



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	HM/A-23:02	SUBJECT PROPERTY:	1821 KING STREET E, HAMILTON
ZONE:	"C2" (Neighbourhood Commercial)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: F. Al Dabbagh
 Agent: S. Arfa

The following variances are requested:

1. A minimum setback of 0.59m shall be provided from Cameron Avenue South instead of the minimum setback of 1.5m required from a street.
2. A maximum setback of 5.5m shall be permitted from King Street East whereas the By-law permits a maximum 3.0m building setback from a street.
3. One (1) barrier free parking space shall be provided between the building and King Street East whereas the by-law prohibits parking spaces, driveways or aisle to be provided between a building façade and a street.
4. No Visual Barrier shall be provided along the rear (northerly) property line whereas the by-law requires a Visual barrier to be provided abutting a Residential zone.
5. Parking spaces and associated aisles shall be located 0.0m from a street line whereas the by-law requires parking spaces and aisles to be located a minimum 3.0m from a street line.
6. No planting strip shall be provided between the street line and the parking lot instead of the minimum required 3.0m wide Planting Strip.
7. A barrier free parking space shall be 3.5m x 5.3m instead of the minimum required barrier free parking space size of 4.4m x 5.8m.
8. A minimum aisle width of 4.8m shall be provided abutting each parking space instead of the

HM/A-23:02

minimum required 6.0m wide aisle width.

9. No on-site parking aisle shall be provided abutting a barrier free parking space instead of the minimum required 6.0m wide aisle width.
10. Seven (7) parking spaces shall be provided instead of the minimum required nine (9) parking spaces.

PURPOSE & EFFECT: To permit the construction of a new two (2) storey rear yard addition along with a second storey addition onto the existing one (1) storey commercial building.

Notes:

- i. These lands are subject to Site Plan Control.
- ii. This building is intended as a Medical Clinic (Dental Office) use on the ground floor along with two (2) dwelling units located on the second floor.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, February 16, 2023
TIME:	2:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for

HM/A-23:02

registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:02, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: January 31, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

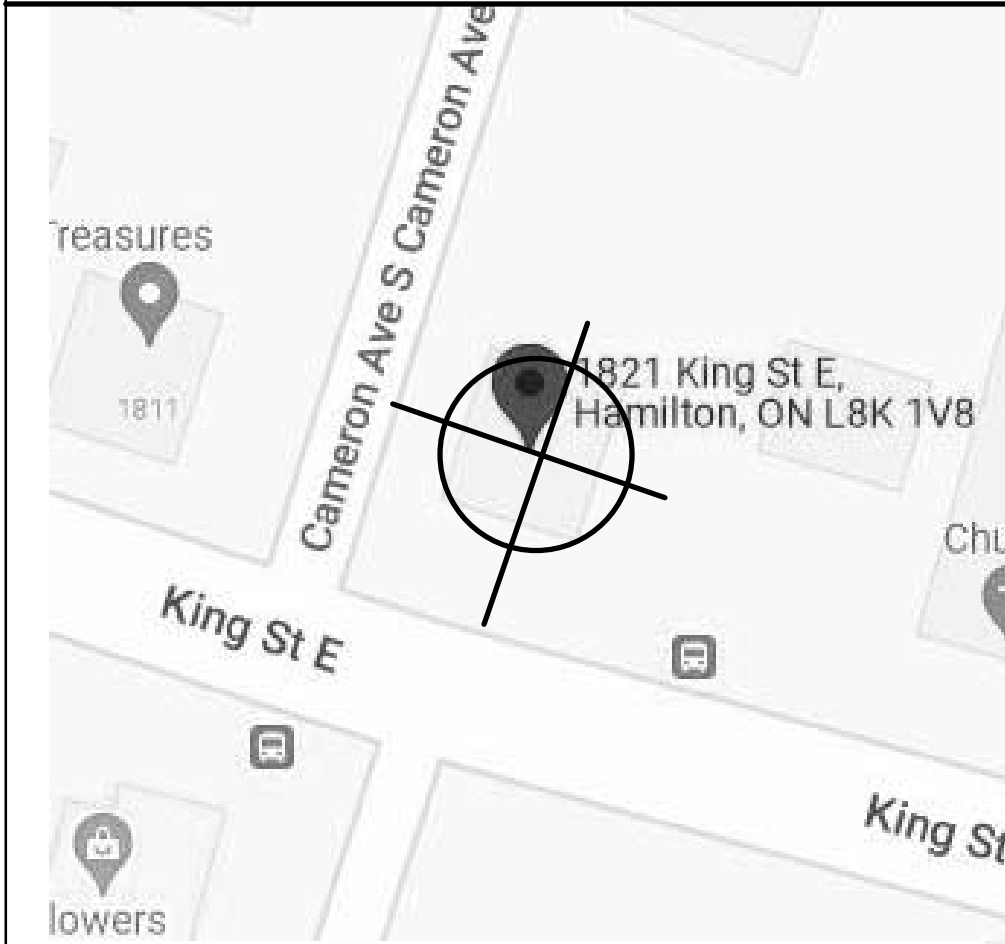
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

CITY OF HAMILTON



GENERAL NOTES:
 All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction. general contractor shall check and verify all dimintions and reports all errors and ommisions before proceeding with the work.

QUALIFICATION INFORMATION



NAME: SAHAR ARFA FIRM NAME: ARFA DESIGN INC
 BCIN: 107072 BCIN: 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of devision c of the building code.in the appropriate classes categories

ARFA DESIGN INC

DESIGNER: SAHAR ARFA
E: SAHAR@ARFADESIGN.CA
D: 416-8804280



SCOPE OF WORK	<ul style="list-style-type: none"> • PROPOSED ADDITION ON BASEMENT, FIRST FLOOR ABD PROPOSED SECOND FLOOR • PROPOSED DENTAL OFFICE ON FIRST FLOOR • PROPOSED TWO RESIDENTIAL UNITS ON SECOND FLOOR
ADDRESS	1821 King St E, Hamilton, ON L8K 1V8

PROJECT NAME
 1821 KING STE

DRAWING NAME
 COVER SHEET

A00
 SCALE



GENERAL NOTES:

All construction to adhere to these plans and spec's and to conform to the Ontario code and all other applicable codes and authorities having jurisdiction. general contractor shall check and verify all dimensions and reports all errors and omissions before proceeding with the work.

QUALIFICATION INFORMATION

NAME SAHAR ARFA ARFA DESIGN INC
 BCIN 107072
 FIRM NAME ARFA DESIGN INC
 BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of division c of the building code in the appropriate classes categories



PROJECT NAME

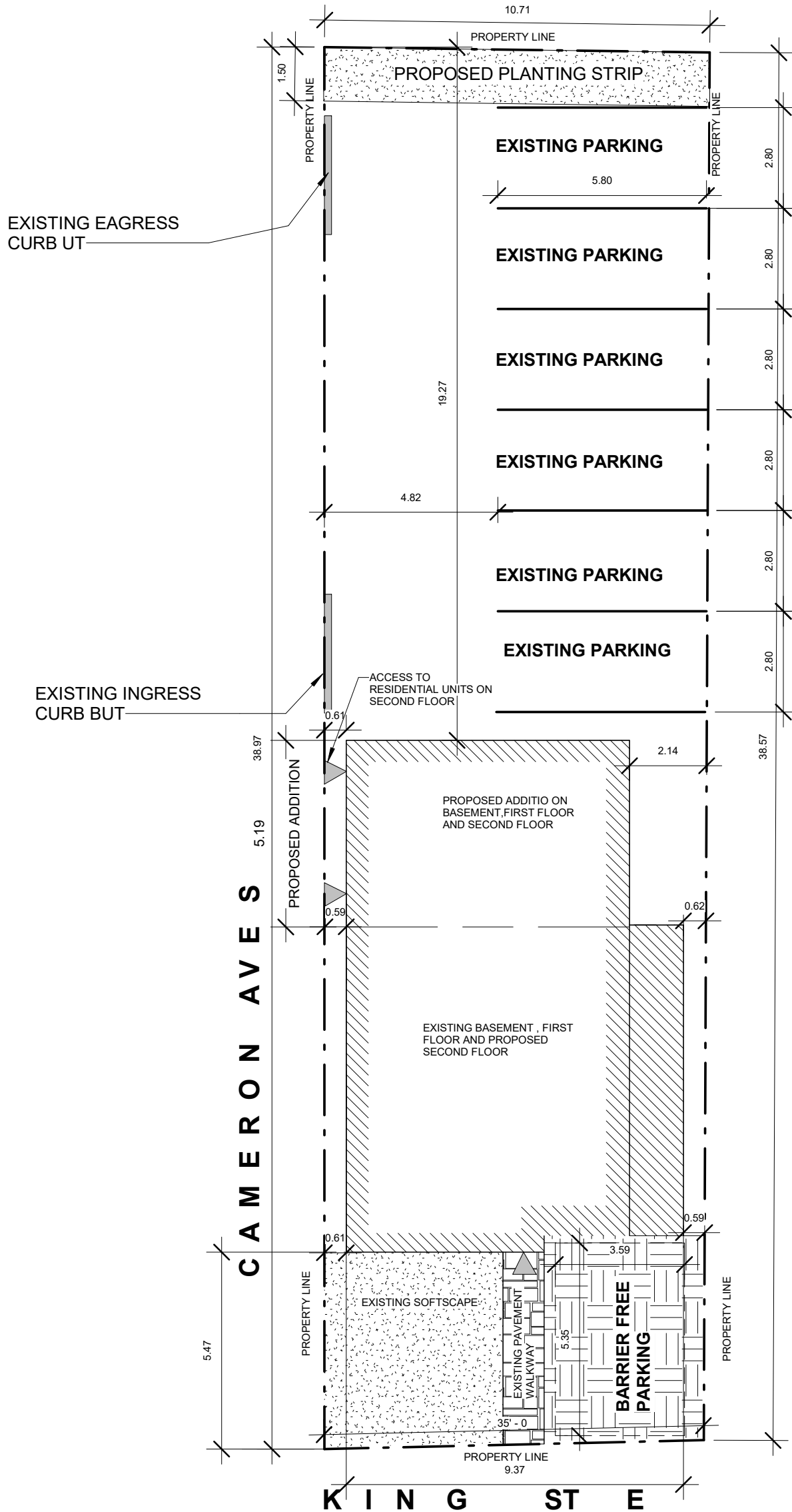
1821 KING STE

DRAWING NAME

SITE PLAN

A01

SCALE 1 : 140

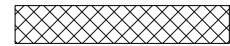


LOT STATISTIC

DESCRIPTION	SQM
LOT AREA	412
EXISTING BASEMENT AREA	95.08
EXISTING FIRST FLOOR AREA	83.45
PROPOSED FIRST FLOOR	123.80
PROPOSED SECOND FLOOR AREA	110.90
USE OF FIRST FLOOR	DENTAL OFFICE
USE OF 2ND FLOOR	TWO RESIDENTIAL UNIT
EXISTING PARKING LOT	7 SPOT
PROPOSED HEIGHT	7.67 M
	ACCESS TO THE BUILDING

EXISTING SITE PLAN

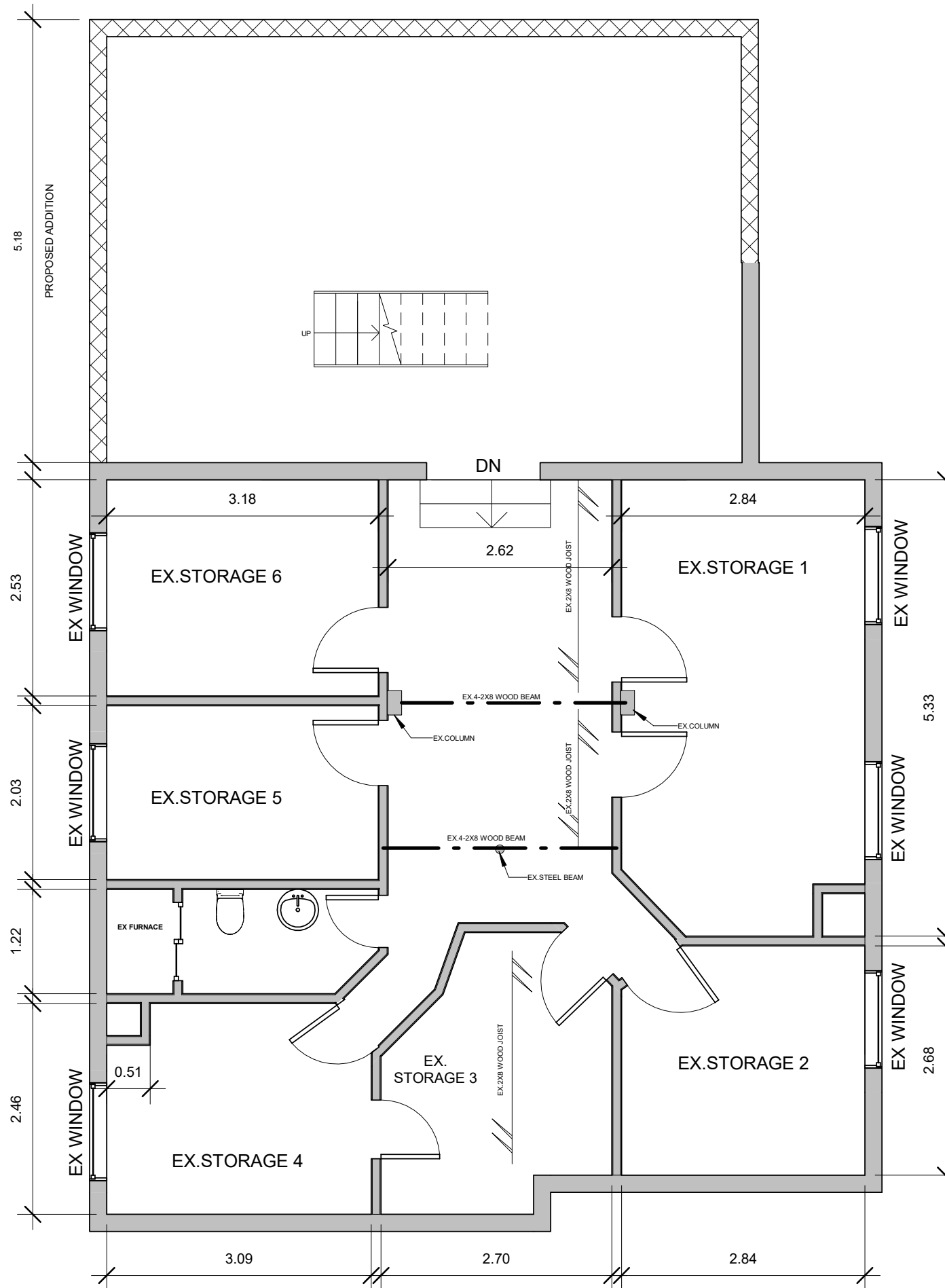
LEGEND



NEW FOUNDATION WALL



EXISTING FOUNDATION WALL TO REMAIN



BASEMENT PLAN



GENERAL NOTES:

All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction. general contractor shall check and verify all dimentions and reports all errors and ommisions before proceeding with the work.

QUALIFICATION INFORMATION



NAME SAHAR ARFA	FIRM NAME ARFA DESIGN INC
BCIN 107072	BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of deviation c of the building code.in the appropriate classes categories

PROJECT NAME

1821 KING STE

DRAWING NAME



BASEMENT

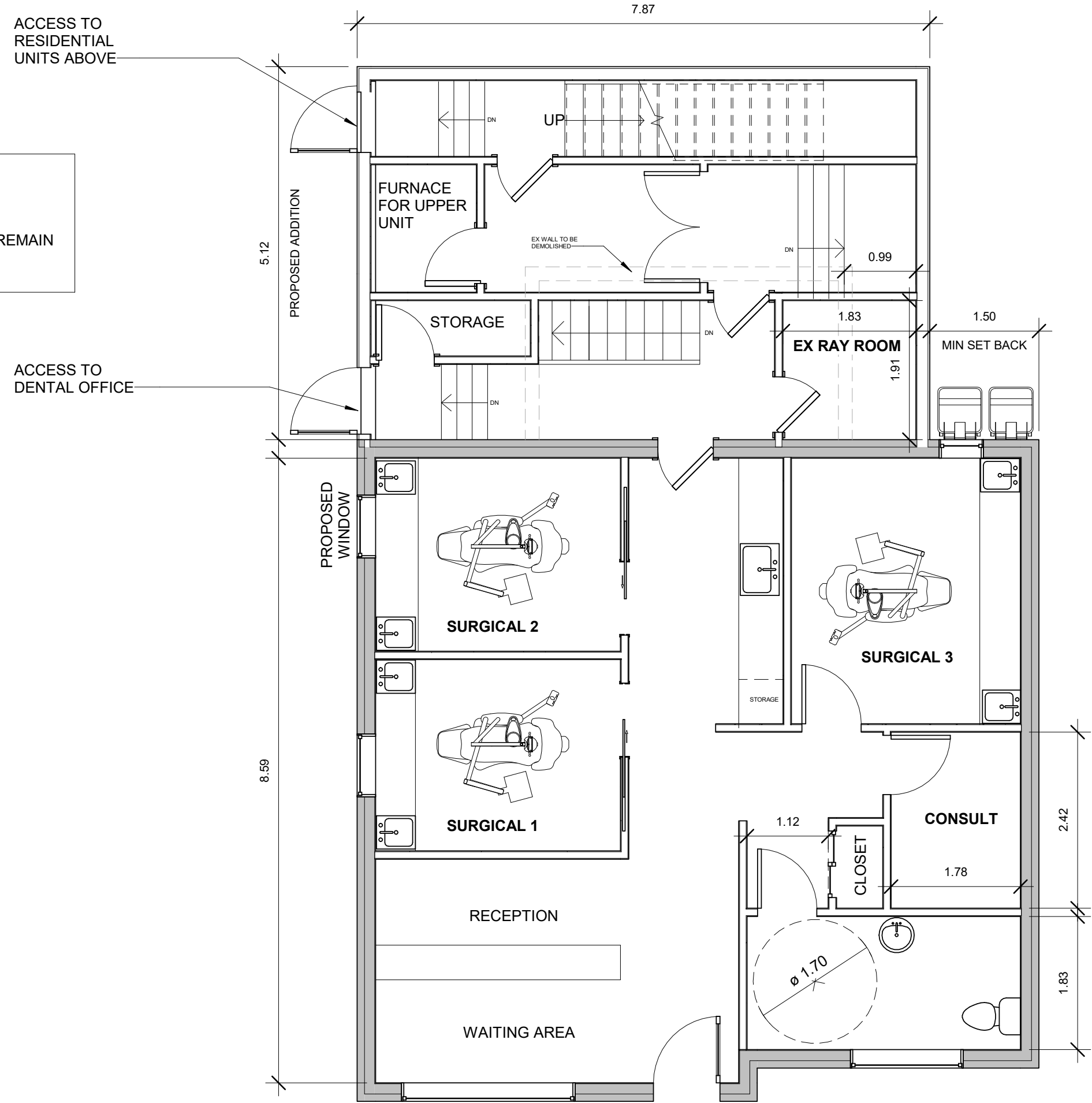
A02

SCALE 1 : 60



LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN



PROPOSED FIRST FLOOR

GENERAL NOTES:
 All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction. general contractor shall check and verify all dimintions and reports all errors and ommisions before proceeding with the work.

QUALIFICATION INFORMATION

	
NAME SAHAR ARFA	FIRM NAME ARFA DESIGN INC
BCIN 107072	BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of deviation c of the building code.in the appropriate classes categories

PROJECT NAME
 1821 KING STE

DRAWING NAME
 PROPOSED FIRST FLOOR

A03
 SCALE 1 : 60



GENERAL NOTES:
 All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction. general contractor shall check and verify all dimintions and reports all errors and ommisions before proceeding with the work.

QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC
 BCIN 107072 BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of deviation c of the building code.in the appropriate classes categories

PROJECT NAME

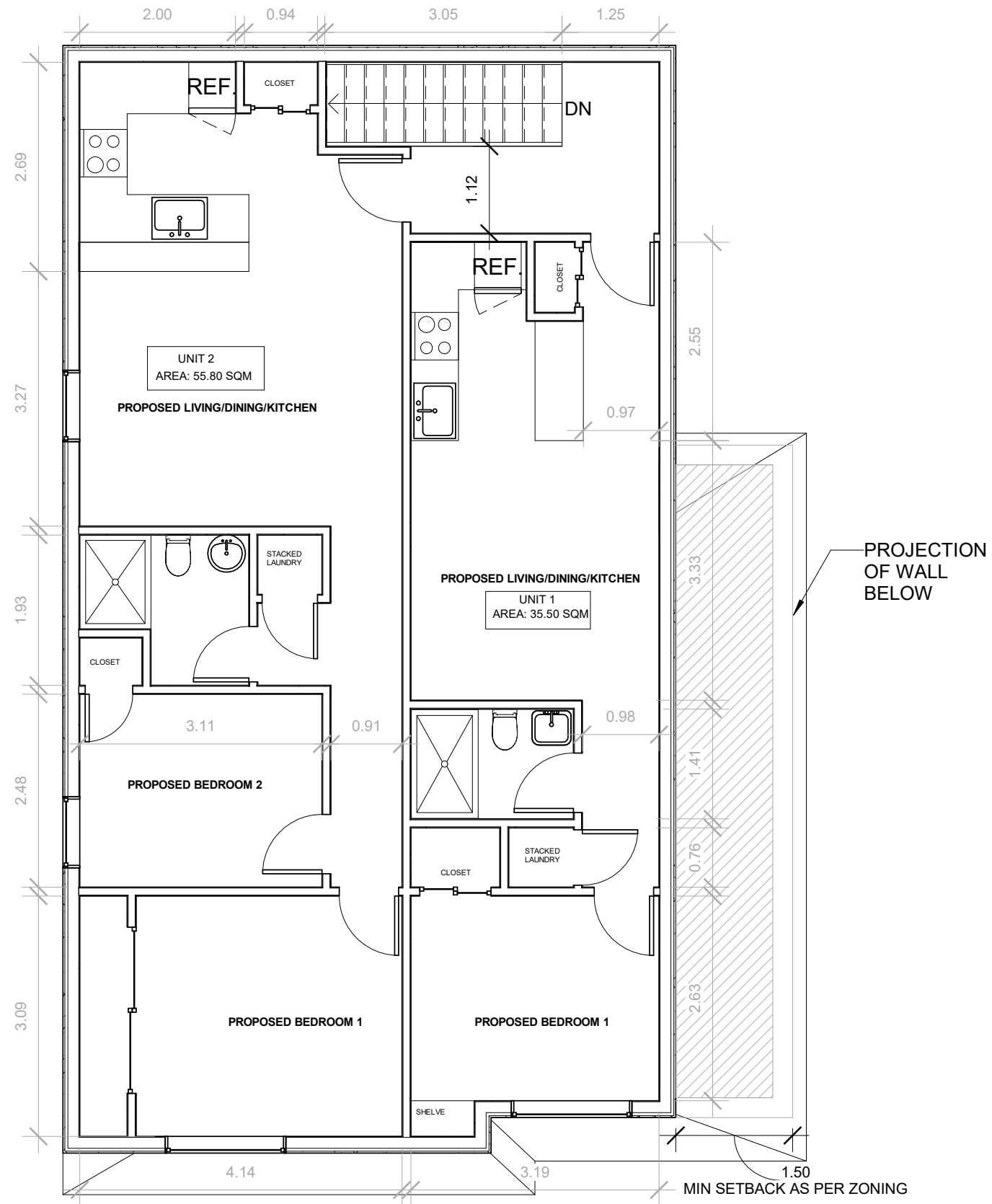
1821 KING STE

DRAWING NAME

SECOND FLOOR

A04

SCALE 1 : 70



PROPOSED SECOND FLOOR



GENERAL NOTES:

All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction. general contractor shall check and verify all dimentiones and reports all errors and ommisions before proceeding with the work.

QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC

BCIN 107072 BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of devision c of the building code.in the appropriate classes categories

PROJECT NAME

1821 KING STE

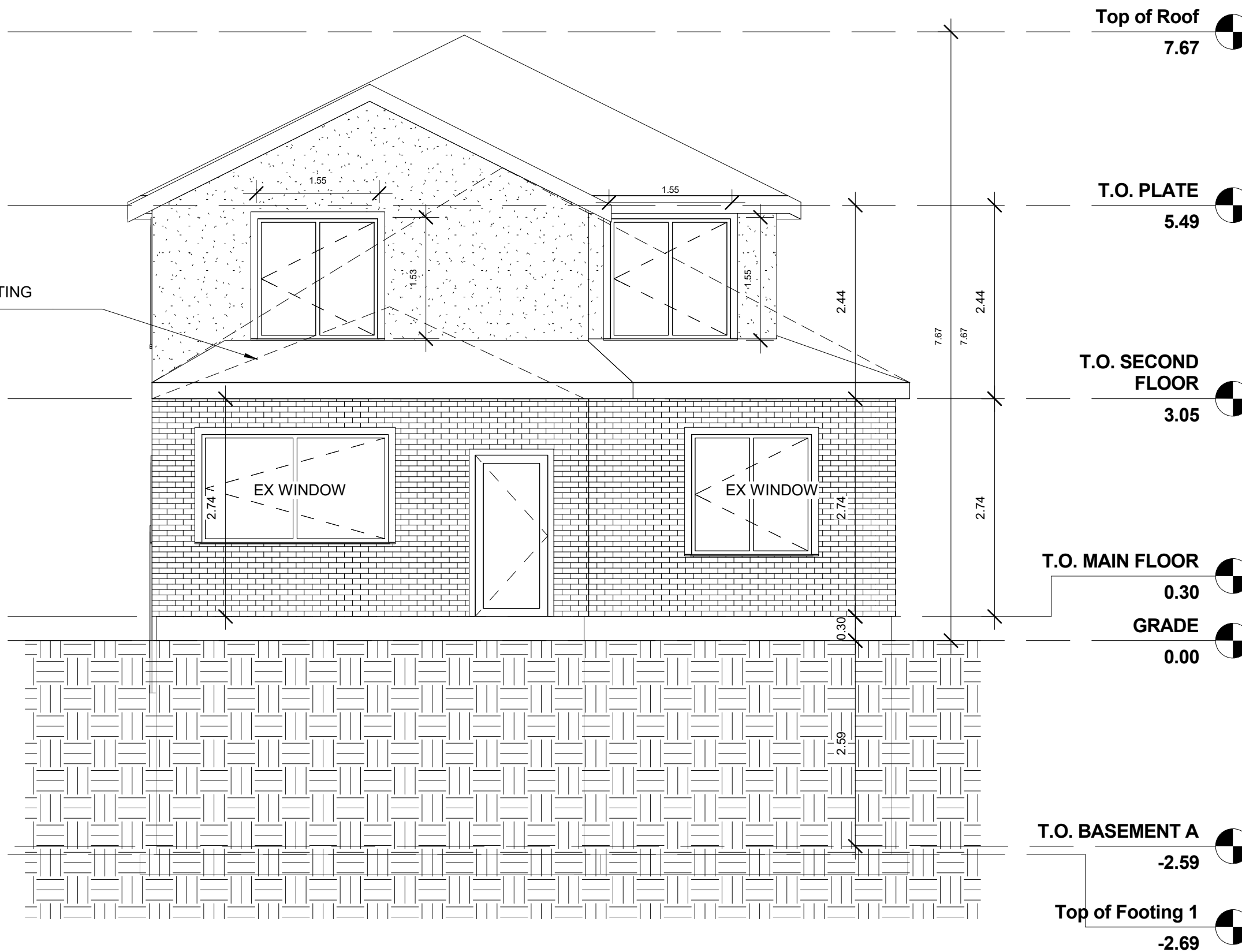
DRAWING NAME

FRONT ELEVATION

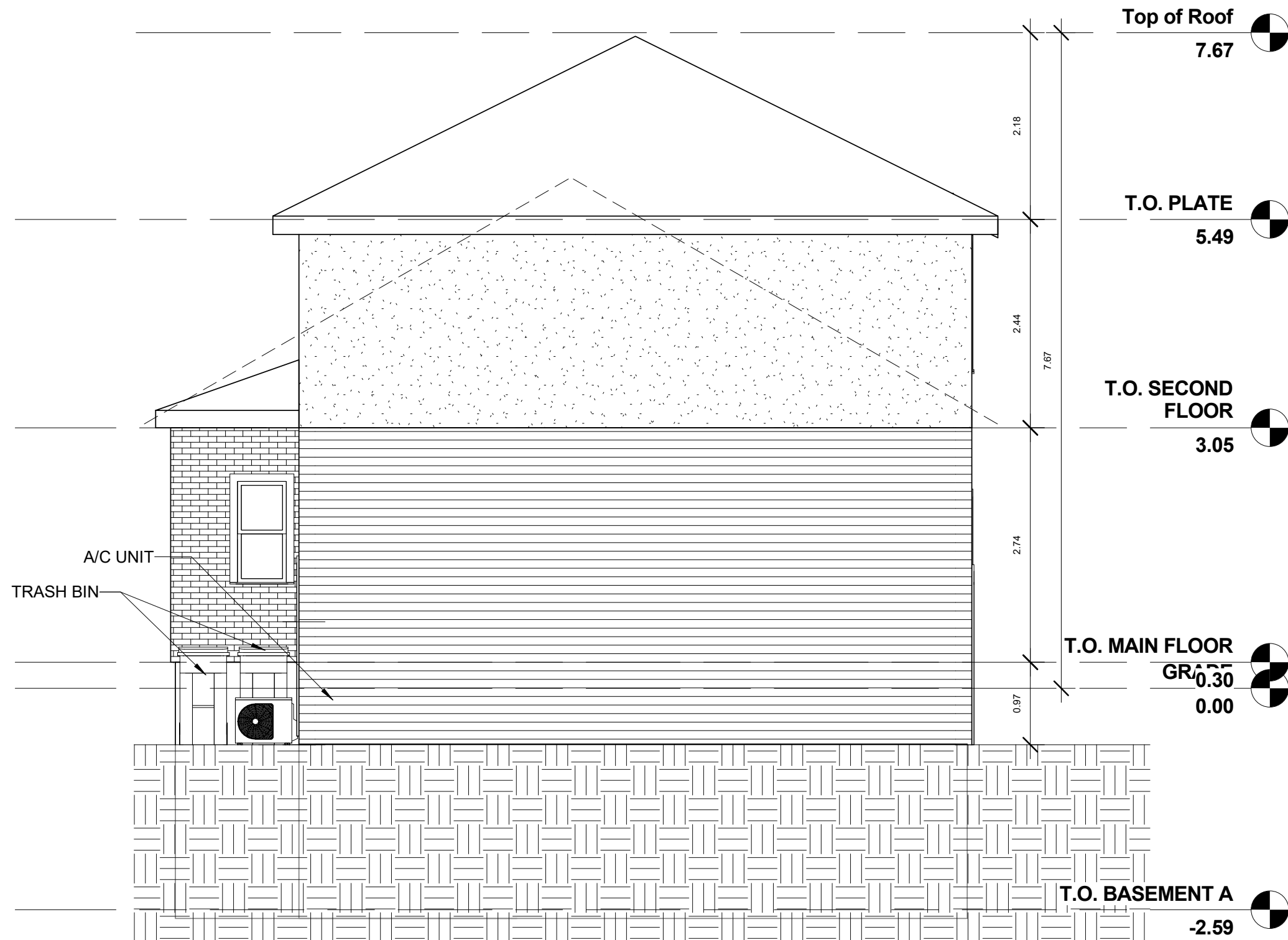
A05

SCALE 1 : 55

DASHLINE INDICATED EXISTING ROOF TO REMOVE



FRONT ELEVATION



REAR ELEVATION

GENERAL NOTES:
 All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction. general contractor shall check and verify all dimentions and reports all errors and ommisions before proceeding with the work.

QUALIFICATION INFORMATION



 NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC
 BCIN 107072 BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of deviation c of the building code.in the appropriate classes categories

PROJECT NAME

1821 KING STE

DRAWING NAME

REAR ELEVATION

A06

SCALE 1 : 55



GENERAL NOTES:
 All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction. general contractor shall check and verify all dimintions and reports all errors and ommisions before proceeding with the work.

QUALIFICATION INFORMATION



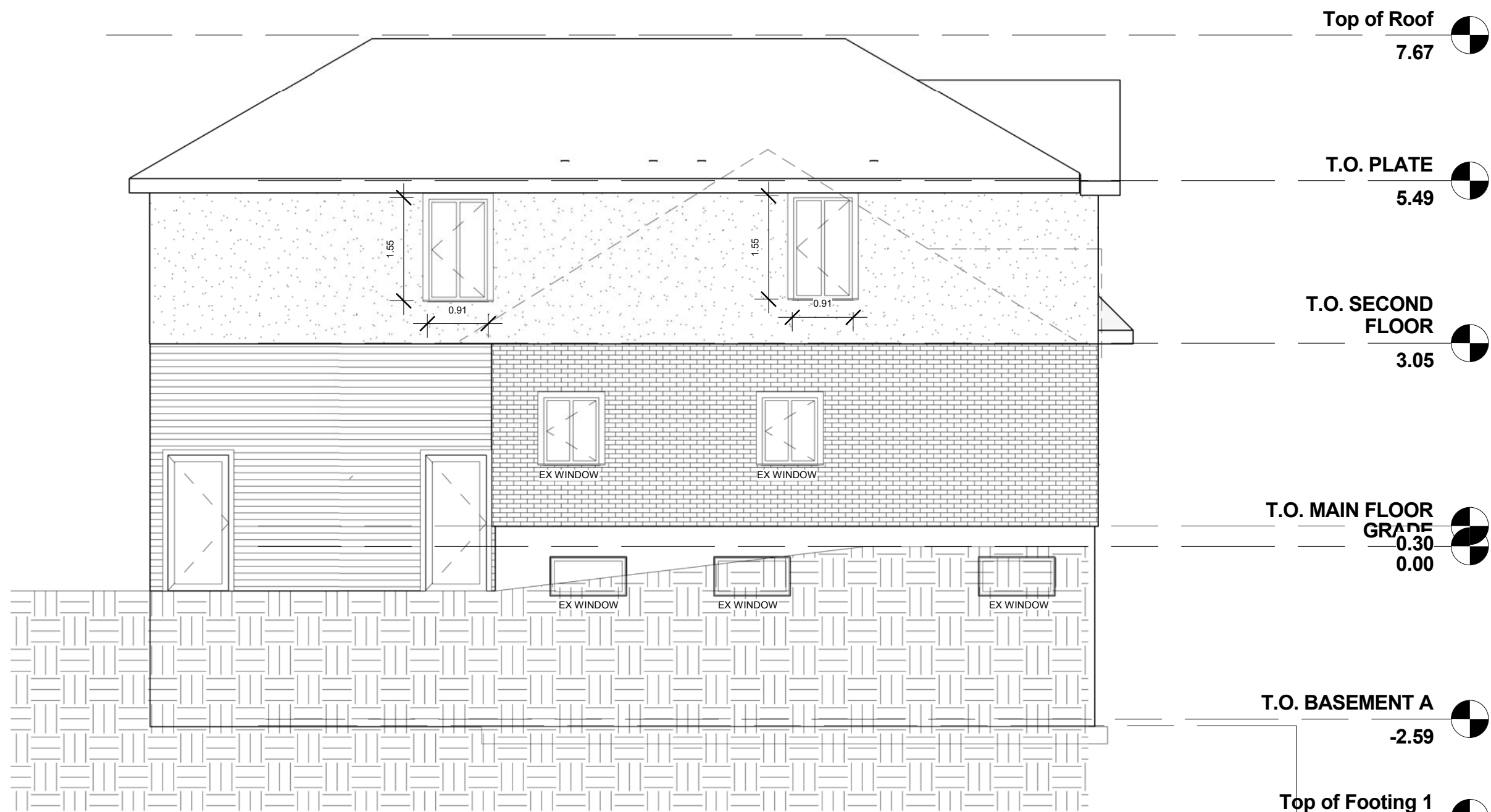
 NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC
 BCIN 107072 BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of devision c of the building code.in the appropriate classes categories

PROJECT NAME
 1821 KING STE

DRAWING NAME
 WEST ELEVATION

A07
 SCALE 1 : 70



WEST ELEVATION



GENERAL NOTES:
 All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction. general contractor shall check and verify all dimintions and reports all errors and ommisions before proceeding with the work.

QUALIFICATION INFORMATION



NAME SAHAR ARFA FIRM NAME ARFA DESIGN INC
 BCIN 107072 BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of devision c of the building code.in the appropriate classes categories

PROJECT NAME

1821 KING STE

DRAWING NAME

EAST ELEVATION

A08

SCALE 1 : 60

Top of Roof 7.67

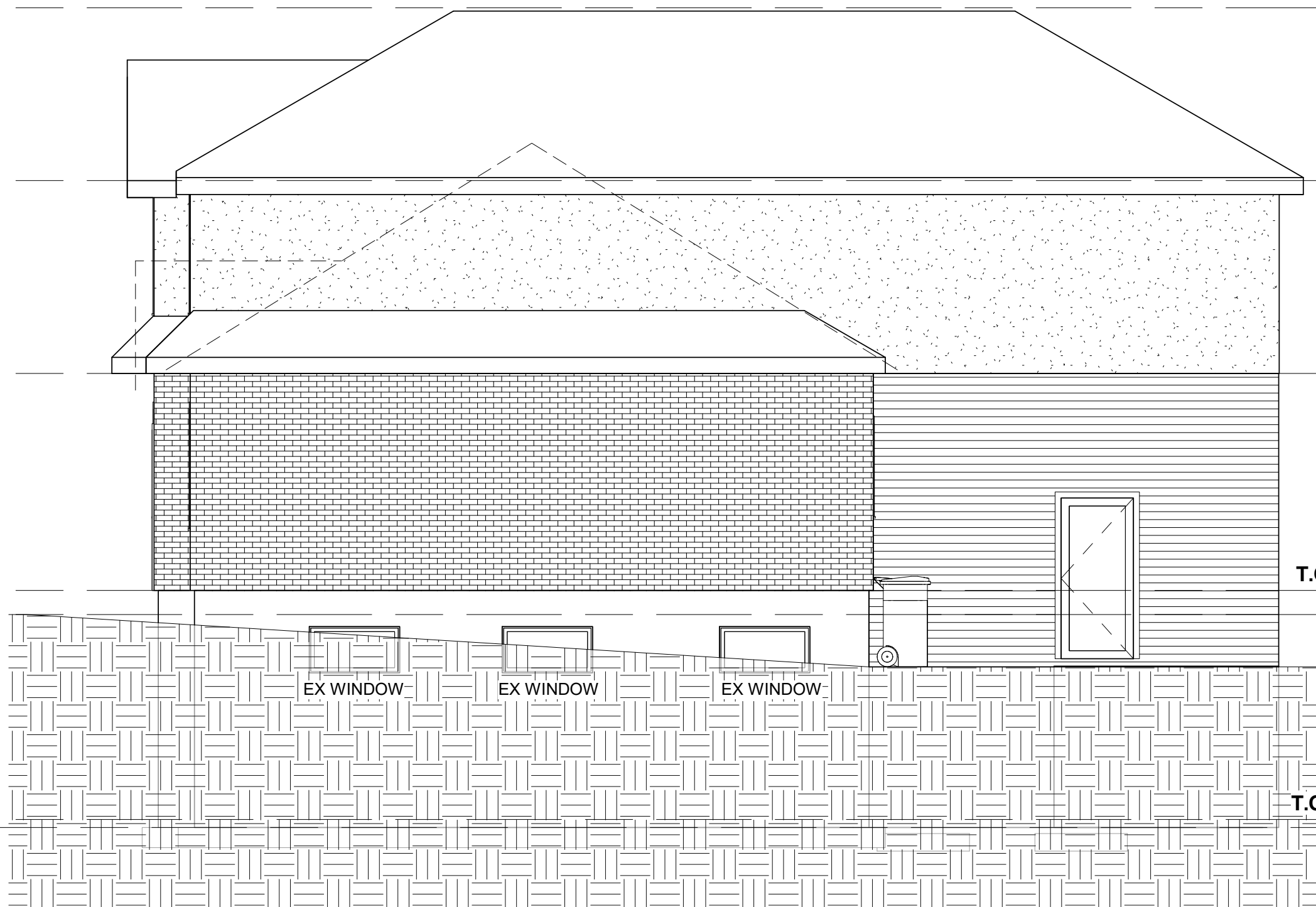
T.O. PLATE 5.49

T.O. SECOND FLOOR 3.05

T.O. MAIN FLOOR GRADE 0.30 0.00

T.O. BASEMENT A -2.59

Top of Footing 1 -2.69



EAST ELEVATION



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

Table with 3 columns: Role, Name, Mailing Address. Rows include Registered Owners(s) FIRAS AL DABBAGH, Applicant(s) SAHAR ARFA, and Agent or Solicitor SAHAR ARFA. Mailing address column is redacted.

1.2 All correspondence should be sent to [] Owner [] Agent/Solicitor [x] Applicant

1.2 All correspondence should be sent to [] Purchaser [x] Applicant [] Owner [] Agent/Solicitor

1.3 Sign should be sent to [] Purchaser [x] Applicant [] Owner [] Agent/Solicitor

1.4 Request for digital copy of sign [x] Yes* [] No If YES, provide email address where sign is to be sent SAHAR@ARFADESIGN.CA

1.5 All correspondence may be sent by email [x] Yes* [] No If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1821 King St E Hamilton, ON L8K 1V8		
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

we are extending the first floor in the back the use of first floor is dental office. and also w

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

WE CANNOT PROVIDE ENOUGH PARKING SPOT

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
10.66	38.76	412	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
ONE STOREY BUNGALOW OFFICE	5.22	21.87	0.59/ 0.62	N/A

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
TWO STOREY PROPOSAL ADDITION	5.22	19.20	2.14/0.6	MAY 2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
ONE STOREY OFFICE BUNGALOW	94.13	83.45	1	5.96

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
FIRST FLOOR DENTAL OFFICE	FIRST FLOOR 123.80	109.139		7.67
PROPOSED SECOND FLOOR RESIDENTIAL	SECOND FLLOOR 110.90	107.63		
		TOTAL: 216.76		
			TOTAL STOREY: 2	

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)
-

- 4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 - privately owned and operated individual septic system
 - other means (specify)
-

4.7 Type of access: (check appropriate box)

- provincial highway
 - municipal road, seasonally maintained
 - municipal road, maintained all year
 - right of way
 - other public road
-

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
 DENTAL OFFICE ON FIRST FLOOR AND TWO RESIDENTIAL UNIT ON SECOND FLOOR

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

N/A

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

OFFICE

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

OFFICE

7.4 Length of time the existing uses of the subject property have continued:

N/A

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? C2

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number:

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number:

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):