPTIVE MATERIAL IN CAVITY- RESILIENT METAL CHANNEL PERPENDICULAR TO JOIST @16" O/C- 2 LAYERS 5/8" (15.9MM) TYPE X GWB- CEILING FINISH FRR NOT LESS THAN 1HR (SB-3, TABLE 2, F9c) SOUND TRANSMISSION (STC) 52
ROOF TAG	ROOF CONSTRUCTION	ROOF ASSEMBLY DESCRIPTION
		<u>EXISTING ROOF ASSEMBLY</u> <ul style="list-style-type: none">- EXISTING ROOF FINISH TO REMAIN- EXISTING ROOF MEMBRANE TO REMAIN- EXISTING ROOF STRUCTURAL ASSEMBLY TO REMAIN- EXISTING ROOF CEILING JOIST W/ INSULATION TO REMAIN- EXISTING 1 LAYER 1/2" REGULAR GWB- NEW CEILING FINISH FRR NOT LESS THAN 45MIN (SB-3, TABLE 2, R1)
		<u>EXISTING STAIR ASSEMBLY</u> <ul style="list-style-type: none">- ADD 2 LAYERS 5/8" (15.9MM) TYPE X GWB- CEILING FINISH FRR NOT LESS THAN 1HR (SB-2)

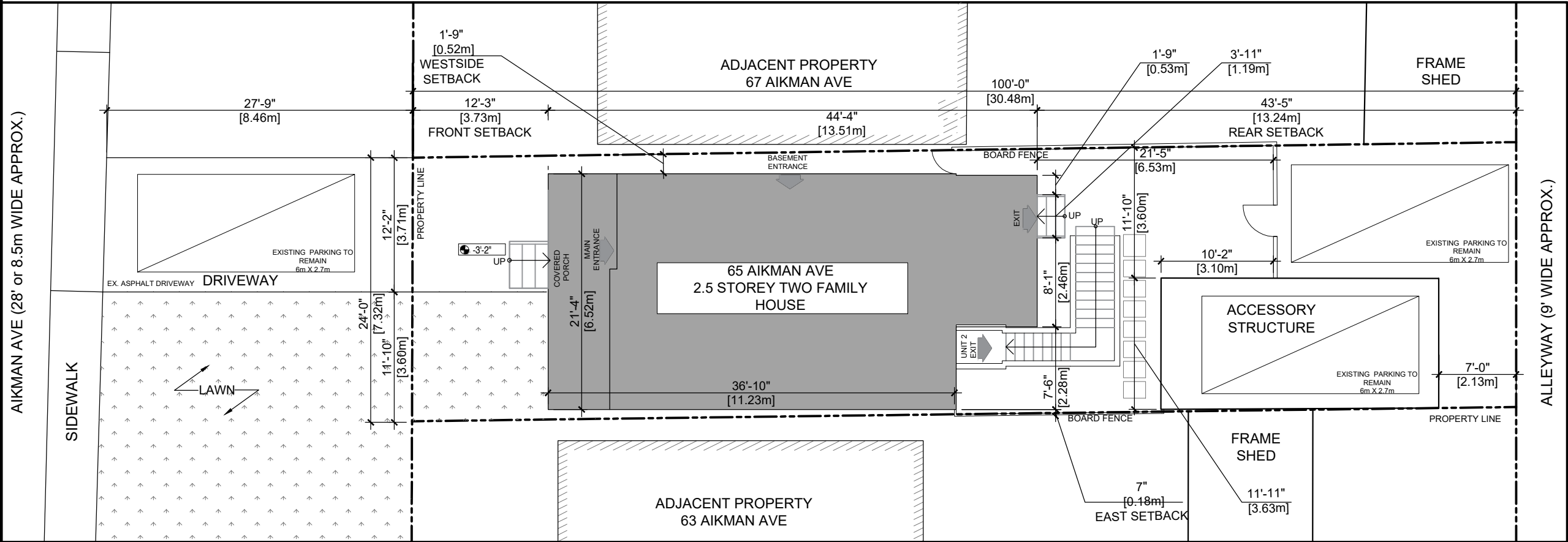
LEGEND:	
	EXISTING WALL/ PARTITION TO REMAIN
	NEW INTERIOR PARTITION
	NEW FIRE SEPARATION PARTITION (1 HR FRR, 50 STC)
	NEW FIRE RATED EXISTING PARTITION WALL (1 HR FRR, 50 STC)
	SMOKE ALARM INTERCONNECTED WITH VISUAL SIGNALING COMPONENT
	NEW EXHAUST FAN
	DEPICTS NEW BEAM
	CEILING THROUGHOUT DWELLING UNIT AS PER SB-3F9c 1 hr FRR 51 STC.
	BATHROOM FAN VENTED TO THE EXTERIOR.



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DATE		2022-08-15	
PAGE TITLE		WALL SCHEDULE & LEGEND	
PROJECT NO. RR50-2022		DRAWING NO.	A0.03
DRAWN BY VV			
REVIEWED BY R.K			



1

EXISTING SITE PLAN

Scale: 3/32"=1'-0"

SITE STATISTICS	
LOT AREA	0.05 Acre (223.11 Sq.m)
FRONTAGE	24'-0" (7.32m)
DEPTH	100'-0" (30.48 m)
ZONE CODE	E
PARENT BY-LAW	6593 FORMER HAMILTON
ZONING DESCRIPTION	URBAN PROTECTED RESIDENTIAL - ONE & TWO FAMILY DWELLINGS.
PARKING	3

EXISTING BUILDING STATISTICS	
FRONT SETBACK	± 12'-3" (3.73 m)
REAR SETBACK	± 43'-6" (13.24 m)
WEST SIDE SETBACK	± 1'-9" (0.52 m)
EAST SIDE SETBACK	± 7" (0.18 m)
WIDTH	± 21'-4" (6.52 m)
DEPTH	± 44'-4" (13.51 m)
# OF STOREY	2.5
GROSS FLOOR AREA	EXISTING TO REMAIN
FIRST FLOOR AREA	EXISTING TO REMAIN
SECOND FLOOR AREA	EXISTING TO REMAIN
ATTIC FLOOR AREA	EXISTING TO REMAIN

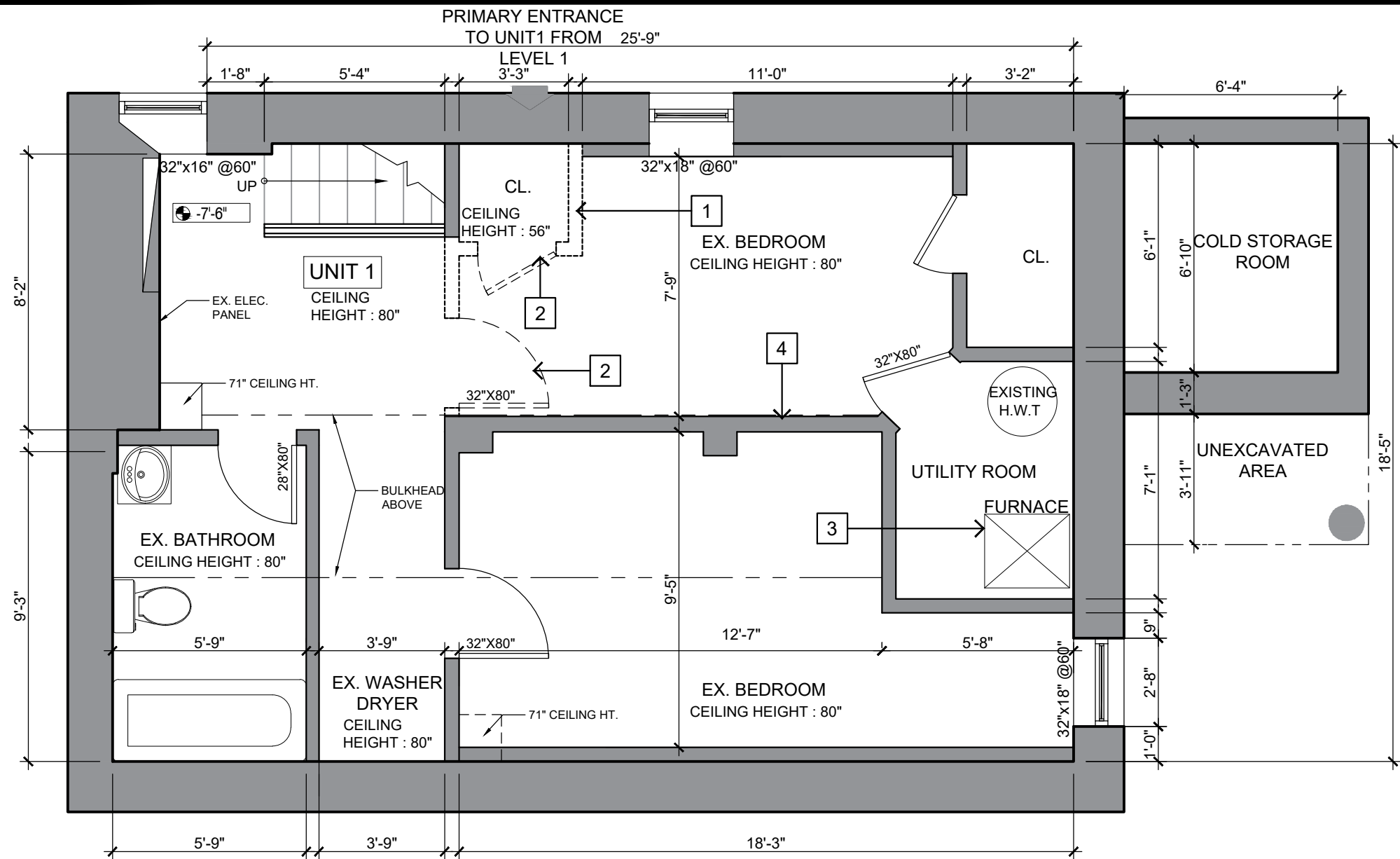


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PROJECT NO. RR50-2022	DRAWING NO.	<div>SP.01</div>	
DRAWN BY VV			
REVIEWED BY R.K			



1 EXISTING BASEMENT FLOOR PLAN
Scale: 1/4"=1'-0"

DEMOLITION KEY NOTES:

1. DEMOLISH INTERIOR WALL . PATCH AND REPAIR THE AREA AFFECTED BY SCOPE OF WORK.
2. DEMOLISH EXISTING DOOR.
3. MECHANICAL EQUIPMENT TO REMAIN AS IS.
4. PATCH AND REPAIR EXISTING INTERIOR WALLS.


LEGEND:

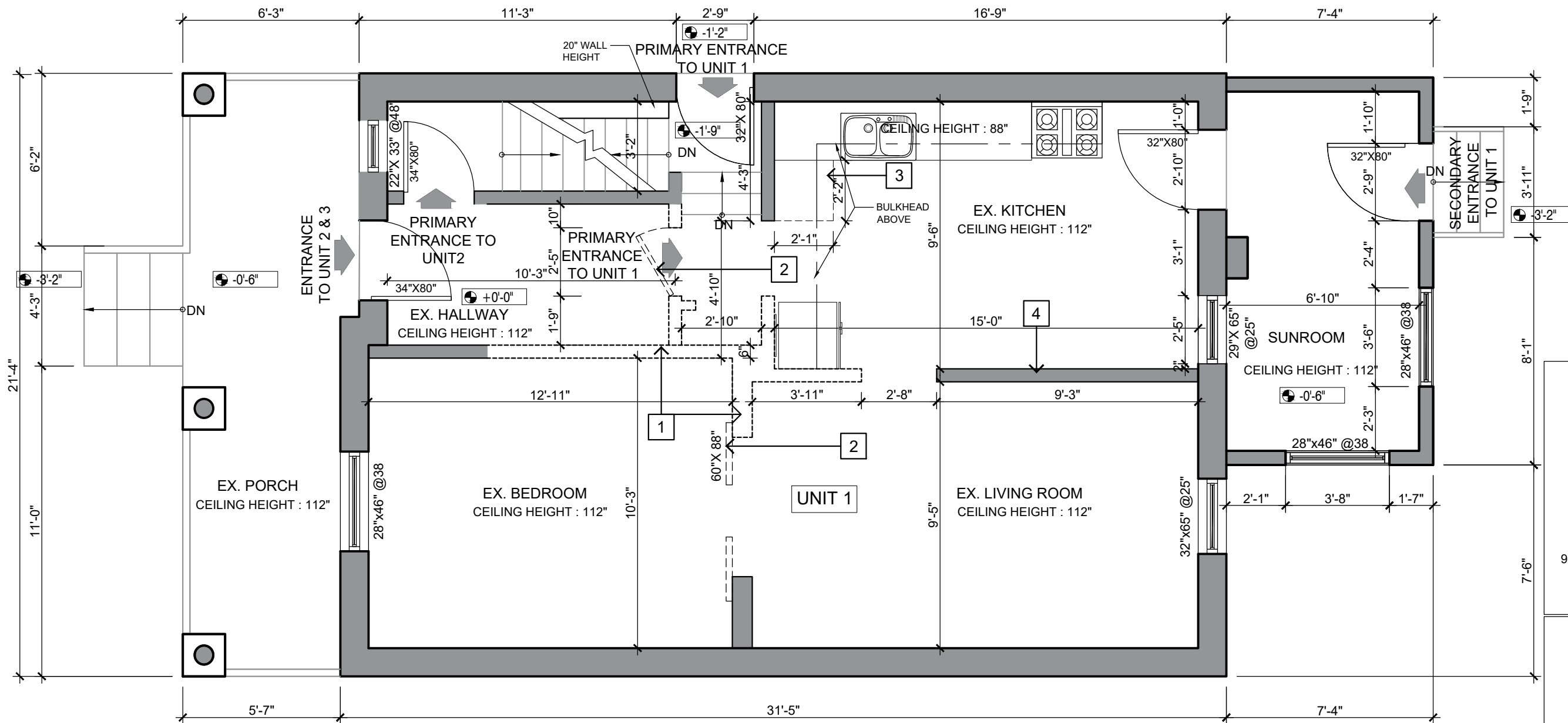
- EXISTING WALL/ PARTITION TO REMAIN
- WALL TO BE DEMOLISHED



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PROJECT NO. RR50-2022		DRAWING NO.	
DRAWN BY VV		A1.01	
REVIEWED BY R.K			



1 EXISTING MAIN FLOOR PLAN
Scale: 1/4"=1'-0"

- DEMOLITION KEY NOTES:
1. DEMOLISH INTERIOR WALL . PATCH AND REPAIR THE AREA AFFECTED BY SCOPE OF WORK.
 2. DEMOLISH EXISTING DOOR.
 3. DEMOLISH EXISTING KITCHEN MILLWORK.
 4. PATCH AND REPAIR EXISTING INTERIOR WALL.MAKE GOOD TO SUIT THE SCOPE OF WORK, REFER PROPOSED PLANS.

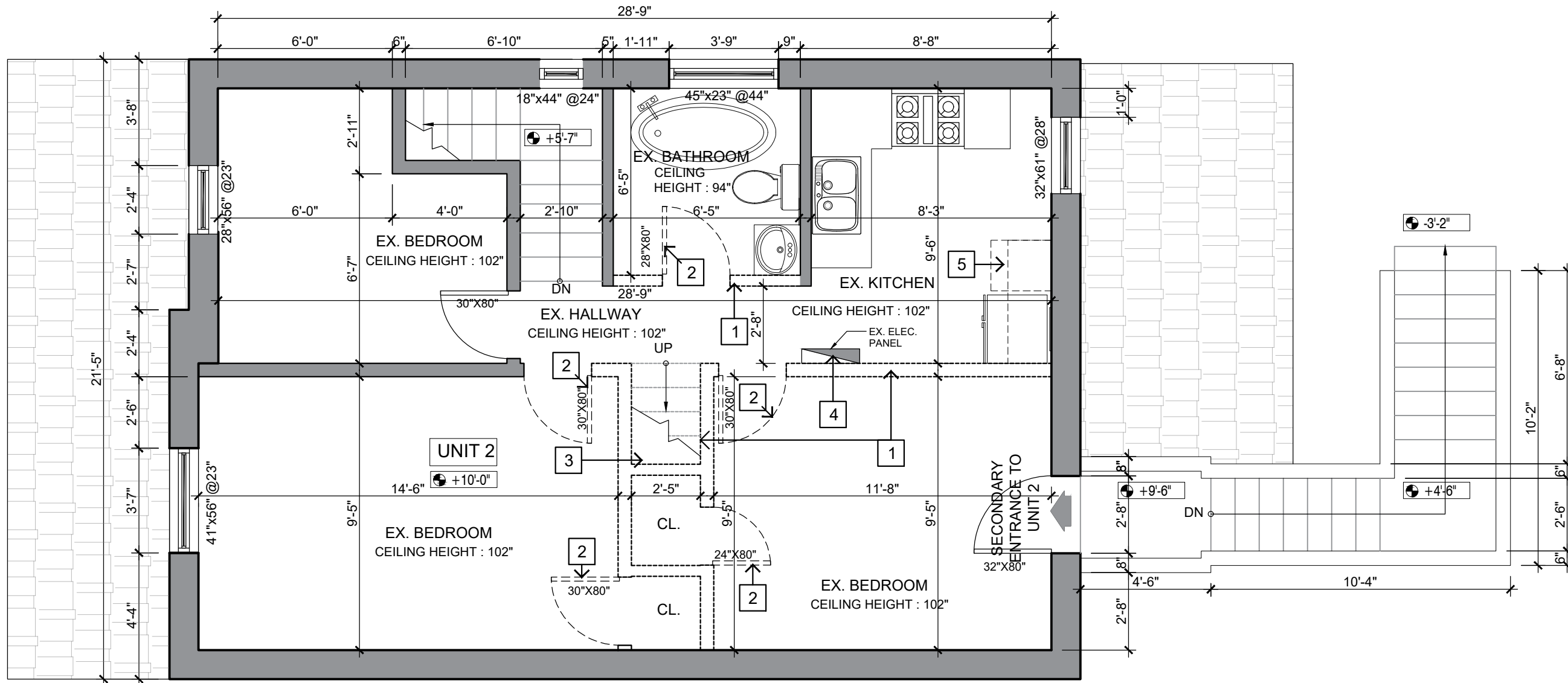
LEGEND:	
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PAGE TITLE	EXISTING MAIN FLOOR PLAN		
PROJECT NO.	RR50-2022	DRAWING NO.	
DRAWN BY	VV	A1.02	
REVIEWED BY	R.K		



1 EXISTING SECOND FLOOR PLAN
Scale: 1/4"=1'-0"

DEMOLITION KEY NOTES:

- DEMOLISH INTERIOR WALL . PATCH AND REPAIR THE AREA AFFECTED BY SCOPE OF WORK.
- DEMOLISH EXISTING DOOR.
- DEMOLISH EXISTING STAIRS UP TO ATTIC FLOOR.
- RELOCATE EXISTING ELECTRIC PANEL TO THE LOCATION SHOWN IN THE PROPOSED PLANS. REFER SHEET A2.03 FOR DETAIL. (CONTRACTOR TO CONFIRM THE LOCATION WITH THE OWNER PRIOR TO INSTALLING)
- DEMOLISH EXISTING COUNTER, MILLWORK & MILLWORK OVERHEAD.


LEGEND:

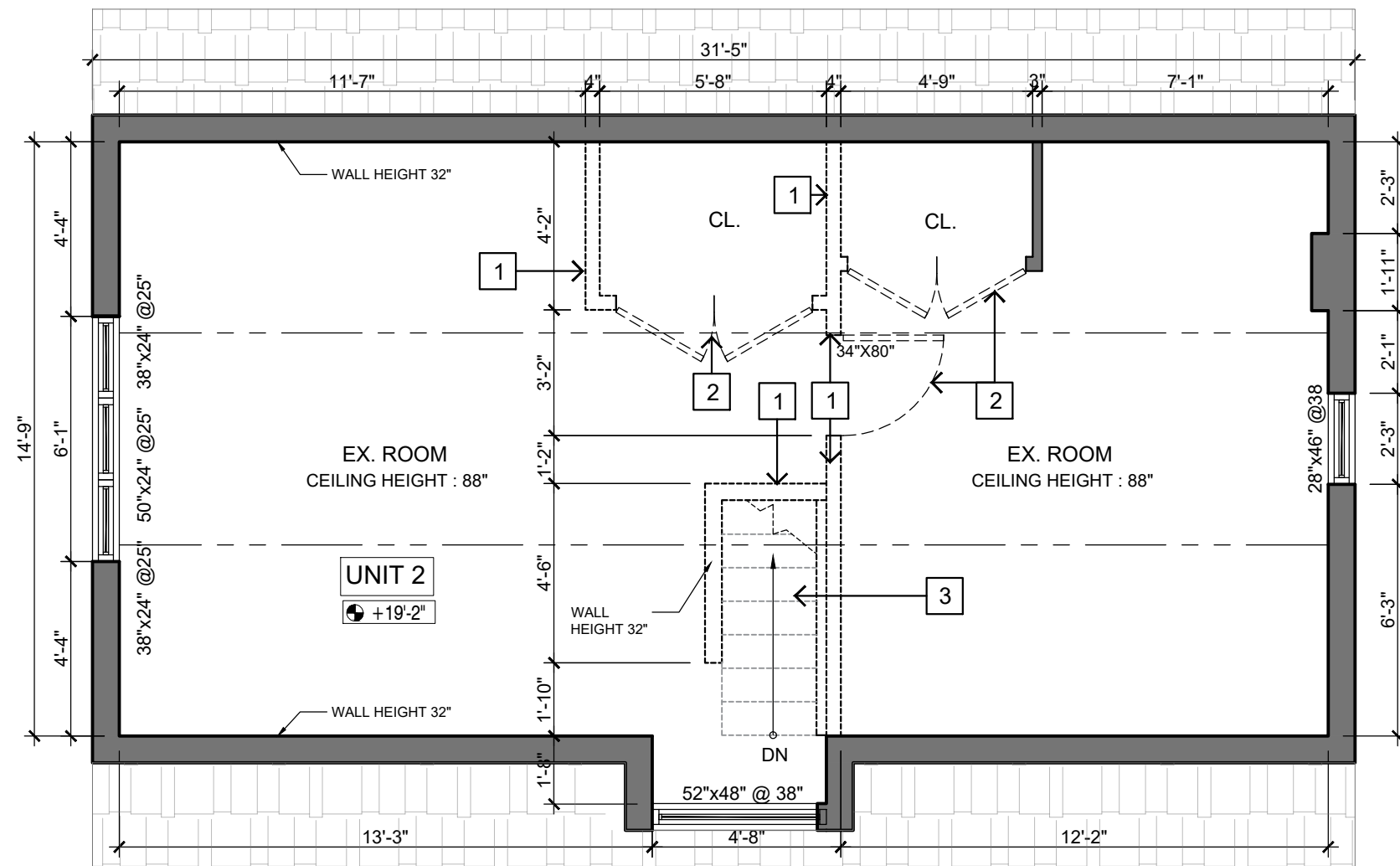
- EXISTING WALL/ PARTITION TO REMAIN
- WALL TO BE DEMOLISHED



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REVISIONS			
PROJECT ADDRESS	65 AIKMAN AVE, HAMILTON, ON L8M 1P8		
SCALE	AS NOTED		
DATE	2022-08-15		
PAGE TITLE	EXISTING SECOND FLOOR PLAN		
PROJECT NO. RR50-2022	DRAWING NO.	 A1.03	
DRAWN BY VV			
REVIEWED BY R.K			



1 EXISTING ATTIC FLOOR PLAN
Scale: 1/4"=1'-0"

- DEMOLITION KEY NOTES:
1. DEMOLISH INTERIOR WALL . PATCH AND REPAIR THE AREA AFFECTED BY SCOPE OF WORK.
 2. DEMOLISH EXISTING DOOR.
 3. DEMOLISH EXISTING STAIRCASE. KEEP EXISTING LANDING. REFER TO THE PLAN A 2.04.

LEGEND:

EXISTING WALL/ PARTITION TO REMAIN

WALL TO BE DEMOLISHED



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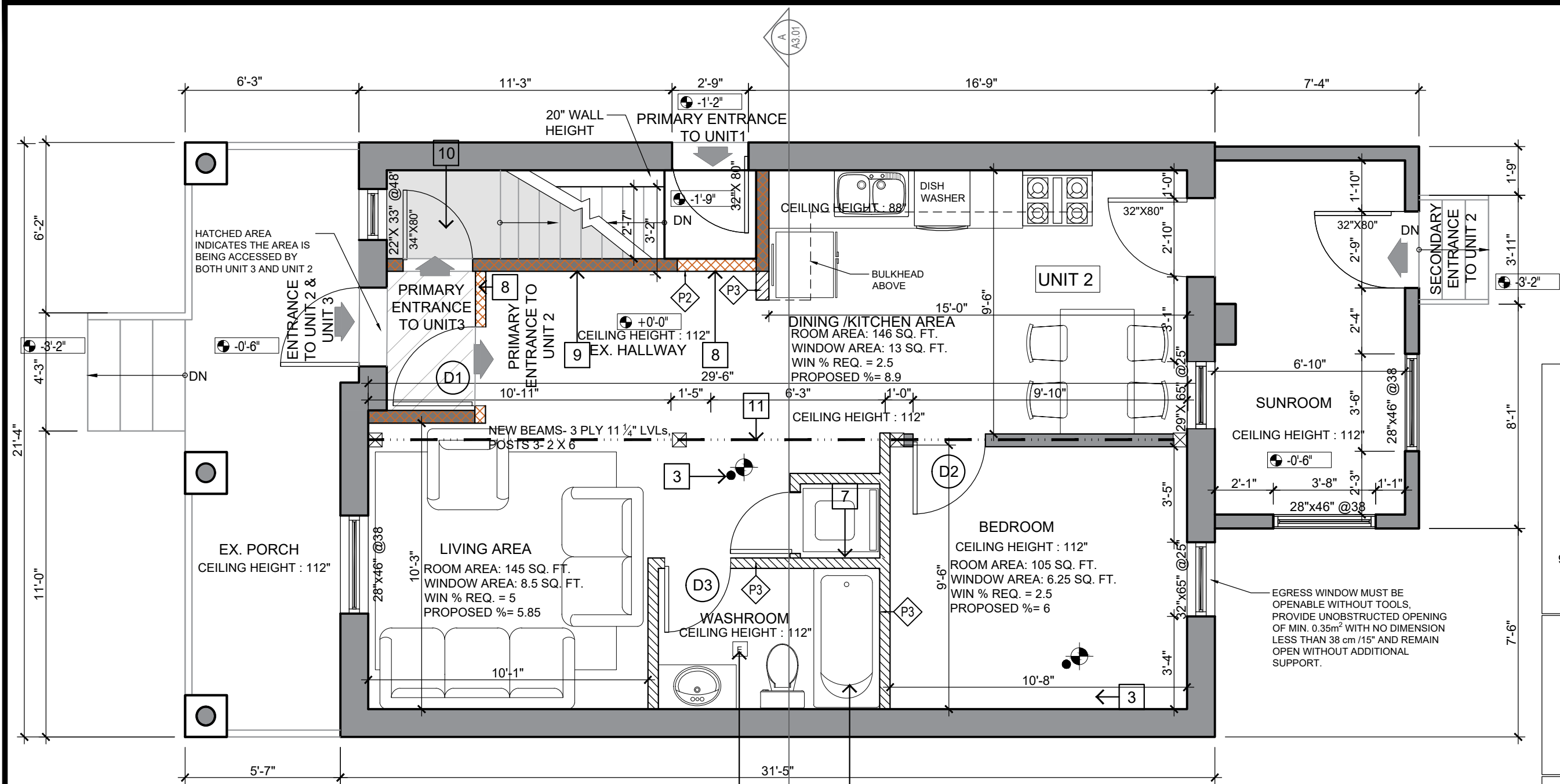


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PROJECT NO. RR50-2022	DRAWING NO.	A1.04	
DRAWN BY VV			
REVIEWED BY R.K			







1 PROPOSED MAIN FLOOR PLAN
Scale: 1/4"=1'-0"

DOOR SCHEDULE					
NO.	LOCATION	DIMENSIONS			FIRE RATING
		WIDTH	HEIGHT	THICKNESS	
D1	PRIMARY ENTRANCE	36"	60"	AS REQUIRED	45 MINS
D2	BEDROOM	30"	60"	AS REQUIRED	N/A
D3	BATHROOM	28"	60"	AS REQUIRED	N/A

NOTES:

- REFER TO A0.03 FOR THE WALL SCHEDULES.
- ALL SMOKE ALARMS ARE TO BE INTERCONNECTED AS PER OBC DIV B PART 9.10.19.3 AND 9.10.19.5.
- A 3-WAY WALL SWITCH AT THE HEAD AND FOOT OF EVERY STAIRWAY SHALL BE PROVIDED TO CONTROL THE LIGHT OVER STAIRWAY.

LEGEND:	
	EXISTING WALL/ PARTITION TO REMAIN
	NEW INTERIOR PARTITION
	NEW FIRE SEPARATION PARTITION (1 HR FRR, 50 STC)
	NEW FIRE RATED EXISTING PARTITION WALL (1 HR FRR, 50 STC)
	SMOKE ALARM INTERCONNECTED WITH VISUAL SIGNALING COMPONENT
	NEW EXHAUST FAN
	DEPICTS NEW BEAM
	CEILING THROUGHOUT DWELLING UNIT AS PER SB-3F9c 1 hr FRR 51 STC. BATHROOM FAN VENTED TO THE EXTERIOR.

CONSTRUCTION KEY NOTES:

- INSTALL NEW BATHROOM FIXTURES.
- INSTALL NEW EXHAUST FAN IN BATHROOM. IT SHALL VENT DIRECTLY TO EXTERIOR.
- INSTALL INTERCONNECTED CO/SMOKE ALARMS/DETECTORS.
- INSTALL NEW REGULAR PARTITION. INTERIOR WALL ASSEMBLY:
 - INTERIOR FINISH
 - ONE LAYER 1/2" REGULAR GWB
 - 2X4 WOOD STUD @ 16 O/C
 - ONE LAYER 1/2" REGULAR GWB
 - INTERIOR FINISH.
- INSTALL NEW FLOORING FINISH.
- INSTALL NEW ELECTRICAL & LIGHT FIXTURES IF NEEDED.
- INSTALL NEW LAUNDRY. DRYER SHALL VENT DIRECTLY TO EXTERIOR.
- INSTALL NEW FIRE SEPARATION WALL OR UPDATE THE EXISTING WALL TO ADD FIRE SEPARATION. INTERIOR FIRE SEPARATION WALL ASSEMBLY:
 - INTERIOR FINISH

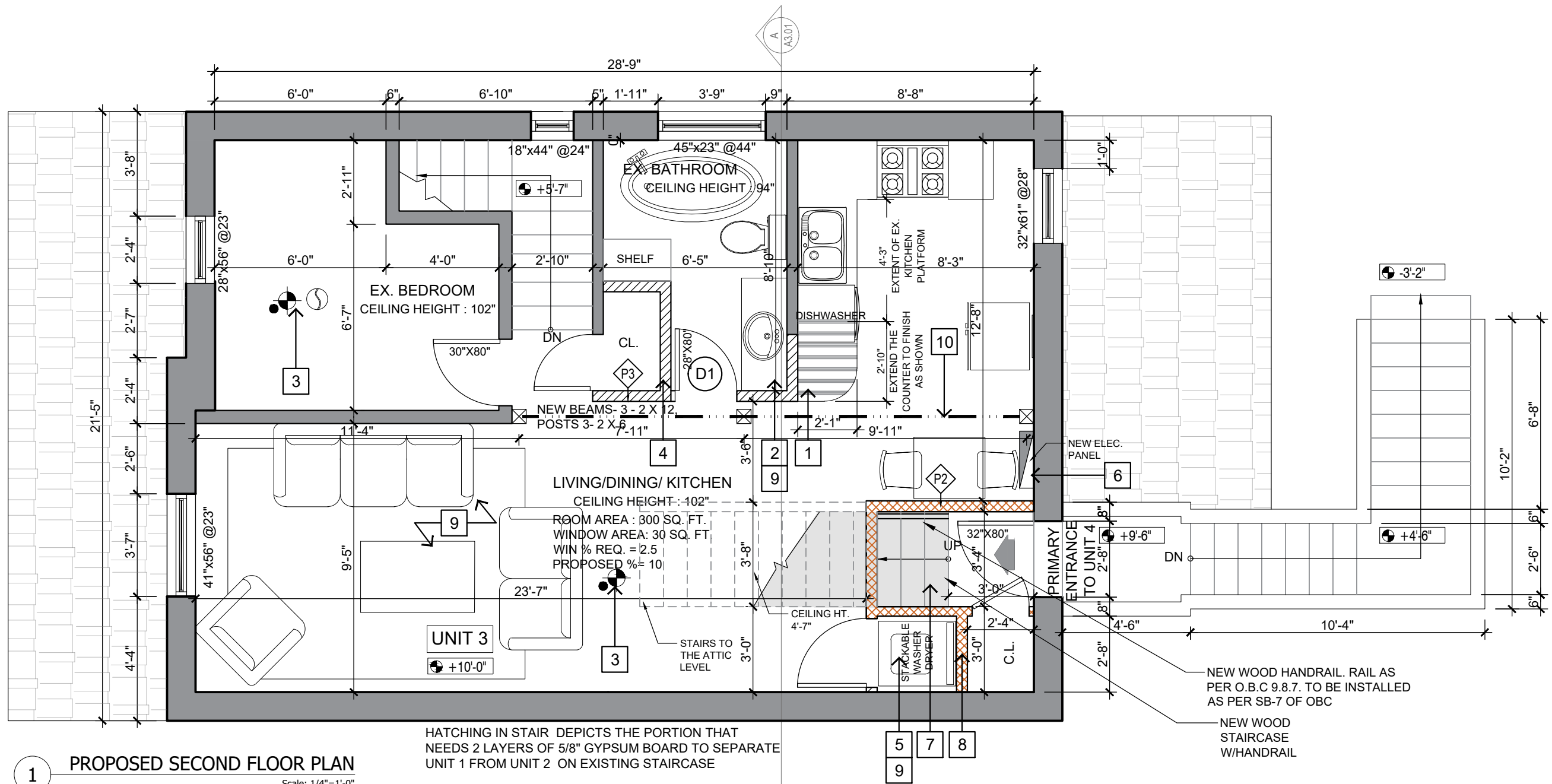
- ONE LAYER 5/8" (15.9MM) TYPE X GWB
 - EXISTING OR NEW 2X4 STUD @ 16" O.C. W/ SOUND INSULATION
 - RESILIENT METAL CHANNELS
 - TWO LAYERS 5/8" (15.9MM) TYPE X GWB
 - INTERIOR FINISH
- PROVIDE FOR COMMON AREA, STAIR, MECHANICAL ROOM, RESIDENTIAL UNITS SEPARATION. FRR NOT LESS THAN 1HR (SB-3, TABLE 1, W4a),SOUND TRANSMISSION (STC) 51
9. INSTALL NEW REGULAR PARTITION. INTERIOR WALL ASSEMBLY:
 - INTERIOR FINISH
 - ONE LAYER 1/2" REGULAR GWB
 - 2X4 WOOD STUD @ 16 O/C
 - ONE LAYER 1/2" REGULAR GWB
 - INTERIOR FINISH.
10. REFER TO ES1 ON PAGE A0.03 FOR FIRE SEPARATION TO BE ADDED TO THE EXISTING STAIR CASE TO SEPARATE UNIT 3 FROM UNIT 1.
11. INSTALL NEW BEAM (3 PLY 11 1/4" LVL)S AND 4 NEW POSTS (3-2 X 6).



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SCALE: AS NOTED		DATE: 2022-08-15	
PAGE TITLE: PROPOSED MAIN FLOOR PLAN		PROJECT NO.: RR50-2022	
DRAWN BY: VV		DRAWING NO.: A2.02	
REVIEWED BY: R.K			



DOOR SCHEDULE					
NO.	LOCATION	DIMENSIONS			FIRE RATING
		WIDTH	HEIGHT	THICKNESS	
D1	BATHROOM	28"	60"	AS REQUIRED	N/A

NOTES:

- REFER TO A0.03 FOR THE WALL SCHEDULES.
- ALL SMOKE ALARMS ARE TO BE INTERCONNECTED AS PER OBC DIV B PART 9.10.19.3 AND 9.10.19.5.
- A 3-WAY WALL SWITCH AT THE HEAD AND FOOT OF EVERY STAIRWAY SHALL BE PROVIDED TO CONTROL THE LIGHT OVER STAIRWAY

LEGEND:	
	EXISTING WALL/ PARTITION TO REMAIN
	NEW INTERIOR PARTITION
	NEW FIRE SEPARATION PARTITION (1 HR FRR, 50 STC)
	DEPICTS NEW BEAM
	SMOKE ALARM INTERCONNECTED WITH VISUAL SIGNALING COMPONENT
	NEW EXHAUST FAN
	CEILING THROUGHOUT DWELLING UNIT AS PER SB-3F9c 1 hr FRR 51 STC.

CONSTRUCTION KEY NOTES:

- INSTALL NEW KITCHEN MILLWORK IN HATCHED AREA.
- REPAIR AND REPLACE NEW BATHROOM FIXTURES AS REQUIRED.
- INSTALL INTERCONNECTED CO/SMOKE ALARMS/DETECTORS.
- INSTALL NEW REGULAR PARTITION. INTERIOR WALL ASSEMBLY:
- INTERIOR FINISH
- ONE LAYER 1/2" REGULAR GWB
- 2X4 WOOD STUD @ 16 O/C
- ONE LAYER 1/2" REGULAR GWB
- INTERIOR FINISH.
- INSTALL NEW STACKED LAUNDRY. DRYER SHALL VENT DIRECTLY TO EXTERIOR.
- INSTALL NEW ELECTRICAL PANEL.
- NEW WOODEN STAIRS WITH 1 HR. F.R.R. (REFER TO ES1 ON PAGE A0.03 FOR FIRE SEPARATION TO BE ADDED TO NEW STAIR CASE TO SEPARATE UNIT 3 FROM UNIT 4.)
- INSTALL NEW FIRE SEPARATION WALL OR UPDATE THE EXISTING WALL TO ADD FIRE SEPARATION. INTERIOR FIRE

SEPARATION WALL ASSEMBLY:

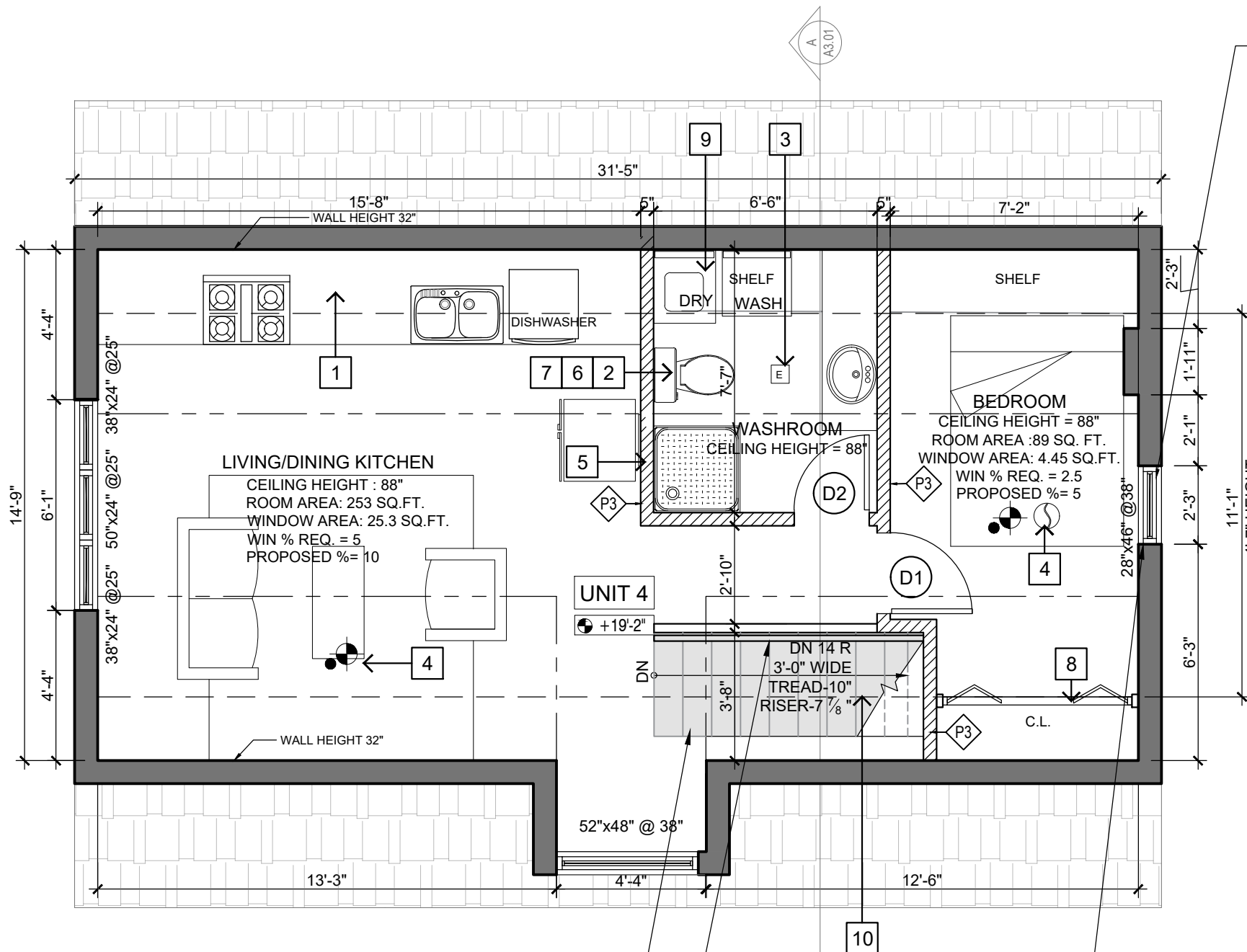
- INTERIOR FINISH
 - ONE LAYER 5/8" (15.9MM) TYPE X GWB
 - EXISTING OR NEW 2X4 STUD @ 16" O.C. W/ SOUND INSULATION
 - RESILIENT METAL CHANNELS
 - TWO LAYERS 5/8" (15.9MM) TYPE X GWB
 - INTERIOR FINISH
- PROVIDE FOR COMMON AREA, STAIR, MECHANICAL ROOM, RESIDENTIAL UNITS SEPARATION. FRR NOT LESS THAN 1HR (SB-3, TABLE 1, W4A), SOUND TRANSMISSION (STC) 51
- INSTALL NEW FLOORING FINISH, PATCH AS REQUIRED.
 - INSTALL NEW BEAM (3 - 2 X 12) AND 3 NEW POSTS (3-2 X 6).



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DRAWN BY	VV	REVIEWED BY	R.K



EGRESS WINDOW MUST BE OPENABLE WITHOUT TOOLS, PROVIDE UNOBSTRUCTED OPENING OF MIN. 0.35m² WITH NO DIMENSION LESS THAN 38 cm /15" AND REMAIN OPEN WITHOUT ADDITIONAL SUPPORT.

CONTRACTOR TO VERIFY THE DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER RIGHT AWAY.

LEGEND:

- EXISTING WALL/ PARTITION TO REMAIN
- NEW INTERIOR PARTITION
- SMOKE ALARM INTERCONNECTED WITH VISUAL SIGNALING COMPONENT
- NEW EXHAUST FAN
- CEILING THROUGHOUT MAIN FLOOR DWELLING UNIT AS PER SB-3F9c 1 hr FRR 51 STC.
- BATHROOM FAN VENTED TO THE EXTERIOR.

CONSTRUCTION KEY NOTES:

- INSTALL NEW KITCHEN MILLWORK, CABINET AND SINK.
- INSTALL NEW BATHROOM FIXTURES.
- INSTALL NEW EXHAUST FAN IN BATHROOM. IT SHALL VENT DIRECTLY TO EXTERIOR.
- INSTALL INTERCONNECTED CO/SMOKE ALARMS/DETECTORS.
- INSTALL NEW REGULAR PARTITION. INTERIOR WALL ASSEMBLY:
- INTERIOR FINISH
- ONE LAYER 1/2" REGULAR GWB
- 2X4 WOOD STUD @ 16 O/C
- ONE LAYER 1/2" REGULAR GWB
- INTERIOR FINISH.
- INSTALL NEW FLOORING FINISH AND TRIMS.
- INSTALL NEW ELECTRICAL & LIGHT FIXTURES IF NEEDED.
- INSTALL NEW INTERIOR DOOR. NOTE: DOOR DIMENSIONS NOT INCLUDE DOOR FRAMES.
- INSTALL NEW LAUNDRY. DRYER SHALL VENT DIRECTLY TO EXTERIOR.
- REFER TO ES1 ON PAGE A0.03 FOR FIRE SEPARATION TO BE ADDED TO NEW STAIR CASE TO SEPARATE UNIT 3 FROM UNIT 4.

DOOR SCHEDULE					
NO.	LOCATION	DIMENSIONS			FIRE RATING
		WIDTH	HEIGHT	THICKNESS	
D1	BEDROOM	30"	60"	AS REQUIRED	N/A
D2	BATHROOM	28"	60"	AS REQUIRED	N/A

- NOTES:**
- REFER TO A0.03 FOR THE WALL SCHEDULES.
 - ALL SMOKE ALARMS ARE TO BE INTERCONNECTED AS PER OBC DIV B PART 9.10.19.3 AND 9.10.19.5.
 - A 3- WAY WALL SWITCH AT THE HEAD AND FOOT OF EVERY STAIRWAY SHALL BE PROVIDED TO CONTROL THE LIGHT OVER STAIRWAY

1 PROPOSED ATTIC FLOOR PLAN
Scale: 1/4"=1'-0"

NEW WOOD STAIRCASE W/HANDRAIL
NEW WOOD HANDRAIL. RAIL AS PER O.B.C 9.8.7. TO BE INSTALLED AS PER SB-7 OF OBC

EXISTING EGRESS WINDOW MUST BE OPENABLE WITHOUT TOOLS, PROVIDE UNOBSTRUCTED OPENING OF MIN. 0.35 m² /3.8 ft² WITH NO DIMENSION LESS THAN 38 cm/ 15" AND REMAIN OPEN WITHOUT ADDITIONAL SUPPORT.



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GENERAL STRUCTURAL NOTES:

1. ONTARIO BUILDING CODE, LATEST EDITION, SHALL BE THE BASIS FOR CONSTRUCTION AND DESIGN WORK ON THIS PROJECT.
2. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE SITE.
3. OCCUPATIONAL HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION PROJECTS IN ONTARIO, LATEST EDITION, SHALL GOVERN DESIGN AND CONSTRUCTION WORK ON THIS PROJECT.
4. CONTRACTOR SHALL CONTACT THE CONSULTANT FOR AN INSPECTION OF STEEL REINFORCEMENT PRIOR TO POURING THE CONCRETE.
5. COMPACTION OF GRANULAR MATERIAL SHALL BE TESTED BY PERSONNEL OF A GEOTECHNICAL COMPANY AND THE RESULTS SENT TO THE CONSULTANT.

FOUNDATIONS:

1. GRANULAR 'A' FILL MATERIAL FOR SLABS AND UNDISTURBED SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUSTAINING A MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 PSF.
2. PROVIDE 10" MINIMUM COMPACTED TOP LAYER OF GRANULAR "A" MATERIAL UNDER THE SLAB AREA.
3. IF SLAB OR FOUNDATION ARE PLACED ON BACKFILLED MATERIAL; COMPACT THE MATERIAL TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY IN 8" THICK LAYERS (MAX).
4. ALL STRIP FOOTINGS SHALL BE A MINIMUM OF 16" WIDE AND 8" DEEP WITH TWO 15M LONGITUDINAL BARS. THE UNDERSIDE OF FOOTING SHALL BE A MINIMUM OF 4" BELOW GRADE (IN SOUTHERN ONTARIO).

CONCRETE:

1. CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF CSA-CAN-A23.1 AND A23.3., LATEST EDITION. {OBC 9.3.1.4.}
2. CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS OF 4650 psi (32MPa)
3. REINFORCEMENT STEEL SHALL BE DEFORMED BARS CONFORMING TO CSA-G30.1 2, HAVING A MINIMUM YIELD STRENGTH OF 58psi (400MPa).
4. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE 1.5" U.N.O. WHEN EXPOSED TO WEATHER THE MINIMUM COVER IS 2". WHEN EXPOSED TO SOIL, THE MINIMUM COVER IS 3".

5. CONTRACTOR TO PROVIDE THE NECESSARY MEANS TO SUPPORT AND KEEP STEEL REINFORCEMENT IN HE INDICATED POSITIONS DURING WORKING OPERATIONS AND PLACING CONCRETE
6. CONCRETE SLABS TO HAVE A STEEL TROWEL FINISH, U.N.O.
7. CONCRETE SLAB SEALER SHALL BE "SIKAFLOOR S3" OR EQUIVALENT.

ANCHOR RODS:

1. ALL ANCHOR RODS SHALL BE G40.21M 50W WITH MINIMUM TENSILE STRENGTH - 65KSI (450MPA).
2. ALL ANCHOR RODS OR DOWELS TO EXISTING CONCRETE SHALL BE HILTI HIT HY200 MAX ADHESIVE ANCHORS UNLESS NOTED OTHERWISE. STRENGTH OF MATERIAL AND INSTALLATION METHOD SHALL CONFORM TO MANUFACTURER'S SPECIFICATION.
3. ALL ADHESIVE ANCHOR RODS SHALL BE HILTI HAS-E THREADED ROD OR EQUIVALENT THREADED ROD TO BE APPROVED BY CONSULTANT.
4. ALL ANCHOR RODS SHALL BE COMPLETE WITH HEAVY HEXAGON NUTS PLUS PLATE WASHER. ANCHOR PLATES SHALL CONFORM TO CSA G40.21M - 44W.
5. WELDING TO SECURE ANCHOR PLATE TO ANCHOR ROD(S) SHALL CONFORM TO CSA W47.1, W48.1 AND W59 USING LOW HYDROGEN ELECTRODES AND SHALL BE UNDERTAKEN ONLY BY WELDERS HOLDING CERTIFICATION FOR THE PROCESS, POSITION AND CLASS OF ELECTRODES INVOLVED.
6. ANCHOR ROD PROJECTIONS AND ANCHOR ROD THREADS SHALL BE SUFFICIENT TO SECURE BOTTOM PLATE OF WALL OR COLUMN BASE PLATE
7. ANCHOR ROD PLACEMENT TOLERANCES PER CSA A23.1 CLAUSE 6.7, UNLESS OTHERWISE NOTED ON CONTRACT DRAWINGS.

WOOD:

1. ENGINEERING DESIGN IN WOOD SHALL COMPLY WITH CAN/CSA-086-01, INCLUDINGSUPPLEMENT CAN/CSA-086S1-05.
2. ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO.1.
3. MAX. MOISTURE CONTENT SHALL BE 19% AT TIME OF INSTALLATION.
4. JOISTS TO HAVE MIN. 38MM BEARING.
5. FASTENERS SHOULD PENETRATE MIN. 50% OF THE LAST MEMBER OR NOT LESS THAN 89MM LONG, WHICH EVER IS GREATER.
6. NAILS ARE TO CONFORM TO CSA B111/P.9-88.

7. SCREWS MUST CONFORM TO ANSI/ASME N18.6-1-1981 FOR WOOD SCREWS (INCH SERIES)
8. 5/8" DIA. BY 10" LONG WITH 6" EMBEDMENT BOTTOM SILL GALVANIZED ANCHORS WITH NUTS AND WASHERS AT MAX. 6' ON CENTER AND AT CORNERS AND WALL ENDS.

STRUCTURAL STEEL:

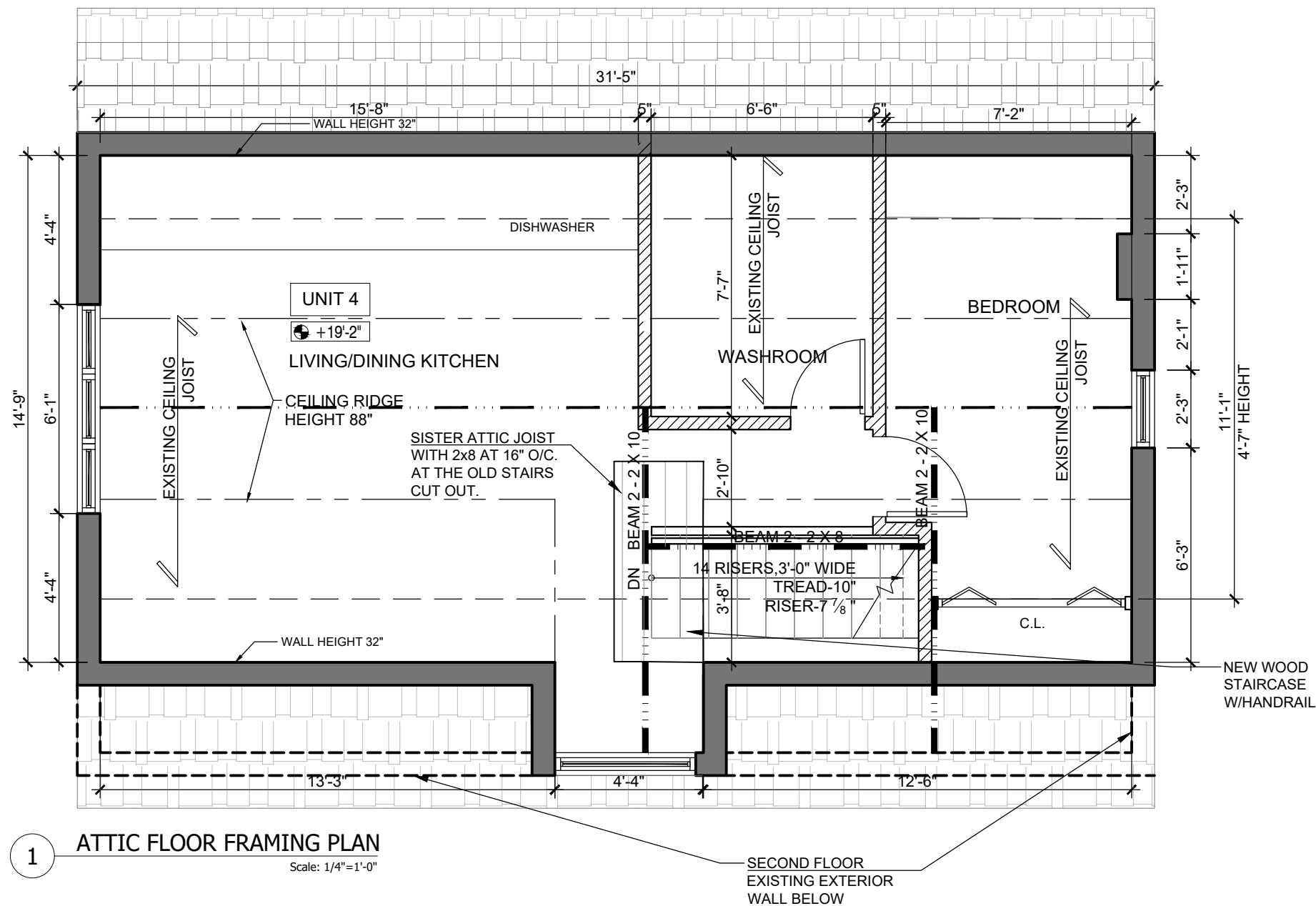
1. STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE CAN/CSA STANDARD S16-09 "LIMIT STATES DESIGN OF STEEL STRUCTURES".
2. STEEL SHALL CONFORM TO CAN/CSA STANDARD G40.20 - "GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL" AND TO CAN/CSA STANDARD G40.21 - "STRUCTURAL QUALITY STEELS" TO THE FOLLOWING GRADES:
 - HOT ROLLED SHAPES - 44W (300MPA), EXCEPT TO WIDE FLANGE SHAPES WHICH WILL CONFORM TO G20.21M - 50W (350MPA)
 - PLATES NOT GREATER THAN 1 ½" (38MM) THICKNESS - 50W (350MPA)
 - COLD FORMED STEEL - ASTM A 653/A 653M GRADE 50W (350MPA)
 - HSS (CLASS H) - 50W (350MPA) IF 6" (152MM) OR GREATER
 - HSS (CLASS C) - 50W (350MPA) IF LESS THAN 6" (152MM)
 - ANCHOR BOLTS - 50W (350MPA)
3. ALL METAL-ARC WELDING SHALL BE IN ACCORDANCE WITH CSA STANDARD W59 LATEST REVISION "WELDED STEEL CONSTRUCTION (METAL - ARC WELDING)" & SHALL BE UNDERTAKEN ONLY BY WELDERS HOLDING A VALID CERTIFICATION (QUALIFIED TO CSA W47.1) FOR THE PROCESS POSITION AND CLASS OF ELECTRODES INVOLVED.
4. ALL ELECTRODES SHALL BE LOW HYDROGEN E70XX CONFORMING TO CSA W48.
5. ALL WELDS SHALL BE CONTINUOUS UNLESS NOTED OTHERWISE.
6. MINIMUM SIZE OF FILLET WELDS TO BE 1/4" (6MM) OR AS REQUIRED BY MATERIAL THICKNESS OR PARTS JOINED, UNLESS NOTED OTHERWISE.
7. ALL BOLTED FASTENERS SHALL BE ASTM A325 STRUCTURAL BOLTS COMPLETE WITH HARDENED WASHERS AND HEAVY HEX NUTS UNLESS NOTED OTHERWISE.
8. HSS ENDS SHALL BE CLOSED WITH 3/16" (5MM) THICK CAP PLATE UNLESS NOTED OTHERWISE. PLATE TO BE SEAL WELDED TO HSS.



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PROJECT NO. RR50-2022		DRAWING NO.	S0.0
DRAWN BY VV			
REVIEWED BY R.K			



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PAGE TITLE		ATTIC FLOOR FRAMING PLAN	
PROJECT NO. RR50-2022		DRAWING NO.	
DRAWN BY VV		S0.1	
REVIEWED BY R.K			



R&R DESIGNS

3. PURPOSE OF APPLICATION

TO: City Of Hamilton,
Committee of Adjustment

Minor Variance Application

Project Address: 65 AIKMAN AVE, HAMILTON (Conversion from Two to Four Dwelling Units)

Hello,

Please see the following list of nature and extent of relief applied and the reason for the Minor Variance Application for 65 Aikman Ave

3.1 Nature and extent of relief applied for :

- 1) The project is conversion from Two dwelling units to Four dwelling Units. We are requesting variance for additional parking required. We do not have any room to add parking on site and the building is located in public transit/ pedestrian-oriented neighbourhood and
- 2) Area required for each unit in the multiple dwelling residential building in Zone E within Hamilton zoning By Law 6593 is 65 m² (699.65 sq. ft).
We request for this condition to be waived off for the units listed below as we do not comply with this minimum area requirement.

The area of units where we have minimum height (2.1m) is listed below:

UNIT 1 (1 BEDROOM UNIT) - 46 m² (496 sq. ft).
UNIT 2 (1 BEDROOM UNIT) - 48 m² (517 sq. ft).
UNIT 3 (1 BEDROOM UNIT) – 46.6 m² (502 sq. ft).
UNIT 4 (BACHELOR UNIT) – 20.4 m² (219 sq. ft.)

3.2 Reason why the provisions of the by law cannot be complied:

Reason for not able to comply with the by-law

1. There is no room on the lot to add any parking. Hence, we request for the parking exemption. The existing parking will be continued to use as is.
2. It is not possible to add space to units in the existing building. We are allowed to build upto four units and the client would like to take the benefit of it.

Thank you.

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	HAJI ABBAS	
Applicant(s)	RICHIE KHANNA R&R Designs Inc.	
Agent or Solicitor		

- 1.2 All correspondence should be sent to ☐ Owner ☒ Applicant
☐ Agent/Solicitor
- 1.2 All correspondence should be sent to ☐ Purchaser ☐ Owner
☒ Applicant ☐ Agent/Solicitor
- 1.3 Sign should be sent to ☐ Purchaser ☒ Owner
☒ Applicant- (OPTIONAL IF HAVE DUPLICATE COPY) ☐ Agent/Solicitor
- 1.4 Request for digital copy of sign ☐ Yes* ☒ No
 If YES, provide email address where sign is to be sent _____
- 1.5 All correspondence may be sent by email ☒ Yes* ☐ No
 If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	65 AIKMAN AVE		
Assessment Roll Number	2518 030-231-04790-0000		
Former Municipality	HAMILTON		
Lot	16	Concession	
Registered Plan Number	210	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

PLEASE SEE ATTACHED - PURPOSE OF APPLICATION LETTER

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

PLEASE SEE ATTACHED - PURPOSE OF APPLICATION LETTER

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.32 m	30.48 m	223.11 sq.m	~8.5 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Residential- Two family house	3.73 m	13.24 m	west side-0.52 m	21st June 1991
			east side-0.18 m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Residential-Four family house	3.73 m	13.24 m	west side-0.52 m	-
			east side-0.18 m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing Structures are to remain as is. Interior alteration is the only scope of work. Please review the drawings attached.

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

4.4 Type of water supply: (check appropriate box)
☒ publicly owned and operated piped water system
☐ privately owned and operated individual well

☐ lake or other water body
☐ other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)
☒ publicly owned and operated storm sewers
☐ swales

☐ ditches
☐ other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage system
☐ privately owned and operated individual septic system
☐ other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year

- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Residential- Four family detached dwelling house

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Residential- Two family detached dwelling house

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
8th July 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
-

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Residential- Two family detached dwelling house

7.4 Length of time the existing uses of the subject property have continued:
From the time of the purchase

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? Zone E

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

☐ Yes ☐ No

If yes, please provide the file number:

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes ☒ No

If yes, please provide the file number:

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes ☐ No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 2 Dwelling unit

8.2 Number of Dwelling Units Proposed: 4 Dwelling unit

8.3 Additional Information (please include separate sheet if needed):