

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	AN/A-23:41	SUBJECT PROPERTY:	3236 JERSEYVILLE ROAD W, ANCASTER
ZONE:	"A1" (Agriculture)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: SCOTT AND ANNE-MARIE TIPPING

The following variances are requested:

1. Accessory buildings shall be permitted to be located within the front yard instead of the requirement no accessory buildings or structures shall be located within a front yard.
2. A maximum accessory building height of 7.0m shall be permitted instead of the existing 6.0m maximum accessory building height required.
3. A maximum aggregate gross floor area of 324.7m² shall be permitted for all buildings accessory to the single detached dwelling instead of the requirement that all buildings accessory to a single detached dwelling in an A1 zone shall not exceed a maximum aggregate floor area of 200m².

PURPOSE & EFFECT: To permit the construction of a proposed 62.4m² accessory building;

Notes:

1. Applicant to note section 4.8 f) of Hamilton zoning by-law 05-200, which states the following;

Except as permitted in Subsection 4.18 a), an Accessory Building shall not be erected prior to the erection of the principal building or structure on the lot.
2. It is unclear if building height is provided as defined in Hamilton Zoning By-law 05-200. The applicant shall ensure that the height of the building has been measured from grade as defined in the zoning By-law; otherwise, additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, March 30, 2023
TIME:	3:05 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding AN/A-23:41, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: March 14, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

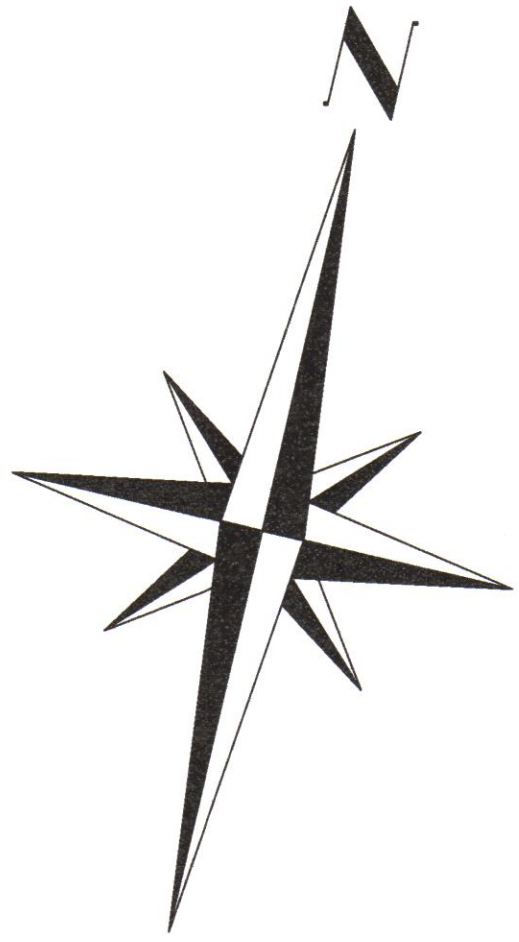
Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ROAD ALLOWANCE BETWEEN CONESSIONS 2 and 3 - JERSEYVILLE ROAD



GRADING PLAN

SCALE - 1 : 250

5 4 3 2 1 0 5 10 Metres

WEST & RUUSKA LTD.

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PART 1 PLAN 62R-19232

CONCESSION

GEOGRAPHIC INFORMATION:

PART OF LOT 13, CONCESSION 3,
GEOGRAPHIC TOWNSHIP OF ANCASTER
CITY OF HAMILTON

NOTE:

SKETCH IS AN ORIGINAL IF EMBOSSED BY THE SURVEYOR'S SEAL
OR CERTIFIED ELECTRONIC PDF VERSION.

THIS PLAN HAS BEEN COMPILED FROM FIELD MEASUREMENTS
AND FROM PREVIOUS RECORDS.

CAUTION :

UNDERGROUND SERVICES TO BE LOCATED BY
CONTRACTOR/OWNER PRIOR TO ANY EXCAVATION.

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT
BE USED EXCEPT FOR THE PURPOSE INDICATED IN
THE TITLE BLOCK.

THIS SKETCH IS PROTECTED BY COPYRIGHT ©

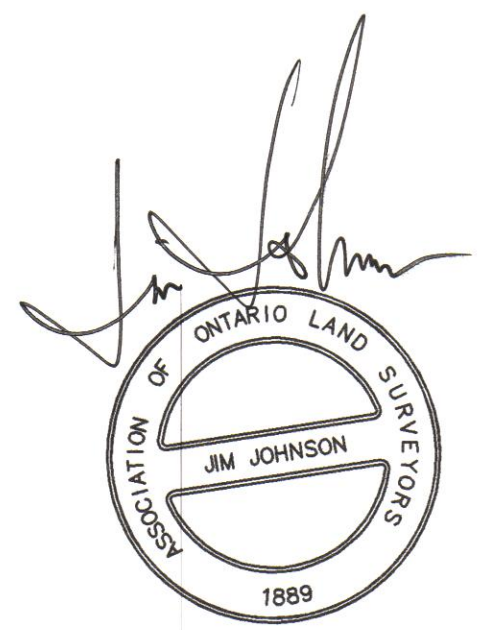
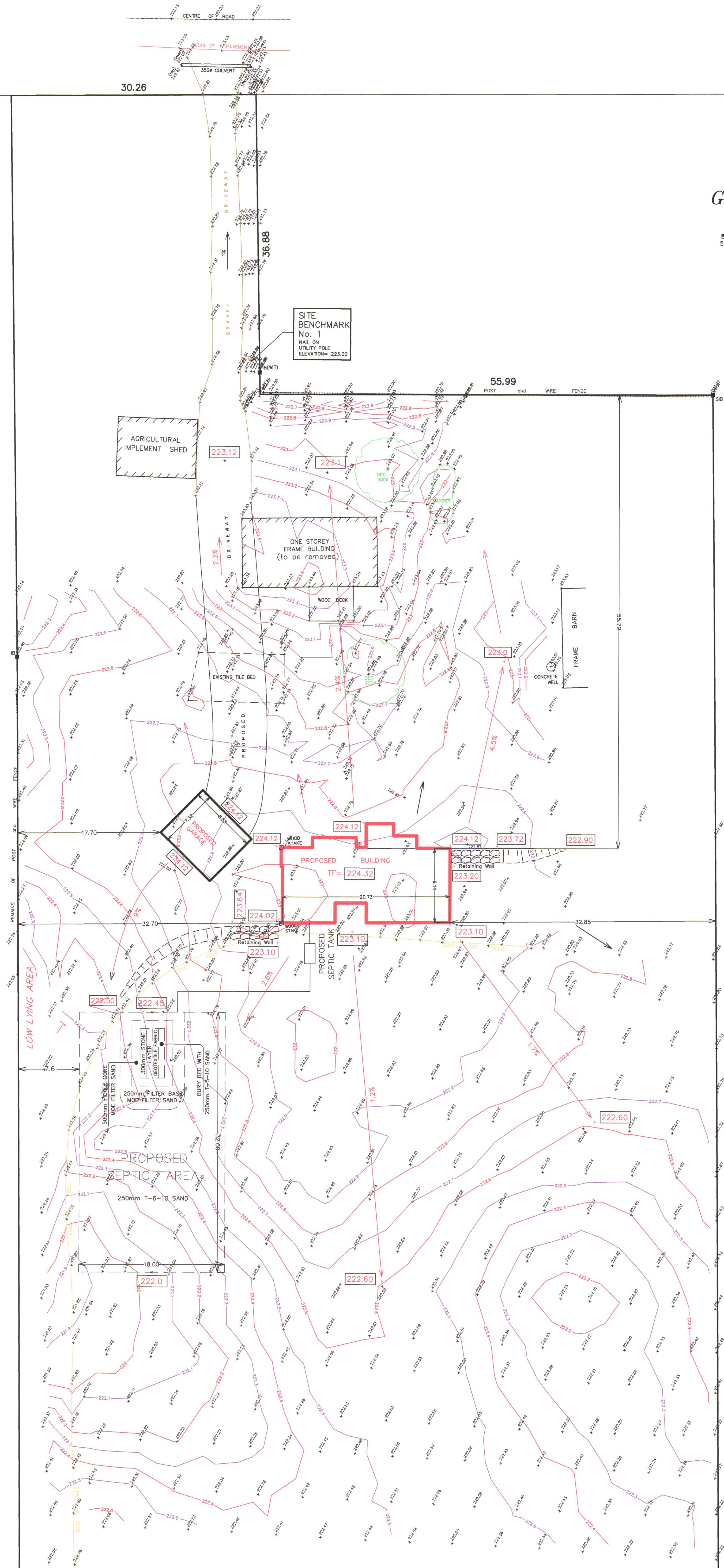
ELEVATION NOTE :

ELEVATIONS SHOWN HEREON ARE GEODETIC
AND ARE DERIVED FROM CANSEL CAN-NET
REAL TIME NETWORK OBSERVATION
UTM ZONE 17, NAD83 (CSRS) (2010).

ELEVATION REFERENCE DATUM IS CGVD28:78

LEGEND

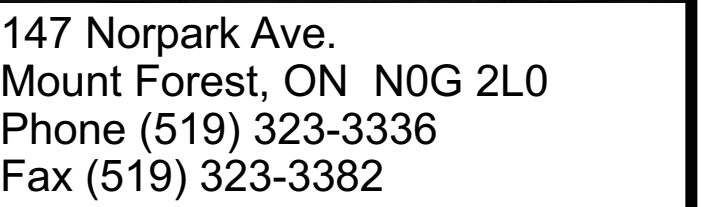
SYMBOL	DENOTES	DESCRIPTION
□	SET MONUMENT	SET MONUMENT
■	FOUND MONUMENT	FOUND MONUMENT
IB	IRON BAR	IRON BAR
IBB	ROUND IRON BAR	ROUND IRON BAR
SIB	STANDARD IRON BAR	STANDARD IRON BAR
SSIB	SHORT STANDARD IRON BAR	SHORT STANDARD IRON BAR
UP	UTILITY POLE	UTILITY POLE
DEC	DECIDUOUS TREE	DECIDUOUS TREE
Ø	DIAMETER (millimetres)	DIAMETER (millimetres)
→	PROPOSED SWALE	PROPOSED SWALE
→	GENERAL DRAINAGE	GENERAL DRAINAGE
TF	TOP OF FOUNDATION ELEVATION	TOP OF FOUNDATION ELEVATION
UF	UNDERSIDE OF FOOTING ELEVATION	UNDERSIDE OF FOOTING ELEVATION
FF	FINISHED FLOOR ELEVATION	FINISHED FLOOR ELEVATION
208.00	ACTUAL FIELD ELEVATION	ACTUAL FIELD ELEVATION
208.00	DESIGN ELEVATION	DESIGN ELEVATION



Date: 14 February, 2023.

Y:\2022\SIGNED PROJECTS\21-233 Tipping (Precise)\Construction\ArchiCAD\Tipping-21233.pln

SHEET 1 OF 25



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GENERAL CONTRACTOR

Precise Projects
11 Four Winds Place
Dundas, ON L9H 3Y1
Phone (905) 512-0078
Contact Rick Wiersma
Cell (905) 807-7094

3236 JERSEYVILLE RD W,
JERSEYVILLE, ON

PROJECT SQUARE FOOTAGE

BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE)
FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQFT
SECOND FLOOR - 0 SQFT

[illegible]

PROJECT NO: 21-233

PROJECT FILE:

Tipping-21233.pln

DRAWN BY: LAURA MACHAN

SCALE: 1/4" = 1'-0"


DATE: January 17, 2023

SHEET TITLE

FOUNDATION LAYOUT

A-101

SHEET 2 OF 25



TACOMA
ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for the design for categories checked. As required by OBC Part C, 3.2.4, the design is qualified and the firm is registered in the categories checked below.

☐ Building Structural
☐ Complex Buildings
☐ Large Building
☒ Small Building

Signature: *Brandon Martin*

Designer: **Brandon Martin**

Designer BCIN: **34596**

Date: **January 17, 2023**

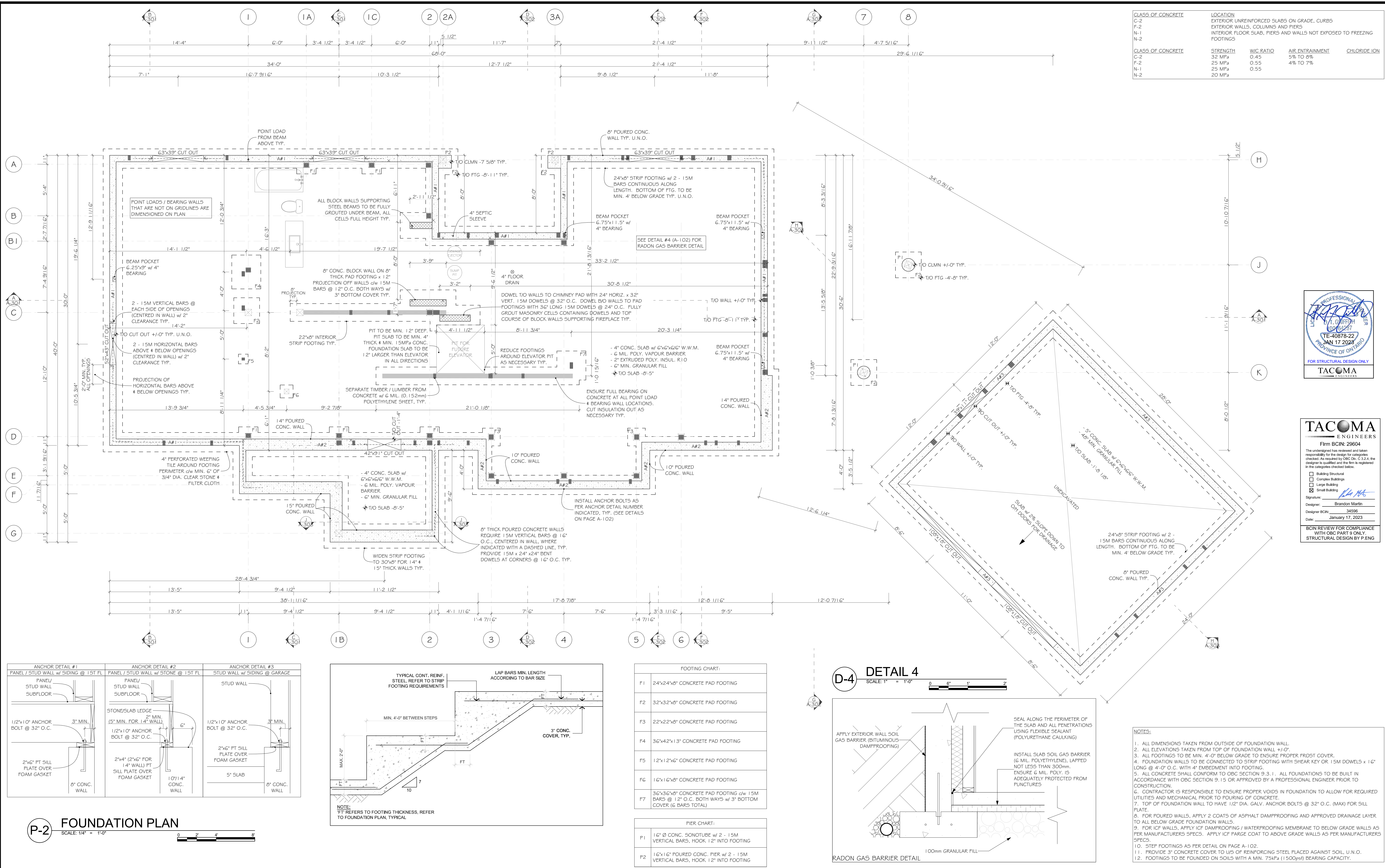
**BCIN REVIEW FOR COMPLIANCE
WITH OBC PART 9 ONLY.
STRUCTURAL DESIGN BY P.ENG**

FOUNDATION LAYOUT

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

Y:\2022\SIGNED PROJECTS\21-233 Tipping (Precise)\Construction\ArchCAD\Tipping-21233.pln





147 Norpark Ave.
Mount Forest, ON N0G 2L0
Phone (519) 323-3336
Fax (519) 323-3382

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GENERAL CONTRACTOR
Precise Projects 11 Four Winds Place Dundas, ON L9H 3Y1 Phone (905) 512-0078 Contact Rick Wiersma Cell (905) 807-7094

**ANNE-MARIE &
SCOTT TIPPING**
3236 JERSEYVILLE RD W,
JERSEYVILLE, ON

PROJECT SQUARE FOOTAGE
BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE)
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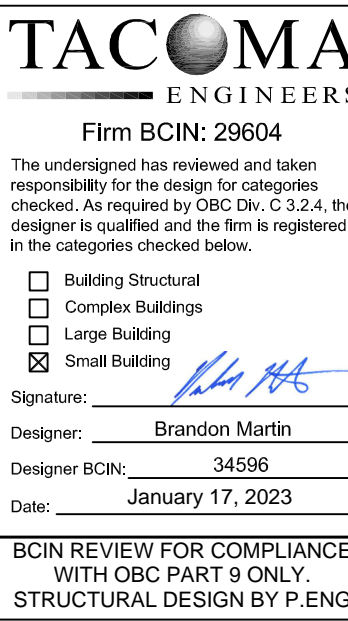
NO.	ISSUED FOR	DATE	BY
01	CLIENT REVIEW	22DEC2021	LM
02	CLIENT REVIEW	11FEB2022	LM
03	CLIENT REVIEW	28FEB2022	LM
04	WINDOW & DOOR QUOTE	22MAR2022	LM
05	CLIENT REVIEW	22APR2022	LM
06	CLIENT REVIEW	03MAY2022	LM
07	FOUNDATION LAYOUT	05MAY2022	LM
08	WINDOW & DOOR QUOTE	02JUNE2022	LM
09	ENGINEERING	19AUG2022	LM
10	ENGINEERING	29SEP2022	LM
11	FINAL ENGINEERING	05OCT2022	LM
12	PERMIT	13OCT2022	LM
13	FOUNDATION AND PERMIT DRAWING REVISIONS	06JAN2023	LM
14	PERMIT	17JAN2023	LM

PROJECT NO: 21-233
PROJECT FILE: Tipping-21233.pln
DRAWN BY: LAURA MACHAN
SCALE: 1/4" = 1'-0"
DATE: January 17, 2023

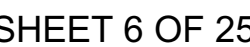
SHEET TITLE
BASEMENT PLAN

A-103

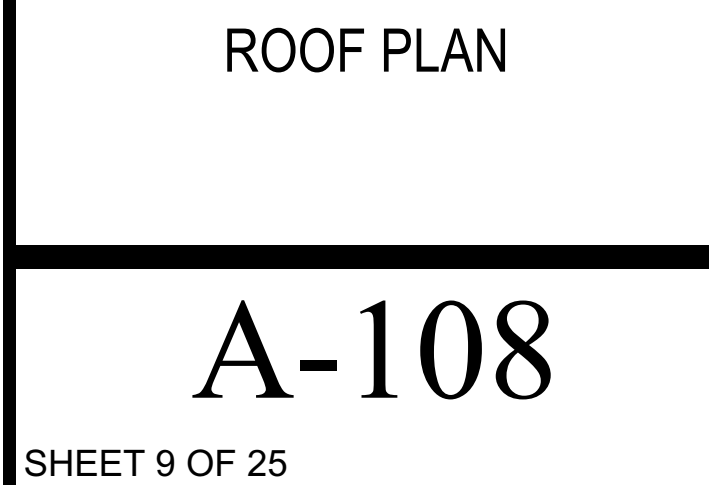
SHEET 4 OF 25



P-4 **FIRST FLOOR FRAMING PLAN**
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



- NOTES:
1. ALL DIMENSIONS TAKEN FROM OUTSIDE OF STUD ON CONVENTIONALLY FRAMED WALLS. DIMENSIONS TAKEN FROM OUTSIDE OF SHEATHING ON S.I.P. WALL LOCATIONS.
2. ALL WINDOWS/DOORS THAT ARE IN S.I.P. WALLS DO NOT REQUIRE A HEADER UNLESS NOTED OTHERWISE ON THE PLANS. ALL WINDOW/DOOR HEADERS IN STICK FRAME WALLS ARE TO BE 2"x6" w/ 1" JACK BOLTS. UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO PAGE A-501 FOR A FULL R.O.D. AND HEADER SCHEDULE.
3. ALL INT. WALLS 2"x4" STUDS (16" O.C.) w/ 1/2" GYPSUM BOARD, UNLESS OTHERWISE INDICATED.
4. ALL PLUMBING WORK TO BE COMPLETED AS PER IRC 9.3.1.
5. ALL MECHANICAL WORK TO BE COMPLETED AS PER IRC 9.32 & 9.33.
6. ALL ELECTRICAL WORK TO BE COMPLETED AS PER ANSI/NFPA 70-2017.
7. STAIRS & GUARDRAILS / HANDRAILS AS PER ANSIO BUILDING CODE 9.6 & 5-B-7 DETAILS.
8. PROVIDE BLOCKING IN BATHROOM WALLS FOR FUTURE GRAB BAR SUPPORT. SEE DETAIL ON PAGE A-200.
9. EXHAUST FAN VENTED TO EXTERIOR w/ NON-COMBUSTIBLE DUCTING.
10. AIR / VAPOUR BARRIER AS PER DETAILS ON PAGE A-202.
11. CONTRACTOR TO ENSURE THAT ALL FIREPLACES ARE INSTALLED TO MANUFACTURERS INSTRUCTIONS AND IN COMPLIANCE WITH CURRENT CBC REGULATIONS 9.21 & 9.22 TO MAINTAIN REQUIRED CLEARANCES.
12. ALL LUMBER TO BE SPF No. 1/No. 2 OR BETTER, UNLESS NOTED OTHERWISE.
13. ALL STEEL BEAMS AND HSS TO BE 350W.
14. ALL STEEL PLATES TO BE A36.
15. ALL STEEL BEAMS TO HAVE BEARING PLATE ATTACHED ALONG FULL LENGTH OF TOP FLANGE WITH POWDER-ACTUATED NAILS (2" RND HEADS OR EQUIVALENT) AT 6" O.C. STAGGERED SIDE TO SIDE, 2" FROM EDGE OF PLATE.
16. PROVIDE PROTECTION BETWEEN WOOD AND CONCRETE (6 MIL. POLY).
17. STRUCTURE: TIMBER FRAME DESIGNED, MANUFACTURED AND SUPPLIED BY PINKERIDGE TIMBERFRAME SEE PROVIDED SHOP DRAWINGS FROM PINKERIDGE TIMBERFRAME FOR ALL SPECIFICATIONS.
18. STRUCTURAL INSULATED PANEL (S.I.P.) ROOF/WALL DESIGNED, MANUFACTURED AND SUPPLIED BY INSULSPAN (DELIVERED VIA PINKERIDGE TIMBERFRAME). SEE PROVIDED LITERATURE FROM INSULSPAN FOR ALL SPECIFICATIONS.
19. ENGINEERED TRUSSES/FLOOR JOISTS DESIGNED, MANUFACTURED AND SUPPLIED BY TURKSTRA. SEE PROVIDED DRAWINGS FROM TURKSTRA FOR ALL SPECIFICATIONS.



TACOMA
ENGINEERS

Firm BCIN: 29604

The Designer has reviewed and taken responsibility for the design for categories checked. As required by OBC Div. C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

☐ Building Structural
☐ Complex Buildings
☐ Large Building
☒ Small Building

Signature: *[Signature]*
 Designer: Brandon Martin
 Designer BCIN: 34596
 Date: January 17, 2023

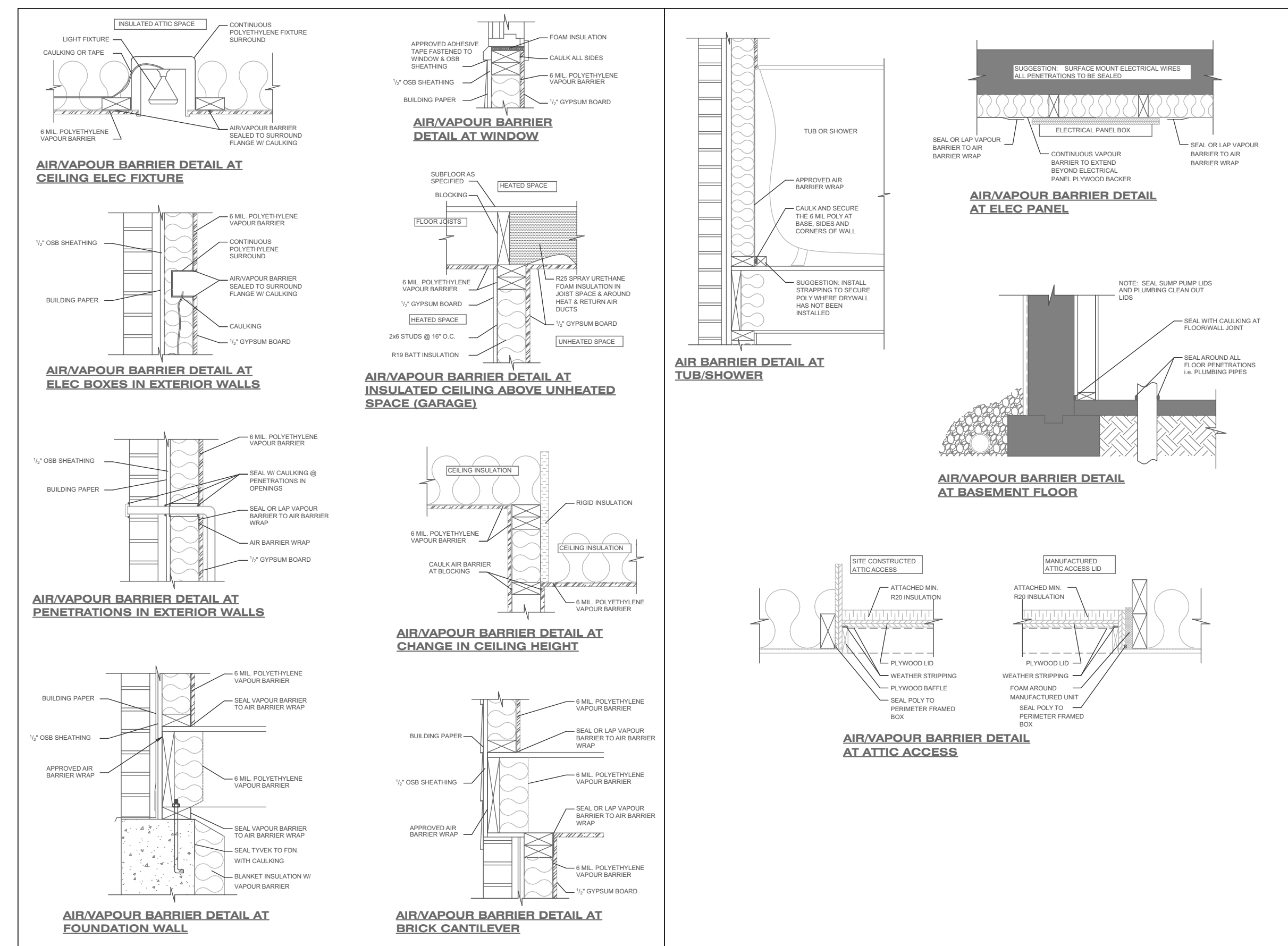
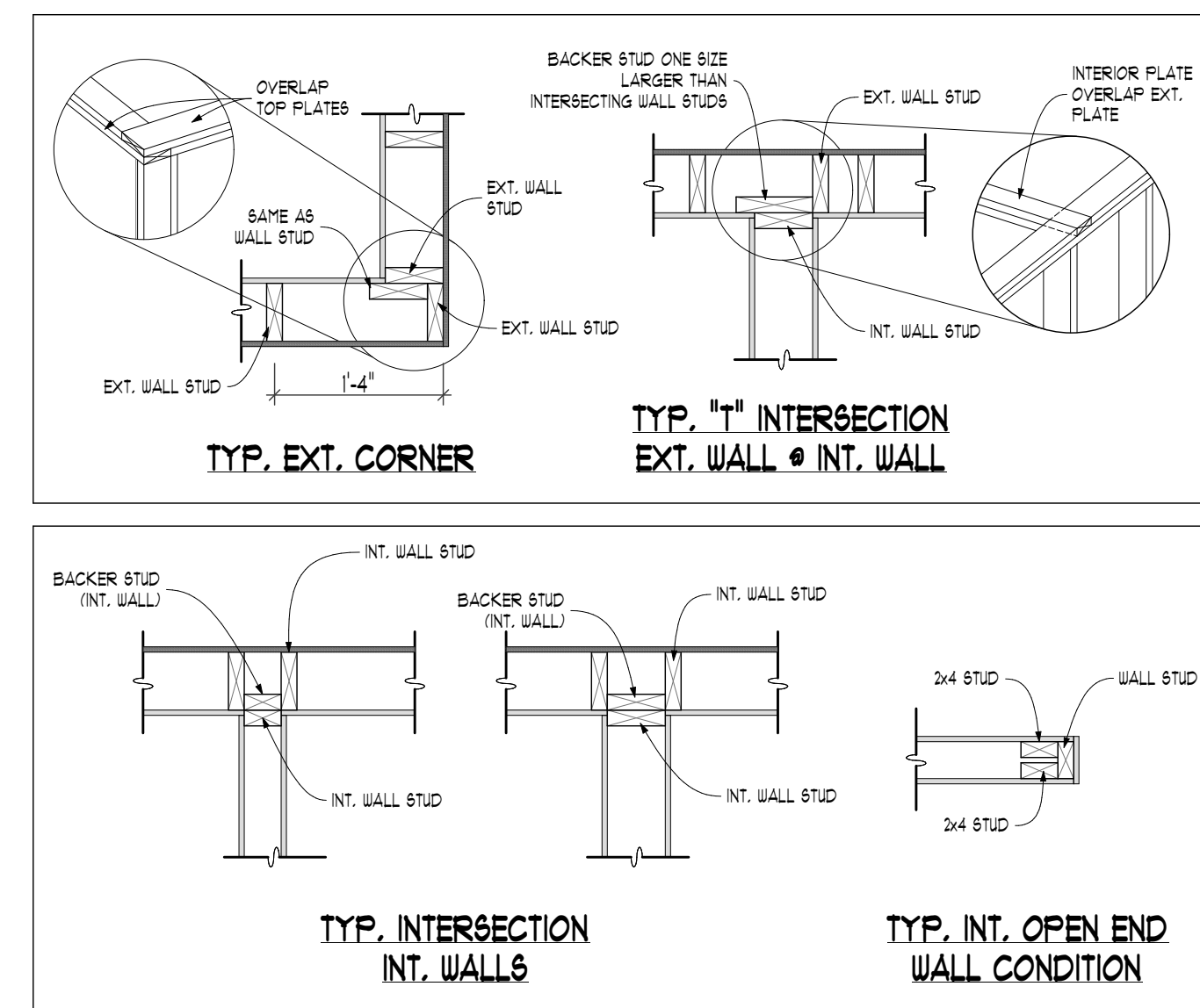
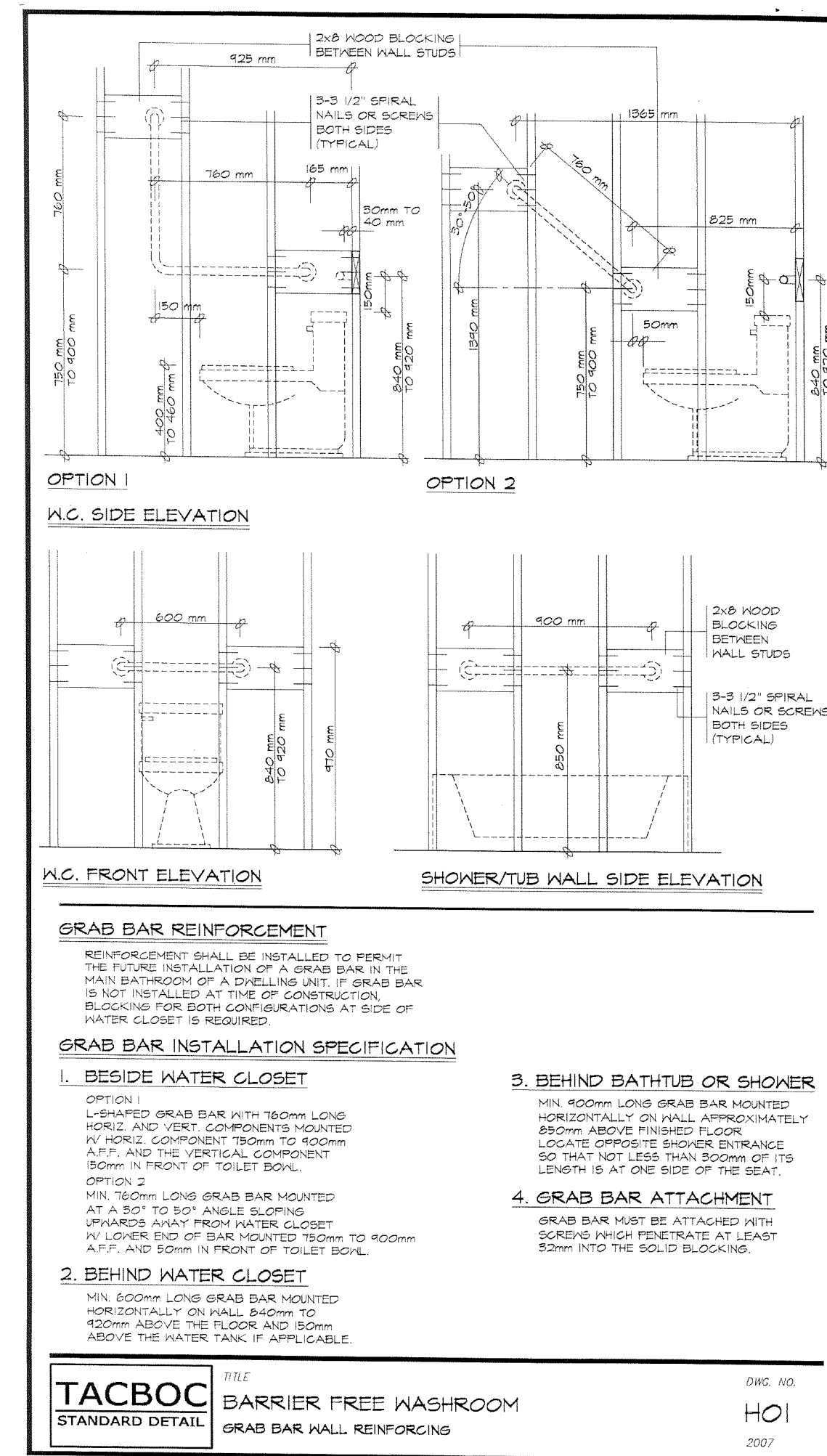
**BCIN REVIEW FOR COMPLIANCE
 WITH OBC PART 9 ONLY.
 STRUCTURAL DESIGN BY P.ENG**

NOTES:

1. ALL DIMENSIONS TAKEN FROM OUTSIDE OF STUD ON CONVENTIONALLY FRAMED WALLS. DIMENSIONS TAKEN FROM OUTSIDE OF SHEATHING ON S.I.P. WALL LOCATIONS.
2. "C" 4" WATER SHIELD ADHERED TO SHEATHING FIRST 36" ON ALL ROOF EDGES.
3. CORROSION RESISTANT DRIP EDGE ON ALL ROOF EDGES.
4. "C" 4" WATER SHIELD ADHERED TO SHEATHING AT ALL ROOF AND WALL INTERSECTIONS, 18" EACH WAY.
5. "C" 4" WATER SHIELD 36" ON EACH SIDE OF VALLEY, 24" METAL WALL FLASHING.
6. "C" 4" WATER SHIELD ON ENTIRE ROOF SURFACE OF ROOF FITCHES 5/12 AND LESS, AND UP 72" OF ADJACENT ROOF.
7. ALL LUMBER TO BE SPF NO. 1 OR BETTER.
8. ALL TRIMBER FRAME DESIGNED, MANUFACTURED AND SUPPLIED BY PINERIDGE TRIMBERFRAME, INC. SEE PROVIDED SHOP DRAWINGS FROM PINERIDGE TRIMBERFRAME FOR ALL SPECIFICATIONS.
9. "STRUCTURAL INSULATED PANEL (S.I.P.) ROOF/WALL DESIGNED, MANUFACTURED AND SUPPLIED BY INSULSPAN (DELIVERED VIA PINERIDGE TRIMBERFRAME). SEE PROVIDED LITERATURE FROM INSULSPAN FOR ALL SPECIFICATIONS.
10. "ENGINEERED TRU555/FLOOR JOISTS DESIGNED, MANUFACTURED AND SUPPLIED BY TURKSTRA, INC. SEE PROVIDED DRAWINGS FROM TURKSTRA FOR ALL SPECIFICATIONS.

RIGHT SIDE ELEVATION

LEFT SIDE ELEVATION



TACOMA
ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for the design for categories checked. As required by OBC Div. C.3.2.4, the designer is qualified and the firm is registered in the categories checked below.

☐ Building Structural
☐ Complex Buildings
☐ Large Building
☒ Small Building

Signature: [Signature]

Designer: Brandon Martin

Designer BCIN: 34596

Date: January 17, 2023

**BCIN REVIEW FOR COMPLIANCE
 WITH OBC PART 9 ONLY.
 STRUCTURAL DESIGN BY P.ENG**



PineRidge
timberframe

147 Norpark Ave.
Mount Forest, ON N0G 2L0
Phone (519) 323-3336
Fax (519) 323-3382

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**ANNE-MARIE &
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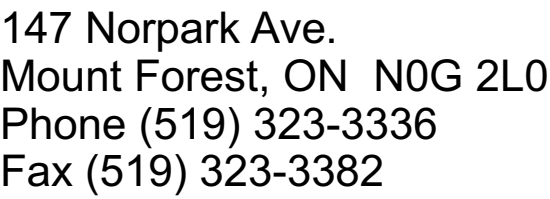
[illegible]

PROJECT NO: 21-233
PROJECT FILE: Tipping-21233.pln
DRAWN BY: LAURA MACHAN
SCALE: 1/4" = 1'-0", 1:1.33, 1:100
DATE: January 17, 2023
SHEET TITLE

ELEVATIONS

A-202

SHEET 11 OF 25



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3236 JERSEYVILLE RD W,
JERSEYVILLE, ON

BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE)
FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQFT
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PROJECT NO: 21-233

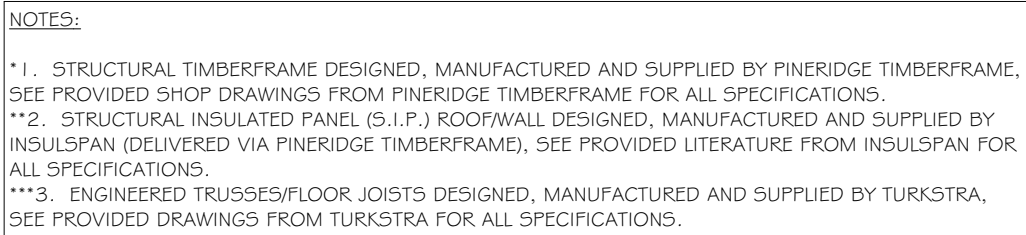
PROJECT FILE:
Tipping-21233.pln

DRAWN BY: LAURA MACHAN

SCALE: 1/4" = 1'-0"

SECTIONS

SHEET 12 OF 25



THRU-WALL FLASHING REQUIRED IN MASONRY VENEER WALLS

1. BENEATH JOINTED MASONRY WINDOW SILLS.
2. BENEATH WEEP HOLES.
3. OVER THE HEADS OF WINDOW AND DOOR OPENINGS.

THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/300 OF THE INSULATED CEILING AREA



Firm BCIN: 29604

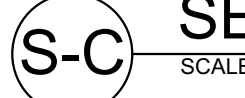
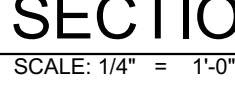
The undersigned has reviewed and taken responsibility for the design for categories checked. As required by OBC Div. C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

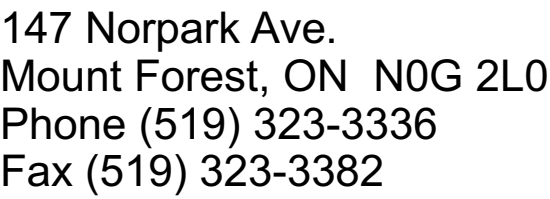
☐ Building Structural
☐ Complex Buildings
☐ Large Building
☒ Small Building

Signature: *[Signature]*

Designer: Brandon Martin
Designer BCIN: 34596
Date: January 17, 2023

BCIN REVIEW FOR COMPLIANCE
WITH OBC PART 9 ONLY.
STRUCTURAL DESIGN BY P.ENG





GENERAL CONTRACTOR

Precise Projects
11 Four Winds Place
Dundas, ON L9H 3Y1
Phone (905) 512-0078
Contact Rick Wiersma
Cell (905) 807-7094

**ANNE-MARIE &
SCOTT TIPPING**
3236 JERSEYVILLE RD W,
JERSEYVILLE, ON

PROJECT SQUARE FOOTAGE

BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE)
FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQF
SECOND FLOOR - 0 SQFT

NO.	ISSUED FOR	DATE	BY
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14	PERMIT	17JAN2023	LM

PROJECT NO: 21-233

PROJECT FILE:
Tipping-21233.pln

DRAWN BY: LAURA MACHAN

SCALE: 1/4" = 1'-0"

DATE: January 17, 2023

SHEET TITLE

SECTIONS

A-302

SHEET 13 OF 25



TACOMA
ENGINEERS

Firm BCIN: 29604

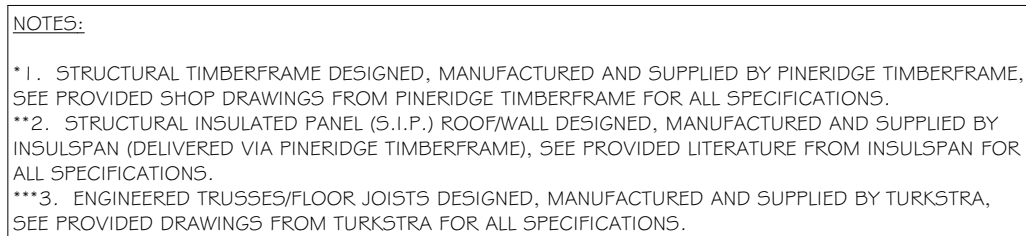
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☐ Building Structural
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☐ Large Building
☒ Small Building

Signature: _____
 Designer: Brandon Martin
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 Date: January 17, 2023

BCIN REVIEW FOR COMPLIANCE
WITH OBC PART 9 ONLY.
STRUCTURAL DESIGN BY P.ENG

Age (Years)	Men (%)	Women (%)
18	~15	~10
25	~25	~20
35	~45	~35
45	~65	~55
55	~85	~75
65	~95	~85

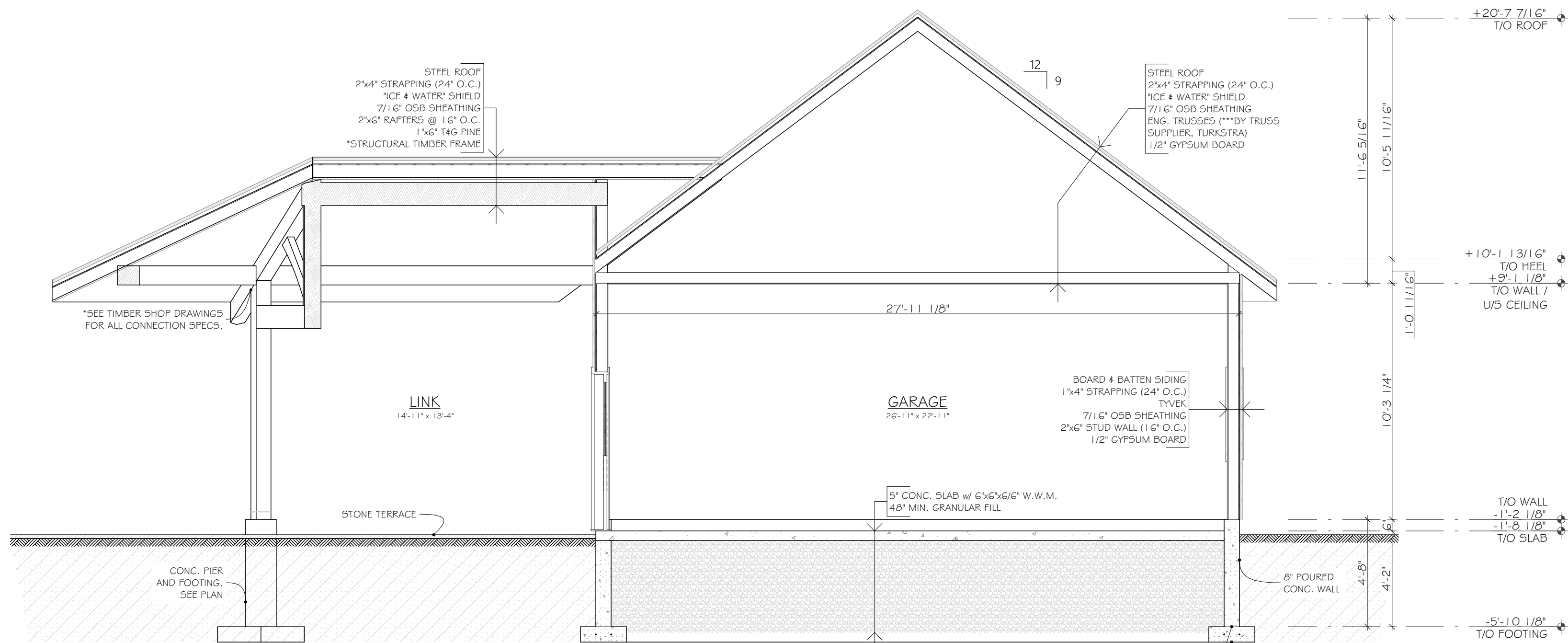


THRU-WALL FLASHING REQUIRED IN MASONRY VENEER WALLS:

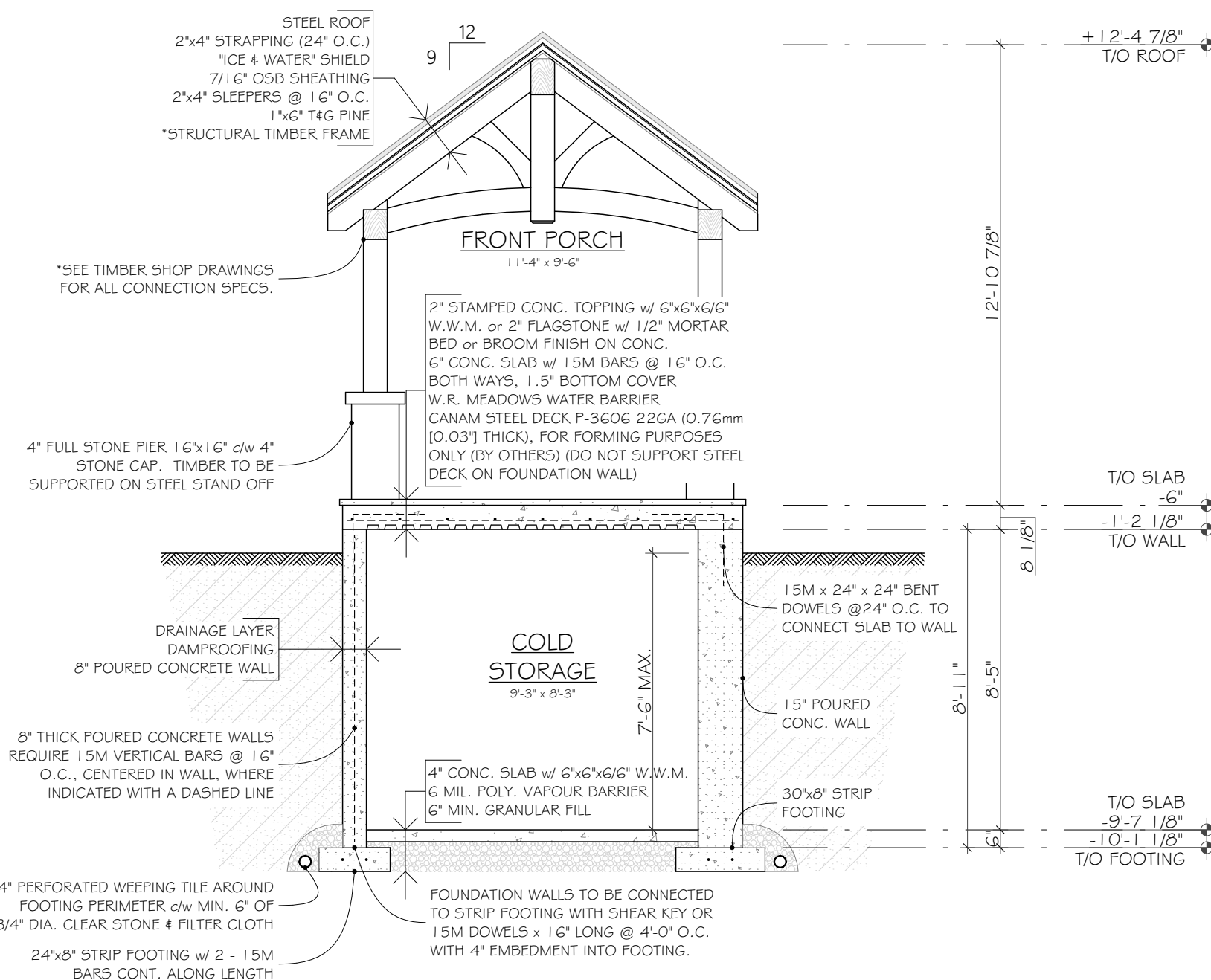
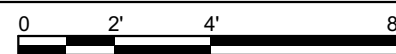
1. BENEATH JOINTED MASONRY WINDOW SILLS.
2. BENEATH WEEP HOLES.
3. OVER THE HEADS OF WINDOW AND DOOR OPENINGS.

THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/300 OF THE INSULATED CEILING AREA

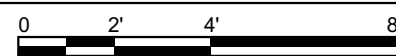
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S-H SECTION H
SCALE: 1/4" = 1'-0"



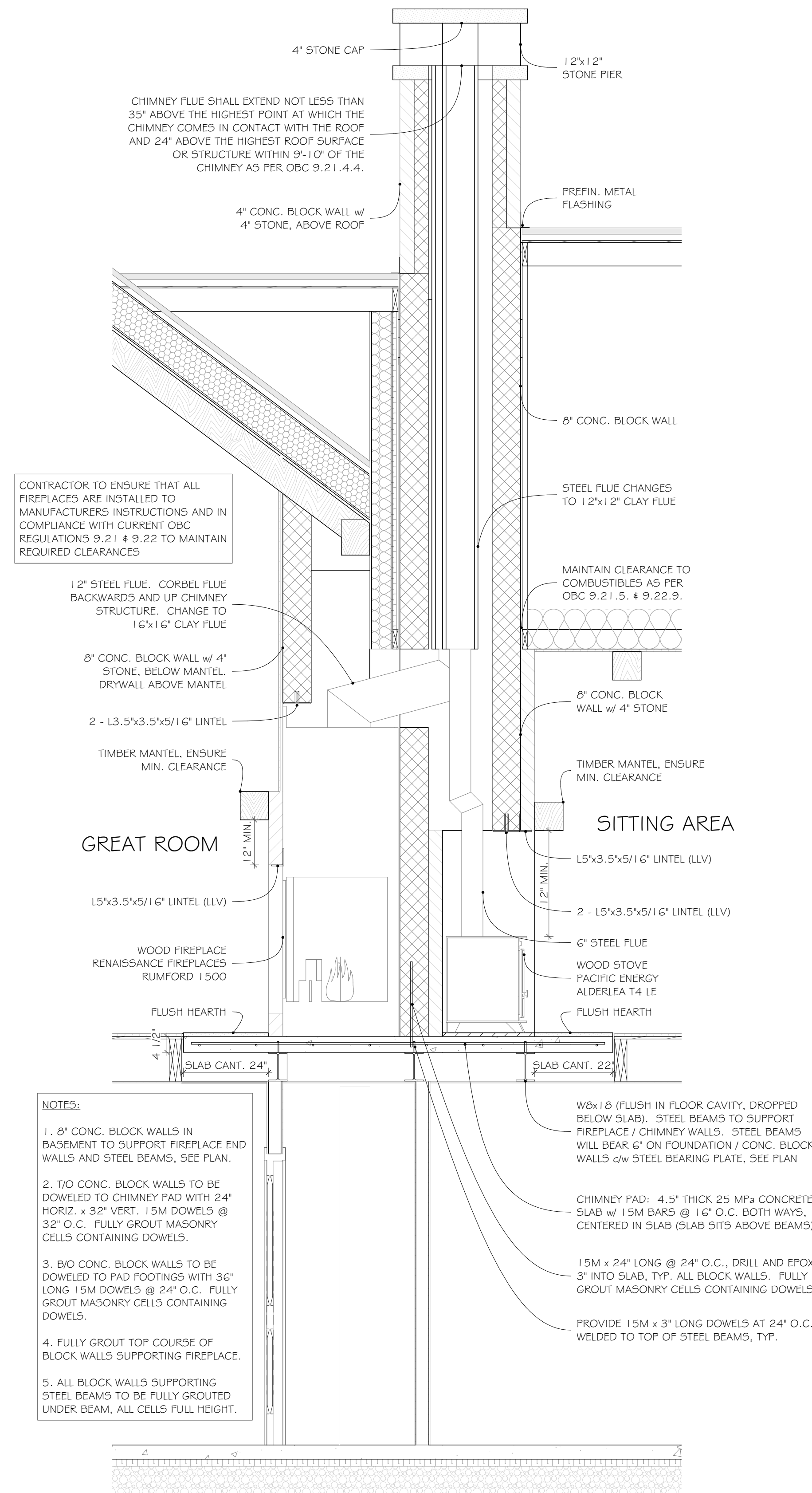
S-J SECTION J
SCALE: 1/4" = 1'-0"



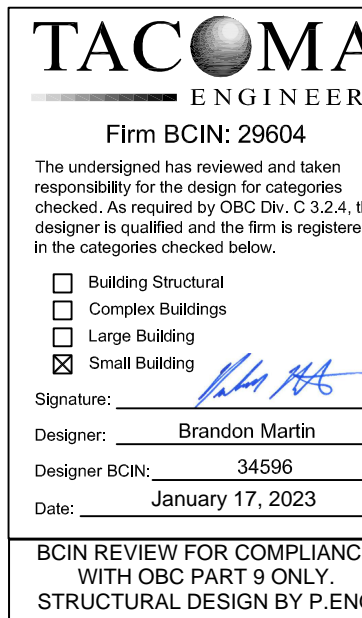
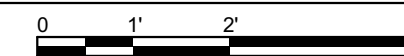
NOTES:
*1. STRUCTURAL TIMBERFRAME DESIGNED, MANUFACTURED AND SUPPLIED BY PINE RIDGE TIMBERFRAME. SEE PROVIDED SHOP DRAWINGS FROM PINE RIDGE TIMBERFRAME FOR ALL SPECIFICATIONS.
*2. STRUCTURAL INSULATED PANEL (S.I.P.) ROOFWALL DESIGNED, MANUFACTURED AND SUPPLIED BY INSULSPAN (DELIVERED VIA PINE RIDGE TIMBERFRAME). SEE PROVIDED LITERATURE FROM INSULSPAN FOR ALL SPECIFICATIONS.
*3. ENGINEERED TRUSSES/FLOOR JOISTS DESIGNED, MANUFACTURED AND SUPPLIED BY TURKSTRA. SEE PROVIDED DRAWINGS FROM TURKSTRA FOR ALL SPECIFICATIONS.

THRU-WALL FLASHING REQUIRED IN MASONRY VENER WALLS:
1. BENEATH JOINTED MASONRY WINDOW SILLS.
2. BENEATH WEEP HOLES.
3. OVER THE HEADS OF WINDOW AND DOOR OPENINGS.

THE UNOBSTRUCTED VENT AREA
(SHALL NOT BE LESS THAN 1/300
OF THE INSULATED CEILING AREA)



FP FIREPLACE SECTION
SCALE: 1/2" = 1'-0"



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GENERAL CONTRACTOR

Precise Projects
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Dundas, ON L9H 3Y1
Phone (905) 512-0078
Contact Rick Wiersma
Cell (905) 807-7094

**ANNE-MARIE &
SCOTT TIPPING**
3236 JERSEYVILLE RD W,
JERSEYVILLE, ON

PROJECT SQUARE FOOTAGE

BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE)
FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQFT
SECOND FLOOR - 0 SQFT

NO.	ISSUED FOR	DATE	BY
01	CLIENT REVIEW	22DEC2021	LM
02	CLIENT REVIEW	11FEB2022	LM
03	CLIENT REVIEW	28FEB2022	LM
04	WINDOW & DOOR QUOTE	22MAR2022	LM
05	CLIENT REVIEW	22APR2022	LM
06	CLIENT REVIEW	03MAY2022	LM
07	FOUNDATION LAYOUT	05MAY2022	LM
08	WINDOW & DOOR QUOTE	02JUNE2022	LM
09	ENGINEERING	19AUG2022	LM
10	ENGINEERING	29SEPT2022	LM
11	FINAL ENGINEERING	05OCT2022	LM
12	PERMIT	13OCT2022	LM
13	FOUNDATION AND PERMIT DRAWING REVISIONS	06JAN2023	LM
14	PERMIT	17JAN2023	LM

PROJECT NO: 21-233

PROJECT FILE:
Tipping-21233.pln

DRAWN BY: LAURA MACHAN

SCALE: 1/4" = 1'-0", 1/2" = 1'-0"

DATE: January 17, 2023

SHEET TITLE

SECTIONS

A-303

SHEET 14 OF 25

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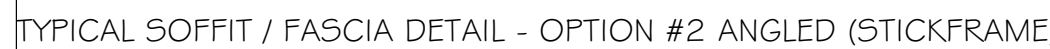
Precise Projects
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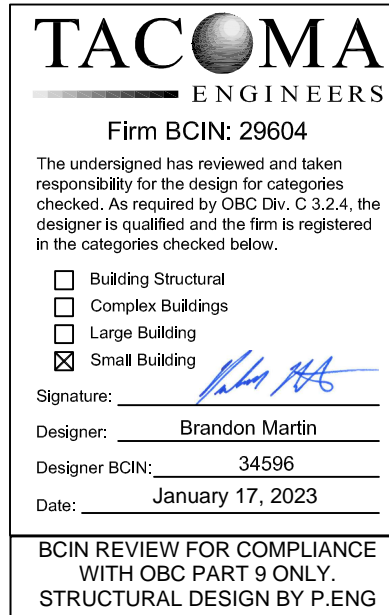
PROJECT NO: 21-233
PROJECT FILE: Typing-21233.pln
DRAWN BY: LAURA MACHAN
SCALE: 1" = 1'-0"
DATE: January 17, 2023
SHEET TITLE

A-401

SHEET 15 OF 25



SCALE: 1" = 1'-0"



Y:\2022\SIGNED PROJECTS\21-233 Tipping (Precise)\Construction\Arch\CAD\Tipping-21233.pln

EXTERIOR DOOR SCHEDULE - R.O. SIZES						
ID	STOREY	ROOM NAME	EXTERIOR VIEW	R.O. SIZE	HEADER	JACK / KING STUDS
D01	FIRST FLOOR PLAN	SUNROOM		5'-11 7/8"×6'-8"	2 - 2"x6"	1 JACK & 1 KING
D02	FIRST FLOOR PLAN	MUDROOM		3'-2 15/16"×6'-11"	2 - 2"x6"	
D03	FIRST FLOOR PLAN	FOYER		6'-1"×7'-0 1/2"	2 - 2"x8"	1 JACK & 1 KING
G-D01	FIRST FLOOR PLAN	GARAGE		3'-2 15/16"×6'-11"	2 - 2"x8"	2 JACKS & 1 KING
G-D02	FIRST FLOOR PLAN	GARAGE		9'-0"×7'-0"	2 - 2"x10" + 2 - 2"x6" ON THE FLAT	1 JACK & 3 KINGS
G-D03	FIRST FLOOR PLAN	GARAGE		9'-0"×7'-0"	2 - 2"x10" + 2 - 2"x6" ON THE FLAT	1 JACK & 3 KINGS

INTERIOR DOOR SCHEDULE - R.O. SIZES						
ID	STOREY	ROOM NAME	EXTERIOR VIEW	R.O. SIZE	HEADER	JACK / KING STUDS
INT-D01	BASEMENT PLAN	BEDROOM 2		3'-0 1/2"×6'-10"	2 - 2"x10"	3 JACKS & 1 KING
INT-D02	BASEMENT PLAN	BEDROOM 2		5'-2 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D03	BASEMENT PLAN	BATHROOM 2		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D04	BASEMENT PLAN	BEDROOM 3		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D05	BASEMENT PLAN	BEDROOM 3		4'-8 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D06	BASEMENT PLAN	OFFICE		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D07	BASEMENT PLAN	STORAGE		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D08	BASEMENT PLAN	MECHANICAL ROOM		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D09	BASEMENT PLAN	COLD STORAGE		3'-2 5/16"×6'-10 11/16"	2 - 2"x6"	1 JACK & 1 KING
INT-D10	BASEMENT PLAN	REC. ROOM		8'-2 1/2"×6'-10"	2 - 2"x6"	1 JACK & 2 KINGS
INT-D11	FIRST FLOOR PLAN	PRINCIPAL BEDROOM		5'-10 1/2"×7'-1"	2 - 2"x6"	1 JACK & 1 KING
INT-D12	FIRST FLOOR PLAN	W.I.C.		3'-6 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D13	FIRST FLOOR PLAN	ENSUITE		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D14	FIRST FLOOR PLAN	PANTRY		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D15	FIRST FLOOR PLAN	FOYER		3'-8 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D16	FIRST FLOOR PLAN	MUDROOM		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D17	FIRST FLOOR PLAN	POWDER ROOM		2'-10 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-OPNG01	FIRST FLOOR PLAN	PRINCIPAL BEDROOM		5'-7 9/16"×7'-7 1/4"	2 - 2"x8"	1 JACK & 1 KING
INT-OPNG02	FIRST FLOOR PLAN	FOYER		4'-1 1/16"×7'-7 1/4"	2 - 2"x6"	1 JACK & 1 KING
INT-OPNG03	FIRST FLOOR PLAN	SUNROOM		4'-1"×7'-7 1/4"	2 - 2"x6"	1 JACK & 1 KING

WINDOW SCHEDULE - R.O. SIZES						
ID	STOREY	ROOM NAME	EXTERIOR VIEW	R.O. SIZE	HEADER	JACK / KING STUDS
G-W01	FIRST FLOOR PLAN	GARAGE		2'-6 9/16"×3'-8 5/16"	2 - 2"x6"	1 JACK & 1 KING
G-W02	FIRST FLOOR PLAN	GARAGE		2'-6 9/16"×3'-8 5/16"	2 - 2"x6"	1 JACK & 1 KING
INT-W01	FIRST FLOOR PLAN	KITCHEN		2'-7"×3'-7"	2 - 2"x6"	1 JACK & 1 KING
W01	BASEMENT PLAN	BEDROOM 2		5'-0 1/16"×2'-8 1/2"	-	-
W02	BASEMENT PLAN	BEDROOM 3		5'-0 1/16"×2'-8 1/2"	-	-
W03	BASEMENT PLAN	REC. ROOM		5'-0 1/16"×2'-8 1/2"	-	-
W04	BASEMENT PLAN	OFFICE		4'-0 1/4"×3'-0 7/16"	-	-
W05	FIRST FLOOR PLAN	PRINCIPAL BEDROOM		4'-0 1/4"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING
W06	FIRST FLOOR PLAN	PRINCIPAL BEDROOM		4'-0 1/4"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING
W07	FIRST FLOOR PLAN	GREAT ROOM		4'-8 1/8"×5'-0 1/16"	-	-
W08	FIRST FLOOR PLAN	GREAT ROOM		5'-4"×5'-0 1/16"	-	-
W09	FIRST FLOOR PLAN	GREAT ROOM		4'-8 1/8"×5'-0 1/16"	-	-
W10	FIRST FLOOR PLAN	GREAT ROOM		4'-8 1/8"×3'-0 7/16"	-	-
W11	FIRST FLOOR PLAN	GREAT ROOM		5'-4"×3'-0 7/16"	-	-
W12	FIRST FLOOR PLAN	GREAT ROOM		4'-8 1/8"×3'-0 7/16"	-	-
W13	FIRST FLOOR PLAN	SITTING AREA		5'-11 7/8"×5'-0 1/16"	2 - 2"x8"	2 JACKS & 1 KING
W14	FIRST FLOOR PLAN	SUNROOM		5'-4"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING
W15	FIRST FLOOR PLAN	SUNROOM		5'-4"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING
W16	FIRST FLOOR PLAN	LAUNDRY ROOM		3'-4 3/8"×2'-4 9/16"	2 - 2"x8"	2 JACKS & 1 KING
W17	FIRST FLOOR PLAN	LAUNDRY ROOM		2'-8 1/2"×3'-4 3/8"	2 - 2"x6"	1 JACK & 1 KING
W18	FIRST FLOOR PLAN	POWDER ROOM		2'-0 5/8"×4'-0 1/4"	2 - 2"x6"	1 JACK & 1 KING
W19	FIRST FLOOR PLAN	DINING ROOM		5'-11 7/8"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING
W20	FIRST FLOOR PLAN	DINING ROOM		5'-11 7/8"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING
W21	FIRST FLOOR PLAN	STAIRWELL		4'-8 1/8"×4'-8 1/8"	-	-
W22	FIRST FLOOR PLAN	ENSUITE		4'-8 1/8"×4'-8 1/8"	2 - 2"x6"	1 JACK & 1 KING
W23	FIRST FLOOR PLAN	ENSUITE		2'-0 5/8"×3'-4 3/8"	2 - 2"x6"	1 JACK & 1 KING
W24	FIRST FLOOR PLAN	PRINCIPAL BEDROOM		5'-11 7/8"×2'-0 5/8"	2 - 2"x6"	1 JACK & 2 KINGS

TACOMA

ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for the design for categories checked. As required by OBC Ch. C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

☐ Building Structural

☐ Complex Buildings

☐ Large Building

☒ Small Building

Signature:

Designer: BCIN: 34596
Brandon Martin

Date: January 17, 2023

BCIN REVIEW FOR COMPLIANCE WITH OBC PART 9 ONLY
STRUCTURAL DESIGN BY P.ENG

EXTERIOR DOOR SCHEDULE - FRAME SIZES										
ID	STOREY	ROOM NAME	UNIT SIZE	TYPE	OPERATION/HINGE	EXTERIOR VIEW	JAMB	SCREEN	BRICK MOLD	NOTES
D01	FIRST FLOOR PLAN	SUNROOM	5'-10 7/8"×6'-7 1/2"	PATIO	SLIDER - FIXED-RIGHT TO LEFT		6 9/16"	YES	-	-
D02	FIRST FLOOR PLAN	MUDROOM	3'-1 15/16"×6'-10 1/2"	FIBERGLASS INSULATED	IN-SWING - RIGHT		6 9/16"	-	-	-
D03	FIRST FLOOR PLAN	FOYER	6'-0"×7'-0"	WOOD	IN-SWING - LEFT		6 9/16"	-	YES	SIDELITES - 16"
G-D01	FIRST FLOOR PLAN	GARAGE	3'-1 15/16"×6'-10 1/2"	FIBERGLASS	IN-SWING - LEFT		6 9/16"	-	-	-
G-D02	FIRST FLOOR PLAN	GARAGE	9'-0"×7'-0"	STEEL	ROLL-UP		-	-	-	-
G-D03	FIRST FLOOR PLAN	GARAGE	9'-0"×7'-0"	STEEL	ROLL-UP		-	-	-	-

INTERIOR DOOR SCHEDULE - FRAMES SIZES							
ID	STOREY	ROOM NAME	UNIT SIZE	TYPE	OPERATION/HINGE	EXTERIOR VIEW	NOTES
INT-D01	BASEMENT PLAN	BEDROOM 2	2'-10"×6'-8"	WOOD	IN-SWING - LEFT		-
INT-D02	BASEMENT PLAN	BEDROOM 2	5'-0"×6'-8"	WOOD	OUT-SWING - LEFT-RIGHT		-
INT-D03	BASEMENT PLAN	BATHROOM 2	2'-10"×6'-8"	WOOD	IN-SWING - LEFT		-
INT-D04	BASEMENT PLAN	BEDROOM 3	2'-10"×6'-8"	WOOD	IN-SWING - RIGHT		-
INT-D05	BASEMENT PLAN	BEDROOM 3	4'-6"×6'-8"	WOOD	OUT-SWING - LEFT-RIGHT		-
INT-D06	BASEMENT PLAN	OFFICE	2'-10"×6'-8"	WOOD	IN-SWING - RIGHT		-
INT-D07	BASEMENT PLAN	STORAGE	2'-10"×6'-8"	WOOD	IN-SWING - LEFT		-
INT-D08	BASEMENT PLAN	MECHANICAL ROOM	2'-10"×6'-8"	WOOD	IN-SWING - LEFT		-
INT-D09	BASEMENT PLAN	COLD STORAGE	3'-1 5/16"×6'-10 3/16"	STEEL INSULATED	IN-SWING - LEFT		-
INT-D10	BASEMENT PLAN	REC. ROOM	8'-0"×6'-8"	WOOD	SLIDING BARN - LEFT-RIGHT		-
INT-D11	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	2'-10"×6'-8"	WOOD	POCKET - RIGHT		-
INT-D12	FIRST FLOOR PLAN	W.I.C.	3'-4"×6'-8"	WOOD	SLIDING BARN - LEFT-RIGHT		-
INT-D13	FIRST FLOOR PLAN	ENSUITE	2'-10"×6'-8"	WOOD	IN-SWING - RIGHT		-
INT-D14	FIRST FLOOR PLAN	PANTRY	2'-10"×6'-8"	WOOD	OUT-SWING - RIGHT		-
INT-D15	FIRST FLOOR PLAN	FOYER	3'-6"×6'-8"	WOOD	OUT-SWING - LEFT-RIGHT		-
INT-D16	FIRST FLOOR PLAN	MUDROOM	2'-10"×6'-8"	WOOD	SLIDING BARN - RIGHT		-
INT-D17	FIRST FLOOR PLAN	POWDER ROOM	2'-8"×6'-8"	WOOD	OUT-SWING - LEFT		-
INT-OPNG01	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	5'-6 9/16"×7'-6"	-	-		-
INT-OPNG02	FIRST FLOOR PLAN	FOYER	4'-0 1/16"×7'-6"	-	-		-
INT-OPNG03	FIRST FLOOR PLAN	SUNROOM	4'-1"×7'-6"	-	-		-

WINDOW SCHEDULE - FRAME SIZES										
ID	STOREY	ROOM NAME	UNIT SIZE	TYPE	OPERATION / HINGE	EXTERIOR VIEW	JAMB	SCREEN	BRICK MOLD	NOTES
G-W01	FIRST FLOOR PLAN	GARAGE	2'-5 9/16"×3'-7 5/16"	CASEMENT	RIGHT		4 9/16"	YES	-	-
G-W02	FIRST FLOOR PLAN	GARAGE	2'-5 9/16"×3'-7 5/16"	CASEMENT	LEFT		4 9/16"	YES	-	-
INT-W01	FIRST FLOOR PLAN	KITCHEN	2'-6"×3'-6"	DOUBLE HUNG	UP/DOWN		4 9/16"	YES	-	-
W01	BASEMENT PLAN	BEDROOM 2	4'-11 1/16"×2'-7 1/2"	SLIDER	LEFT TO RIGHT-FIXED		4 9/16"	YES	YES	-
W02	BASEMENT PLAN	BEDROOM 3	4'-11 1/16"×2'-7 1/2"	SLIDER	LEFT TO RIGHT-FIXED		4 9/16"	YES	YES	-
W03	BASEMENT PLAN	REC. ROOM	4'-11 1/16"×2'-7 1/2"	SLIDER	LEFT TO RIGHT-FIXED		4 9/16"	YES	YES	-
W04	BASEMENT PLAN	OFFICE	3'-11 1/4"×2'-11 7/16"	SLIDER	LEFT TO RIGHT-FIXED		4 9/16"	YES	YES	-
W05	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	3'-11 1/4"×4'-11 1/16"	CASEMENT	FIXED-RIGHT		4 9/16"	YES	-	-
W06	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	3'-11 1/4"×4'-11 1/16"	CASEMENT	LEFT-FIXED		4 9/16"	YES	-	-
W07	FIRST FLOOR PLAN	GREAT ROOM	4'-7 1/8"×4'-11 1/16"	CASEMENT	FIXED-RIGHT		4 9/16"	YES	-	-
W08	FIRST FLOOR PLAN	GREAT ROOM	5'-3"×4'-11 1/16"	CASEMENT	FIXED-FIXED		4 9/16"	-	-	-
W09	FIRST FLOOR PLAN	GREAT ROOM	4'-7 1/8"×4'-11 1/16"	CASEMENT	LEFT-FIXED		4 9/16"	YES	-	-
W10	FIRST FLOOR PLAN	GREAT ROOM	4'-7 1/8"×2'-11 7/16"	CASEMENT	FIXED-FIXED		4 9/16"	-	-	-
W11	FIRST FLOOR PLAN	GREAT ROOM	5'-3"×2'-11 7/16"	CASEMENT	FIXED-FIXED		4 9/16"	-	-	-
W12	FIRST FLOOR PLAN	GREAT ROOM	4'-7 1/8"×2'-11 7/16"	CASEMENT	FIXED-FIXED		4 9/16"	-	-	-
W13	FIRST FLOOR PLAN	SITTING AREA	5'-10 7/8"×4'-11 1/16"	CASEMENT	LEFT-FIXED-RIGHT		4 9/16"	YES	-	-
W14	FIRST FLOOR PLAN	SUNROOM	5'-3"×4'-11 1/16"	CASEMENT	FIXED-RIGHT		4 9/16"	YES	-	-
W15	FIRST FLOOR PLAN	SUNROOM	5'-3"×4'-11 1/16"	CASEMENT	LEFT-FIXED		4 9/16"	YES	-	-
W16	FIRST FLOOR PLAN	LAUNDRY ROOM	3'-3 3/8"×2'-3 9/16"	AWNING	TOP		4 9/16"	YES	-	-
W17	FIRST FLOOR PLAN	LAUNDRY ROOM	2'-7 1/2"×3'-3 3/8"	CASEMENT	LEFT		4 9/16"	YES	-	-
W18	FIRST FLOOR PLAN	POWDER ROOM	1'-11 5/8"×3'-11 1/4"	CASEMENT	RIGHT		4 9/16"	YES	YES	-
W19	FIRST FLOOR PLAN	DINING ROOM	5'-10 7/8"×4'-11 1/16"	CASEMENT	LEFT-FIXED-RIGHT		4 9/16"	YES	-	-
W20	FIRST FLOOR PLAN	DINING ROOM	5'-10 7/8"×4'-11 1/16"	CASEMENT	LEFT-FIXED-RIGHT		4 9/16"	YES	-	-
W21	FIRST FLOOR PLAN	STAIRWELL	4'-7 1/8"×4'-7 1/8"	CASEMENT	FIXED-RIGHT		4 9/16"	YES	YES	-
W22	FIRST FLOOR PLAN	ENSUITE	4'-7 1/8"×4'-7 1/8"	CASEMENT	LEFT-FIXED		4 9/16"	YES	-	-
W23	FIRST FLOOR PLAN	ENSUITE	1'-11 5/8"×3'-3 3/8"	AWNING	TOP		4 9/16"	YES	-	-
W24	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	5'-10 7/8"×1'-11 5/8"	CASEMENT	FIXED		4 9/16"	-	-	-

147 Norpark Ave.
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JERSEYVILLE, ON

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FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQFT
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06	CLIENT REVIEW	03MAY2022	LM
07	FOUNDATION LAYOUT	05MAY2022	LM
08	WINDOW & DOOR QUOTE	02JUNE2022	LM
09	ENGINEERING	19AUG2022	

DESIGN STANDARDS

- (a) ONTARIO BUILDING CODE 2012 r2020
- (b) CAN/CSA O86 ENGINEERING DESIGN IN WOOD.

LOADS

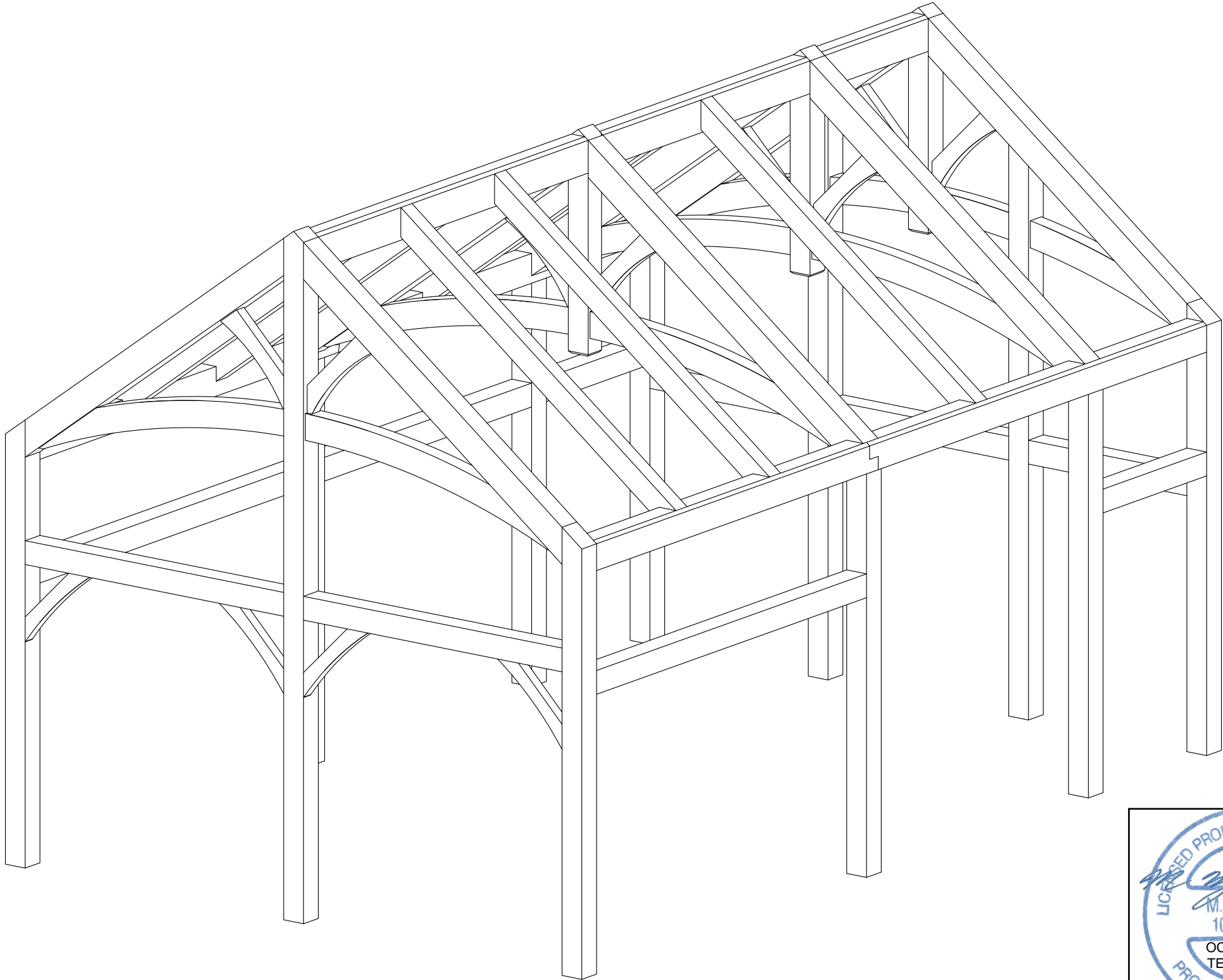
ROOF LIVE LOAD	25.7 PSF
ROOF DEAD LOAD	15.7 PSF

GENERAL NOTES & SPECIFICATIONS


1. ALL DESIGN AND WORKMANSHIP ON THIS PROJECT SHALL MEET THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS (INCLUDING LATEST AMENDMENTS) AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION.
3. ALL DIMENSIONS SHALL BE VERIFIED ON THE JOB. READ THE STRUCTURAL DRAWINGS AND SPECIFICATIONS WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES TO THE ENGINEER PROMPTLY AND BEFORE CONSTRUCTION.
4. DO NOT SCALE DRAWINGS AND USE ONLY THOSE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". REMOVE EXISTING DRAWINGS FROM SITE, ON RECEIPT OF NEW REVISIONS.
5. ALL SHOP DRAWINGS TO BE SUBMITTED FOR REVIEW.
6. ANCHOR BOLTS AND LAG SCREWS TO BE GRADE A307
7. H.S.S. SHALL BE GRADE 350W AND STEEL PLATE SHALL BE A36 MIN.

GENERAL WOOD & PRE-ENGINEERED WOOD NOTES

1. UNLESS OTHERWISE NOTED ON THE DRAWINGS ALL TIMBERS SHALL BE NORTHERN PINE No. 2.
2. APPROPRIATE CARE MUST BE TAKEN TO AVOID DAMAGE TO ALL TIMBER SECTIONS, FROM IMPACT AND WEATHER BY PROTECTING MATERIALS DURING STORAGE, HANDLING, ERECTION, FITTING AND CONNECTING.
3. ALLOWANCES MUST BE MADE FOR ANTICIPATED SHRINKAGE OF THE WOOD TIMBERS BASED ON THE MOISTURE CONTENT AT TIME OF ASSEMBLY.
4. ALL PEGS USED IN CONNECTIONS SHALL BE AIR DRIED HARDWOOD (OAK) WITH AS CLEAR GRAIN AS POSSIBLE. PEGS SHOULD BE STORED IN A COOL DRY PLACE TO CONTROL SHRINKAGE OR SWELLING.



LICENCED PROFESSIONAL ENGINEER



M. S. ZWART

100502999

OCT 13 2022

TE-40878-22

PROVINCE OF ONTARIO

STRUCTURAL DESIGN ONLY

TACOMA

ENGINEERS



147 NORPARK AVE.
MOUNT FOREST, ONTARIO
N0G 2L0

PHONE 519-323-3336
FAX 519-323-3382

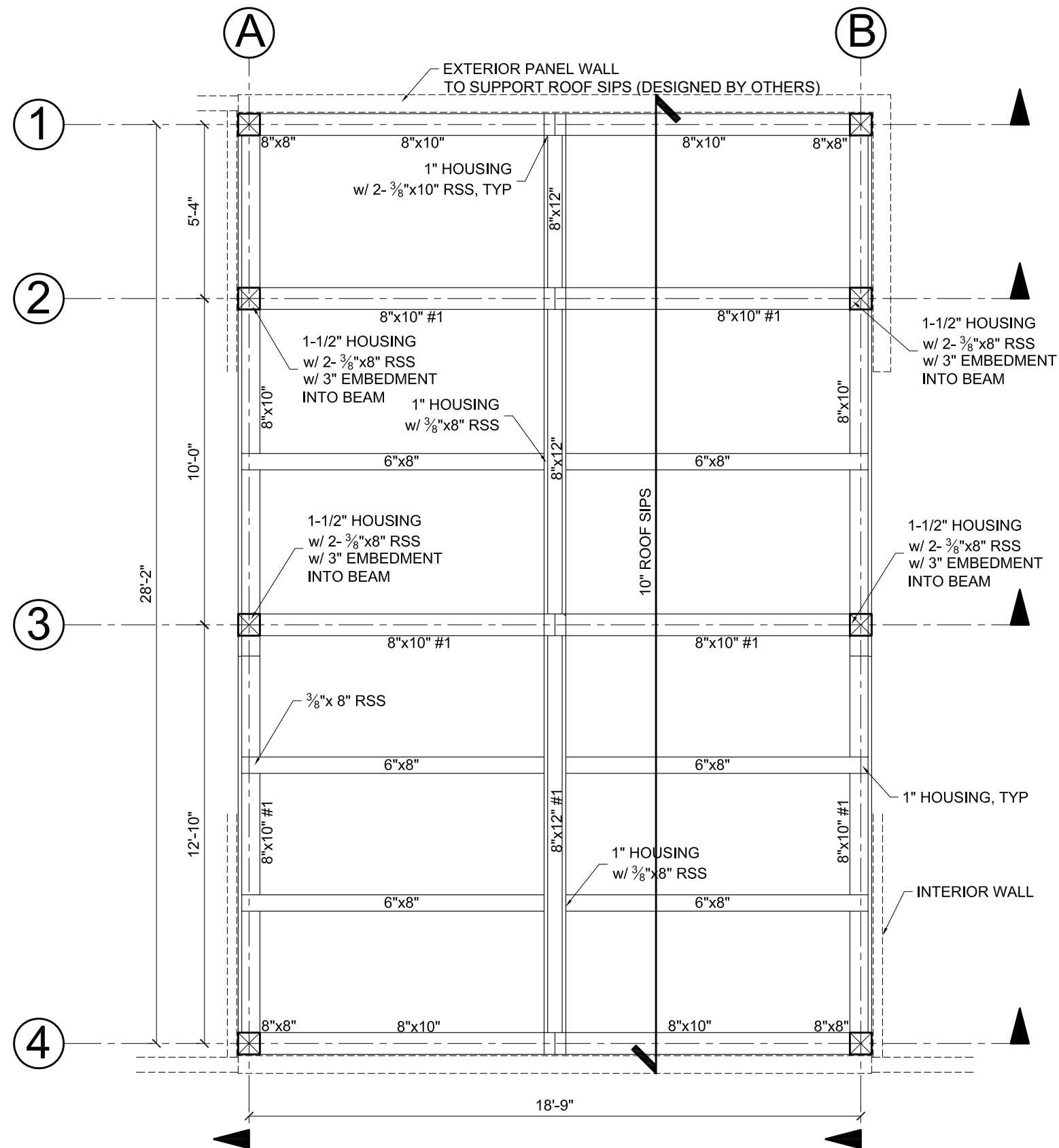
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

3D VIEW

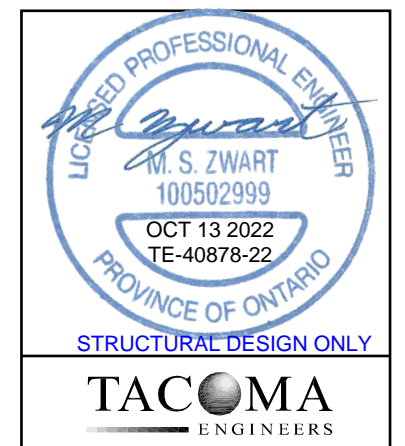
NTS

S1



ROOF PLAN

All timbers are to be full dimension Pine No.2 or better, U.N.O.



147 NORPARK AVE.
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N0G 2L0
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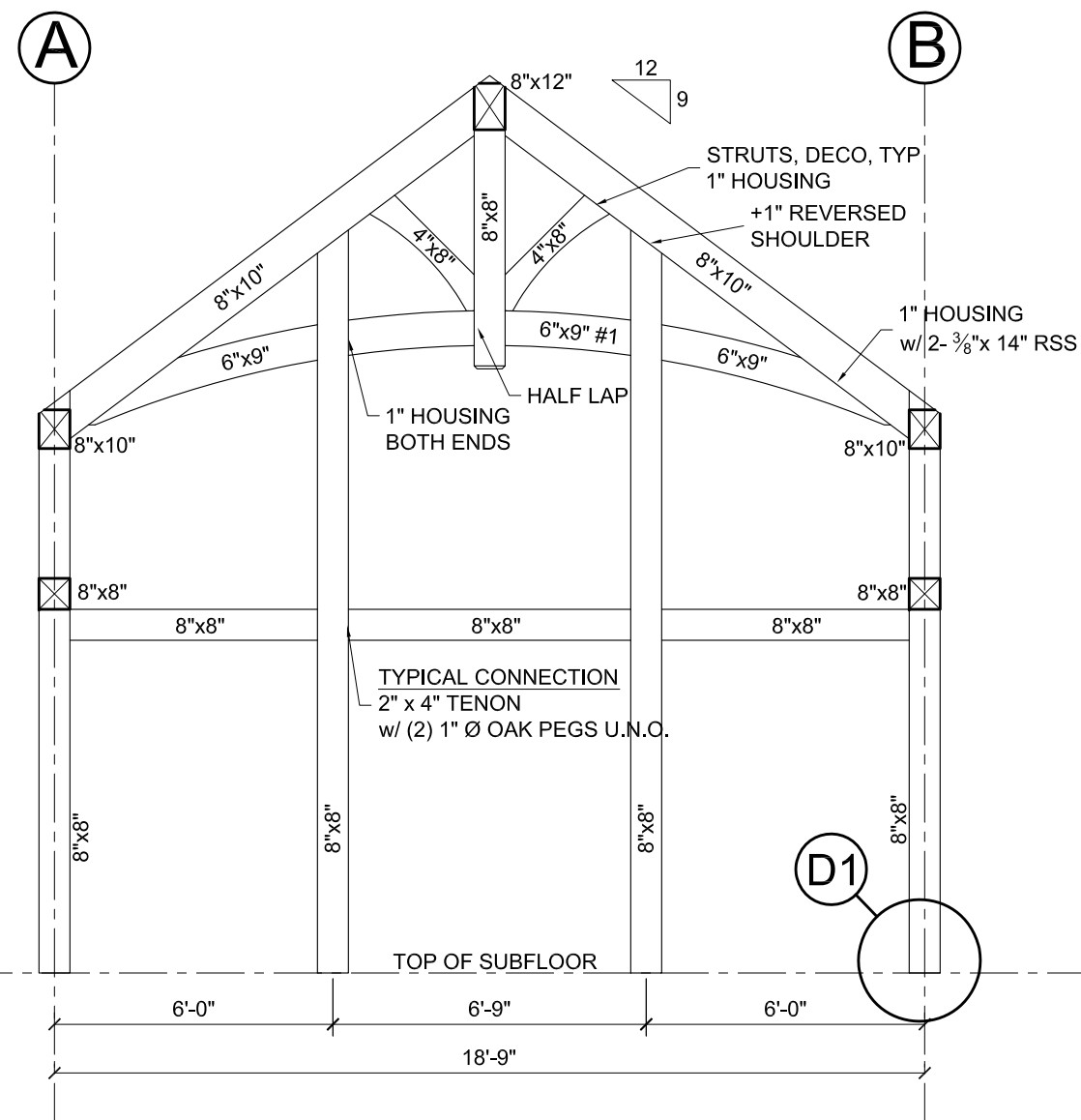
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

ROOF PLAN

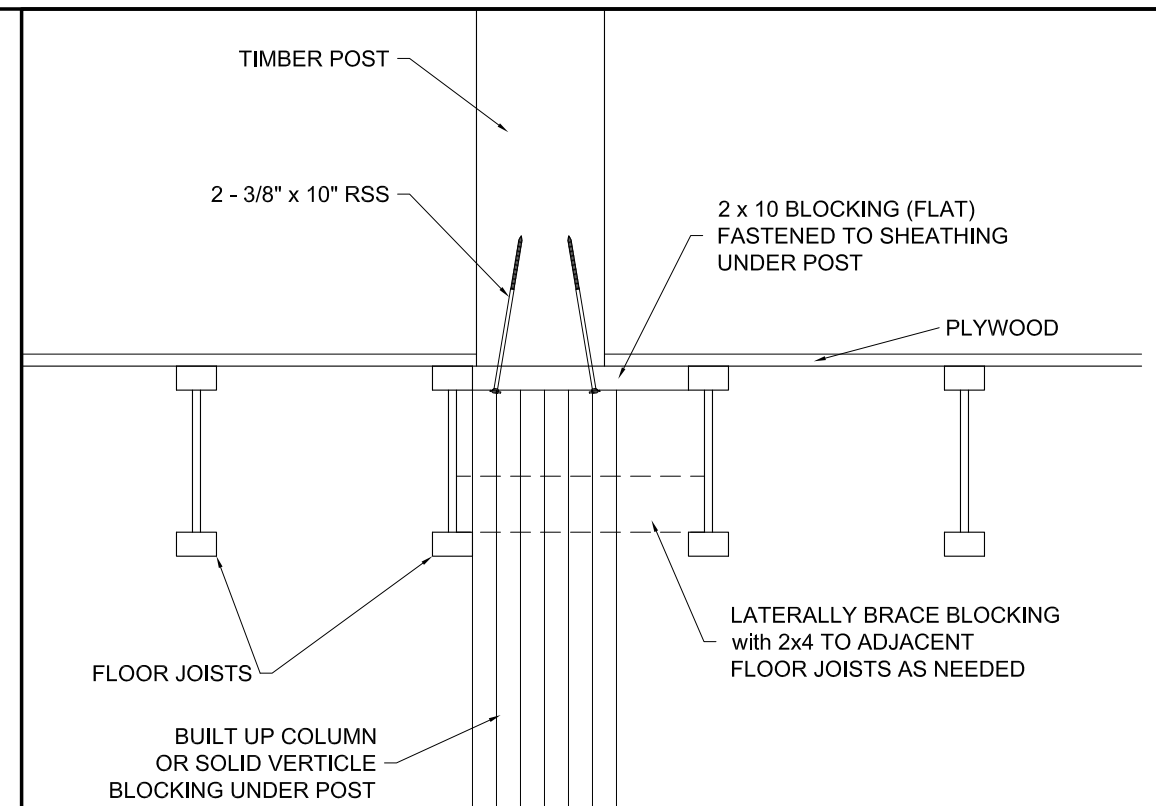
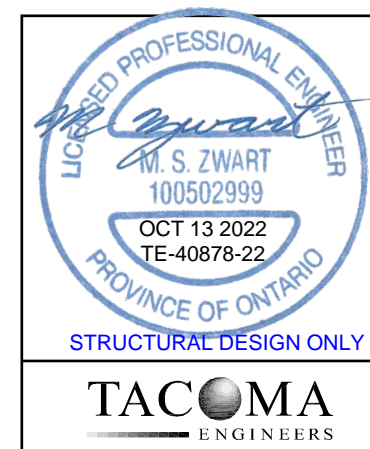
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S2

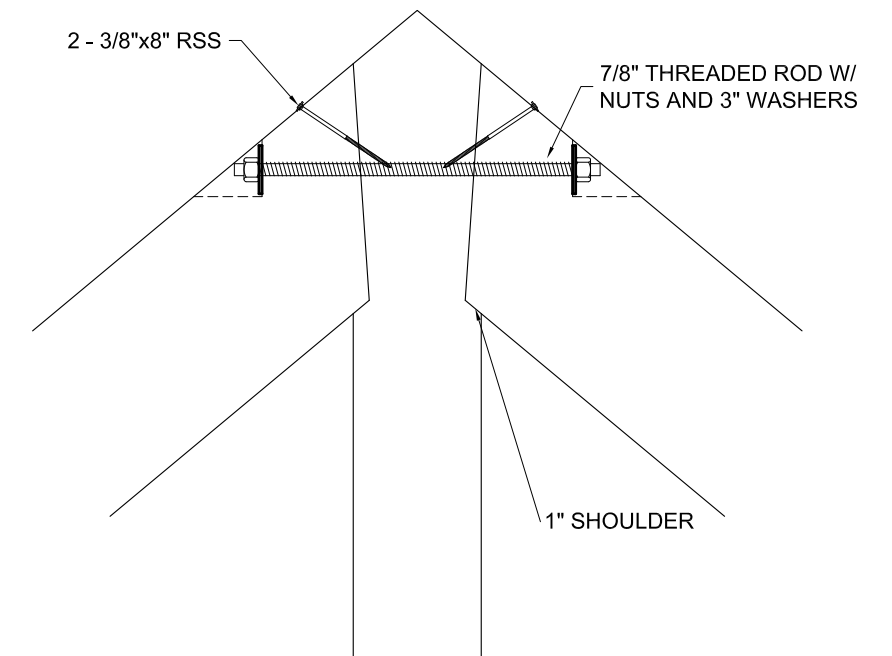


SECTION @ GRIDLINE 1

All timbers are to be full dimension Pine No.2 or better, U.N.O.



TYPICAL POST BLOCKING DETAIL - D1



DETAIL D2



147 NORPARK AVE.
MOUNT FOREST, ONTARIO
N0G 2L0

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FAX 519-323-3382

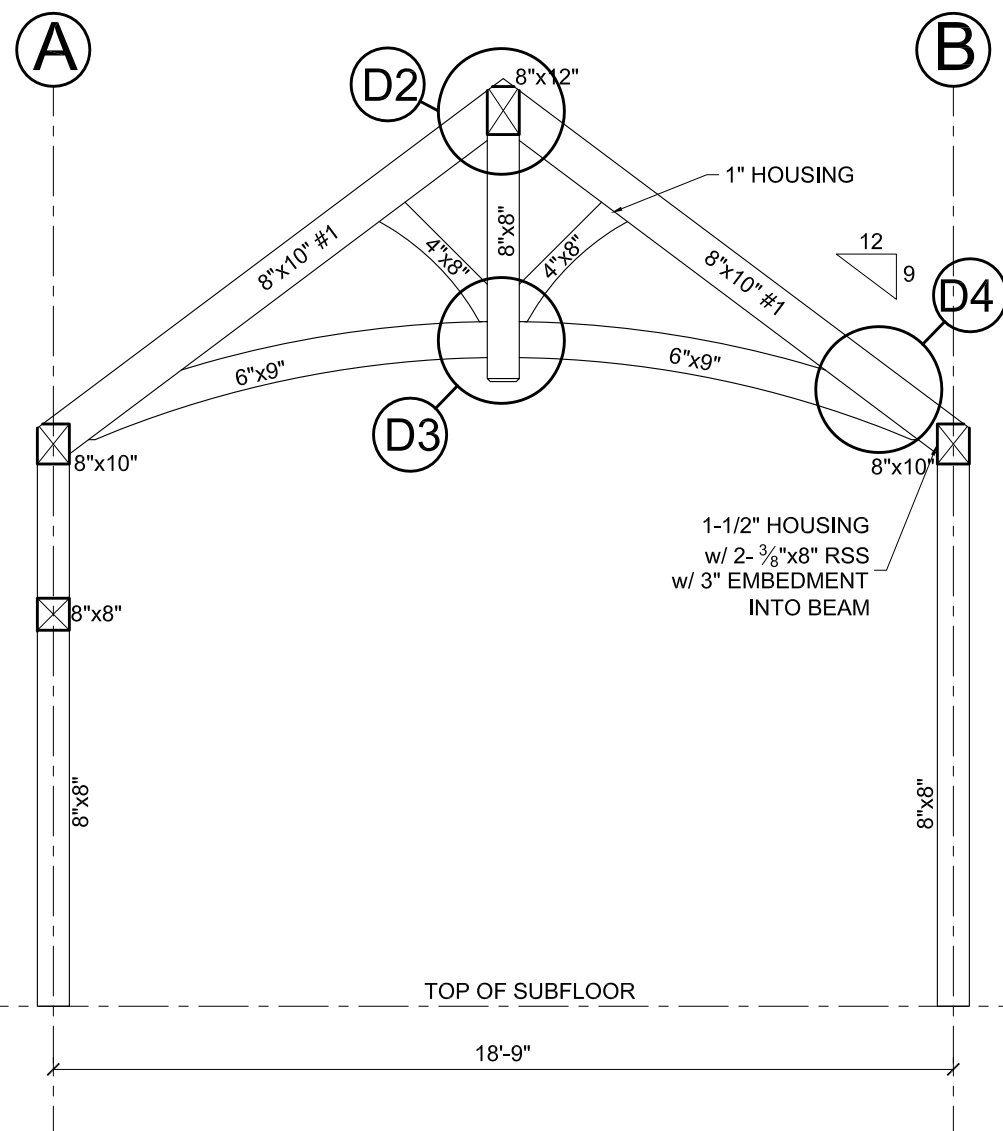
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

SECTION & DETAIL

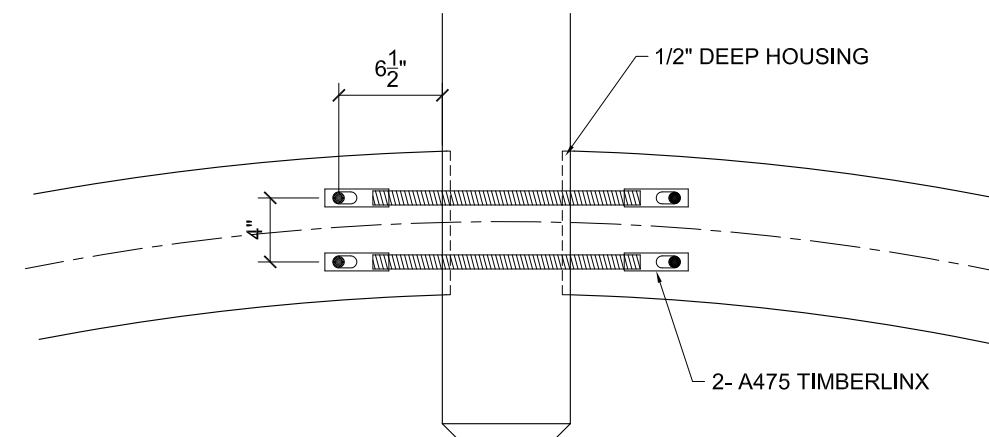
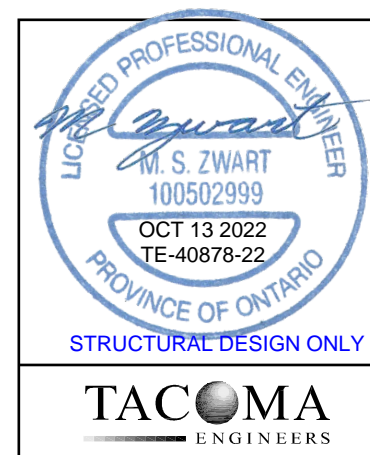
$$1/4" = 1'-0"$$

S 3

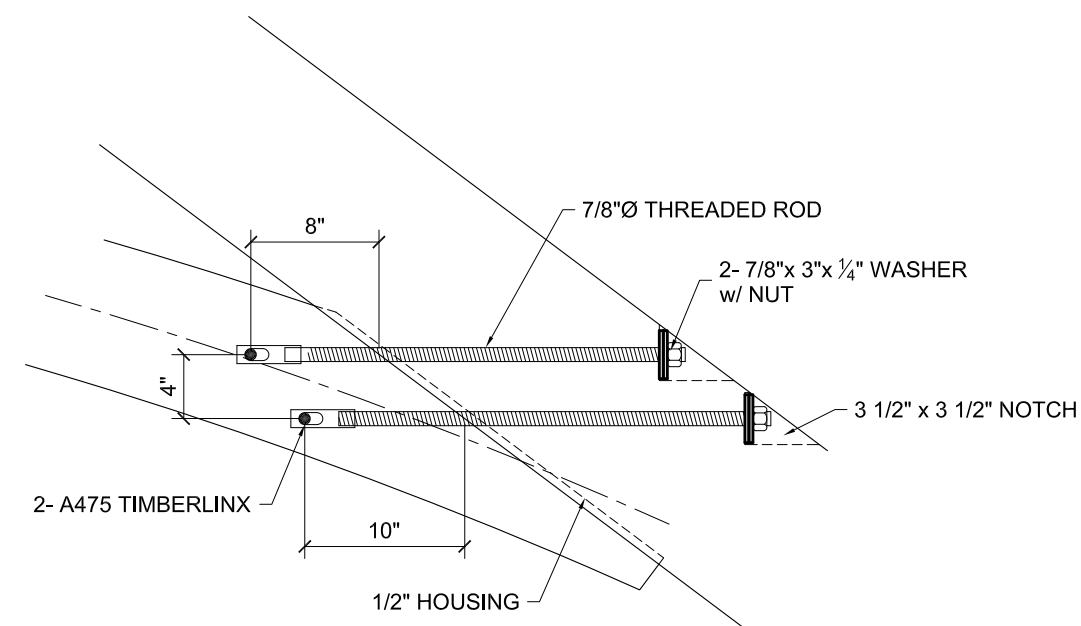


SECTION @ GRIDLINE 2

All timbers are to be full dimension Pine No.2 or better, U.N.O.



DETAIL D3



DETAIL D4



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MOUNT FOREST, ONTARIO
N0G 2L0

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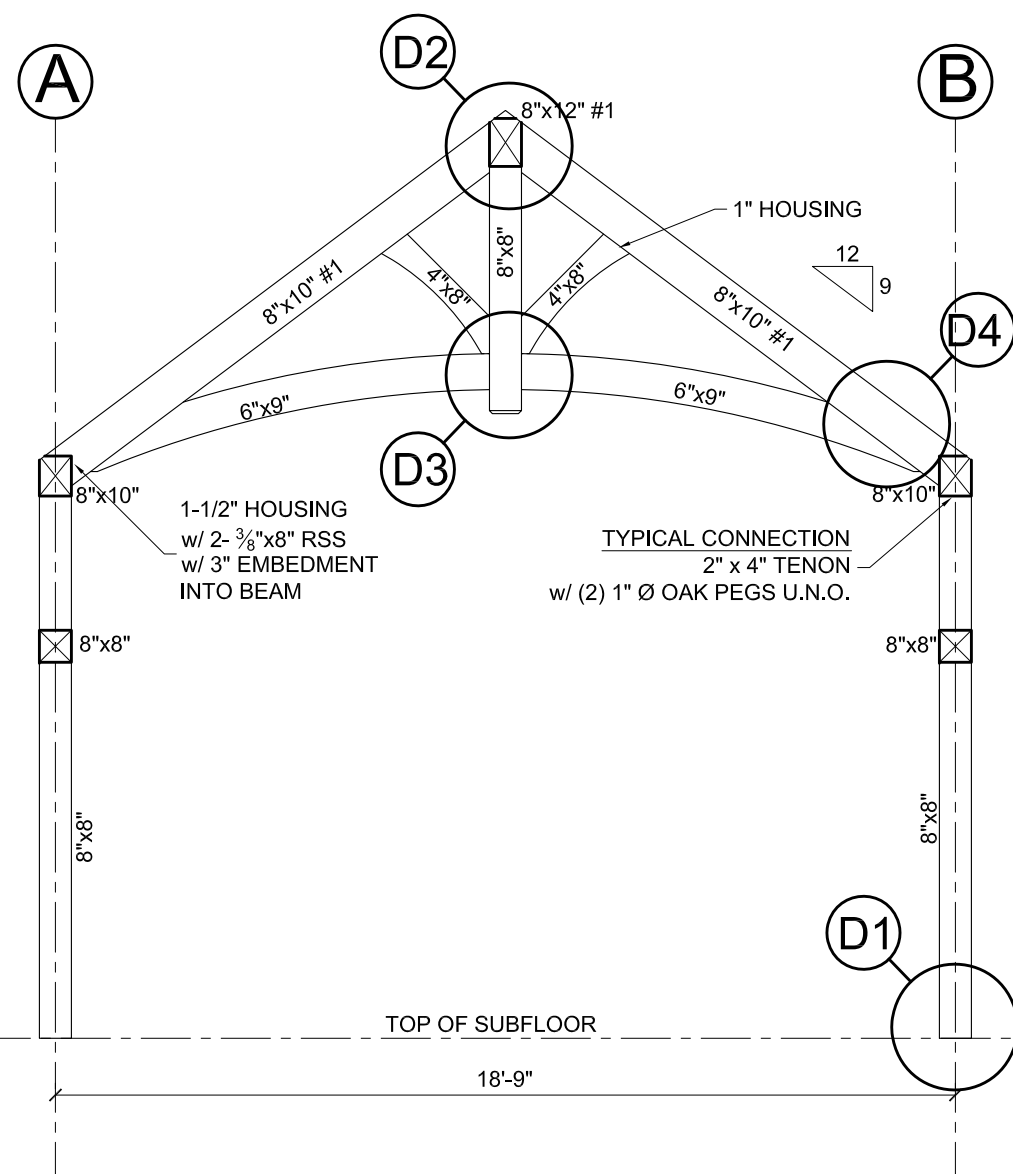
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

SECTION & DETAIL

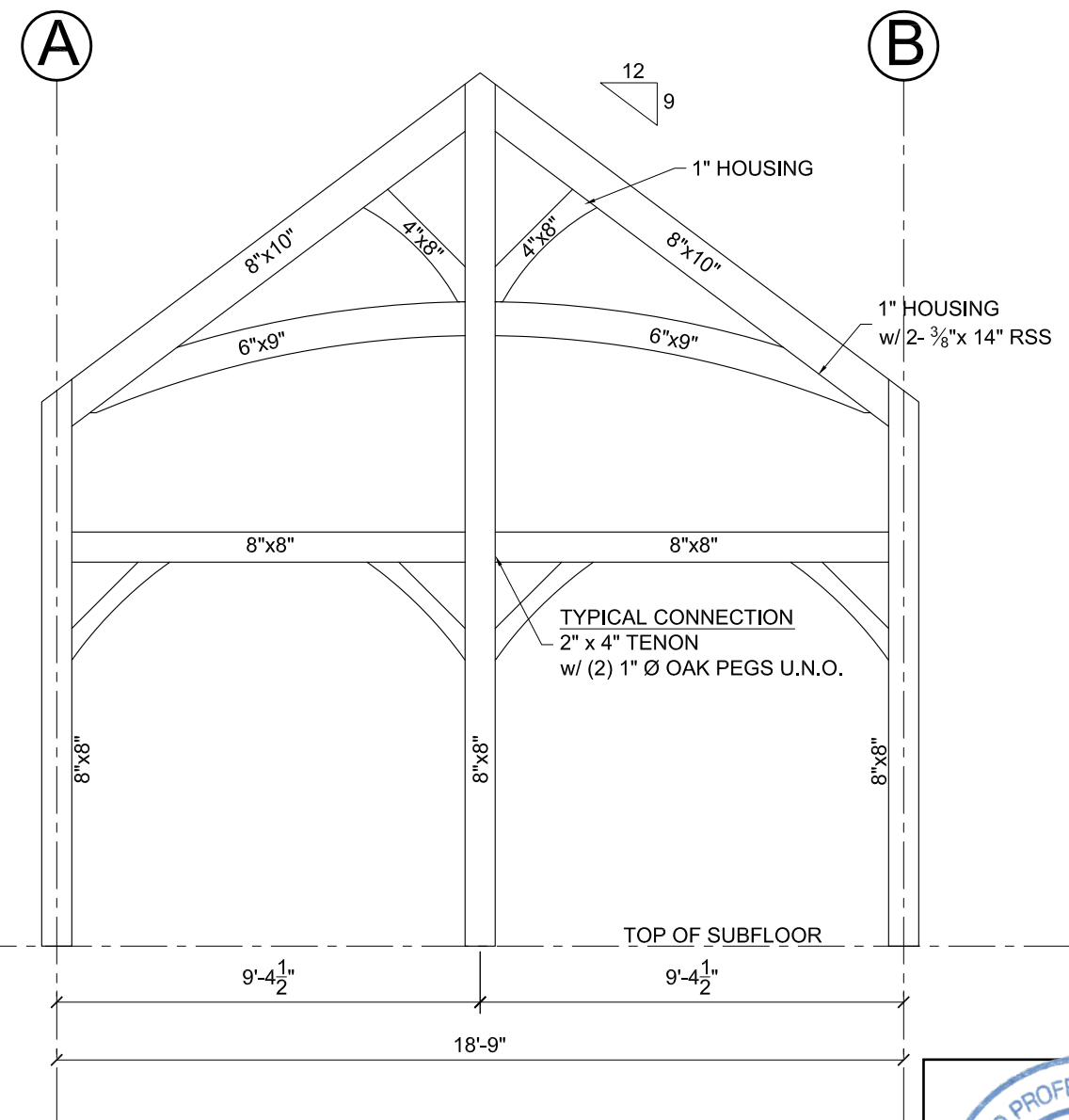
1/4" = 1'-0"

S4



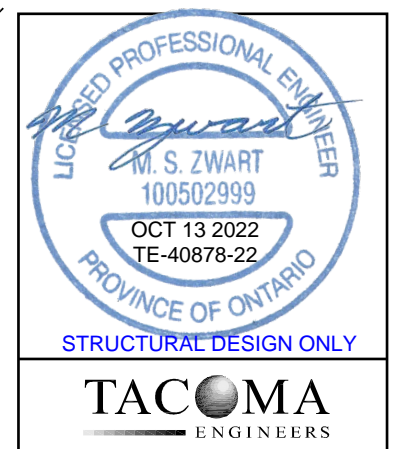
SECTION @ GRIDLINE 3

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SECTION @ GRIDLINE 4

All timbers are to be full dimension Pine No.2 or better, U.N.O.



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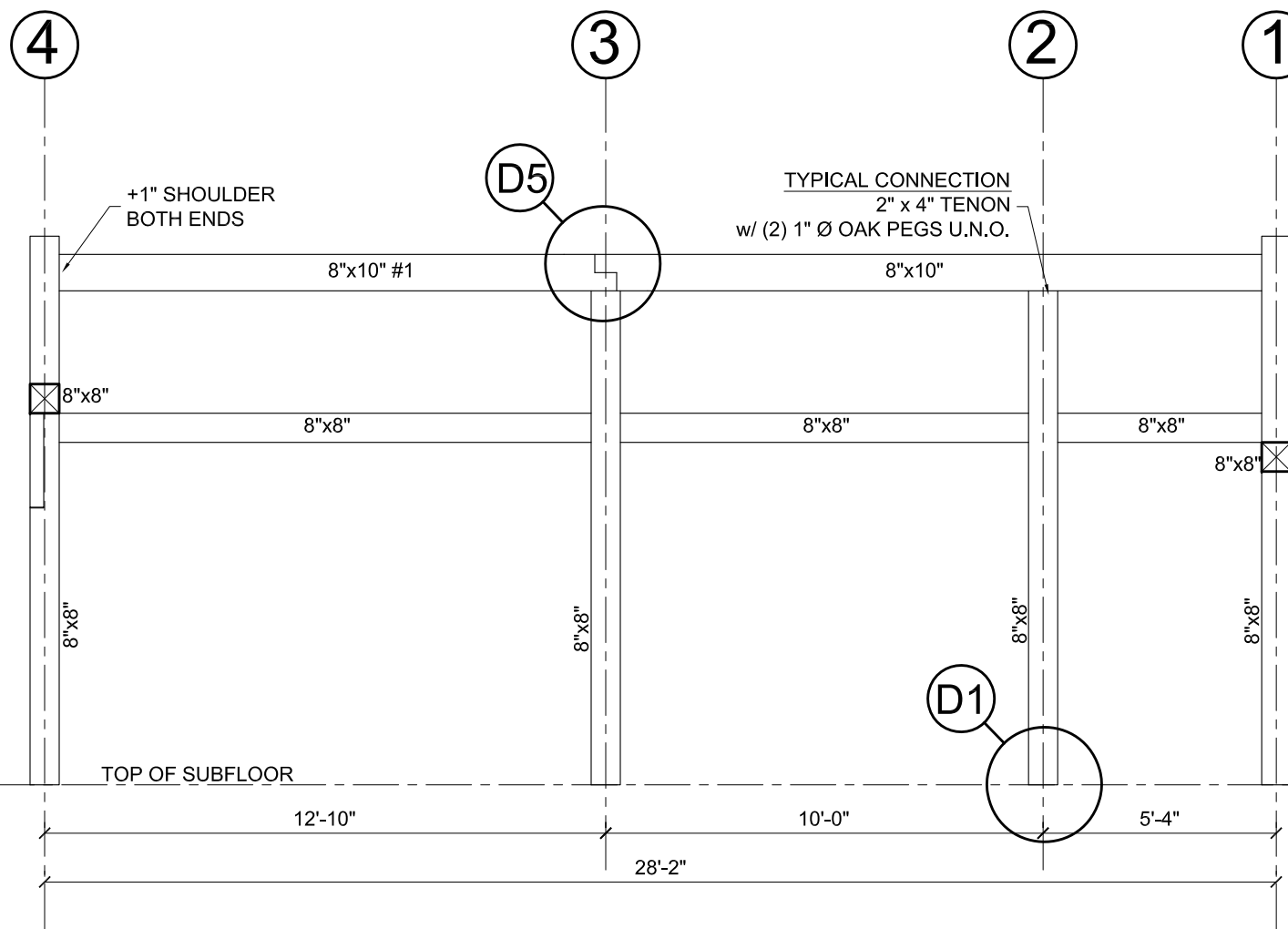
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

SECTIONS

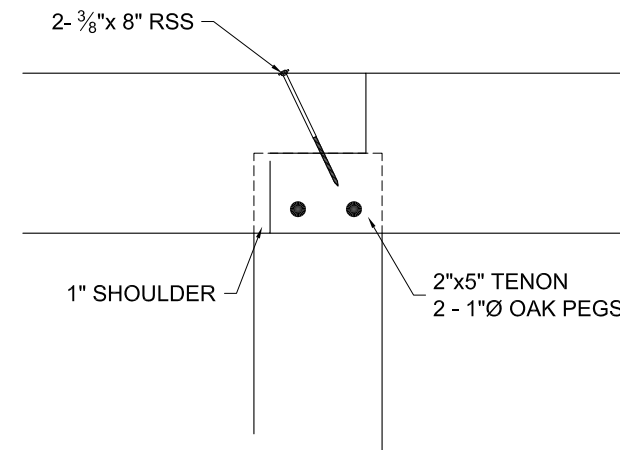
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S5

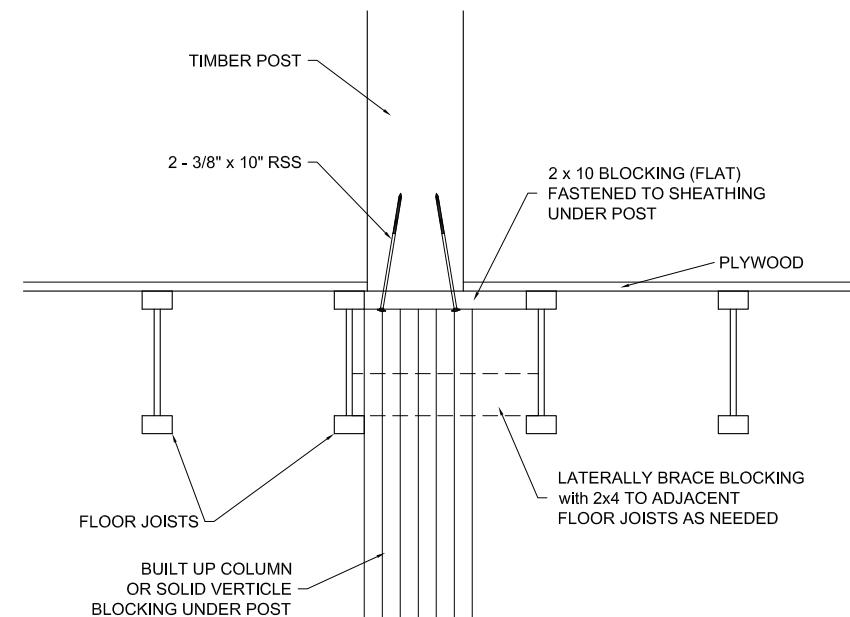


SECTION @ GRIDLINE A

All timbers are to be full dimension Pine No.2 or better, U.N.O.



DETAIL D5



TYPICAL POST BLOCKING DETAIL - D1



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MOUNT FOREST, ONTARIO
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FAX 519-323-3382

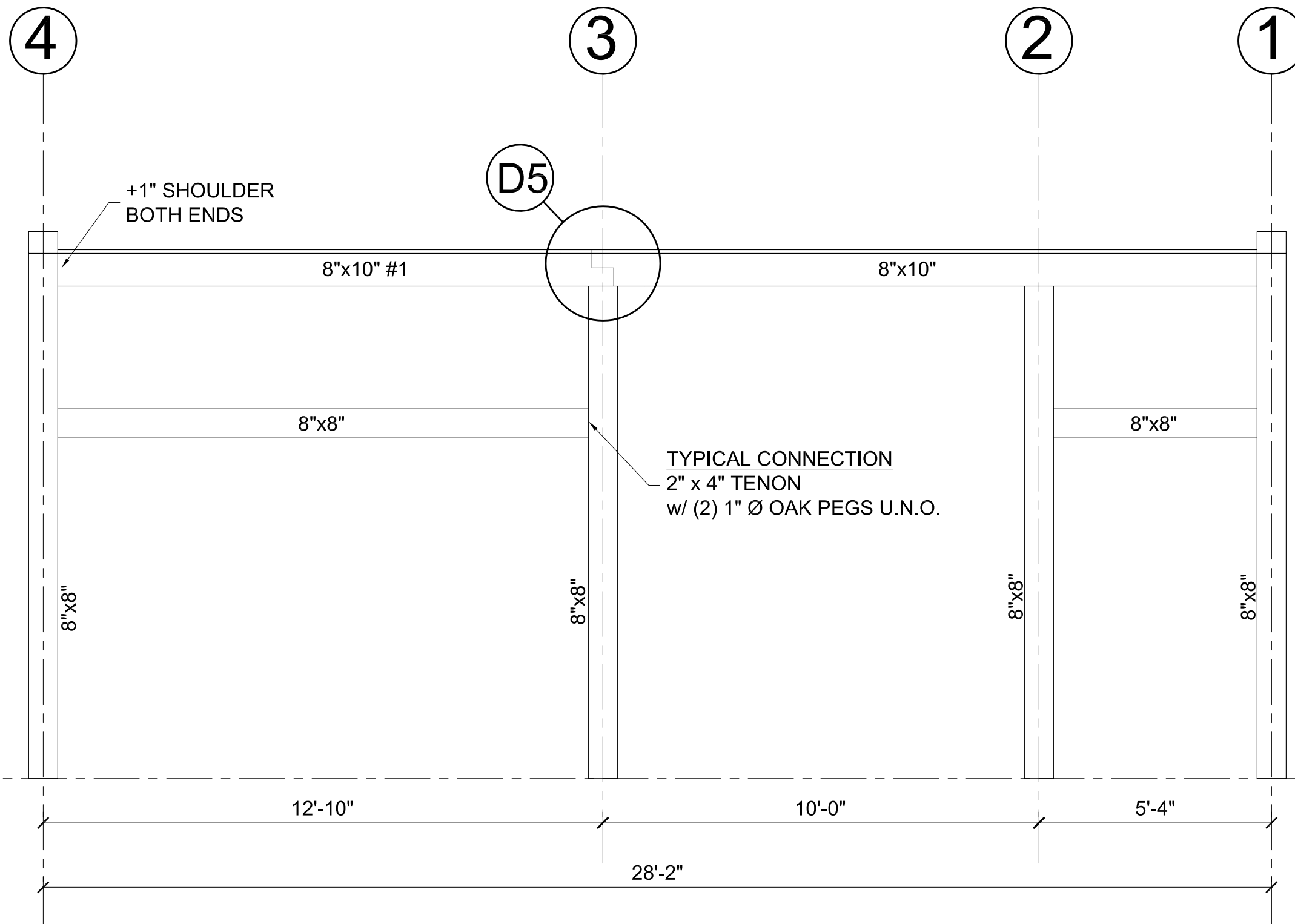
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

SECTION & DETAIL

1/4" = 1'-0"

S6



SECTION @ GRIDLINE B

All timbers are to be full dimension Pine No.2 or better, U.N.O.



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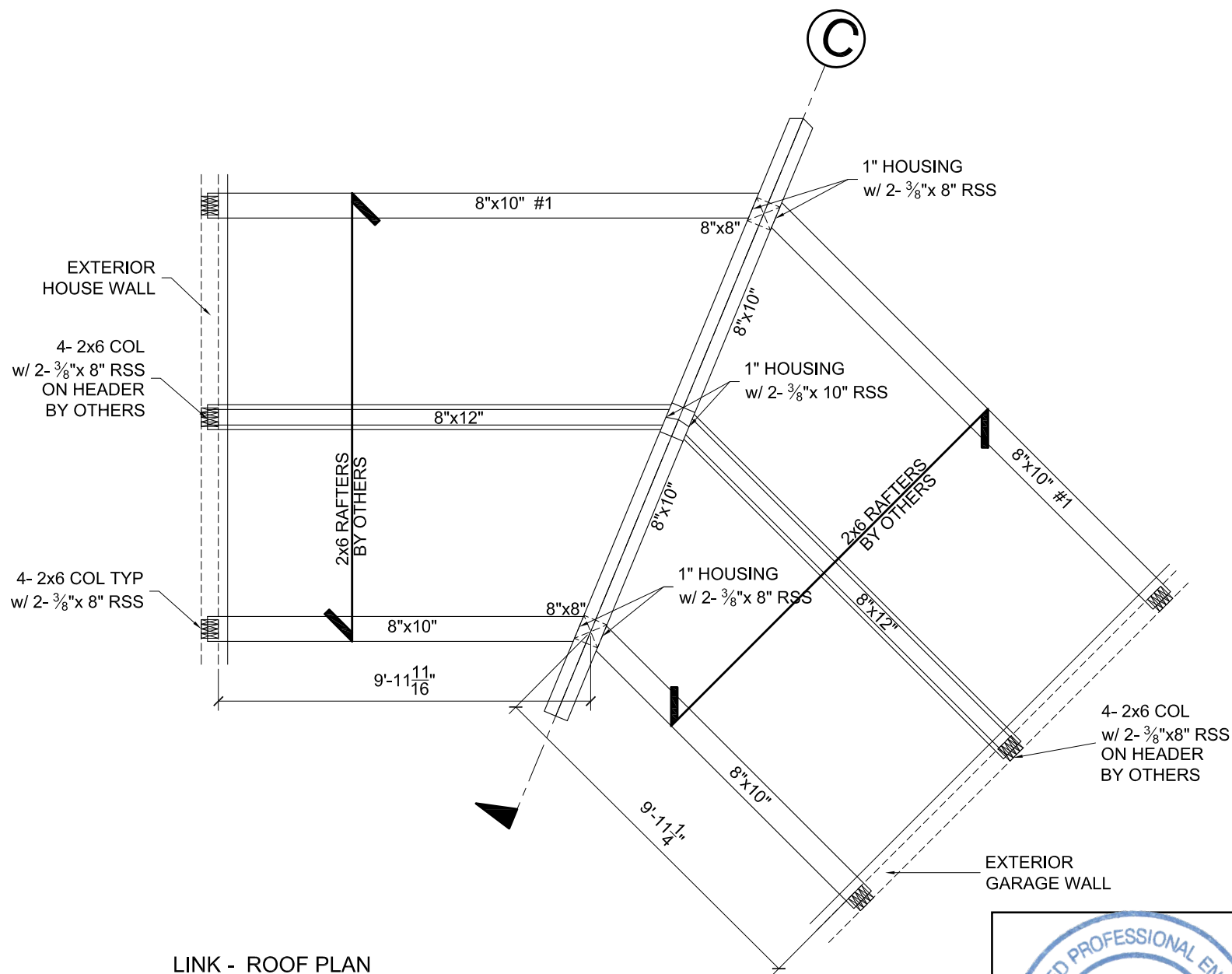
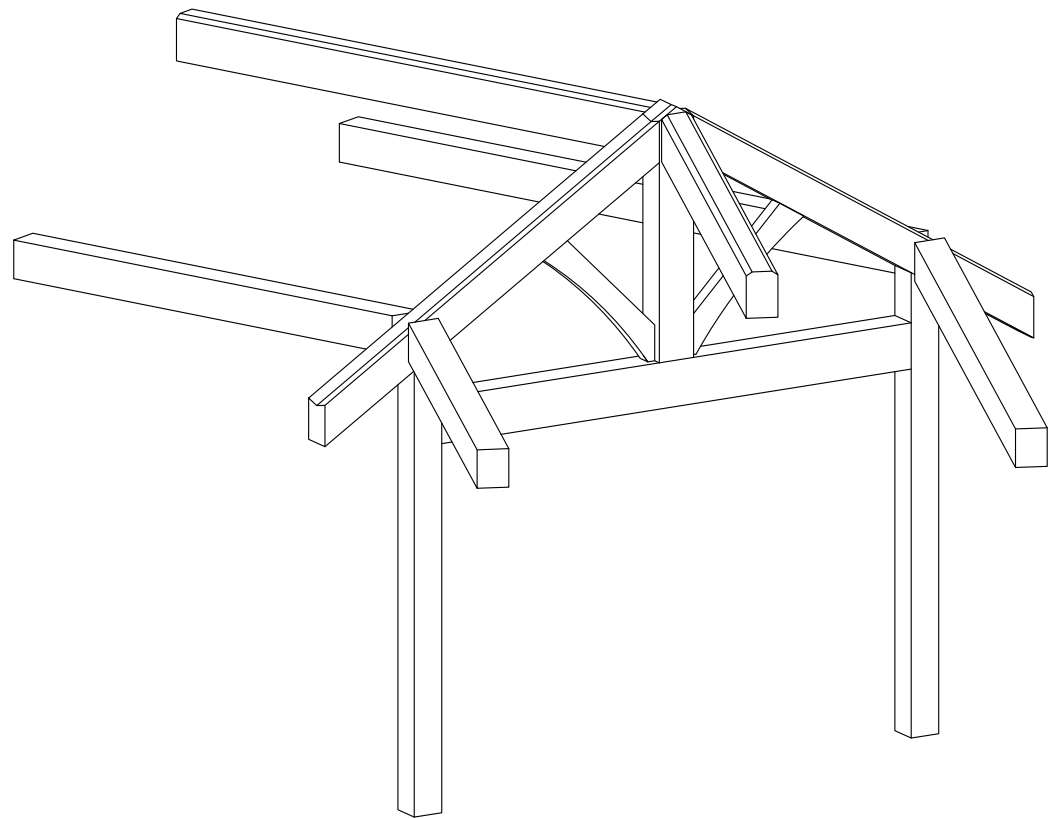
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

SECTION

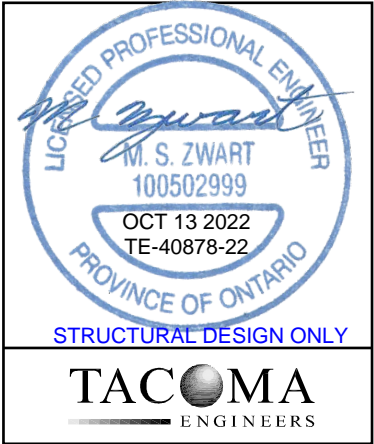
3/8" = 1'-0"

S7



LINK - ROOF PLAN

All timbers are to be full dimension Pine No.2 or better, U.N.O.



147 NORPARK AVE.
MOUNT FOREST, ONTARIO
N0G 2L0

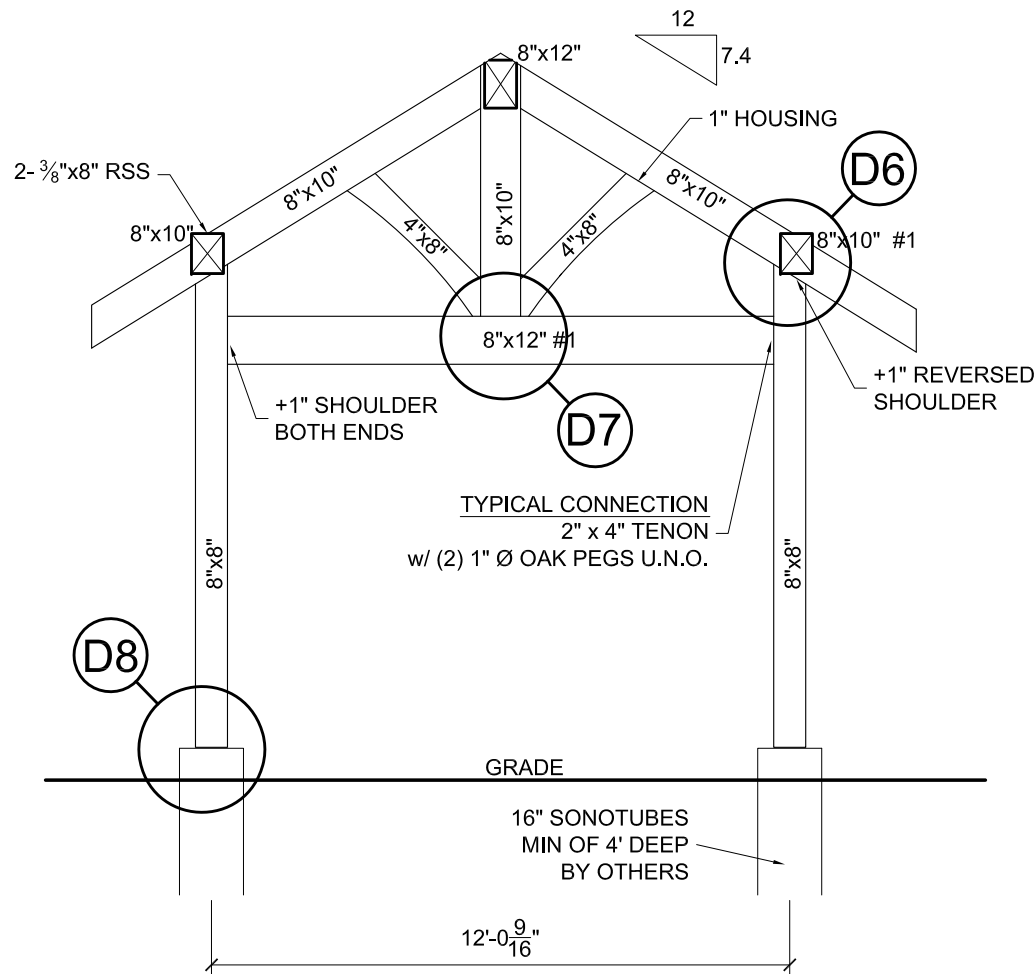
PHONE 519-323-3336
FAX 519-323-3382

TIPPING RESIDENCE
3236 Jerseyville Rd W, Jerseyville, Ontario

LINK - ROOF PLAN

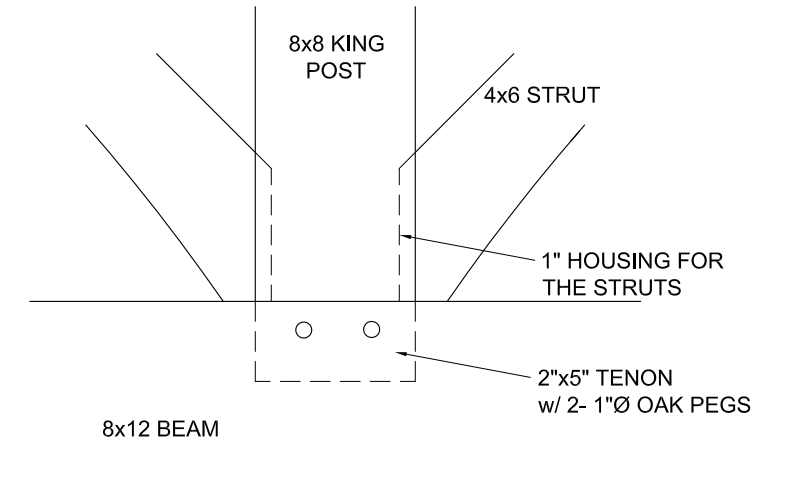
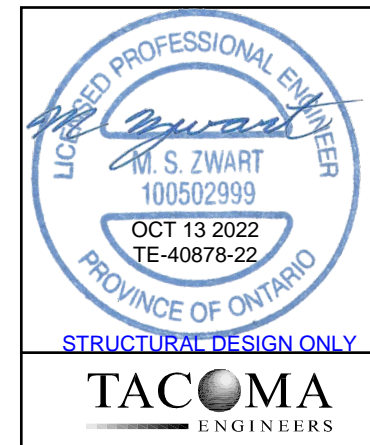
1/4" = 1'-0"

S8

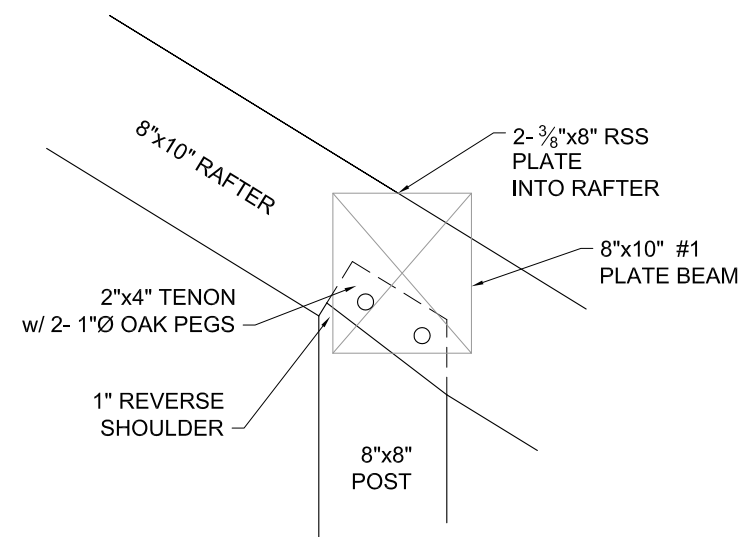


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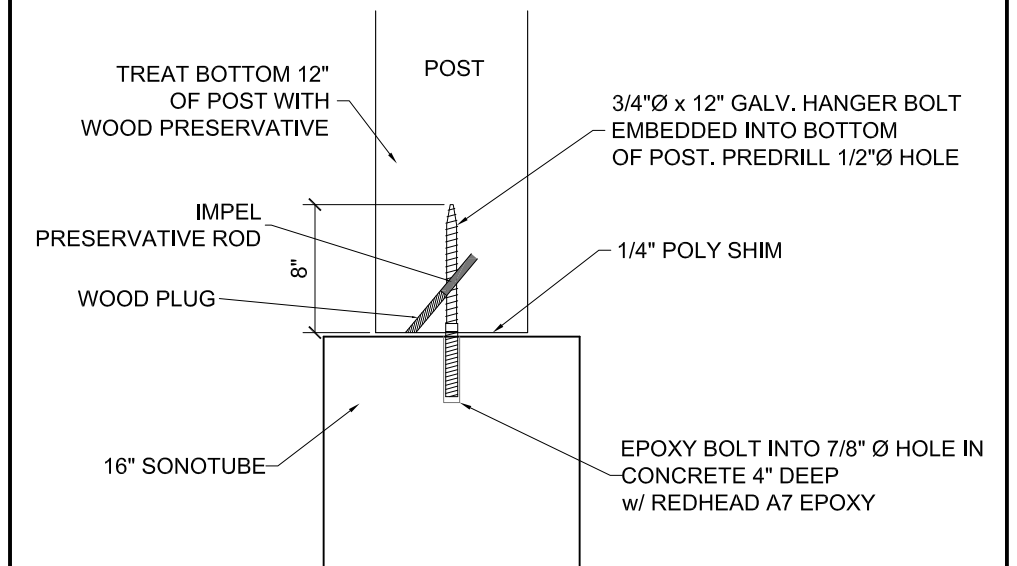
All timbers are to be full dimension Pine No.2 or better, U.N.O.



DETAIL D7



DETAIL D6



DETAIL D8



147 NORPARK AVE.
MOUNT FOREST, ONTARIO
N0G 2L0

PHONE 519-323-3336
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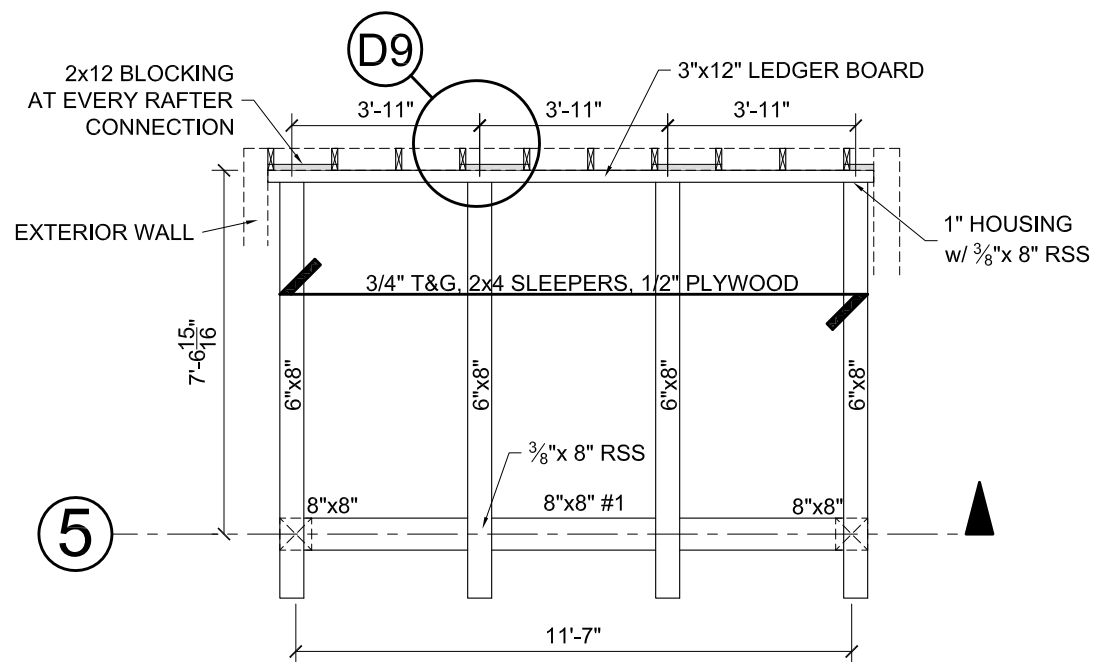
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

LINK- SECTION & DETAILS

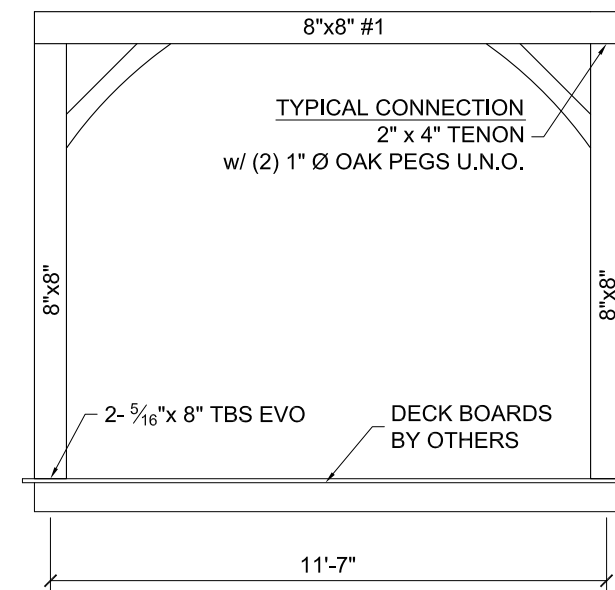
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S9



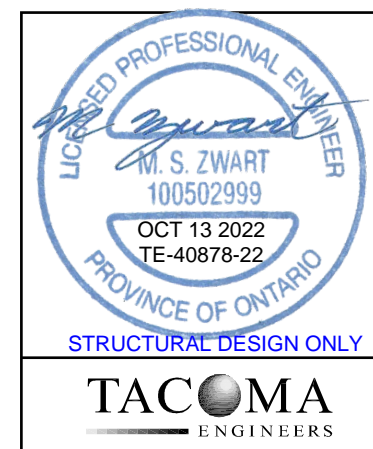
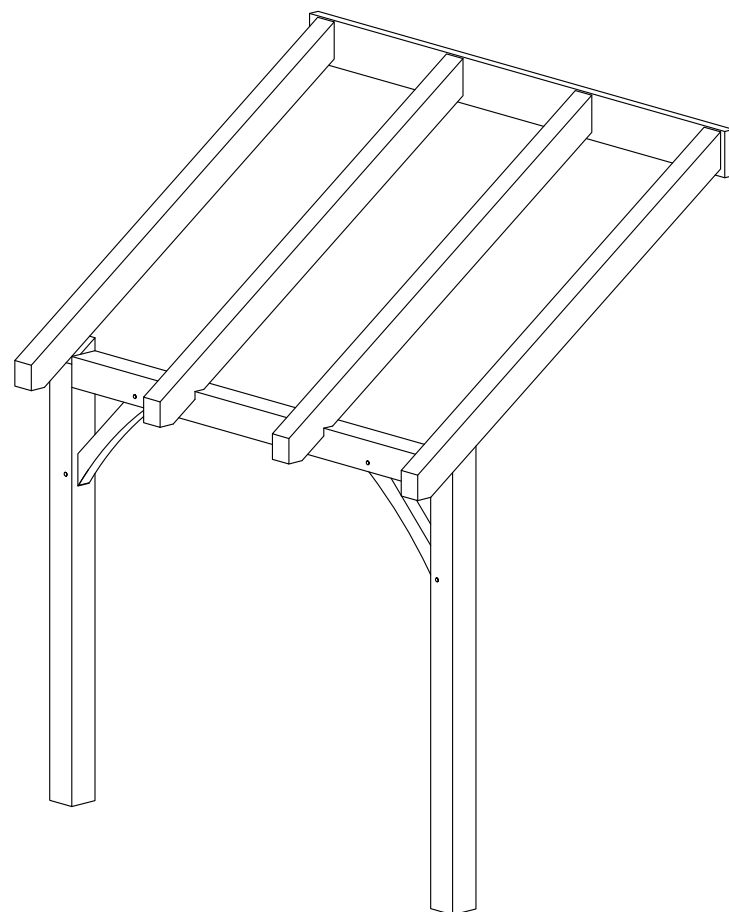
BACK DECK - ROOF PLAN

All timbers are to be full dimension Pine No.2 or better, U.N.O.



SECTION @ GRIDLINE 5

All timbers are to be full dimension Pine No.2 or better, U.N.O.



TACOMA
ENGINEERS

2x12x17.5 LONG INLET
SPANNING BETWEEN
ADJACENT 2x6 STUDS.
FRAMING 3x12 CONTINUOUS

FASTEN LEDGER TO
2x12 INLET INTO STUDS
w/ 4 - 5/16"x4" RSS
@ EACH RAFTER POCKET

1" DEEP HOUSING
w/ 1 - 3/8" x 8" RSS

3 x 12 LEDGER

6 x 8 RAFTER

2x6 STUD WALL
w/ OSB PLYWOOD

DETAIL D9



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MOUNT FOREST, ONTARIO
N0G 2L0

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FAX 519-323-3382

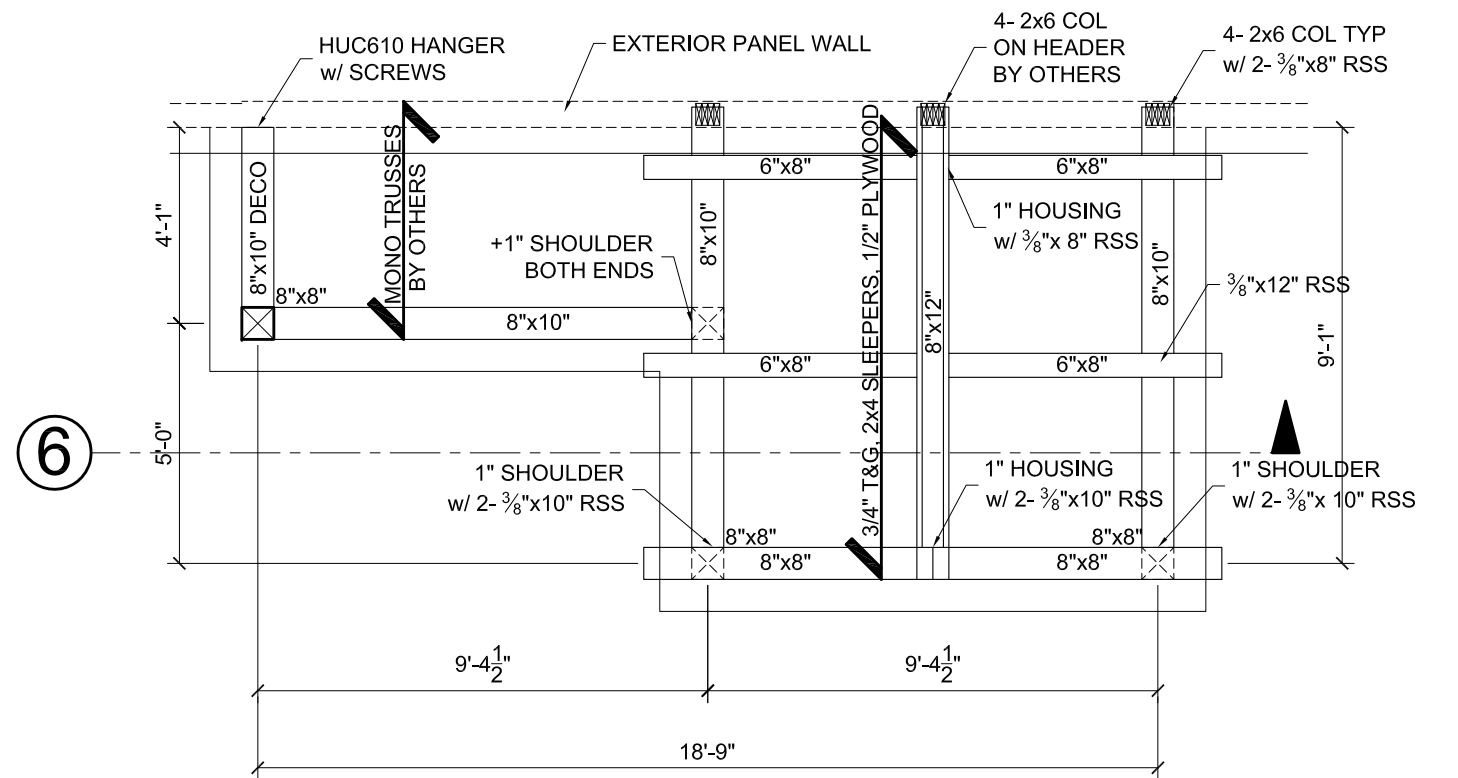
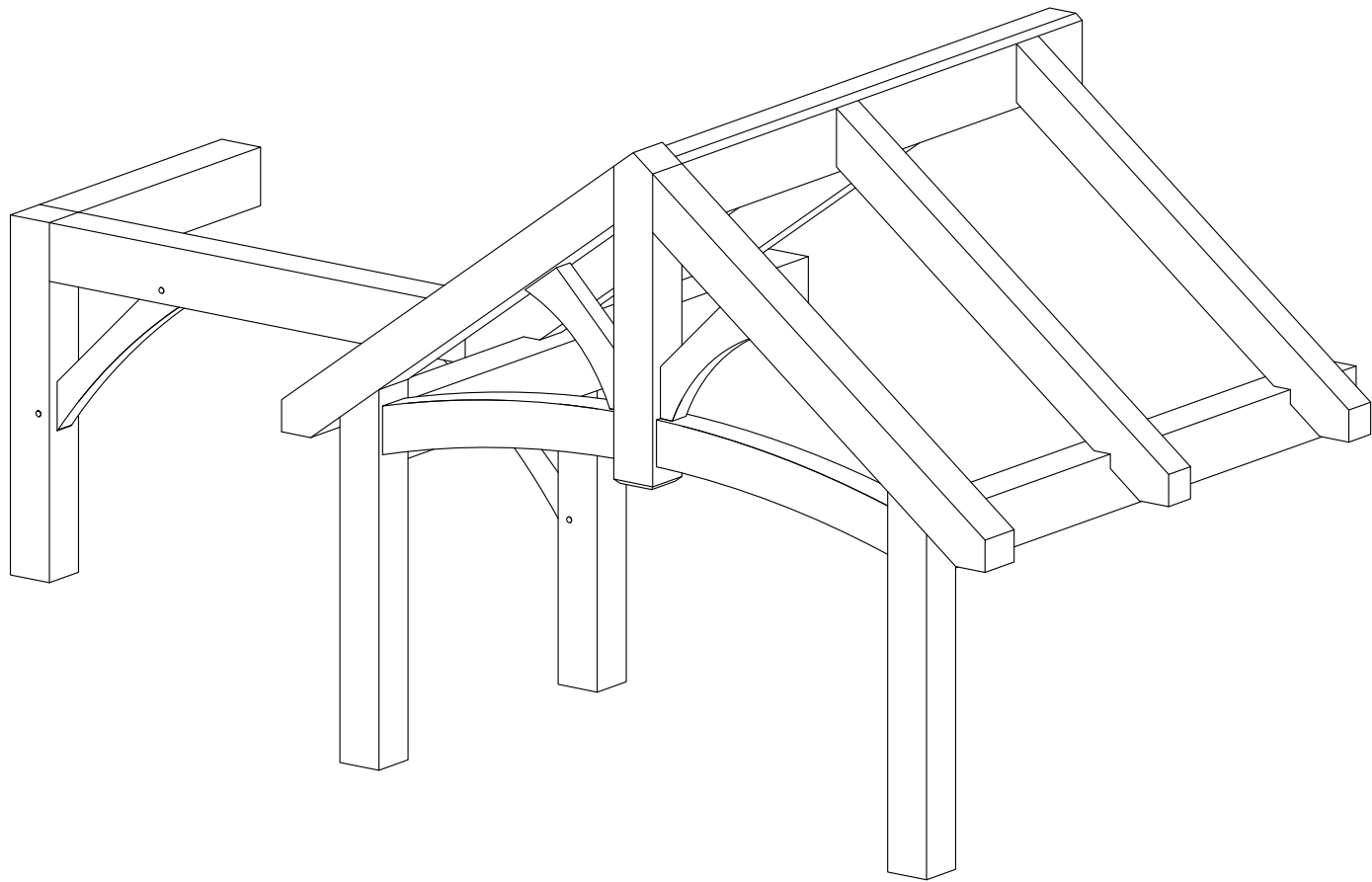
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

BACK DECK

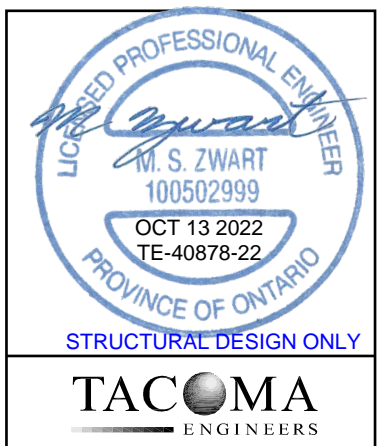
1/4" = 1'-0"

\$10



FRONT PORCH - ROOF PLAN

All timbers are to be full dimension Pine No.2 or better, U.N.O.



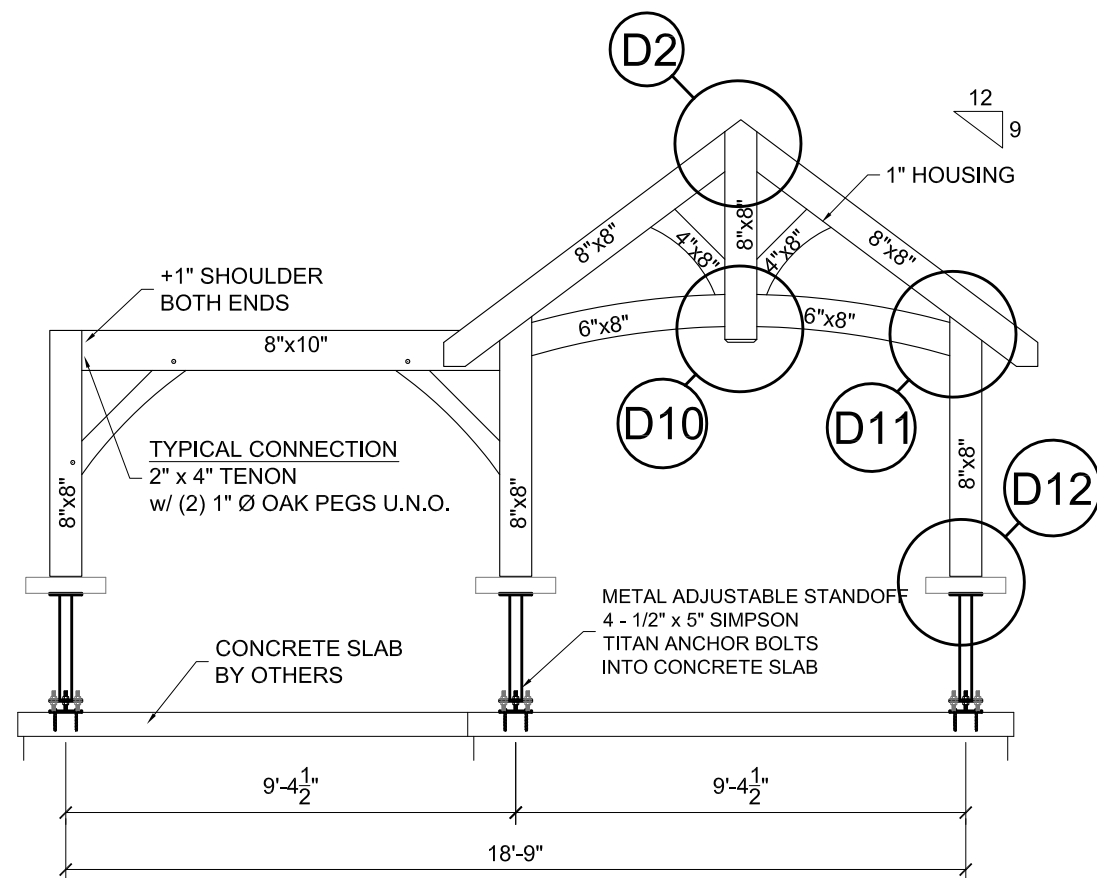
147 NORPARK AVE.
MOUNT FOREST, ONTARIO
N0G 2L0
PHONE 519-323-3336
FAX 519-323-3382

TIPPING RESIDENCE
3236 Jerseyville Rd W, Jerseyville, Ontario

FRONT PORCH - ROOF PLAN

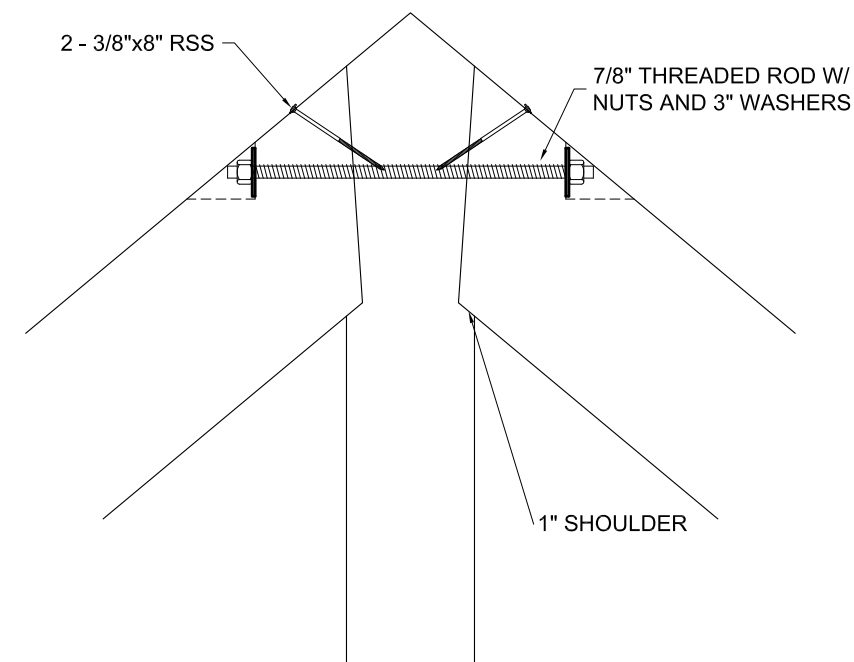
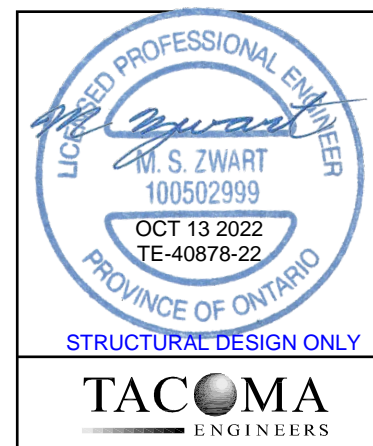
1/4" = 1'-0"

S11

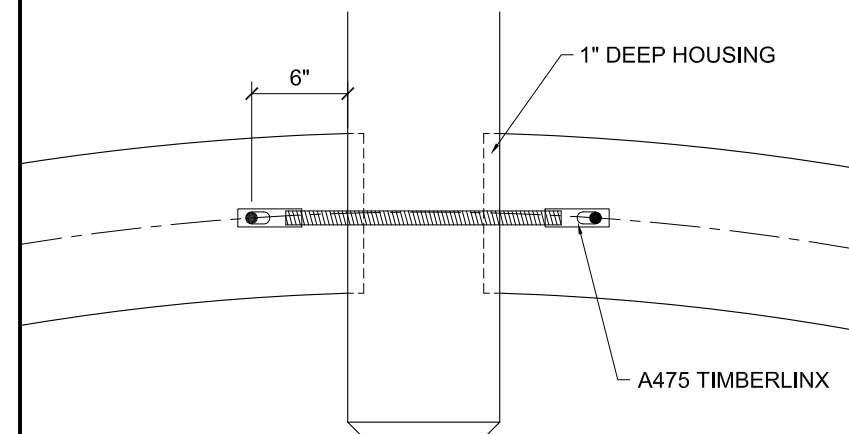


SECTION @ GRIDLINE 6

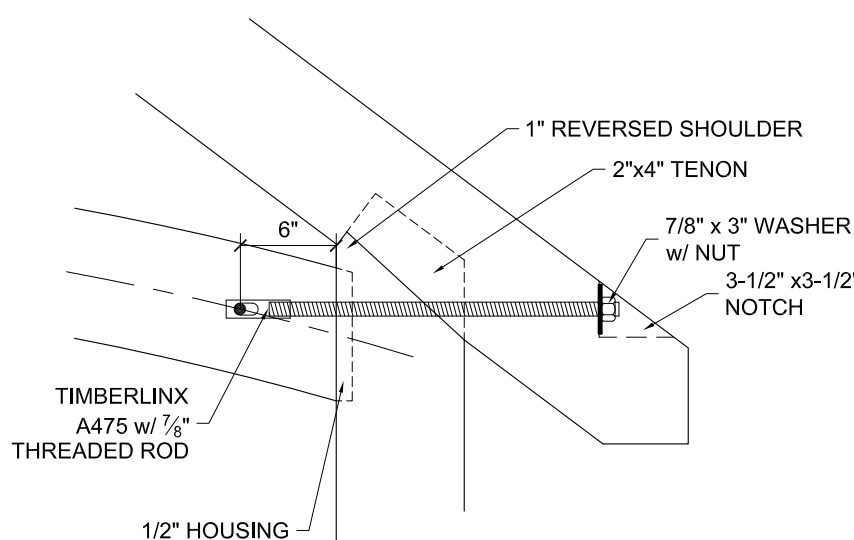
All timbers are to be full dimension Pine No.2 or better, U.N.O.



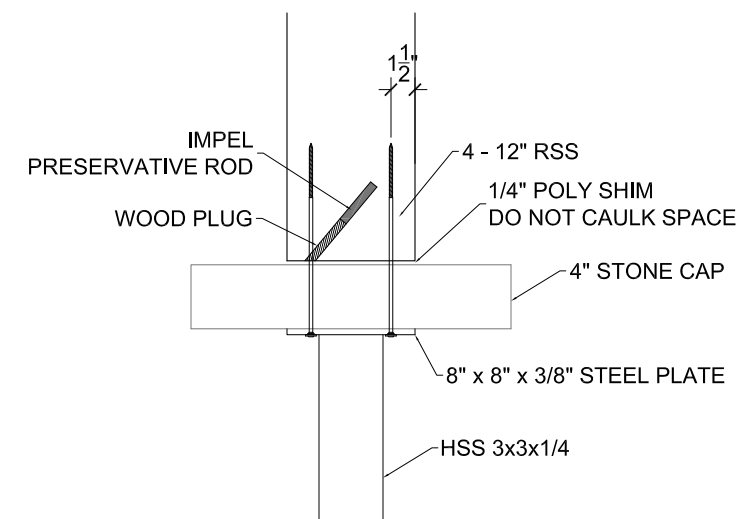
DETAIL D2



DETAIL D10



DETAIL 11



DETAIL D12



147 NORPARK AVE.
MOUNT FOREST, ONTARIO
N0G 2L0
PHONE 519-323-3336
FAX 519-323-3382

TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

FRONT PORCH

1/4" = 1'-0"

S12



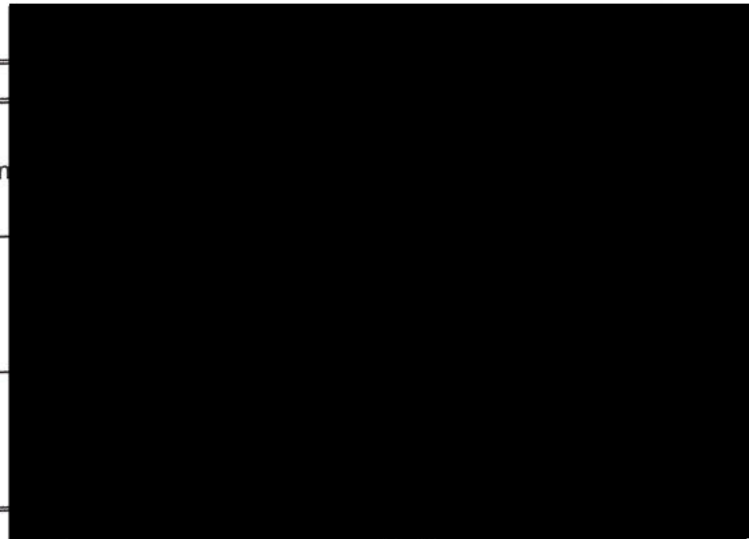
Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Scott & Anne-Marie Tipping
Applicant(s)	Scott Tipping
Agent or Solicitor	Scott Tipping



1.2 All correspondence should be sent to

☐ Purchaser
☐ Applicant

☒ Owner
☐ Agent/Solicitor

1.3 Sign should be sent to

☐ Purchaser
☐ Applicant

☒ Owner
☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes* ☐ No

If YES, provide email address where sign is to be sent stipping30@gmail.com

1.5 All correspondence may be sent by email

☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	3236 Jerseyville Rd. W. Hamilton, ON L0R 1R0		
Assessment Roll Number			
Former Municipality			
Lot	13	Concession	3
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Our new build home and accessory building (garage) are connected via an open breezeway which requires routine minor variance according to our City contacts. The accessory building includes a variance as the foundation corner of the garage is 7.2 m closer to road than home foundation. Also, the accessory structure is ~1 m higher than the allowable accessory building height (6 m) under by-law 05-200 4.8.1.2. The total height above grade 6.96 m for the accessory structure (garage). The two check-boxes below do not apply.

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The design of the home and garage was intended to be permitted as single dwelling. The building department stated that an open breezeway requires we apply for the garage as an accessory structure. To meet the requirements under 05-200 4.8.1.2 would require significant costs to redesign and relocate structures. A routine minor variance is a practical approach as discussed with City officials at the planning department.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
~30.26 m (On Street)	~1.08 km	~9.5 ha	~7.5 m (Total Width)

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Implement Shed (Farm Use)	~37.45 m	+100 m	~7.88 m	10/01/2004
Home (To be demolished)	~15.62 m	+100 m	~28.17 m	12/01/2003
Barn	~24.13 m	+100 m	~4.00 m	01/01/1920

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Proposed Home	56.04 m	+100 m	32.7 m	12/01/2023
Proposed Garage	48.99 m	+100 m	17.7 m	12/01/2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Implement Shed (Farm Use)	~77.3 sqm	~77.3 sqm	1	TBD < 6m
Home (To be demolished)	~131.9 sqm	~131.9 sqm	1	TBD < 6m
Barn	~185 sqm	~370 sqm	2	TBD ~ 8m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Proposed Home	186 sqm	186 sqm	1	6.90 m
Proposed Garage	62.4 sqm	62.4 sqm	1	6.96 m

- 4.4 Type of water supply: (check appropriate box)
- ☐ publicly owned and operated piped water system
- ☒ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☐ publicly owned and operated storm sewers
- ☐ swales

- ☒ ditches
- ☐ other means (specify)
- _____

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- ☐ publicly owned and operated sanitary sewage
- ☐ system privately owned and operated individual
- ☒ septic system other means (specify) Septic
- 4.7 Type of access: (check appropriate box)
- ☐ provincial highway
- ☐ municipal road, seasonally maintained
- ☒ municipal road, maintained all year
- ☐ right of way
- ☐ other public road
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
- Single detached dwelling
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
- Single detached dwelling and agricultural use

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
- Current property owners acquisition approx. May 2009
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
- Single detached dwelling
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
- Single detached dwelling
- 7.4 Length of time the existing uses of the subject property have continued:
- Approx. 20 Years
- 7.5 What is the existing official plan designation of the subject land?
- Rural Hamilton Official Plan designation (if applicable): N/A
- Rural Settlement Area: N/A
- Urban Hamilton Official Plan designation (if applicable) N/A
- Please provide an explanation of how the application conforms with the Official Plan.
- N/A
- 7.6 What is the existing zoning of the subject land? A1
- 7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)
- ☐ Yes ☒ No
- If yes, please provide the file number: A1 <-- This section is N/A

-
- 7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*? ☐ Yes ☒ No

If yes, please provide the file number: _____

- 7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes ☐ No

- 7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

The existing dwelling is to be demolished.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☐ Application Fee
- ☐ Site Sketch
- ☐ Complete Application form
- ☐ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
-
-
-