Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION	AN/A-23:41	SUBJECT	3236 JERSEYVILLE ROAD W,
NO.:		PROPERTY:	ANCASTER
ZONE:	"A1" (Agriculture)	ZONING BY-	Zoning By-law City of Hamilton 05-
		LAW:	200, as Amended

APPLICANTS: Owner: SCOTT AND ANNE-MARIE TIPPING

The following variances are requested:

- 1. Accessory buildings shall be permitted to be located within the front yard instead of the requirement no accessory buildings or structures shall be located within a front yard.
- 2. A maximum accessory building height of 7.0m shall be permitted instead of the existing 6.0m maximum accessory building height required.
- 3. A maximum aggregate gross floor area of 324.7m2 shall be permitted for all buildings accessory to the single detached dwelling instead of the requirement that all buildings accessory to a single detached dwelling in an A1 zone shall not exceed a maximum aggregate floor area of 200m2.

PURPOSE & EFFECT: To permit the construction of a proposed 62.4m2 accessory building;

Notes:

- 1. Applicant to note section 4.8 f) of Hamilton zoning by-law 05-200, which states the following;
 - Except as permitted in Subsection 4.18 a), an Accessory Building shall not be erected prior to the erection of the principal building or structure on the lot.
- 2. It is unclear if building height is provided as defined in Hamilton Zoning By-law 05-200. The applicant shall ensure that the height of the building has been measured from grade as defined in the zoning By-law; otherwise, additional variances may be required.

AN/A-23:41

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, March 30, 2023	
TIME:	3:05 p.m.	
PLACE:	Via video link or call in (see attached sheet for details)	
	2 nd floor City Hall, room 222 (see attached sheet for	
	details), 71 Main St. W., Hamilton	
	To be streamed (viewing only) at	
	www.hamilton.ca/committeeofadjustment	

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, <u>including deadlines</u> for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding AN/A-23:41, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: March 14, 2023

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners <u>must register by noon the day</u> <u>before the hearing</u> to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

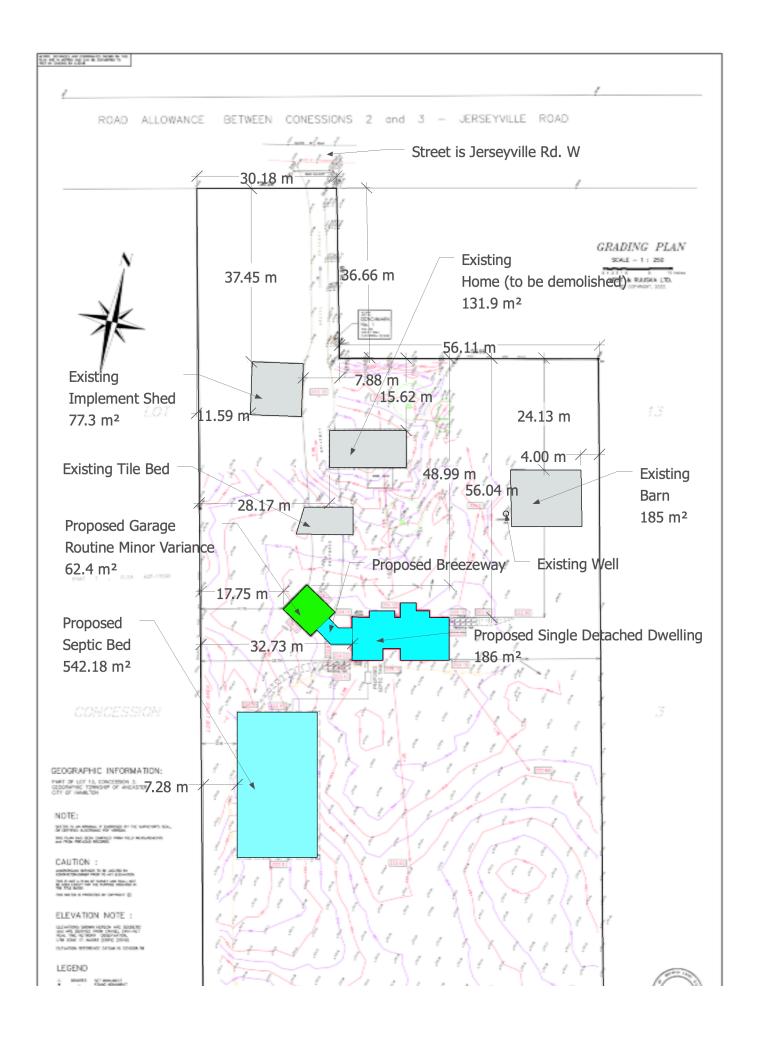
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. ROAD ALLOWANCE BETWEEN CONESSIONS 2 and 3 - JERSEYVILLE ROAD CENTRE OF TROAD 30.26 GRADING PLAN SCALE - 1 : 250 5 4 3 2 1 0 5 WEST & RUUSKA LTD. COPYRIGHT, 2023. SITE BENCHMARK No. 1 NAIL ON UTILITY POLE ELEVATION= 223.00 **55.99**POST an AGRICULTURAL IMPLEMENT SHED () / PART 1 , PLAN 62R-19232 CONCESSION GEOGRAPHIC INFORMATION: PART OF LOT 13, CONCESSION 3, GEOGRAPHIC TOWNSHIP OF ANCASTER CITY OF HAMILTON NOTE: 250mm T-6-10 SAND SKETCH IS AN ORIGINAL IF EMBOSSED BY THE SURVEYOR'S SEAL, OR CERTIFIED ELECTRONIC PDF VERSION. THIS PLAN HAS BEEN COMPILED FROM FIELD MEASUREMENTS and FROM PREVIOUS RECORDS. CAUTION: UNDERGROUND SERVICES TO BE LOCATED BY CONTRACTOR/OWNER PRIOR TO ANY EXCAVATION. THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK. THIS SKETCH IS PROTECTED BY COPYRIGHT (C) **ELEVATION NOTE:** ELEVATIONS SHOWN HEREON ARE GEODETIC and ARE DERIVED FROM CANSEL CAN-NET REAL TIME NETWORK OBSERVATION, UTM ZONE 17, NAD83 (CSRS) (2010). ELEVATION REFERENCE DATUM IS CGVD28:78 **LEGEND** SET MONUMENT FOUND MONUMENT IRON BAR **DENOTES** IBØ SIB SSIB UP DEC ROUND IRON BAR JIM JOHNSON STANDARD IRON BAR SHORT STANDARD IRON BAR UTILITY POLE DECIDUOUS TREE DIAMETER (millimetres) PROPOSED SWALE GENERAL DRAINAGE TOP OF FOUNDATION ELEVATION UNDERSIDE OF FOOTING ELEVATION WEST & RUUSKA LTD.
Land Surveyors FINISHED FLOOR ELEVATION 208.00 ACTUAL FIELD ELEVATION 208.00 DESIGN ELEVATION Land Surveyors 17 NELSON STREET, BRANTFORD, N3T 2M6 Date: 14 February, 2023. Telephone (519)752-8641

DRAWN BY: Ted S. KUTYLA, CST, CET

P220081

TIPPING RESIDENCE

STRUCTURAL NOTES: 1. UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN. 2. ALL WORK ON THIS PROJECT SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE (OBC 2012 r2020), ANY LOCAL REGULATIONS AND BYLAWS, AND THE 2012 OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA) FOR CONSTRUCTION PROJECTS. ALL CODES AND STANDARDS SHALL BE THOSE REFERENCED IN OBC 2012 r2020. 3. READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS AND MECHANICAL AND ELECTRICAL DRAWINGS. 4. IF ANY STRUCTURAL DISCREPANCIES ON THE DRAWINGS EXIST, THE MOST STRINGENT SHALL APPLY. 5. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE SITE AND REPORT TO THE DESIGNER ANY DISCREPANCIES OR UNSATISFACTORY CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE PROJECT BEFORE PROCEEDING WITH THE WORK 7. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR CONSTRUCTION LOADS AND TEMPORARY BRACING TO KEEP STRUCTURE PLUMB AND IN TRUE ALIGNMENT ATALL PHASES OF CONSTRUCTION. ANY BRACING MEMBERS SHOWN ON THE DRAWINGS ARE REQUIRED FOR THE FINISHED STRUCTURE AND MAY NOT BE SUFFICIENT 8. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY. NO CHANGES SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL. 9. CONTACT TACOMA ENGINEERS FOR CONSTRUCTION REVIEWS AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT. I. DESIGN LOADS ARE UNFACTORED UNLESS NOTED OTHERWISE. A. CLIMATIC DESIGN DATA (JERSEYVILLE, ONTARIO): B. Ss = 1.5 kPa Sr = 0.4 kPag1/50 = 0.46 kPaROOF (SNOW) = 1.23 kPa C. ROOF (DEAD) = 0.75 kPa D. FLOOR (LIVE) = 1.9 kPa FOUNDATIONS TO BEAR DIRECTLY ON MATERIAL SUITABLE FOR 75 kPa (1500 psf) BEARING PRESSURE, UNLESS NOTED OTHERWISE. 3. ALL GUARDS SHALL CONFORM TO OBC 9.8.8. AND SUPPLEMENTARY STANDARD SB-7. 1. SOIL BEARING CAPACITY ONSITE TO BE VERIFIED BY LOCAL BUILDING DEPARTMENT OR GEOTECHNICAL ENGINEER PRIOR TO THE PLACING OF FOUNDATIONS. ANY NON-CONFORMANCE WITH THE SPECIFIED MINIMUM CAPACITIES MUST BE IMMEDIATELY REPORTED TO THE STRUCTURAL ENGINEER. 2. FOOTINGS TO BEAR DIRECTLY ON UNDISTURBED NATIVE SOILS OR APPROVED ENGINEERED FILL SUITABLE FOR MINIMUM DESIGN BEARING PRESSURES. 3. ENSURE FOUNDATION WALLS ARE LATERALLY SUPPORTED BEFORE BACKFILLING. 4. PLACE FOOTINGS WHICH ARE EXPOSED TO FREEZING WEATHER A MINIMUM OF 48" BELOW FINISHED GRADE UNLESS SPECIFIED OTHERWISE 5. SOFT AREAS UNCOVERED DURING EXCAVATION SHALL BE SUB-EXCAVATED TO SOUND MATERIAL AND FILLED WITH CLEAN, FREE DRAINING GRANULAR SOIL COMPACTED TO 100% STANDARD PROCTOR DRY DENSITY (SPDD) 6. DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 24" IN HEIGHT AND NOT LESS THAN 24" IN LENGTH. 7. SHOULD UNDERGROUND WATER BE ENCOUNTERED, PROVIDE DEWATERING FACILITIES TO KEEP WATER LEVEL BELOW FOOTINGS AND POUR AN ADDITIONAL 3" LAYER 8. FOUNDATION WALLS TO BE CONNECTED TO STRIP FOOTINGS WITH SHEAR KEY OR 15M DOWELS X 16" LONG AT 4'-0" O.C. WITH 4" EMBEDMENT INTO FOOTING, U.N.O PROTECT SOIL FROM FREEZING AD JACENT TO AND RELOW ALL FOOTINGS. 10. BACKFILL AGAINST FOUNDATION WALL IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 18" DIFFERENT FROM THE LEVEL ON THE LOWER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY SUPPORT FOR THE WALL IS PROVIDED OR WALLS ARE DESIGNED FOR SUCH UNEVEN 11. LOCATE ALL FOOTINGS AND PIERS CENTRALLY UNDER COLUMNS AND WALLS UNLESS NOTED OTHERWISE. 2. FOUNDATION WALLS HAVE BEEN DESIGNED TO SUPPORT DRAINED EARTH. ENSURE GROUNDWATER DRAINAGE CAN OCCUR. 13. WHERE FOUNDATION WALL THICKNESS IS REDUCED AT TOP OF WALL TO ALLOW FOR STONE LEDGE, THE REDUCTION IN THICKNESS SHALL COMPLY WITH OBC 2012 1. ALL CONCRETE SHALL CONFORM TO OBC 9.3.1. AND ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO OBC 9.15 U.N.O. ON THE DRAWINGS. . THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE: 20 MPa FOR FOOTINGS, WALLS AND BEAMS 32 MPa FOR EXTERIOR REINFORCED SLABS WITH 5%-8% AIR ENTRAINMENT . MAINTAIN THE FOLLOWING CLEAR CONCRETE COVER TO REINFORCEMENT (U.N.O.): A) 40 mm (1.5") FOR CONCRETE PLACED IN FORMWORK FOR 15M OR SMALLER BARS B) 50 mm (2") FOR CONCRETE PLACED IN FORMWORK FOR 20M OR LARGER BARS. C) 65 mm (2.5") FOR SLAB ON GRADE, TOP OF SLAB TO TOP LAYER OF STEEL. D) 75 mm (3") FOR CONCRETE PLACED AGAINST THE EARTH (BOTTOM OF FOOTINGS). CHAIRS SHALL BE USED TO MAINTAIN THE SPECIFIED CONCRETE COVER. 4. USE HIGH FREQUENCY VIBRATION TO PLACE ALL CONCRETE. 5. ALL CONCRETE SHALL BE KEPT MOIST DURING THE FIRST THREE DAYS OF CURING. 6. TAKE ADEQUATE MEASURES TO PROTECT CONCRETE FROM EXPOSURE TO FREEZING TEMPERATURES AT LEAST SEVEN DAYS AFTER CONCRETE PLACEMENT. 7. REBAR TO BE DEFORMED BARS WITH A YIELD STRENGTH OF 400 MPA. 8. LAP LENGTH FOR 10M BARS IS 18" AND THE LAP LENGTH FOR 15M BARS IS 24". . ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23. U.N.O. ON THE DRAWINGS. 2. WOOD TRUSSES AND MANUFACTURED FRAMING MEMBERS ARE TO BE DESIGNED & CERTIFIED BY A PROFESSIONAL ENGINEER FOR THE LOADS AND CONDITIONS INDICATED ON THE DRAWINGS. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR UPLIFT CLIPS. PROVIDE ADEQUATE BEARING SURFACE FOR THE TRUSS BEARING 3. LUMBER SHALL BE SPF No. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS. 4. LUMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD WITHOUT PERMISSION OF TACOMA ENGINEERS OTHER THAN AS SPECIFIED BY OBC 9.23.5. 5. ENGINEERED LUMBER (TJI, LVL, PSL, LSL) MAY BE DRILLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND DETAILS. S. THICKNESS AND TYPE OF SUBFLOOR, ROOF SHEATHING AND WALL SHEATHING SHALL CONFORM TO OBC 9.23.14., 9.23.15., AND 9.23.16 RESPECTIVELY. $^{\prime}$. USE PRESSURE TREATED LUMBER (CWPB APPROVED) OR APPLY SUITABLE WOOD PRESERVATIVE TO ALL WOOD IN CONTACT WITH SOIL. 8. WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION. PROVIDE EITHER PRESSURE TREATED LUMBER, SUITABLE WOOD PRESERVATIVE OR 6 MIL (0.152mm) POLYETHYLENE SHEET. 9. SOLID HORIZONTAL BRIDGING SHALL BE PROVIDED AT 1200mm (4'-0") O.C. IN THE FIRST TWO JOIST SPACES ADJACENT TO THE EXTERIOR WALLS. BRIDGING SHALL BE ATTACHED TO THE EXTERIOR WALL TO PROVIDE LATERAL STABILITY. 10. USE JOIST HANGERS WHERE FRAMING MEMBERS CONNECT INTO THE SIDES OF SUPPORTING MEMBERS. 11. ALL STEEL CONNECTORS (UPLIFT CLIPS, BRACKETS, JOIST HANGERS etc.) SHALL BE SIMPSON STRONG TIE CONNECTORS UNLESS NOTED OTHERWISE. FASTEN AS PER THE MANUFACTURER'S SPECIFICATIONS ASSUMING MAXIMUM NAILING U.N.O. TYPICAL BEAM HANGERS REQUIRE 16d NAILS (3" LONG). 12. ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE ACQ APPROVED, HOT DIP GALVANIZED (TO CSA-G164) OR STAINLESS STEEL. 3. FOR SOLID AND BUILT UP MEMBERS (TRUSSES, BEAMS, LINTELS) PROVIDE A BUILT UP POST WITH AN EQUAL OR GREATER THICKNESS UNLESS NOTED OTHERWISE. ALL BUILT UP POSTS TO BE CONTINUOUS (INCLUDING TRANSFER BLOCKING AT FLOORS) DOWN TO THE FOUNDATIONS. 14. ALL BUILT-UP WOOD BEAMS TO BE FASTENED TOGETHER WITH THREE 3" COMMON NAILS AT 8" O.C. FOR EVERY PLY AND EACH BUILT-UP WOOD POST TO BE CONNECTED WITH TWO 3" COMMON NAILS AT 8" O.C. UNLESS NOTED OTHERWISE 5. PROVIDE SOLID BLOCKING OR MECHANICAL CONNECTIONS AT THE TOP AND BOTTOMS OF BEAMS AT BEARING POINTS TO PREVENT MOVEMENT OR ROTATION. 16. ALL MANUFACTURED WOOD PRODUCTS (LVLs, LSLs, PSLs, TJIs) TO BE USED IN DRY SERVICE CONDITIONS ONLY. WHERE MANUFACTURED WOOD PRODUCTS ARE LOCATED OUTDOORS, PROVIDE SUITABLE CLADDING TO PROTECT FROM THE ELEMENTS AND ALLOW FOR DRYING. I. STRUCTURAL STEEL BEAMS AND CHANNELS SHALL BE GRADE 350W (CAN/CSA G40.21). 2. H.S.S. SHALL BE GRADE 350W (CLASS C) (CAN/CSA G40.21). STEEL ANGLES SHALL BE GRADE 300W (CAN/CSA G40.21) 4. STEEL PLATES SHALL BE GRADE 250W (CAN/CSA G40.21) 5. BOLTED CONNECTIONS SHALL BE MADE USING GRADE A307 BOLTS. 6. LATERALLY SUPPORT DROPPED STEEL BEAMS BY PRE-DRILLING FLANGES FOR 1/2" BOLTS TO WOOD NAILERS WITH 9/16" HOLES STAGGERED AT 24" O.C. 1. MASONRY SHALL CONFORM TO CAN/CSA S304.1 "DESIGN OF MASONRY STRUCTURES" AND CAN/CSA-A371 "MASONRY CONSTRUCTION FOR BUILDINGS". 2. PROTECT ALL WORK FROM FROST DAMAGE IN ACCORDANCE WITH RECOMMENDED PRACTICES AS PUBLISHED BY THE INTERNATIONAL MASONRY ALL WEATHER COUNCIL. NO MASONRY WORK SHALL BE PERMITTED WITH TEMPERATURES BELOW 5 DEGREES CELSIUS UNLESS PROVISIONS ARE MADE FOR HEATING THE MATERIALS. 3. CONCRETE BLOCKS SHALL BE REGULAR WEIGHT, 50% SOLID, WITH A MINIMUM 15 MPa COMPRESSIVE STRENGTH. 4. GROUT SHALL CONFORM TO CAN/CSA-A179. 28 DAY GROUT STRENGTH SHALL BE 10 MPa (MINIMUM) FOR FINE GROUT AND 12.5 MPa (MINIMUM) FOR COARSE GROUT 5. FILLING OF BLOCK UNITS WITH MORTAR INSTEAD OF GROUT IS NOT ACCEPTABLE. 6. MORTAR SHALL CONFORM TO CAN/CSA-A179. MORTAR SHALL BE TYPE 'S', WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 8.5 MPa. 7. FINE GROUT SHALL BE USED UNLESS NOTED OTHERWISE. STANDARD MIXTURE FOR FINE GROUT IS 1 PART PORTLAND CEMENT AND 3 PARTS SAND. 8. REINFORCE ALL MASONRY WITH 3.66MM (9 ga.) "LADDER" TYPE WIRE REINFORCING AT 600mm (24") O.C. EXCEPT WHERE NOTED OTHERWISE. FULL OVERLAP AT ALL WALL INTERSECTIONS AND CORNERS. LAP STRAIGHT RUNS WITH 300mm (12") OVERLAP. 1. WOOD FRAMING DESIGN AND CONSTRUCTION SHALL CONFORM TO CAN/CSA-086 "ENGINEERING DESIGN IN WOOD". 2. SAWN TIMBER SHALL BE NORTHERN No.2 OR BETTER AS DEFINED IN THE CAN/CSA-O86, UNLESS NOTED OTHERWISE. ALL UNGRADED TIMBER IS ASSUMED TO BE No. 2 3. ALL TIMBER SIZES ARE ACTUAL SIZES (EX. 8x10 IS 8.0" BY 10.0").

4. TIMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD WITHOUT PERMISSION OF TACOMA ENGINEERS.

BUILDING CODE NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE.

2. WHERE THERE ARE DISCREPANCIES ON THE DRAWINGS AND THE OBC DO NOT AGREE, THE MOST STRINGENT CONDITIONS SHALL 3. CONTRACTOR TO VERIFY CONDITIONS AND MEASUREMENTS AT THE SITE AND REPORT TO THE DESIGNER ANY DISCREPANCIES OR CONDITIONS WHICH MAYADVERSELY AFFECT THE PROPER COMPLETION OF THE PROJECT BEFORE PROCEEDING WITH THE WORK. 4. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

. MECHANICAL AND ELECTRICAL SERVICES SHALL BE LOCATED ON SITE BY OTHERS. CLEARANCES AND INSTALLATION SHALL BE AS PER

2. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING HVAC AND ELECTRICAL SYSTEMS. 3. FLOOR DRAIN SHALL BE PROVIDED IN BASEMENT (WHERE SHOWN), CONNECTION AS PER LOCAL CODES. 4. WHERE GRAVITY DRAINAGE IS NOT PRACTICAL, PROVIDE A COVERED SUMP PIT WITH AN AUTOMATIC PUMP FOR DISCHARGING WATER INTO SEWER, DRAINAGE DITCH OR DRY WELL. SUMP PIT SHALL HAVE A CHILD PROOF LID.

1. SMOKE ALARMS SHALL BE INSTALLED SO THAT THERE IS AT LEAST ONE SMOKE ALARM ON EACH FLOOR LEVEL, INCLUDING

2. A SMOKE ALARM SHALL BE INSTALLED IN EVERY BEDROOM (SLEEPING ROOM) AND IN A LOCATION BETWEEN SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, SMOKE ALARM TO BE LOCATED IN THE

3. SMOKE ALARMS TO HAVE VISUAL AND AUDIBLE SIGNALING COMPONENT. 4. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA AND ON EACH LEVEL THAT CONTAINS A

5. ALARMS AND DETECTORS SHALL BE PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT AND BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM OR DETECTOR WILL CAUSE ALL ALARMS AND DETECTORS WITHIN THE DWELLING UNIT TO SOUND.

1. GUARDS SHALL BE PROVIDED WHEN THE DIFFERENCE IN ELEVATION IS MORE THAN 24" BETWEEN THE WALKING SURFACE AND ADJACENT SURFACE, ATALL INTERIOR STAIRS MORE THAN 2 RISERS AND ATALL LANDINGS OR FLOOR LEVELS AROUND THE STAIRWELL 2. GUARDS TO BE MINIMUM 42" HIGH. EXCEPT FOR WHERE EXTERIOR WALKING SURFACE AND ADJACENT GROUND LEVEL IS NOT

1. RISE TO BE MINIMUM 5" TO MAXIMUM 7 7/8".

2. RUN TO BE MINIMUM 8 1/4" TO MAXIMUM 14" 3. TREAD TO BE MINIMUM 9 1/4" TO MAXIMUM 14". 4. NOSING TO BE MAXIMUM 1".

5. STAIR WIDTH TO BE MINIMUM 2'-10". HEADROOM CLEARANCE TO BE MINIMUM 6'-5".

7. HANDRAIL HEIGHT TO BE MINIMUM 2'-10" TO MAXIMUM 3'-2". 8. GUARD RAIL TO BE MINIMUM 35 1/2" HIGH.

1. TIES FOR MASONRY VENEER SHALL HAVE A MAXIMUM SPACING AS PER ONE OF THE FOLLOWING: A. 400 O/C VERTICAL AND 800 O/C HORIZONTAL

GREATER THAN 5'-11" OR WHERE GUARDS ARE WITHIN DWELLING UNIT GUARDS MAY BE 36" HIGH.

B. 500 O/C VERTICAL AND 600 O/C HORIZONTAL C. 600 O/C VERTICAL AND 400 O/C HORIZONTAL

2. MASONRY VENEER TIES AND FASTENERS TO BE CORROSION-RESISTANT. TIES SHALL BE FASTENED TO WALL STUDS. . WEEP HOLES TO BE PROVIDED AT THE BOTTOM COURSE OF THE CAVITY AND OVER WINDOWS & DOORS, NO MORE THAN 32" APART. I. THROUGH WALL FLASHING TO BE INSTALLED BENEATH WEEP HOLES.

<u>BATHROOM(S):</u>
1. PROVIDE MOISTURE RESISTANT DRYWALL TO PERIMETER OF INTERIOR BATHROOM WALLS AND CEILING. 2. IN MAIN BATHROOM, STUD WALLS ADJACENT TO WATER CLOSET, SHOWERS OR BATHTUBS TO BE REINFORCED WITH SOLID 2X8 BLOCKING TO PERMIT FUTURE INSTALLATION OF GRAB BARS.

1. ROOF TO BE EQUALLY VENTILATED BETWEEN SOFFIT AND TOP OF ROOF SPACE WITH VENTED SOFFITS, ROOF OR GABLE VENTS. 2. ATTICS OR ROOF SPACES TO BE VENTED A MINIMUM 1/300 OF INSULATED ROOF AREA. WHERE ROOF SLOPE IS LESS THAN 1 IN 6 OR CONSTRUCTED WITH ROOF JOISTS. THE REQUIRED VENTING SHALL BE MINIMUM 1/150 OF INSULATED ROOF AREA. 3. INSTALL RAFTER VENTS AT EAVE BETWEEN EVERY RAFTER / TRUSS.

1. WHERE THERE IS AN ATTACHED GARAGE, PROVIDE AIR BARRIER SYSTEM IN WALL(S) AND CEILING(S) BETWEEN LIVING AREAS AND THE GARAGE TO PROVIDE AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES. 2. DOOR BETWEEN GARAGE AND THE HOUSE TO BE TIGHT-FITTING, WEATHER-STRIPPED AND BE PROVIDED WITH A SELF-CLOSING

PROVIDE TROWEL OR ROLL APPLIED DAMPPROOFING ON EXTERIOR CONCRETE FOUNDATION WALLS THAT CONTAIN A BASEMENT. 2. FOR FOUNDATION WALLS CONTAINING A BASEMENT PROVIDE RIGID PLASTIC DRAINAGE BOARD FROM GRADE TO WEEPING TILE.

FASTEN SYSTEM AS PER MANUFACTURERS INSTRUCTIONS COMPLETE WITH TERMINATION BAR AT THE TOP. 3. DRAINAGE SHALL BE PROVIDED AT THE BOTTOM OF EVERY FOUNDATION WALL THAT CONTAINS THE BUILDING INTERIOR. INSTALL PERIMETER WEEPING TILE. MINIMUM 4" DIAMETER C/W MINIMUM 6" STONE COVER TOP AND SIDES. 4. DRAIN WEEPING TILE TO COVERED (CHILDPROOF & SEALED) SUMP BASIN LOCATED AS NOTED ON THE DRAWINGS OR TO AN EXISTING SUMP PIT. PROVIDE SUBMERSIBLE PUMP TO DISCHARGE WATER INTO SEWER, DRAINAGE DITCH OR DRY WELL. 5. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.

1. IF A MECHANICAL HEATING (AND POSSIBLY COOLING) SYSTEM IS REQUIRED. HEATING AND COOLING SYSTEMS SHALL BE DESIGNED BY OTHERS AND PRODUCED FOR THE CITY OR MUNICIPALITY WHEN REQUIRED. 2. PROVIDE MIN. 50 CFM EXHAUST FANS VENTED TO THE EXTERIOR IN ALL WASHROOMS, AND IN THE KITCHEN.

3. IN LAUNDRY ROOMS, ENSURE DRYER IS VENTED TO THE EXTERIOR. USE ONLY STRAIGHT RUN DUCT WORK, NOT FLEX DUCT. MINIMIZE LONG RUNS AND ELBOWS IN VENT LINES. EXCESSIVELY LONG RUNS WILL REQUIRE AN IN-LINE BOOSTER FAN. 4. DO NOT EXHAUST ANY EXHAUST FANS INTO THE ATTIC SPACE. ALL EXHAUST FANS SHALL EXTEND WITHIN THE FLOOR STRUCTURE OR BELOW THE STRUCTURE WITHIN A BULKHEAD TO THE EXTERIOR WALL. TERMINATE WITH AN APPROVED VENT COVER THAT WILL NOT

PERMIT VERMIN FROM ENTERING THE BUILDING.

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CANADIAN ELECTRICAL CODE AND THE ELECTRICAL SAFETY AUTHORITY. 2. CONTRACTOR SHALL APPLY FOR AND OBTAIN AN ELECTRICAL PERMIT FROM THE ELECTRICAL SAFETY AUTHORITY. 3. ALL ROOMS SHALL HAVE CEILING MOUNTED LIGHTS CONTROLLED WITH AT LEAST ONE SWITCH.

4. AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH SHALL BE PROVIDED AT EVERY ENTRANCE. 5. STAIRS SHALL BE LIGHTED AND CONTROLLED BY A THREE-WAY SWITCH AT THE TOP AND BOTTOM OF STAIRS EXCEEDING 3 RISERS.

6. RECEPTACLES SHALL BE LOCATED ALONG THE WALLS ACCORDING TO THE REQUIREMENTS OF THE CANADIAN ELECTRICAL CODE. 7. THE ELECTRICAL CONTRACTOR SHALL WORK WITH THE OWNER IN SELECTING THE APPROPRIATE LOCATION FOR LIGHT FIXTURES AND

8. THE ELECTORAL CONTRACTOR SHALL WORK WITH THE OWNER TO PICK ALL FIXTURES TO BE USED. PROVIDE OWNER WITH FINAL CERTIFICATE OF APPROVAL FROM THE ELECTRICAL SAFETY AUTHORITY AT THE COMPLETION OF THE

Issued **COVER SHEET & GENERAL INFO** A-001 COVER SHEET **PLANS** A-101 FOUNDATION LAYOUT A-102 FOUNDATION PLAN A-103 BASEMENT PLAN A-104 1st FLOOR FRAMING PLAN 1st FLOOR PLAN A-106 2nd FLOOR FRAMING PLAN A-107 2nd FLOOR PLAN A-108 ROOF PLAN **ELEVATIONS** A-201 ELEVATIONS A-202 ELEVATIONS **SECTIONS** A-301 SECTIONS A-302 SECTIONS A-303 SECTIONS **DETAILS** A-401 DETAILS **SCHEDULES** A-501 R.O. SCHEDULES WINDOW SCHEDULE WINDOW SCHEDULE EXTERIOR DOOR SCHEDULE INTERIOR DOOR SCHEDULE FINISH SCHEDULE A-507 ROOM SCHEDULE **ELECTRICAL SHEETS** E-101 BASEMENT ELECTRICAL E-102 FIRST FLOOR ELECTRICAL

E-103 SECOND FLOOR ELECTRICAL

EXPOSING BUILDING FACE

UNPROTECTED OPENINGS %:

	OROFESSIONAL
K	
7	TE-40878-22
	JAN 17 2023
FOR	R STRUCTURAL DESIGN ONLY
	TAC MA

The undersigned has reviewed and taken responsibility for the design for categorie checked. As required by OBC Div. C 3.2.4, the designer is qualified and the firm is registered in the categories checked below. ☐ Building Structural Complex Buildings Large Building

Small Building MA MA Designer: Brandon Martin Designer BCIN: 34596 January 17, 2023

BCIN REVIEW FOR COMPLIANCE WITH OBC PART 9 ONLY. STRUCTURAL DESIGN BY P.ENG

ZONE 1 - COMPLIANCE PACKAGE 'A3' [OBC SB-12 TABLE 3.1.1.2.A.]				
COMPONENT	NOMINAL	EFFECTIVE		
CEILING WITH ATTIC SPACE (MIN. R-VALUE)	50	49.23		
CEILING WITHOUT ATTIC SPACE (MIN. R-VALUE)	31	27.65		
EXPLOSED FLOOR (MIN. R-VALUE)	35	32.02		
WALLS ABOVE GRADE (MIN. R-VALUE)	14 + 7.5ci	18.62		
BASEMENT WALLS (MIN. R-VALUE)	20ci	21.12		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE (MIN. R-VALUE)	-	-		
HEATED SLAB or SLAB ≤ 600mm BELOW GRADE (MIN. R-VALUE)	10	11.13		
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE (MIN. R-VALUE)	10	-		
WINDOWS & SLIDING GLASS DOORS (MIN. U-VALUE)	0.21	-		
SKYLIGHTS (MIN. U-VALUE)	0.49	-		
SPACE HEATING EQUIPMENT (MIN. AFUE)	94%	-		
HRV (MIN. SRE)	81%	-		
DOMESTIC WATER HEATER (MIN. EF)	0.67	-		
AREA OF GLAZED OPENINGS IN EXTERIOR WALLS:				



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Precise Projects 11 Four Winds Place Dundas, ON L9H 3Y1 Phone (905) 512-0078 Contact Rick Wiersma

ANNE-MARIE & SCOTT TIPPING

3236 JERSEYVILLE RD W, JERSEYVILLE, ON

PROJECT SQUARE FOOTAGE

BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE) FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQF SECOND FLOOR - 0 SQFT

NO. ISSUED FOR

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PROJECT NO: 21-233 PROJECT FILE: Tipping-21233.pln DRAWN BY: LAURA MACHAN SCALE: 1' = 1'-0" **DATE:** January 17, 2023

SHEET TITLE



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DATE BY

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NO. ISSUED FOR

☐ Building Structural Complex Buildings] Large Building

Small Building
Signature:

Designer:

Brandon Martin Designer BCIN: 34596

Date: January 17, 2023

01 CLIENT REVIEW 22DEC2021 LM 02 CLIENT REVIEW 11FEB2022 LM 03 CLIENT REVIEW 28FEB2022 LM 04 WINDOW & DOOR QUOTE 22MAR2022 LM 05 CLIENT REVIEW 22APR2022 LM 06 CLIENT REVIEW 03MAY2022 LM 07 FOUNDATION LAYOUT 05MAY2022 LM 08 WINDOW & DOOR QUOTE 02JUNE2022 LM 09 ENGINEERING 19AUG2022 LM 10 ENGINEERING 29SEPT2022 LM 11 FINAL ENGINEERING 05OCT2022 LM 13OCT2022 13 FOUNDATION AND PERMIT DRAWING REVISIONS 06JAN2023 LM 17JAN2023 LM

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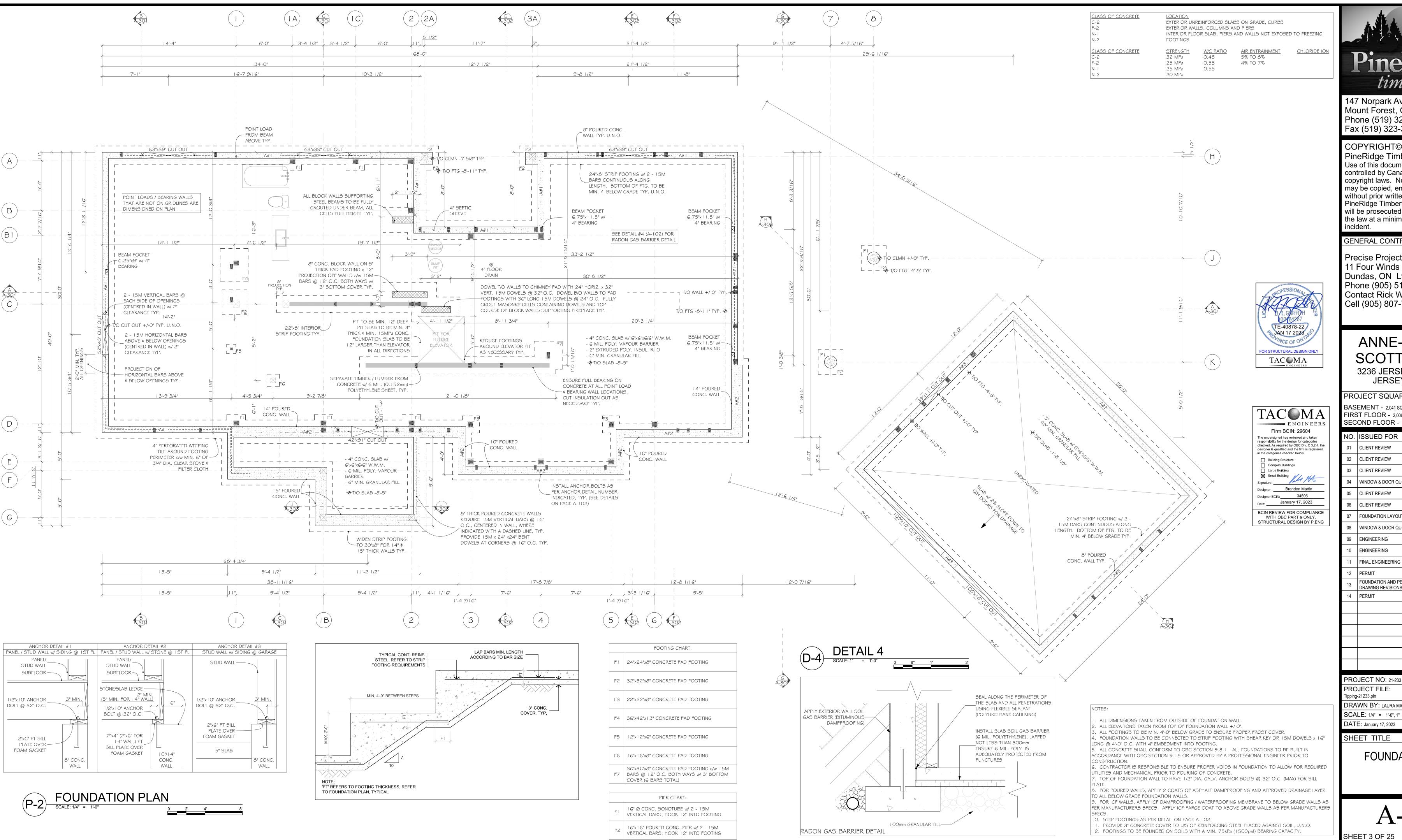
FOUNDATION LAYOUT

SHEET 2 OF 25

P-1 FOUNDATION LAYOUT

SCALE: 1/4" = 1'-0"

0 2'



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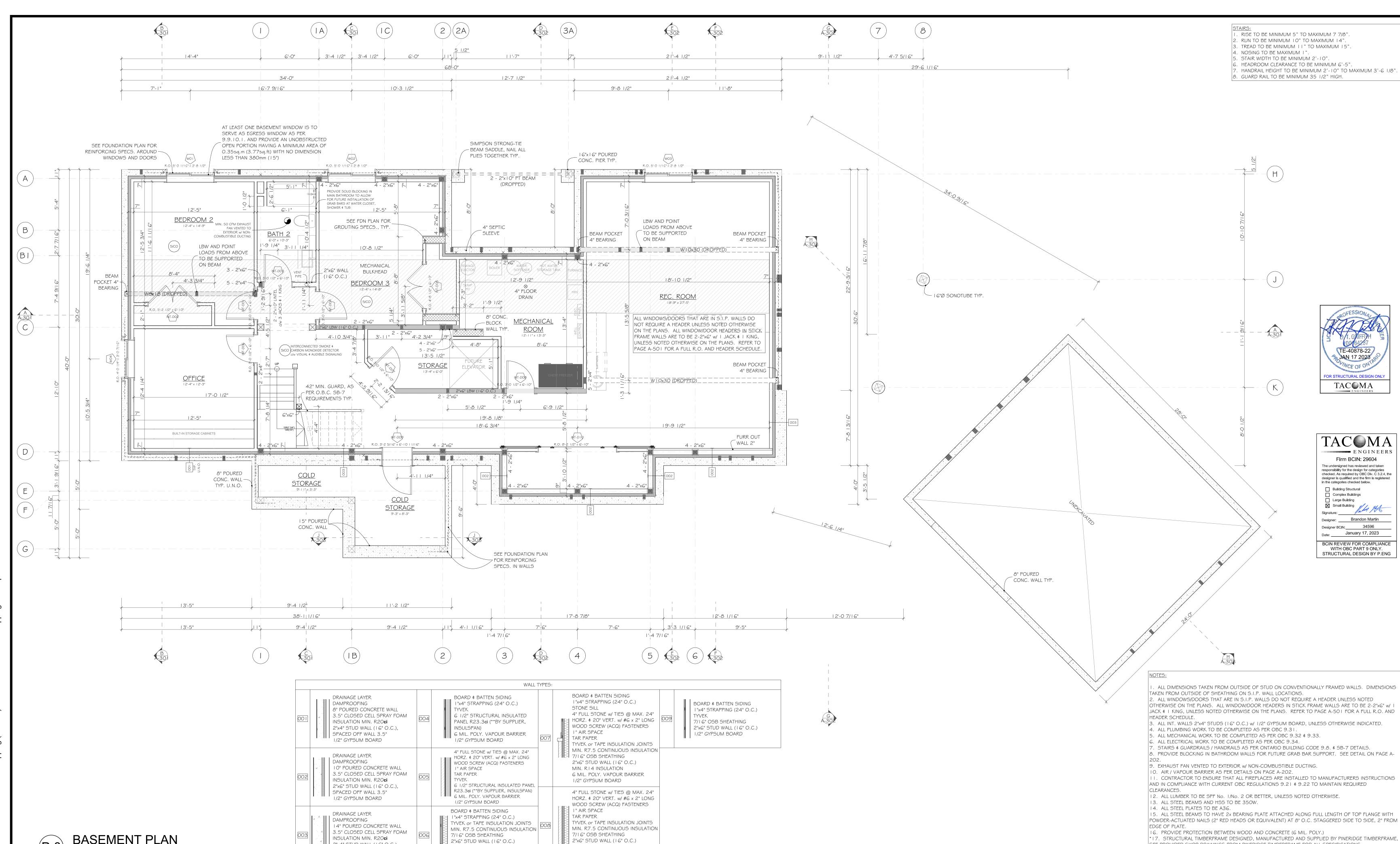
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PROJECT NO: 21-233 PROJECT FILE: Fipping-21233.pln DRAWN BY: LAURA MACHAN SCALE: 1/4" = 1'-0", 1" = 1'-0" **DATE**: January 17, 2023

FOUNDATION PLAN



2"x6" STUD WALL (16" O.C.)

6 MIL. POLY. VAPOUR BARRIER

MIN. R14 INSULATION

1/2" GYPSUM BOARD

MIN. RI4 INSULATION

1/2" GYPSUM BOARD

6 MIL. POLY. VAPOUR BARRIER

2"x4" STUD WALL (16" O.C.),

SPACED OFF WALL 3.5"

1/2" GYPSUM BOARD



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BASEMENT PLAN

SHEET 4 OF 25

SEE PROVIDED SHOP DRAWINGS FROM PINERIDGE TIMBERFRAME FOR ALL SPECIFICATIONS.

SEE PROVIDED DRAWINGS FROM TURKSTRA FOR ALL SPECIFICATIONS.

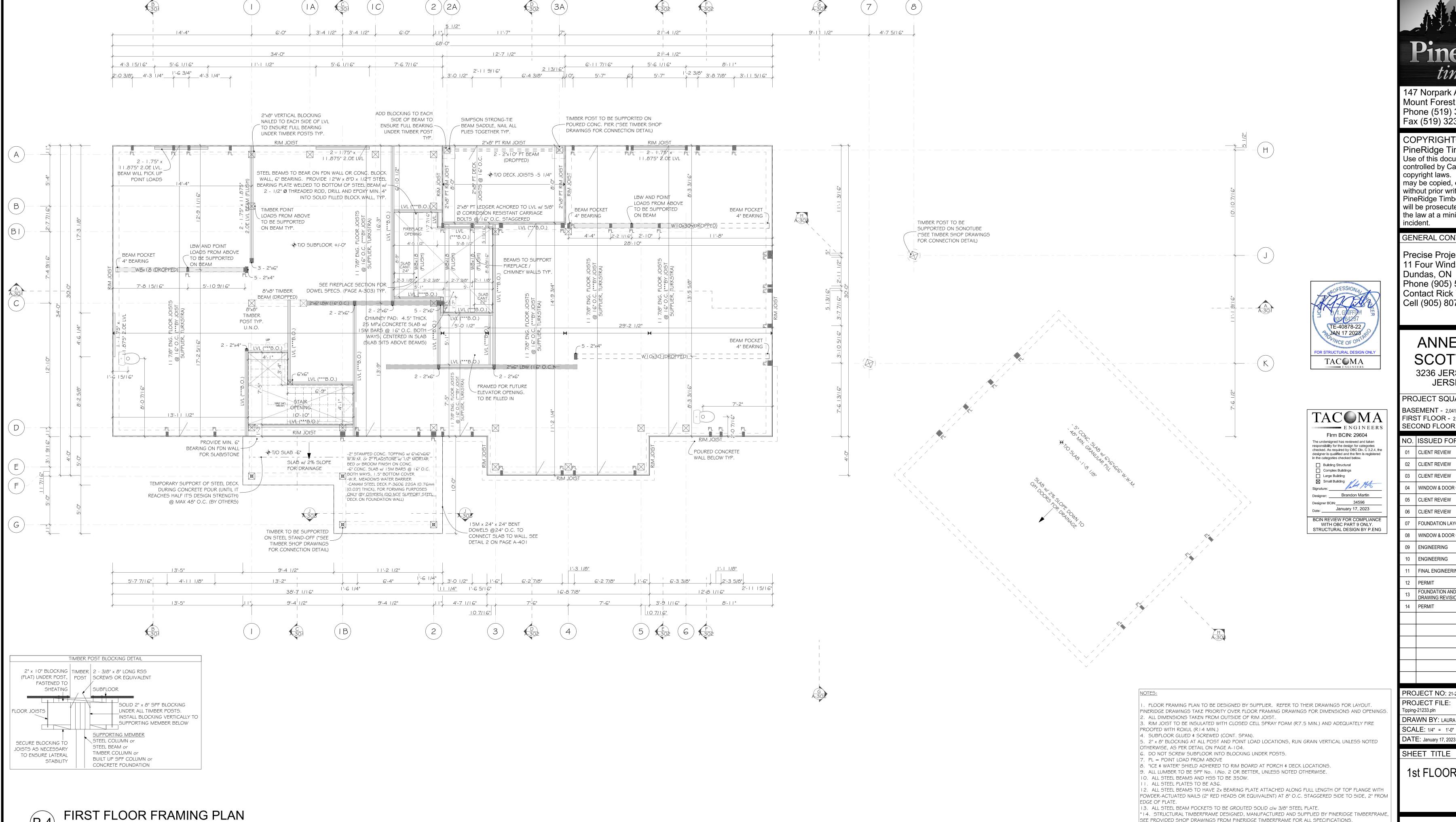
ALL SPECIFICATIONS.

** 18. STRUCTURAL INSULATED PANEL (S.I.P.) ROOF/WALL DESIGNED, MANUFACTURED AND SUPPLIED BY

INSULSPAN (DELIVERED VIA PINERIDGE TIMBERFRAME), SEE PROVIDED LITERATURE FROM INSULSPAN FOR

*** 19. ENGINEERED TRUSSES/FLOOR JOISTS DESIGNED, MANUFACTURED AND SUPPLIED BY TURKSTRA,

SHEET TITLE





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1st FLOOR FRAMING PLAN

SHEET 5 OF 25

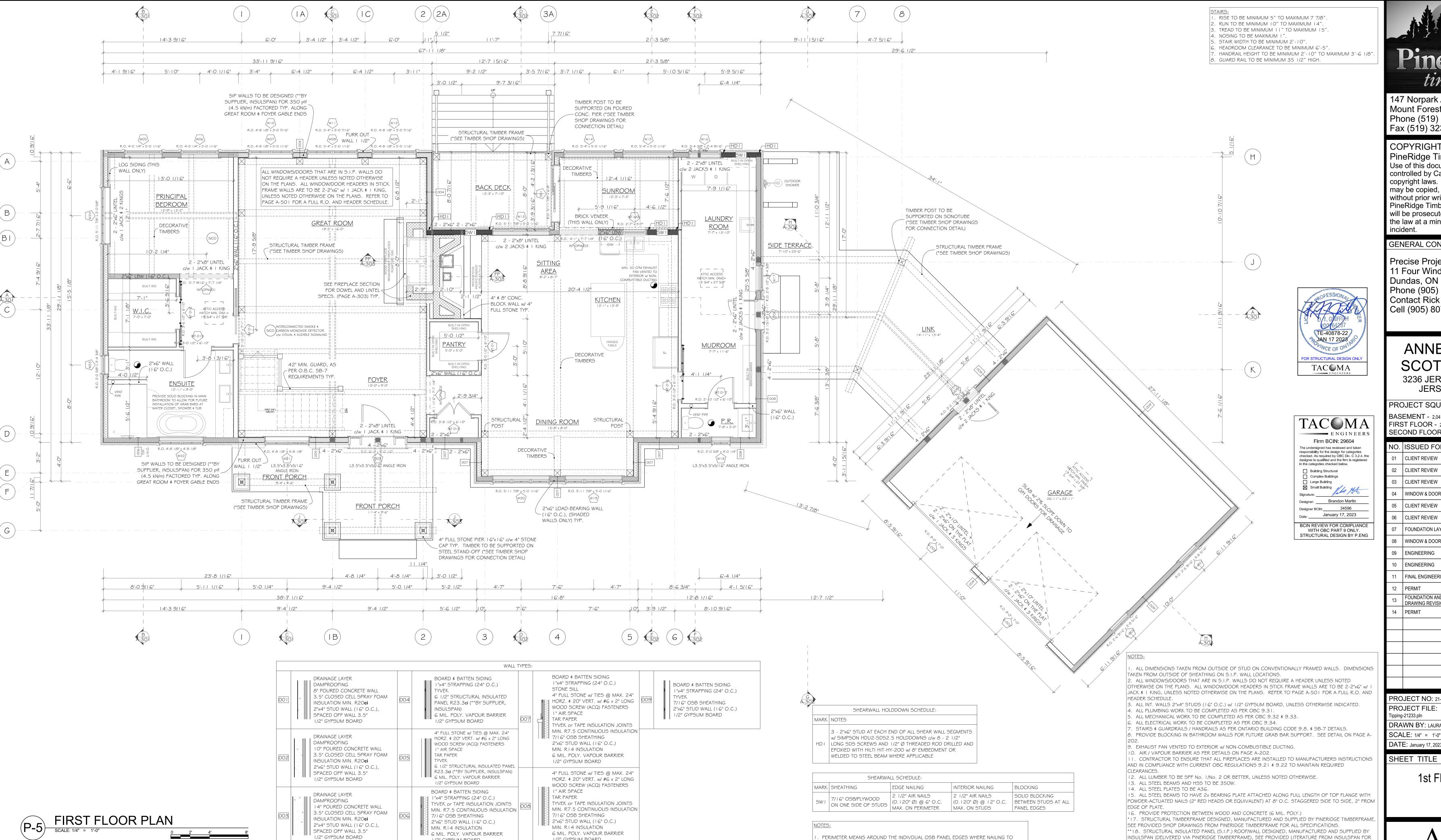
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SEE PROVIDED DRAWINGS FROM TURKSTRA FOR ALL SPECIFICATIONS.

ALL SPECIFICATIONS.

**15. STRUCTURAL INSULATED PANEL (S.I.P.) ROOF/WALL DESIGNED, MANUFACTURED AND SUPPLIED BY INSULSPAN (DELIVERED VIA PINERIDGE TIMBERFRAME), SEE PROVIDED LITERATURE FROM INSULSPAN FOR

*** I G. ENGINEERED TRUSSES/FLOOR JOISTS DESIGNED, MANUFACTURED AND SUPPLIED BY TURKSTRA,



STUD OR 2x EDGE BLOCKING. ALL OSB PANEL JOINTS MUST BE BLOCKED TO MATCH WALL

2. DO NOT OVERDRIVE NAILS INTO OSB PANELS. NAILS CAN ONLY BE OVERDRIVEN 1/16".

STUD SIZE TO FACILITATE PERIMETER NAILING.

ALL SPECIFICATIONS.

*** I 9. ENGINEERED TRUSSES/FLOOR JOISTS DESIGNED, MANUFACTURED AND SUPPLIED BY TURKSTRA,

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1/2" GYPSUM BOARD

1/2" GYPSUM BOARD

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3236 JERSEYVILLE RD W, JERSEYVILLE, ON

PROJECT SQUARE FOOTAGE

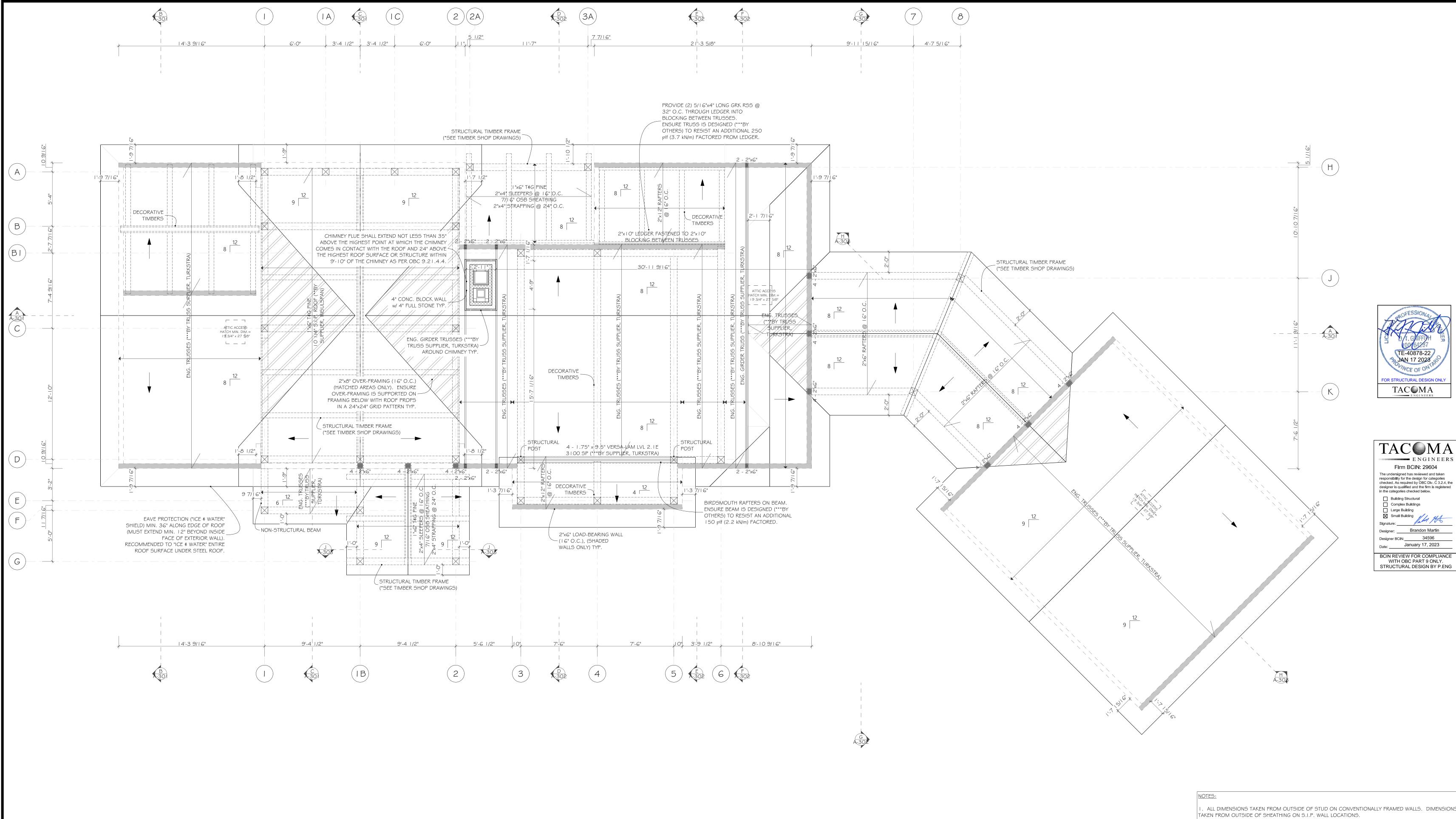
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PROJECT NO: 21-233 PROJECT FILE: Tipping-21233.pln DRAWN BY: LAURA MACHAN SCALE: 1/4" = 1'-0" **DATE**: January 17, 2023

1st FLOOR PLAN

SHEET 6 OF 25



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SHEET TITLE

ROOF PLAN

SHEET 9 OF 25

I. ALL DIMENSIONS TAKEN FROM OUTSIDE OF STUD ON CONVENTIONALLY FRAMED WALLS. DIMENSIONS

2. "ICE # WATER" SHIELD ADHERED TO SHEATHING FIRST 36" ON ALL ROOF EDGES. 3. CORROSION RESISTANT DRIP EDGE ON ALL ROOF EDGES. 4. "ICE & WATER" SHIELD ADHERED TO SHEATHING AT ALL ROOF AND WALL INTERSECTIONS, 18" EACH WAY.

5. "ICE & WATER" SHIELD 36" ON EACH SIDE OF VALLEY, 24" METAL VALLEY FLASHING. 6. "ICE \$ WATER" SHIELD ON ENTIRE ROOF SURFACE OF ROOF PITCHES 5/12 AND LESS, AND UP 72" OF ADJACENT ROOF.

7. ALL LUMBER TO BE SPF No. 1/2 OR BETTER. *8. STRUCTURAL TIMBERFRAME DESIGNED, MANUFACTURED AND SUPPLIED BY PINERIDGE TIMBERFRAME, SEE PROVIDED SHOP DRAWINGS FROM PINERIDGE TIMBERFRAME FOR ALL SPECIFICATIONS. **9. STRUCTURAL INSULATED PANEL (S.I.P.) ROOF/WALL DESIGNED, MANUFACTURED AND SUPPLIED BY INSULSPAN (DELIVERED VIA PINERIDGE TIMBERFRAME), SEE PROVIDED LITERATURE FROM INSULSPAN FOR

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EBF = 88 | ft2 (8 | .85 m2)UPO = 110ft2 (10.22m2)

MINIMUM LIMITING DISTANCE = 2.75m

UPO % = 12.5%

LESS THAN 9'-10"

CHIMNEY SHALL CONFORM

TO OBC 9.21.4.

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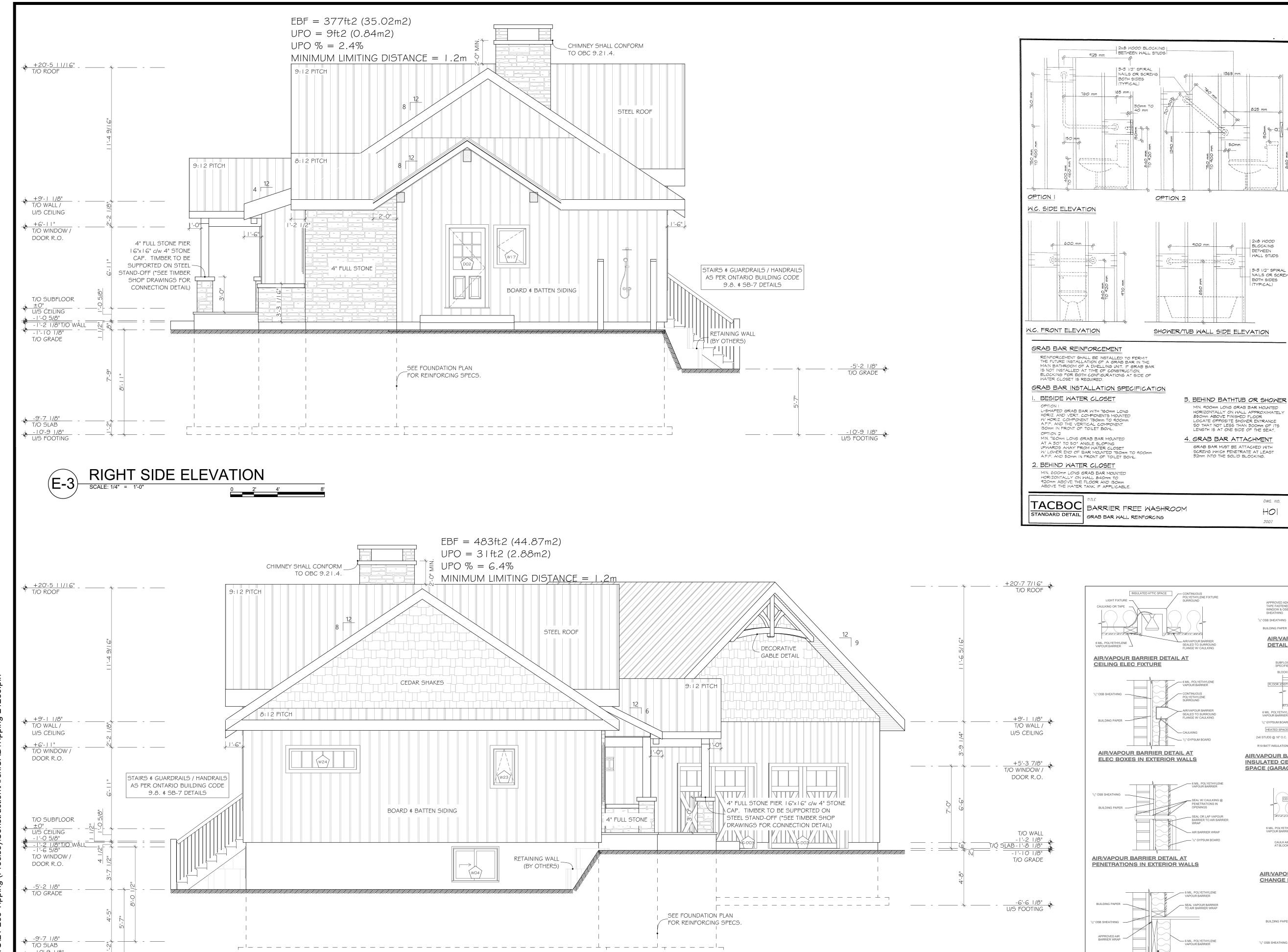
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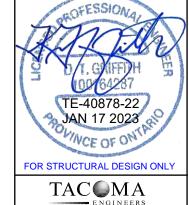
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DRAWN BY: LAURA MACHAN **DATE**: January 17, 2023

ELEVATIONS



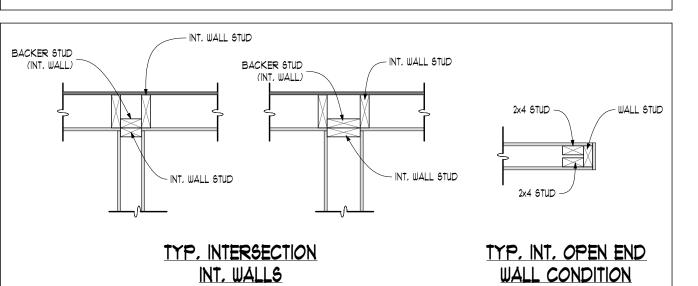


☐ Building Structural Complex Buildings Large Building Signature:

Designer: Brandon Martin Designer BCIN: 34596

Date: _____ January 17, 2023 BCIN REVIEW FOR COMPLIANCE WITH OBC PART 9 ONLY. STRUCTURAL DESIGN BY P.ENG

BACKER STUD ONE SIZE LARGER THAN INTERIOR PLATE
OVERLAP EXT.
PLATE INTERSECTING WALL STUDS TOP PLATES _____ WALL STUD EXT, WALL STUD TYP. "T" INTERSECTION TYP, EXT, CORNER EXT, WALL @ INT, WALL



TAC MA ENGINEERS Firm BCIN: 29604 he undersigned has reviewed and taken responsibility for the design for categories checked. As required by OBC Div. C 3.2.4, the designer is qualified and the firm is registere

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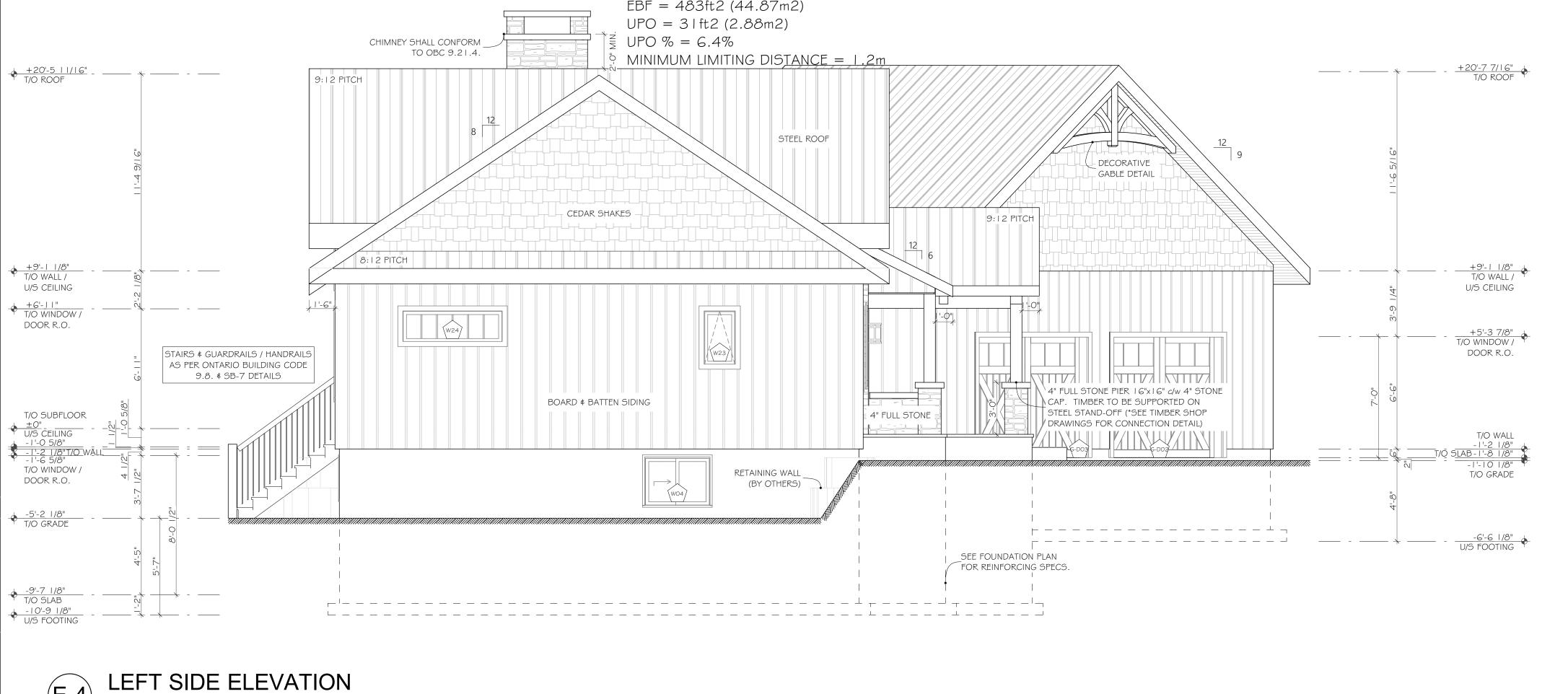
SECOND FLOOR - 0 SQFT

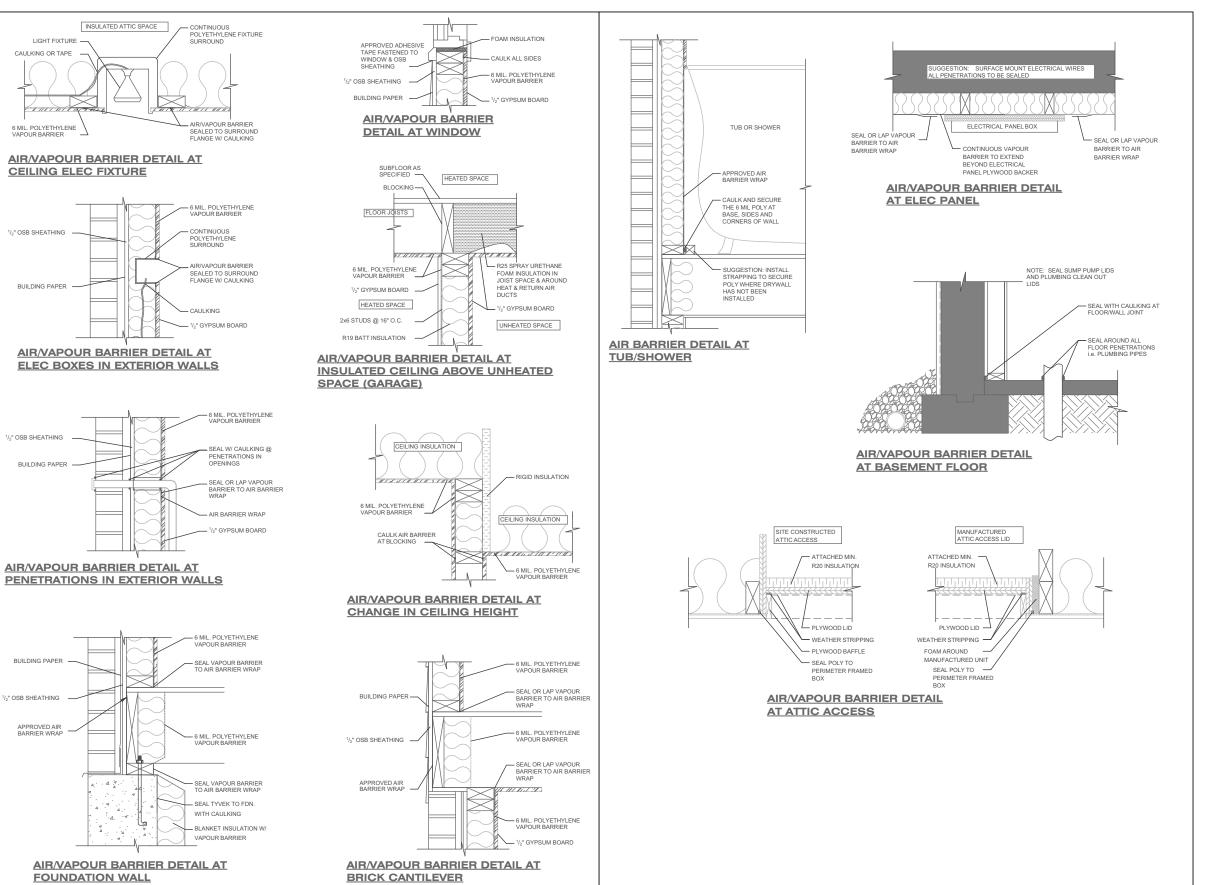
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12	PERMIT	13OCT2022	LM
13	FOUNDATION AND PERMIT DRAWING REVISIONS	06JAN2023	LM
14	PERMIT	17JAN2023	LM

PROJECT NO: 21-233 PROJECT FILE: Tipping-21233.pln DRAWN BY: LAURA MACHAN SCALE: 1/4" = 1'-0", 1:1.33, 1:100 **DATE**: January 17, 2023

SHEET TITLE

ELEVATIONS





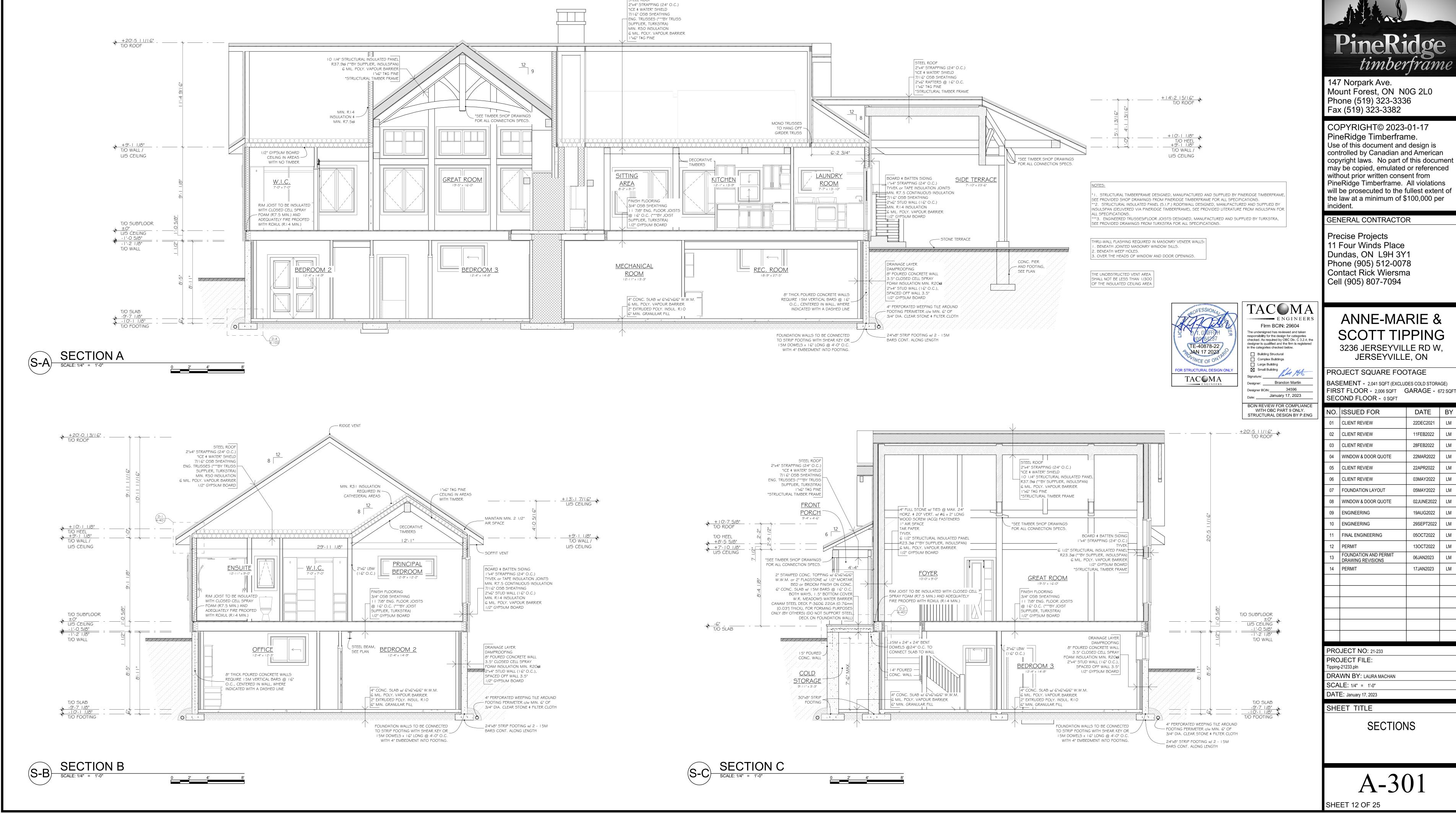
MALL STUDS

3-3 1/2" SPIRAL NAILS OR SCREM

BOTH SIDES (TYPICAL)

DWG. NO.

HOI



STEEL ROOF



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ANNE-MARIE & SCOTT TIPPING

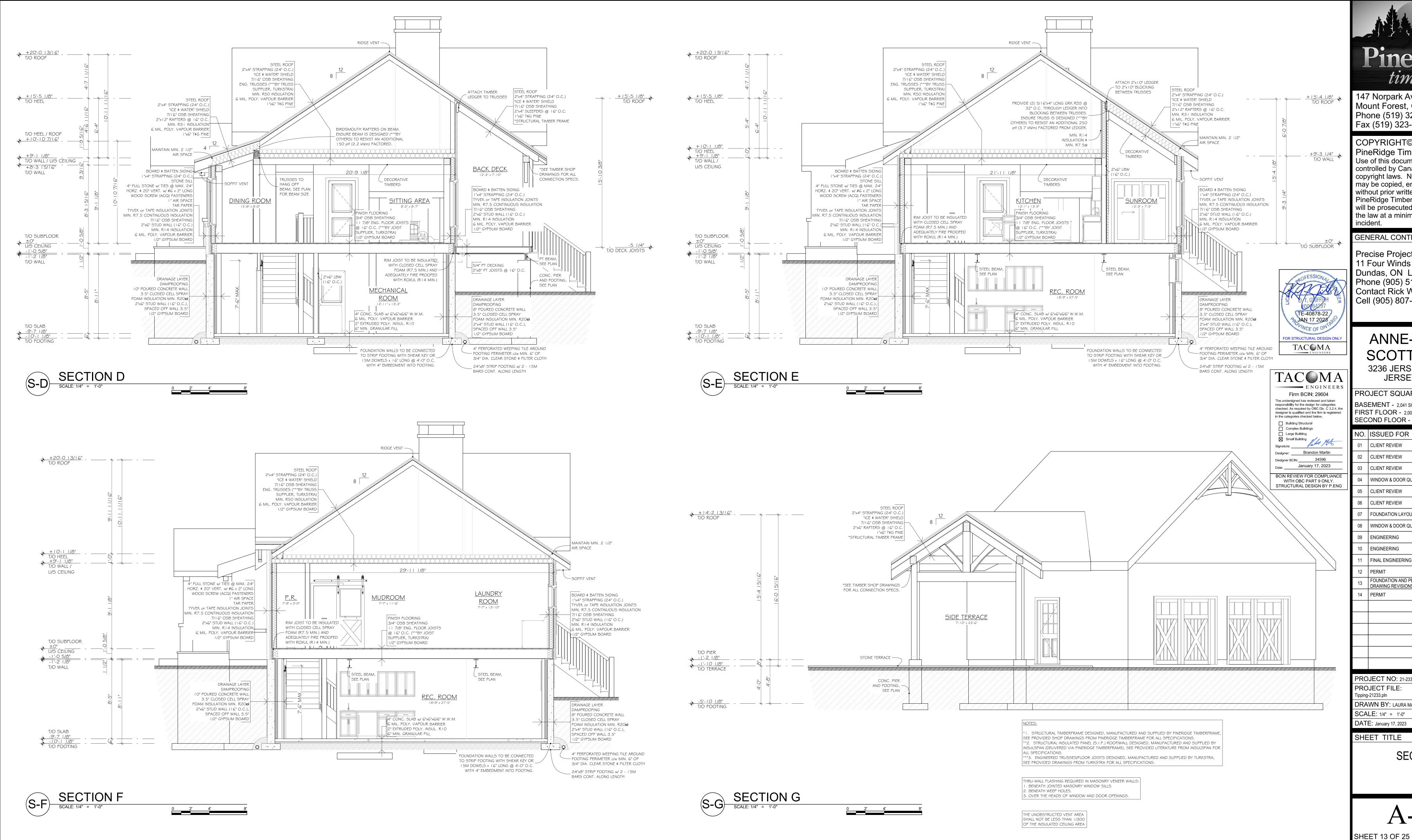
JERSEYVILLE, ON PROJECT SQUARE FOOTAGE

NO.	ISSUED FOR	DATE	BY
01	CLIENT REVIEW	22DEC2021	LM
02	CLIENT REVIEW	11FEB2022	LM
03	CLIENT REVIEW	28FEB2022	LM
04	WINDOW & DOOR QUOTE	22MAR2022	LM
05	CLIENT REVIEW	22APR2022	LM
06	CLIENT REVIEW	03MAY2022	LM
07	FOUNDATION LAYOUT	05MAY2022	LM
08	WINDOW & DOOR QUOTE	02JUNE2022	LM
09	ENGINEERING	19AUG2022	LM
10	ENGINEERING	29SEPT2022	LM
11	FINAL ENGINEERING	05OCT2022	LM
12	PERMIT	13OCT2022	LM
13	FOUNDATION AND PERMIT DRAWING REVISIONS	06JAN2023	LM
14	PERMIT	17JAN2023	LM

PROJECT NO: 21-233 PROJECT FILE: Fipping-21233.pln DRAWN BY: LAURA MACHAN SCALE: 1/4" = 1'-0" **DATE**: January 17, 2023

SECTIONS

SHEET 12 OF 25



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ANNE-MARIE & SCOTT TIPPING

3236 JERSEYVILLE RD W, JERSEYVILLE, ON

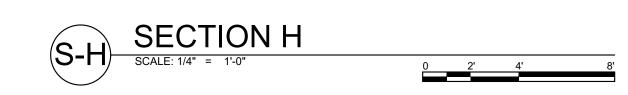
PROJECT SQUARE FOOTAGE

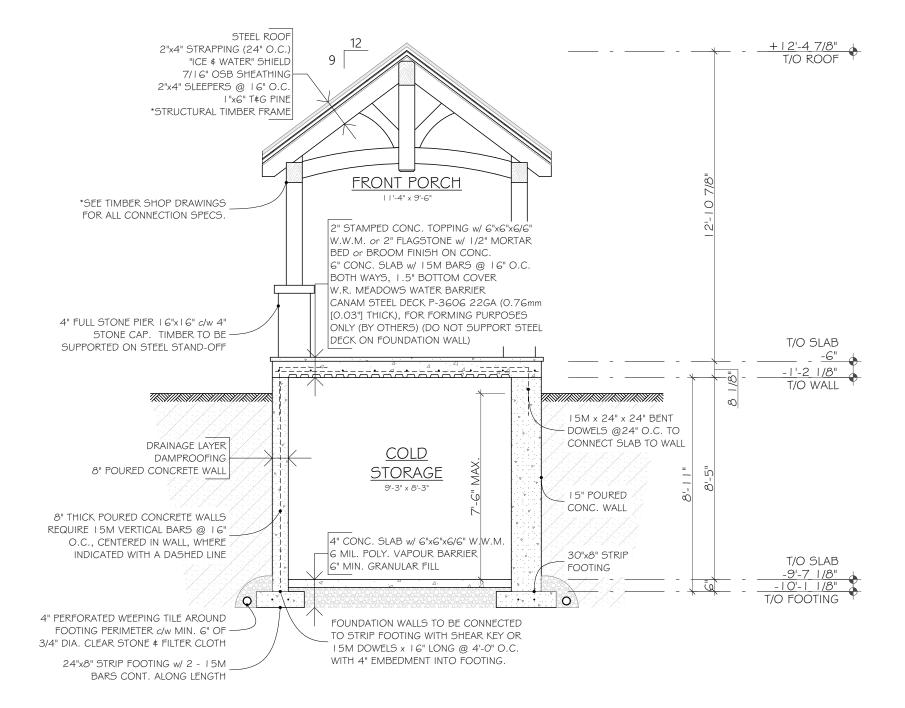
BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE) FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQF SECOND FLOOR - 0 SQFT

NO.	ISSUED FOR	DATE	BY
01	CLIENT REVIEW	22DEC2021	LM
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13	FOUNDATION AND PERMIT DRAWING REVISIONS	06JAN2023	LM
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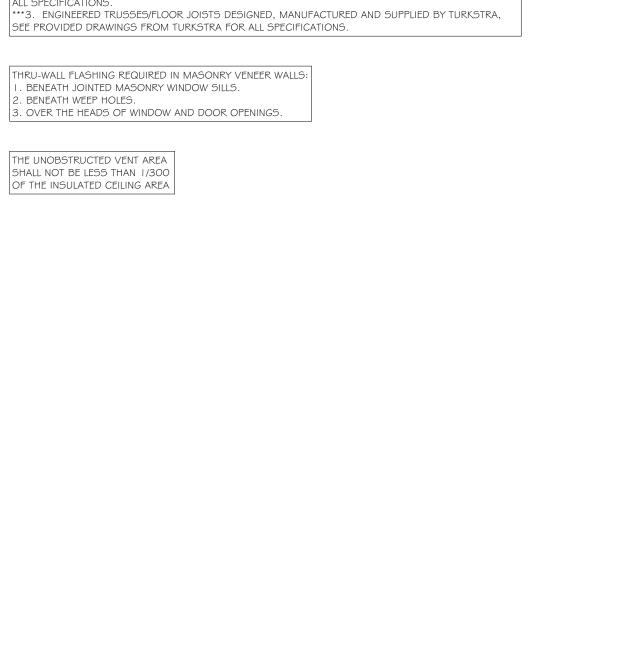
PROJECT NO: 21-233 PROJECT FILE: Tipping-21233.pln DRAWN BY: LAURA MACHAN SCALE: 1/4" = 1'-0" **DATE**: January 17, 2023

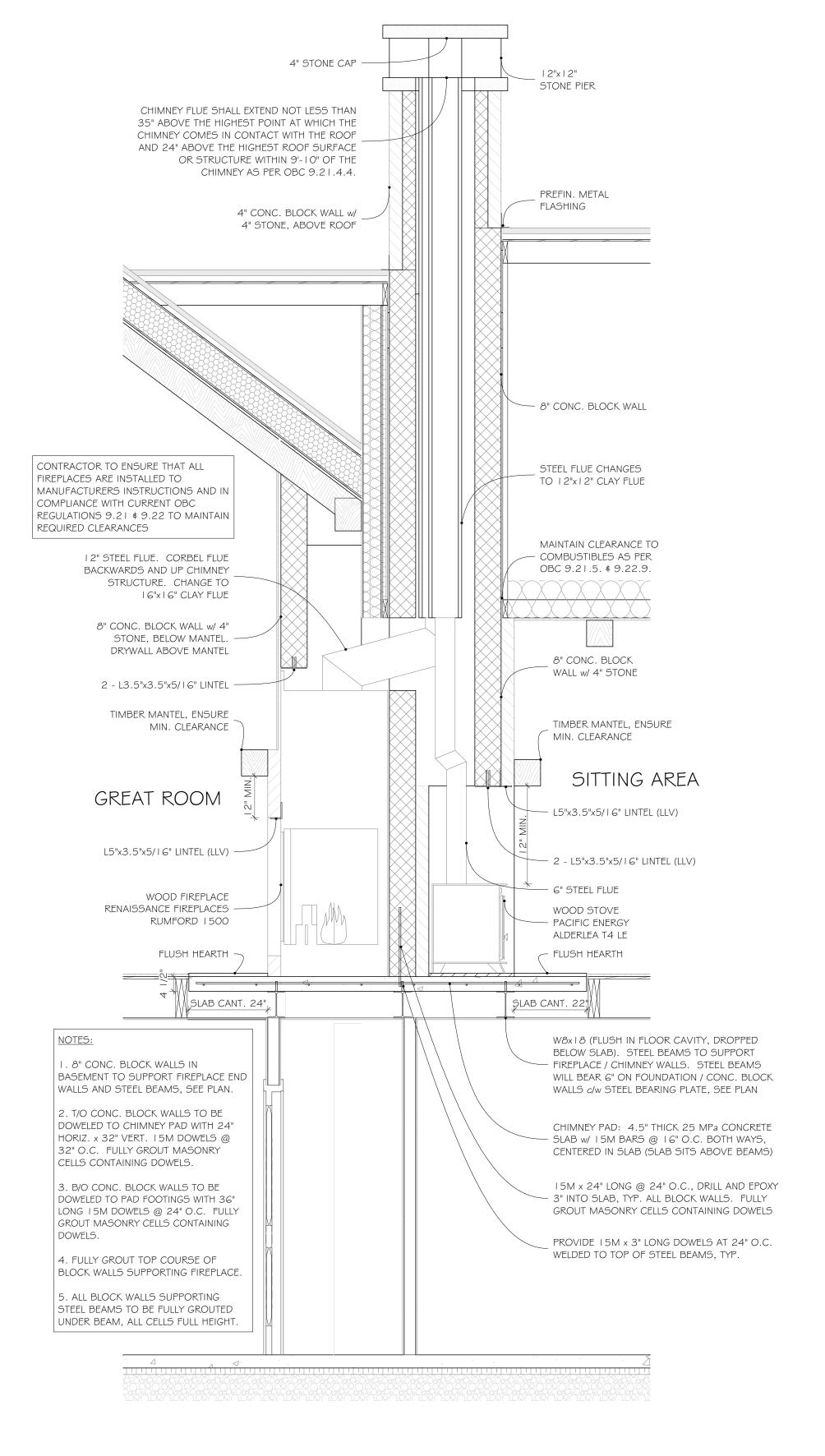
SECTIONS





. STRUCTURAL TIMBERFRAME DESIGNED, MANUFACTURED AND SUPPLIED BY PINERIDGE TIMBERFRAME, SEE PROVIDED SHOP DRAWINGS FROM PINERIDGE TIMBERFRAME FOR ALL SPECIFICATIONS. **2. STRUCTURAL INSULATED PANEL (S.I.P.) ROOF/WALL DESIGNED, MANUFACTURED AND SUPPLIED BY INSULSPAN (DELIVERED VIA PINERIDGE TIMBERFRAME), SEE PROVIDED LITERATURE FROM INSULSPAN FOR ALL SPECIFICATIONS.









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ANNE-MARIE & SCOTT TIPPING

3236 JERSEYVILLE RD W, JERSEYVILLE, ON PROJECT SQUARE FOOTAGE

BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE) TAC MA FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQFT SECOND FLOOR - 0 SQFT ENGINEERS Firm BCIN: 29604

TE-40878-22

% JAN 17 2023

FOR STRUCTURAL DESIGN ONLY

TAC MA

The undersigned has reviewed and taken responsibility for the design for categories

Designer: Brandon Martin

Date: January 17, 2023

BCIN REVIEW FOR COMPLIANCE

WITH OBC PART 9 ONLY. STRUCTURAL DESIGN BY P.ENG

Designer BCIN: 34596

in the categories checked below.

☐ Building Structural Complex Buildings Large Building

checked. As required by OBC Div. C 3.2.4, the designer is qualified and the firm is registered

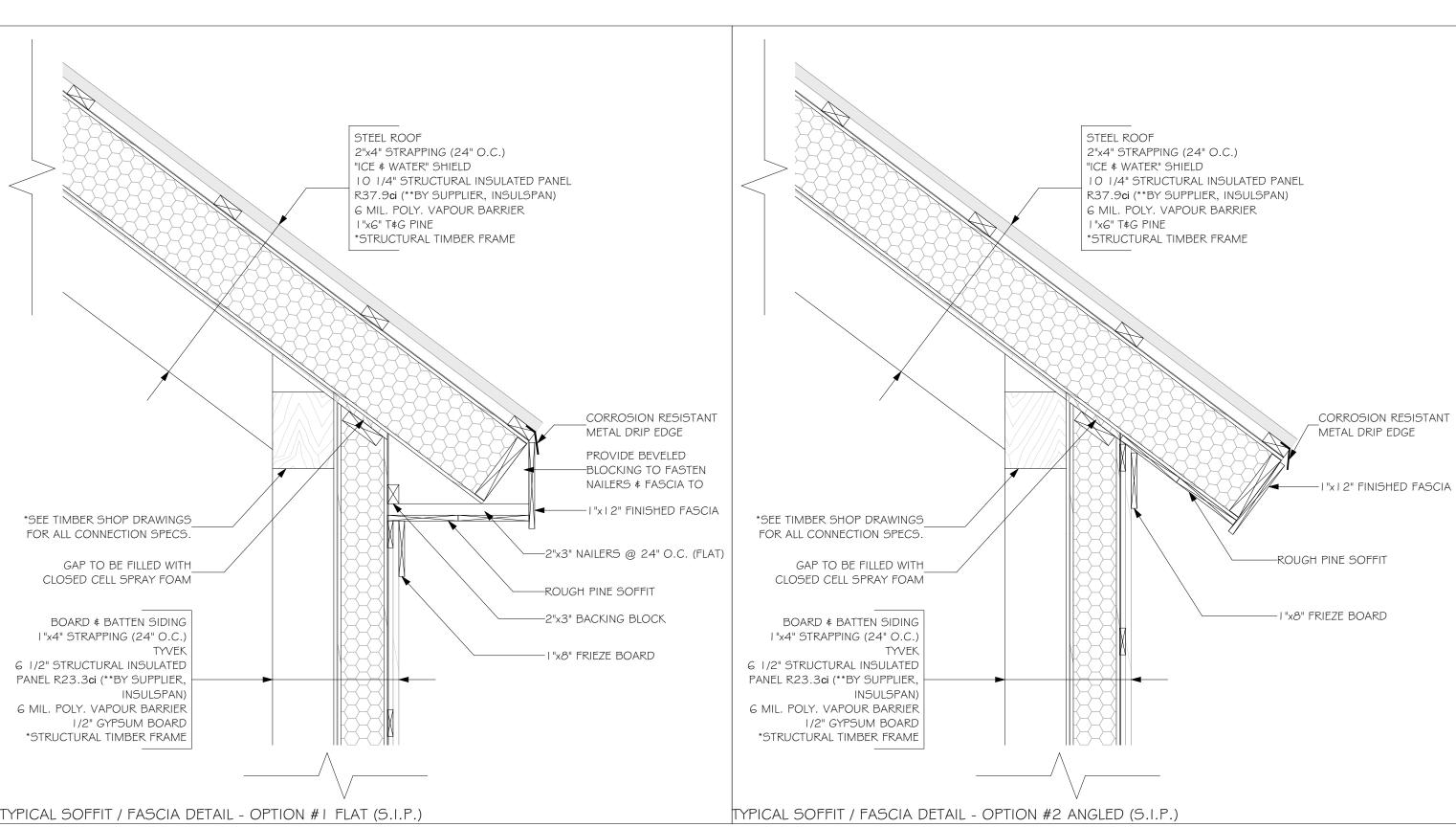
Ю.	ISSUED FOR	DATE	BY
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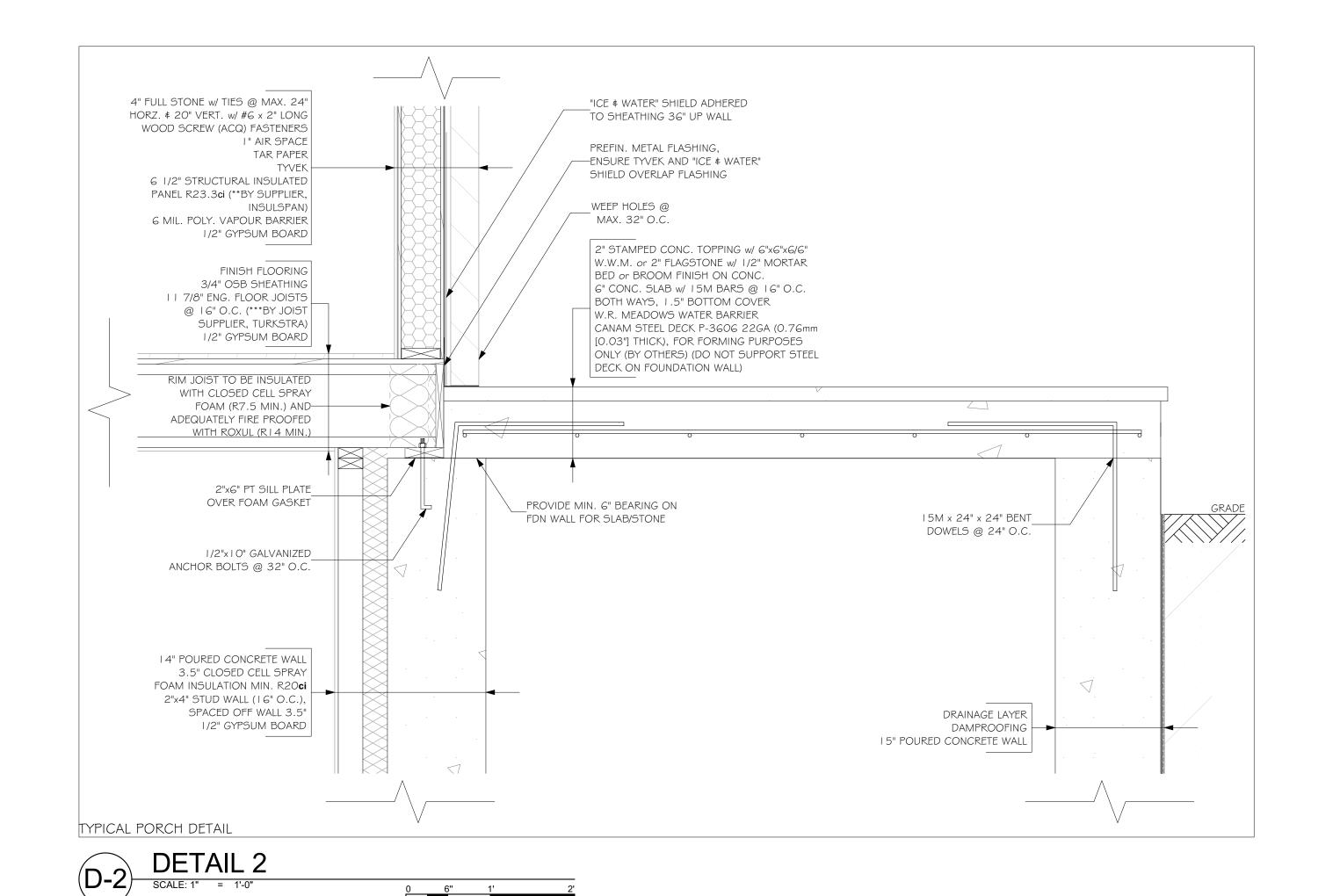
PROJECT NO: 21-233 PROJECT FILE: Tipping-21233.pln DRAWN BY: LAURA MACHAN SCALE: 1/4" = 1'-0", 1/2" = 1'-0" **DATE**: January 17, 2023

SHEET TITLE

SECTIONS

SHEET 14 OF 25





TAC MA

Firm BCIN: 29604

responsibility for the design for categories checked. As required by OBC Div. C 3.2.4, the

designer is qualified and the firm is registered in the categories checked below.

Signature:

Designer: Brandon Martin Designer BCIN: 34596

Date: _____ January 17, 2023 BCIN REVIEW FOR COMPLIANCE WITH OBC PART 9 ONLY.

STRUCTURAL DESIGN BY P.ENG

Building Structural

Large Building

Complex Buildings

TE-40878-22

JAN 17 2023

FOR STRUCTURAL DESIGN ONLY

TAC MA

The undersigned has reviewed and taken

ENGINEERS

BOARD & BATTEN SIDING I "x4" STRAPPING (24" O.C.) TYVEK or TAPE INSULATION JOINTS MIN. R7.5 CONTINUOUS INSULATION 7/16" OSB SHEATHING 2"x6" STUD WALL (16" O.C.) MIN. R14 INSULATION 6 MIL. POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD "ICE & WATER" SHIELD ADHERED TO SHEATHING 36" UP WALL FINISH FLOORING PREFIN. METAL FLASHING, 3/4" OSB SHEATHING -ENSURE TYVEK AND "ICE \$ WATER" I I 7/8" ENG. FLOOR JOISTS SHIELD OVERLAP FLASHING @ 16" O.C. (***BY JOIST SUPPLIER, TURKSTRA) 1/2" GYPSUM BOARD 5/4" PT DECKING 2"x8" PT DECK JOISTS @ 16" O.C. LVL RIM JOIST TO BE INSULATED WITH CLOSED CELL SPRAY FOAM (R7.5 MIN.) AND CORROSION RESISTANT ADEQUATELY FIRE PROOFED JOIST HANGER WITH ROXUL (R14 MIN.) 2"x6" PT SILL PLATE 2"x8" PT LEDGER ACHORED TO LVL OVER FOAM GASKET RIM JOIST w/ 5/8" Ø CORROSION RESISTANT CARRIAGE BOLTS @ 16" O.C., STAGGERED 1/2"x10" GALVANIZED_ ANCHOR BOLTS @ 32" O.C. 8" POURED CONCRETE WALL 3.5" CLOSED CELL SPRAY FOAM INSULATION MIN. R20ci 2"x4" STUD WALL (16" O.C.), SPACED OFF WALL 3.5" 1/2" GYPSUM BOARD TYPICAL DECK LEDGER DETAIL

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ANNE-MARIE & SCOTT TIPPING

3236 JERSEYVILLE RD W, JERSEYVILLE, ON

PROJECT SQUARE FOOTAGE

BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE) FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQFT SECOND FLOOR - 0 SQFT

NO.	ISSUED FOR	DATE	BY
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13	FOUNDATION AND PERMIT DRAWING REVISIONS	06JAN2023	LM
14	PERMIT	17JAN2023	LM

PROJECT NO: 21-233 PROJECT FILE: Tipping-21233.pln DRAWN BY: LAURA MACHAN SCALE: 1" = 1'-0" **DATE**: January 17, 2023

SHEET TITLE

DETAILS

SHEET 15 OF 25

TYPICAL SOFFIT / FASCIA DETAIL - OPTION #1 FLAT (S.I.P.)

		INTERIOR DO	OR SCHEDULE	- R.O. SIZES		
ID	STOREY	ROOM NAME	EXTERIOR VIEW	R.O. SIZE	HEADER	JACK / KING STUDS
INT-D01	BASEMENT PLAN	BEDROOM 2		3'-0 1/2"×6'-10"	2 - 2"x10"	3 JACKS & 1 KING
INT-D02	BASEMENT PLAN	BEDROOM 2		5'-2 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D03	BASEMENT PLAN	BATHROOM 2		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D04	BASEMENT PLAN	BEDROOM 3		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D05	BASEMENT PLAN	BEDROOM 3		4'-8 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D06	BASEMENT PLAN	OFFICE		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D07	BASEMENT PLAN	STORAGE		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D08	BASEMENT PLAN	MECHANICAL ROOM		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D09	BASEMENT PLAN	COLD STORAGE		3'-2 5/16"×6'-10 11/16"	2 - 2"x6"	1 JACK & 1 KING
INT-D10	BASEMENT PLAN	REC. ROOM		8'-2 1/2"×6'-10"	2 - 2"x6"	1 JACK & 2 KING
INT-D11	FIRST FLOOR PLAN	PRINCIPAL BEDROOM		5'-10 1/2"x7'-1"	2 - 2"x6"	1 JACK & 1 KING
INT-D12	FIRST FLOOR PLAN	W.I.C.		3'-6 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D13	FIRST FLOOR PLAN	ENSUITE		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D14	FIRST FLOOR PLAN	PANTRY		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D15	FIRST FLOOR PLAN	FOYER		3'-8 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D16	FIRST FLOOR PLAN	MUDROOM		3'-0 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
INT-D17	FIRST FLOOR PLAN	POWDER ROOM		2'-10 1/2"×6'-10"	2 - 2"x6"	1 JACK & 1 KING
NT-OPNG01	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	0-30	5'-7 9/16"x7'-7 1/4"	2 - 2"x8"	1 JACK & 1 KING
NT-OPNG02	FIRST FLOOR PLAN	FOYER		4'-1 1/16"x7'-7 1/4"	2 - 2"x6"	1 JACK & 1 KING
IT-OPNG03	FIRST FLOOR PLAN	SUNROOM		4'-1"x7'-7 1/4"	2 - 2"x6"	1 JACK & 1 KING

WINDOW SCHEDULE - R.O. SIZES											
ID	STOREY	ROOM NAME	EXTERIOR VIEW	R.O. SIZE	HEADER	JACK / KING STUDS	STONE LINTE				
G-W01	FIRST FLOOR PLAN	GARAGE		2'-6 9/16"×3'-8 5/16"	2 - 2"x6"	1 JACK & 1 KING	-				
G-W02	FIRST FLOOR PLAN	GARAGE	E	2'-6 9/16"×3'-8 5/16"	2 - 2"x6"	1 JACK & 1 KING	-				
INT-W01	FIRST FLOOR PLAN	KITCHEN	Ţ	2'-7"×3'-7"	2 - 2"x6"	1 JACK & 1 KING	-				
W01	BASEMENT PLAN	BEDROOM 2		5'-0 1/16"×2'-8 1/2"	-	-	-				
W02	BASEMENT PLAN	BEDROOM 3		5'-0 1/16"×2'-8 1/2"	-	-	-				
W03	BASEMENT PLAN	REC. ROOM		5'-0 1/16"×2'-8 1/2"	-	-	-				
W04	BASEMENT PLAN	OFFICE		4'-0 1/4"×3'-0 7/16"	-	-	-				
W05	FIRST FLOOR PLAN	PRINCIPAL BEDROOM		4'-0 1/4"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING	-				
W06	FIRST FLOOR PLAN	PRINCIPAL BEDROOM		4'-0 1/4"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING	-				
W07	FIRST FLOOR PLAN	GREAT ROOM		4'-8 1/8"×5'-0 1/16"	-	-	-				
W08	FIRST FLOOR PLAN	GREAT ROOM		5'-4"×5'-0 1/16"	-	-	-				
W09	FIRST FLOOR PLAN	GREAT ROOM		4'-8 1/8"×5'-0 1/16"	-	-	-				
W10	FIRST FLOOR PLAN	GREAT ROOM		4'-8 1/8"×3'-0 7/16"	-	-	-				
W11	FIRST FLOOR PLAN	GREAT ROOM		5'-4"×3'-0 7/16"	-	-	-				
W12	FIRST FLOOR PLAN	GREAT ROOM		4'-8 1/8"×3'-0 7/16"	-	-	-				
W13	FIRST FLOOR PLAN	SITTING AREA		5'-11 7/8"×5'-0 1/16"	2 - 2"x8"	2 JACKS & 1 KING	-				
W14	FIRST FLOOR PLAN	SUNROOM		5'-4"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING	-				
W15	FIRST FLOOR PLAN	SUNROOM		5'-4"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING	-				
W16	FIRST FLOOR PLAN	LAUNDRY ROOM		3'-4 3/8"×2'-4 9/16"	2 - 2"x8"	2 JACKS & 1 KING	-				
W17	FIRST FLOOR PLAN	LAUNDRY ROOM		2'-8 1/2"×3'-4 3/8"	2 - 2"x6"	1 JACK & 1 KING	-				
W18	FIRST FLOOR PLAN	POWDER ROOM		2'-0 5/8"×4'-0 1/4"	2 - 2"x6"	1 JACK & 1 KING	L3.5"x3.5"x5/16"				
W19	FIRST FLOOR PLAN	DINING ROOM		5'-11 7/8"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING	-				
W20	FIRST FLOOR PLAN	DINING ROOM		5'-11 7/8"×5'-0 1/16"	2 - 2"x6"	1 JACK & 1 KING	-				
W21	FIRST FLOOR PLAN	STAIRWELL		4'-8 1/8"×4'-8 1/8"	-	-	L3.5"x3.5"x5/16"				
W22	FIRST FLOOR PLAN	ENSUITE		4'-8 1/8"×4'-8 1/8"	2 - 2"x6"	1 JACK & 1 KING	-				
W23	FIRST FLOOR PLAN	ENSUITE		2'-0 5/8"×3'-4 3/8"	2 - 2"x6"	1 JACK & 1 KING	-				
W24	FIRST FLOOR PLAN	PRINCIPAL BEDROOM		5'-11 7/8"×2'-0 5/8"	2 - 2"x6"	1 JACK & 2 KINGS	-				

	EXTERIOR DOOR SCHEDULE - FRAME SIZES											
ID	STOREY	ROOM NAME	UNIT SIZE	TYPE	OPERATION/HINGE	EXTERIOR VIEW	JAMB	SCREEN	BRICK MOLD	NOTES		
D01	FIRST FLOOR PLAN	SUNROOM	5'-10 7/8"×6'-7 1/2"	PATIO	SLIDER - FIXED-RIGHT TO LEFT		6 9/16"	YES	-	-		
D02	FIRST FLOOR PLAN	MUDROOM	3'-1 15/16"×6'-10 1/2"	FIBERGLASS INSULATED	IN-SWING - RIGHT		6 9/16"	-	-	-		
D03	FIRST FLOOR PLAN	FOYER	6'-0"×7'-0"	WOOD	IN-SWING - LEFT		6 9/16"	-	YES	SIDELITES - 16"		
G-D01	FIRST FLOOR PLAN	GARAGE	3'-1 15/16"×6'-10 1/2"	FIBERGLASS	IN-SWING - LEFT	H	6 9/16"	-	-	-		
G-D02	FIRST FLOOR PLAN	GARAGE	9'-0"×7'-0"	STEEL	ROLL-UP		-	-	-	-		
G-D03	FIRST FLOOR PLAN	GARAGE	9'-0"×7'-0"	STEEL	ROLL-UP		-	-	-	-		

		IN ⁷	TERIOR DOOR SC	HEDULE - FRAMI	ES SIZES		
ID	STOREY	ROOM NAME	UNIT SIZE	TYPE	OPERATION/HINGE	EXTERIOR VIEW	NOTES
INT-D01	BASEMENT PLAN	BEDROOM 2	2'-10"×6'-8"	WOOD	IN-SWING - LEFT		-
INT-D02	BASEMENT PLAN	BEDROOM 2	5'-0"×6'-8"	WOOD	OUT-SWING - LEFT-RIGHT		-
INT-D03	BASEMENT PLAN	BATHROOM 2	2'-10"×6'-8"	WOOD	IN-SWING - LEFT		-
INT-D04	BASEMENT PLAN	BEDROOM 3	2'-10"×6'-8"	WOOD	IN-SWING - RIGHT		-
INT-D05	BASEMENT PLAN	BEDROOM 3	4'-6"×6'-8"	WOOD	OUT-SWING - LEFT-RIGHT		-
INT-D06	BASEMENT PLAN	OFFICE	2'-10"×6'-8"	WOOD	IN-SWING - RIGHT		-
INT-D07	BASEMENT PLAN	STORAGE	2'-10"×6'-8"	WOOD	IN-SWING - LEFT		-
INT-D08	BASEMENT PLAN	MECHANICAL ROOM	2'-10"×6'-8"	WOOD	IN-SWING - LEFT		-
INT-D09	BASEMENT PLAN	COLD STORAGE	3'-1 5/16"×6'-10 3/16"	STEEL INSULATED	IN-SWING - LEFT		-
INT-D10	BASEMENT PLAN	REC. ROOM	8'-0"×6'-8"	WOOD	SLIDING BARN - LEFT-RIGHT		-
INT-D11	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	2'-10"×6'-8"	WOOD	POCKET - RIGHT		-
INT-D12	FIRST FLOOR PLAN	W.I.C.	3'-4"×6'-8"	WOOD	SLIDING BARN - LEFT-RIGHT		-
INT-D13	FIRST FLOOR PLAN	ENSUITE	2'-10"×6'-8"	WOOD	IN-SWING - RIGHT	[200 L. 100 H	-
INT-D14	FIRST FLOOR PLAN	PANTRY	2'-10"×6'-8"	WOOD	OUT-SWING - RIGHT		-
INT-D15	FIRST FLOOR PLAN	FOYER	3'-6"×6'-8"	WOOD	OUT-SWING - LEFT-RIGHT		-
INT-D16	FIRST FLOOR PLAN	MUDROOM	2'-10"×6'-8"	WOOD	SLIDING BARN - RIGHT		-
INT-D17	FIRST FLOOR PLAN	POWDER ROOM	2'-8"×6'-8"	WOOD	OUT-SWING - LEFT		-
NT-OPNG01	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	5'-6 9/16"×7'-6"	-	-	pNI	-
NT-OPNG02	FIRST FLOOR PLAN	FOYER	4'-0 1/16"×7'-6"	-	-		-
NT-OPNG03	FIRST FLOOR PLAN	SUNROOM	4'-1"×7'-6"	-	-		-

TAC	MA ENGINEERS
	BCIN: 29604
responsibility for the	nas reviewed and taken ne design for categories red by OBC Div. C 3.2.4, the ed and the firm is registered hecked below.
☐ Building Str	uildings ling
Designer:	Brandon Martin
Designer BCIN:	34596
	anuary 17, 2023
WITH OB	V FOR COMPLIANCE C PART 9 ONLY. L DESIGN BY P.ENG

	WINDOW SCHEDULE - FRAME SIZES									
ID	STOREY	ROOM NAME	UNIT SIZE	TYPE	OPERATION / HINGE	EXTERIOR VIEW	JAMB	SCREEN	BRICK MOLD	NOTES
G-W01	FIRST FLOOR PLAN	GARAGE	2'-5 9/16"×3'-7 5/16"	CASEMENT	RIGHT		4 9/16"	YES	-	-
G-W02	FIRST FLOOR PLAN	GARAGE	2'-5 9/16"×3'-7 5/16"	CASEMENT	LEFT	K	4 9/16"	YES	-	-
INT-W01	FIRST FLOOR PLAN	KITCHEN	2'-6"×3'-6"	DOUBLE HUNG	UP/DOWN	Ţ	4 9/16"	YES	-	-
W01	BASEMENT PLAN	BEDROOM 2	4'-11 1/16"×2'-7 1/2"	SLIDER	LEFT TO RIGHT-FIXED		4 9/16"	YES	YES	-
W02	BASEMENT PLAN	BEDROOM 3	4'-11 1/16"×2'-7 1/2"	SLIDER	LEFT TO RIGHT-FIXED		4 9/16"	YES	YES	-
W03	BASEMENT PLAN	REC. ROOM	4'-11 1/16"×2'-7 1/2"	SLIDER	LEFT TO RIGHT-FIXED		4 9/16"	YES	YES	-
W04	BASEMENT PLAN	OFFICE	3'-11 1/4"×2'-11 7/16"	SLIDER	LEFT TO RIGHT-FIXED		4 9/16"	YES	YES	-
W05	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	3'-11 1/4"×4'-11 1/16"	CASEMENT	FIXED-RIGHT		4 9/16"	YES	-	-
W06	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	3'-11 1/4"×4'-11 1/16"	CASEMENT	LEFT-FIXED		4 9/16"	YES	-	-
W07	FIRST FLOOR PLAN	GREAT ROOM	4'-7 1/8"×4'-11 1/16"	CASEMENT	FIXED-RIGHT	<u> </u>	4 9/16"	YES	-	-
W08	FIRST FLOOR PLAN	GREAT ROOM	5'-3"×4'-11 1/16"	CASEMENT	FIXED-FIXED		4 9/16"	-	-	-
W09	FIRST FLOOR PLAN	GREAT ROOM	4'-7 1/8"×4'-11 1/16"	CASEMENT	LEFT-FIXED		4 9/16"	YES	-	-
W10	FIRST FLOOR PLAN	GREAT ROOM	4'-7 1/8"×2'-11 7/16"	CASEMENT	FIXED-FIXED		4 9/16"	-	-	-
W11	FIRST FLOOR PLAN	GREAT ROOM	5'-3"×2'-11 7/16"	CASEMENT	FIXED-FIXED		4 9/16"	-	-	-
W12	FIRST FLOOR PLAN	GREAT ROOM	4'-7 1/8"×2'-11 7/16"	CASEMENT	FIXED-FIXED		4 9/16"	-	-	-
W13	FIRST FLOOR PLAN	SITTING AREA	5'-10 7/8"×4'-11 1/16"	CASEMENT	LEFT-FIXED-RIGHT		4 9/16"	YES	-	-
W14	FIRST FLOOR PLAN	SUNROOM	5'-3"×4'-11 1/16"	CASEMENT	FIXED-RIGHT		4 9/16"	YES	-	-
W15	FIRST FLOOR PLAN	SUNROOM	5'-3"×4'-11 1/16"	CASEMENT	LEFT-FIXED		4 9/16"	YES	-	-
W16	FIRST FLOOR PLAN	LAUNDRY ROOM	3'-3 3/8"×2'-3 9/16"	AWNING	TOP		4 9/16"	YES	-	-
W17	FIRST FLOOR PLAN	LAUNDRY ROOM	2'-7 1/2"×3'-3 3/8"	CASEMENT	LEFT		4 9/16"	YES	-	-
W18	FIRST FLOOR PLAN	POWDER ROOM	1'-11 5/8"×3'-11 1/4"	CASEMENT	RIGHT		4 9/16"	YES	YES	-
W19	FIRST FLOOR PLAN	DINING ROOM	5'-10 7/8"×4'-11 1/16"	CASEMENT	LEFT-FIXED-RIGHT		4 9/16"	YES	-	-
W20	FIRST FLOOR PLAN	DINING ROOM	5'-10 7/8"×4'-11 1/16"	CASEMENT	LEFT-FIXED-RIGHT		4 9/16"	YES	-	-
W21	FIRST FLOOR PLAN	STAIRWELL	4'-7 1/8"×4'-7 1/8"	CASEMENT	FIXED-RIGHT		4 9/16"	YES	YES	-
W22	FIRST FLOOR PLAN	ENSUITE	4'-7 1/8"×4'-7 1/8"	CASEMENT	LEFT-FIXED		4 9/16"	YES	-	-
W23	FIRST FLOOR PLAN	ENSUITE	1'-11 5/8"×3'-3 3/8"	AWNING	ТОР		4 9/16"	YES	-	-
W24	FIRST FLOOR PLAN	PRINCIPAL BEDROOM	5'-10 7/8"×1'-11 5/8"	CASEMENT	FIXED		4 9/16"	-	_	-



147 Norpark Ave. Mount Forest, ON N0G 2L0 Phone (519) 323-3336 Fax (519) 323-3382

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GENERAL CONTRACTOR

Precise Projects 11 Four Winds Place Dundas, ON L9H 3Y1 Phone (905) 512-0078 Contact Rick Wiersma Cell (905) 807-7094

ANNE-MARIE & SCOTT TIPPING

3236 JERSEYVILLE RD W, JERSEYVILLE, ON

PROJECT SQUARE FOOTAGE BASEMENT - 2,041 SQFT (EXCLUDES COLD STORAGE) FIRST FLOOR - 2,006 SQFT GARAGE - 672 SQFT SECOND FLOOR - 0 SQFT

NO.	ISSUED FOR	DATE	BY
01	CLIENT REVIEW	22DEC2021	LM
02	CLIENT REVIEW	11FEB2022	LM
03	CLIENT REVIEW	28FEB2022	LM
04	WINDOW & DOOR QUOTE	22MAR2022	LM
05	CLIENT REVIEW	22APR2022	LM
06	CLIENT REVIEW	03MAY2022	LM
07	FOUNDATION LAYOUT	05MAY2022	LM
08	WINDOW & DOOR QUOTE	02JUNE2022	LM
09	ENGINEERING	19AUG2022	LM
10	ENGINEERING	29SEPT2022	LM
11	FINAL ENGINEERING	05OCT2022	LM
12	PERMIT	13OCT2022	LM
13	FOUNDATION AND PERMIT DRAWING REVISIONS	06JAN2023	LM
14	PERMIT	17JAN2023	LM

PROJECT NO: 21-233 PROJECT FILE: Tipping-21233.pln DRAWN BY: LAURA MACHAN SCALE: 1:0.80 **DATE**: January 17, 2023

R.O. SCHEDULES

SHEET 16 OF 25

SHEET TITLE

DESIGN STANDARDS

- (a) ONTARIO BUILDING CODE 2012 r2020
- (b) CAN/CSA O86 ENGINEERING DESIGN IN WOOD.

LOADS

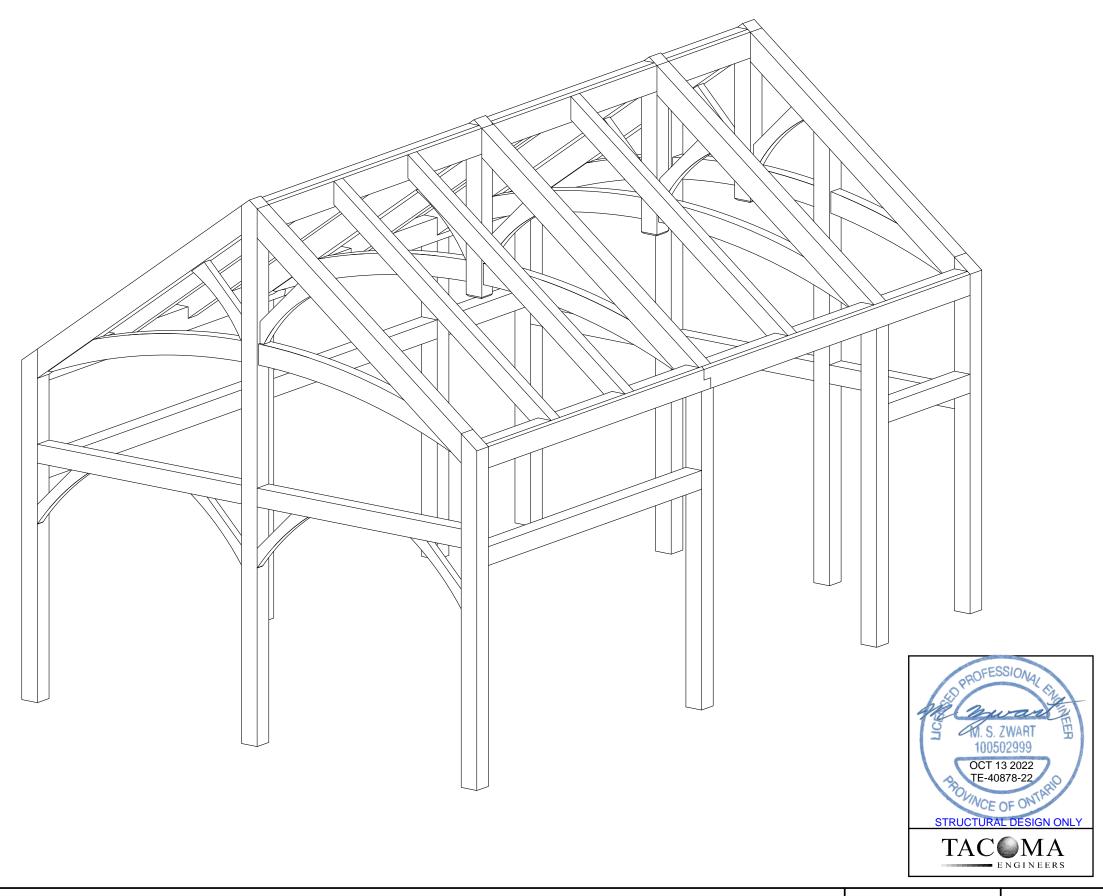
ROOF LIVE LOAD ROOF DEAD LOAD 25.7 PSF 15.7 PSF

GENERAL NOTES & SPECIFICATIONS

- ALL DESIGN AND WORKMANSHIP ON THIS PROJECT SHALL MEET THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS (INCLUDING LATEST AMENDMENTS) AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION.
- 3. ALL DIMENSIONS SHALL BE VERIFIED ON THE JOB. READ THE STRUCTURAL DRAWINGS AND SPECIFICATIONS WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES TO THE ENGINEER PROMPTLY AND BEFORE CONSTRUCTION.
- 4. DO NOT SCALE DRAWINGS AND USE ONLY THOSE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". REMOVE EXISTING DRAWINGS FROM SITE, ON RECEIPT OF NEW REVISIONS.
- 5. ALL SHOP DRAWINGS TO BE SUBMITTED FOR REVIEW.
- 6. ANCHOR BOLTS AND LAG SCREWS TO BE GRADE A307
- H.S.S. SHALL BE GRADE 350W AND STEEL PLATE SHALL BE A36 MIN.

GENERAL WOOD & PRE-ENGINEERED WOOD NOTES

- 1. UNLESS OTHERWISE NOTED ON THE DRAWINGS ALL TIMBERS SHALL BE NORTHERN PINE No. 2.
- APPROPRIATE CARE MUST BE TAKEN TO AVOID DAMAGE TO ALL TIMBER SECTIONS, FROM IMPACT AND WEATHER BY PROTECTING MATERIALS DURING STORAGE, HANDLING, ERECTION, FITTING AND CONNECTING.
- 3. ALLOWANCES MUST BE MADE FOR ANTICIPATED SHRINKAGE OF THE WOOD TIMBERS BASED ON THE MOISTURE CONTENT AT TIME OF ASSEMBLY.
- ALL PEGS USED IN CONNECTIONS SHALL BE AIR DRIED HARDWOOD (OAK) WITH AS CLEAR GRAIN AS POSSIBLE. PEGS SHOULD BE STORED IN A COOL DRY PLACE TO CONTROL SHRINKAGE OR SWELLING.





147 NORPARK AVE. MOUNT FOREST, ONTARIO NOG 2L0

PHONE 519-323-3336 FAX 519-323-3382

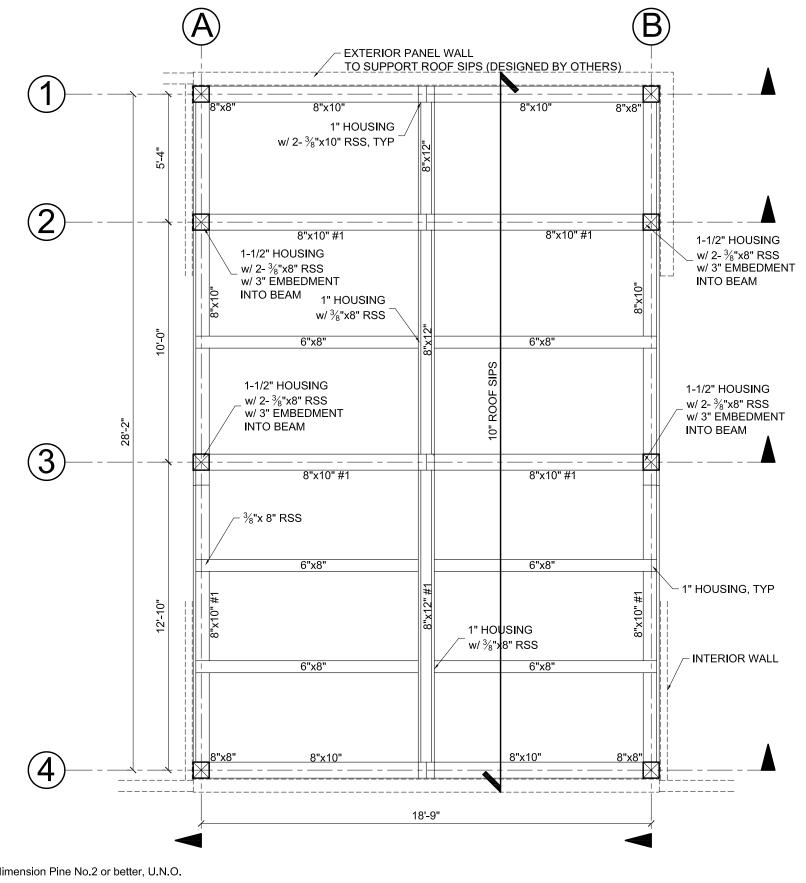
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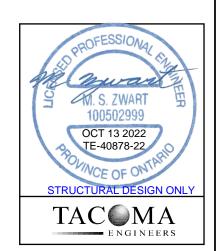
3236 Jerseyville Rd W, Jerseyville, Ontario

3D VIEW

NTS

SÍ





ROOF PLAN

All timbers are to be full dimension Pine No.2 or better, U.N.O.



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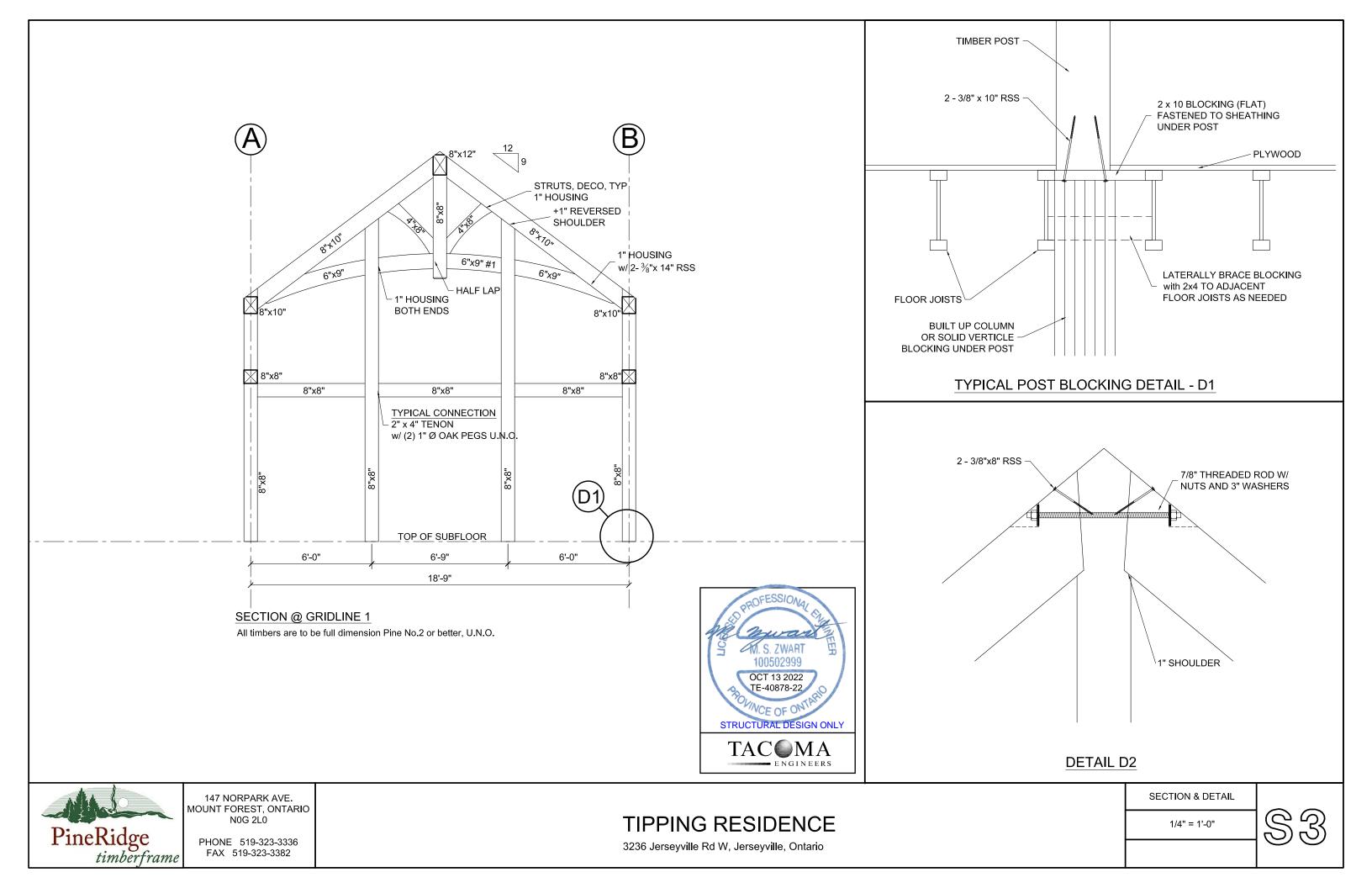
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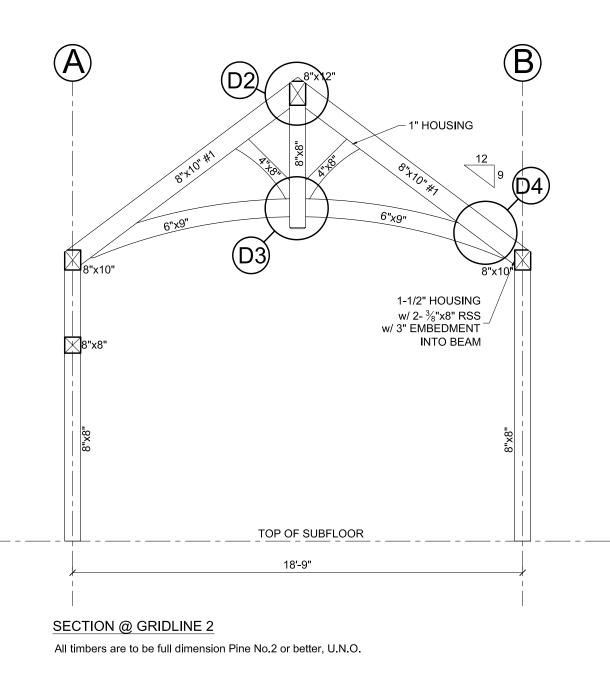
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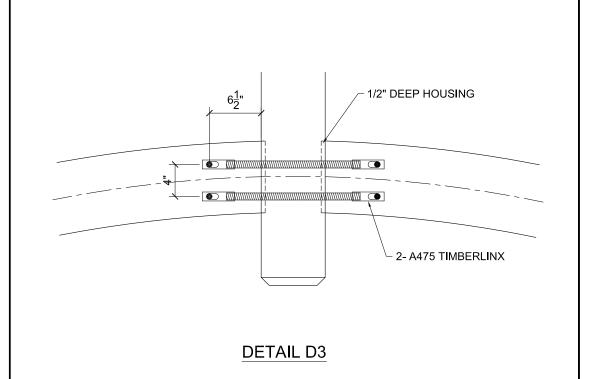
ROOF PLAN

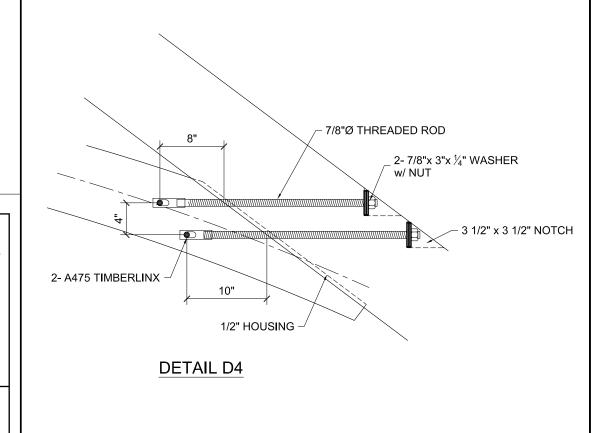
1/4" = 1'-0"













147 NORPARK AVE. MOUNT FOREST, ONTARIO N0G 2L0

PHONE 519-323-3336 FAX 519-323-3382 TIPPING RESIDENCE

M. S. ZWART

OCT 13 2022 TE-40878-22

STRUCTURAL DESIGN ONLY

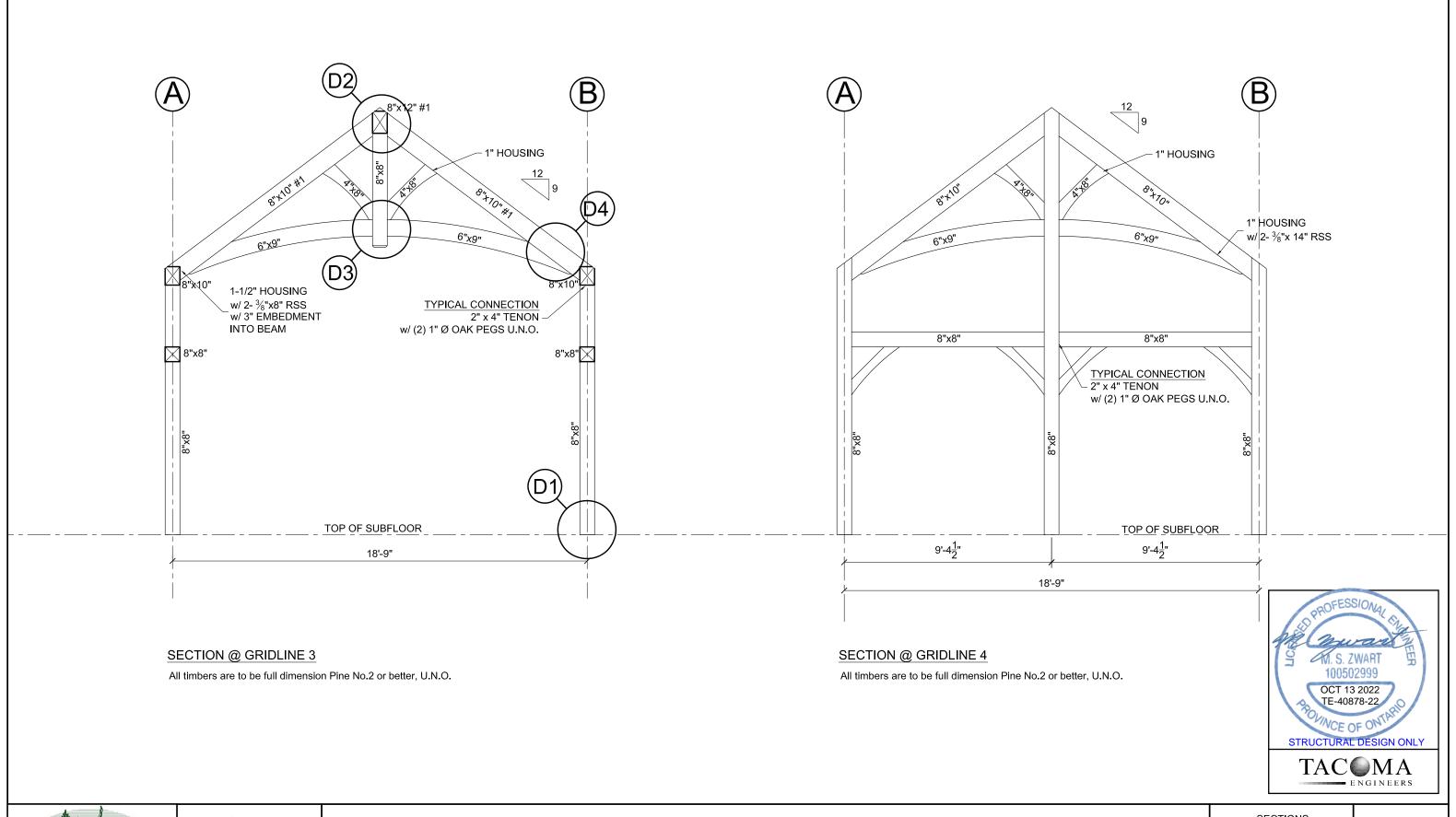
TAC MA ENGINEERS

3236 Jerseyville Rd W, Jerseyville, Ontario

SECTION & DETAIL

1/4" = 1'-0"

\$4





147 NORPARK AVE. MOUNT FOREST, ONTARIO N0G 2L0

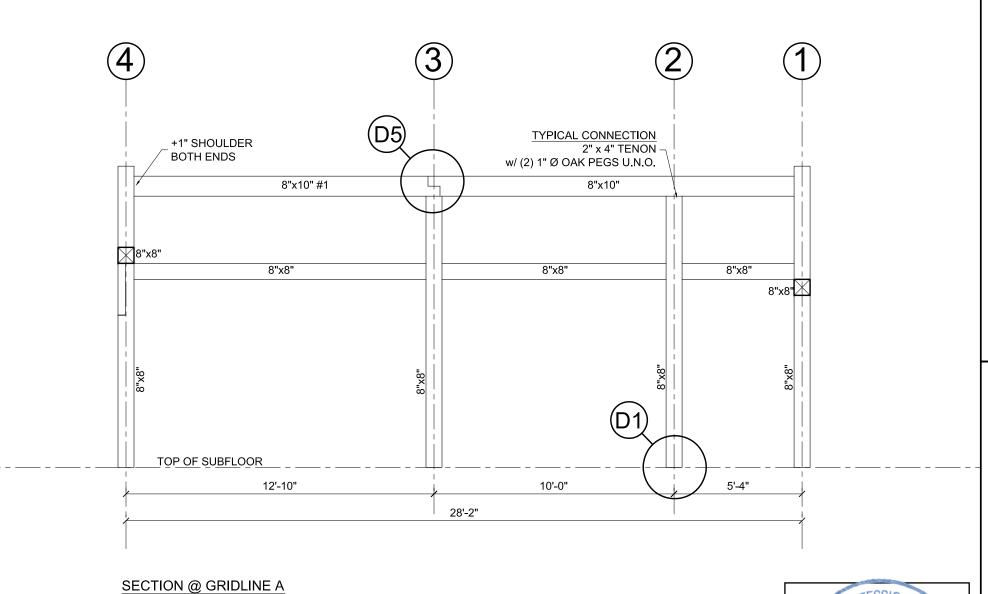
PHONE 519-323-3336 FAX 519-323-3382

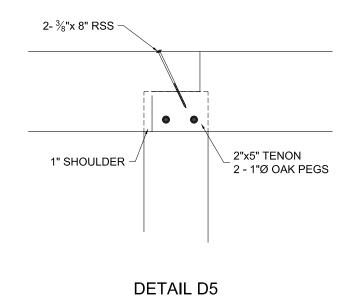
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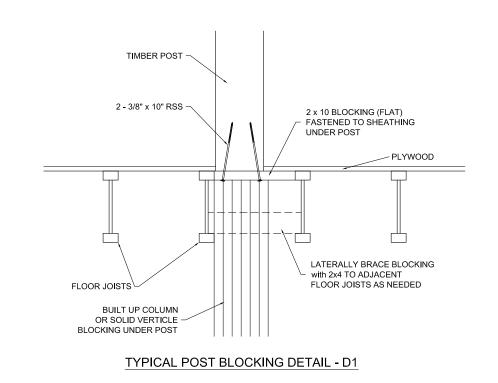
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SECTIONS

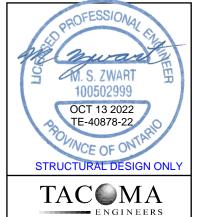
1/4" = 1'-0"







All timbers are to be full dimension Pine No.2 or better, U.N.O.





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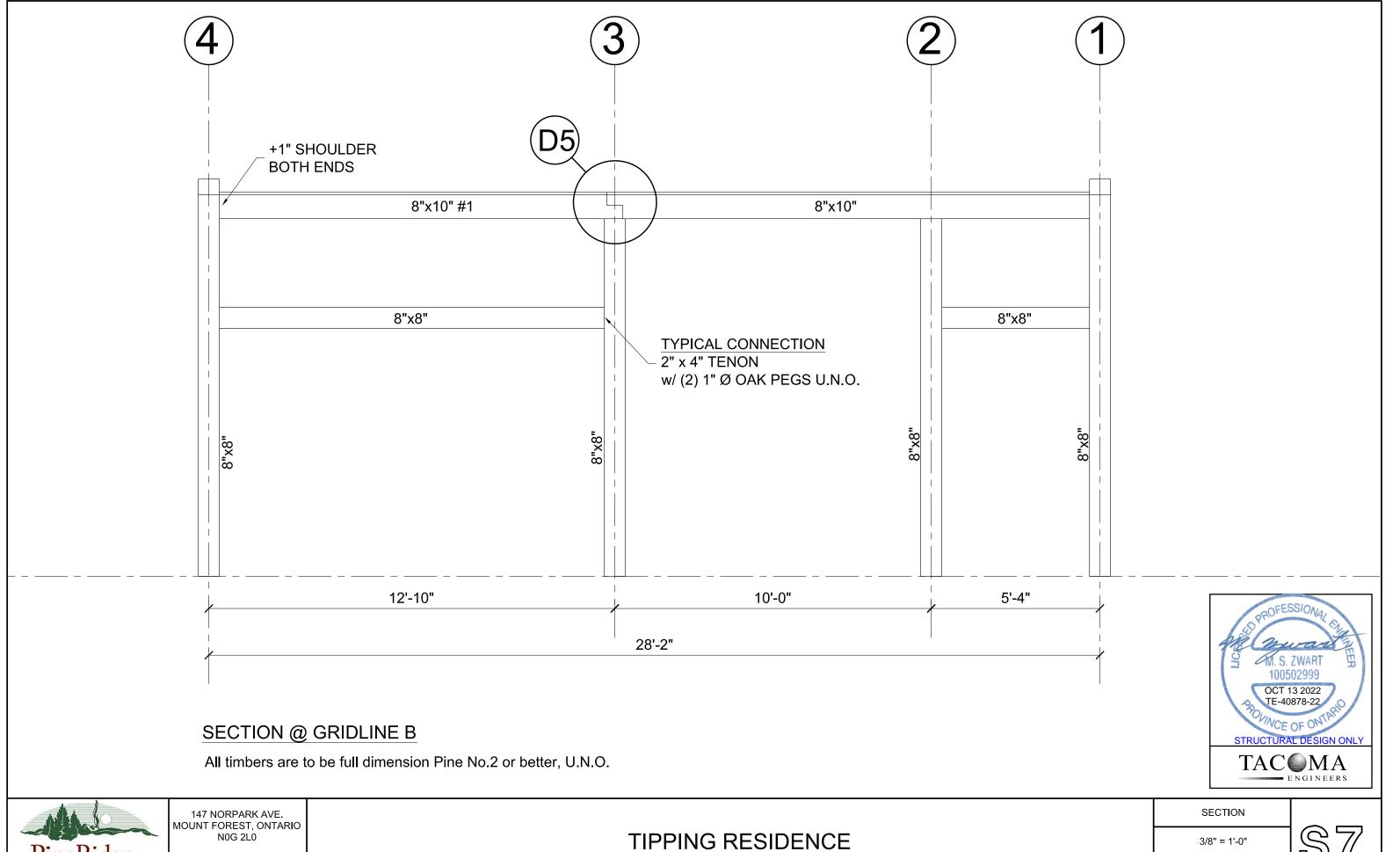
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

SECTION & DETAIL

1/4" = 1'-0"

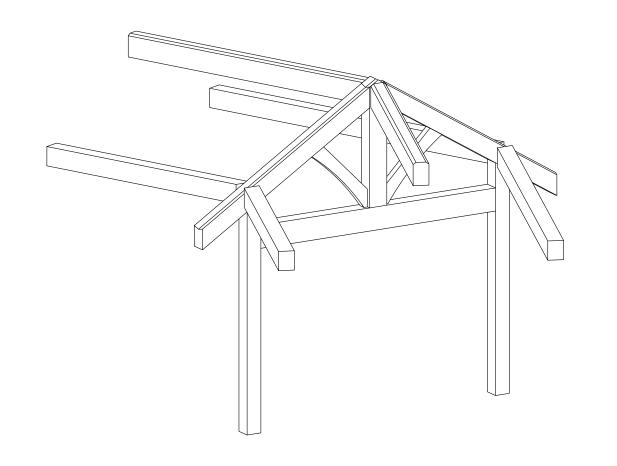


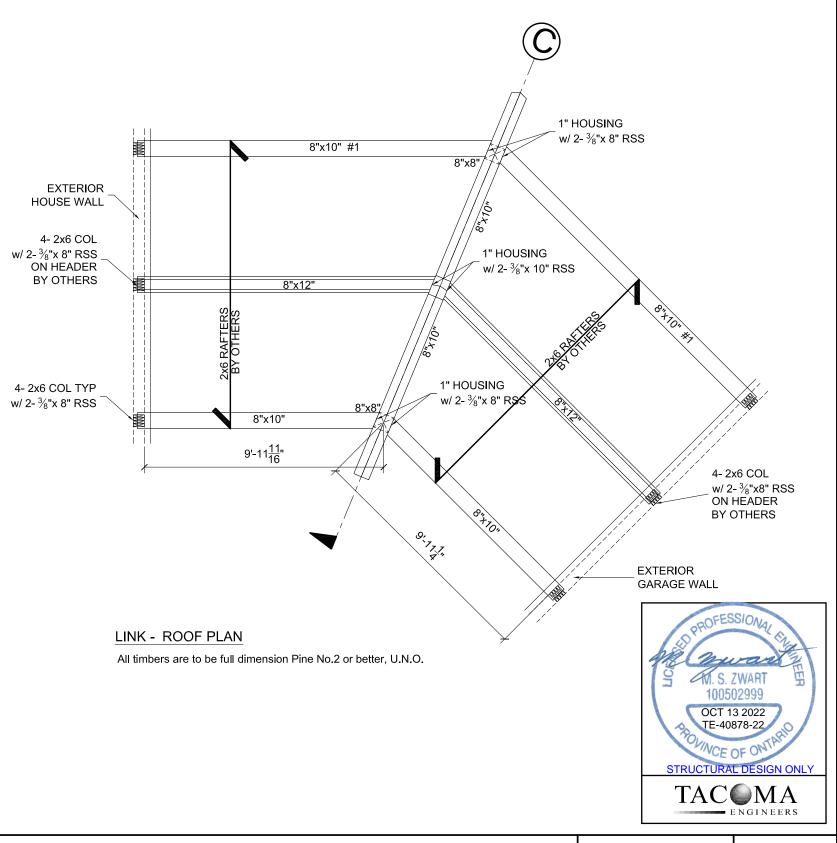


PineRidge timberframe

PHONE 519-323-3336 FAX 519-323-3382

3236 Jerseyville Rd W, Jerseyville, Ontario







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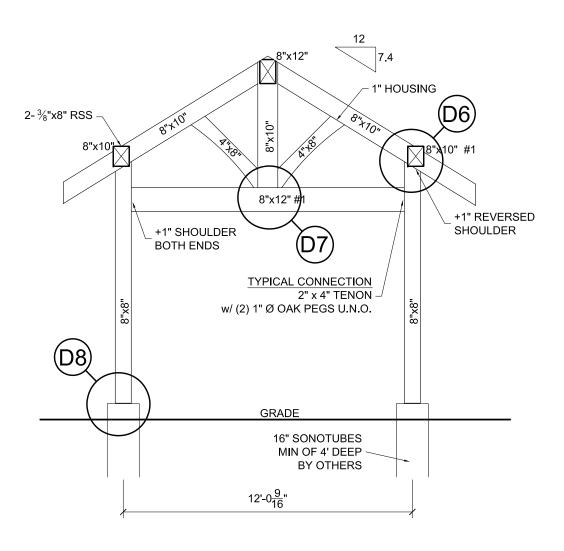
PHONE 519-323-3336 FAX 519-323-3382 TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

LINK - ROOF PLAN

1/4" = 1'-0"

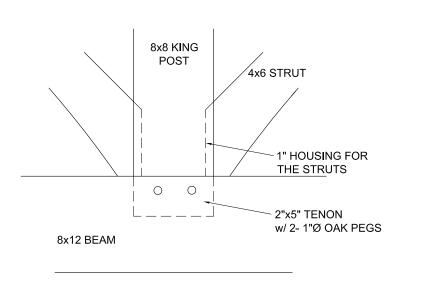




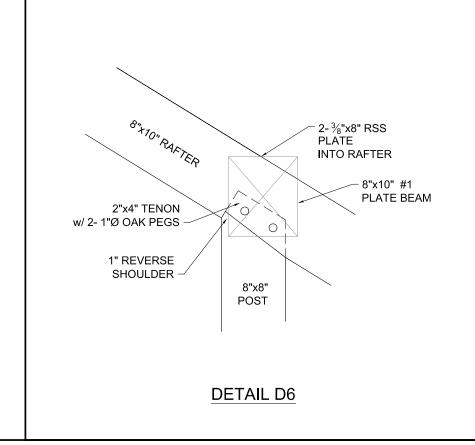


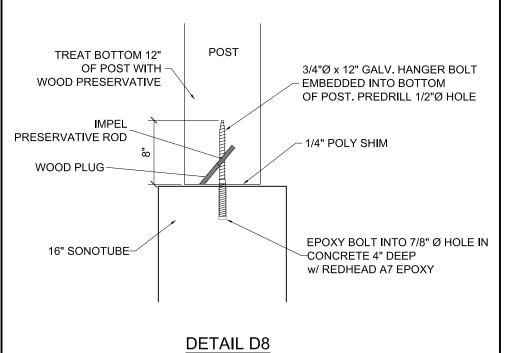
All timbers are to be full dimension Pine No.2 or better, U.N.O.





DETAIL D7







147 NORPARK AVE. MOUNT FOREST, ONTARIO N0G 2L0

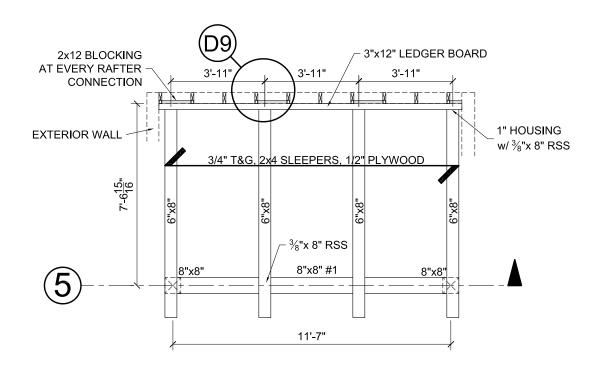
PHONE 519-323-3336 FAX 519-323-3382 TIPPING RESIDENCE

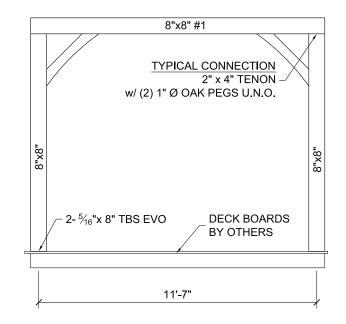
3236 Jerseyville Rd W, Jerseyville, Ontario

LINK- SECTION & DETAILS

1/4" = 1'-0"





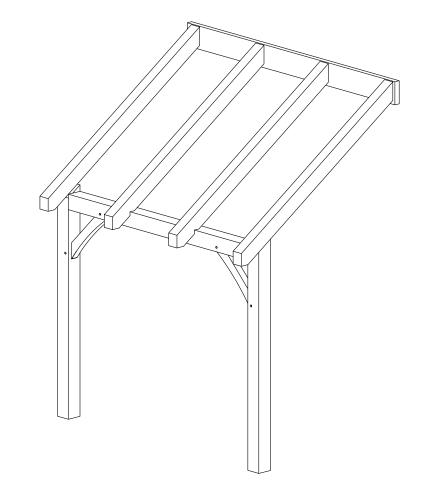


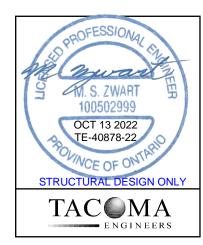
BACK DECK - ROOF PLAN

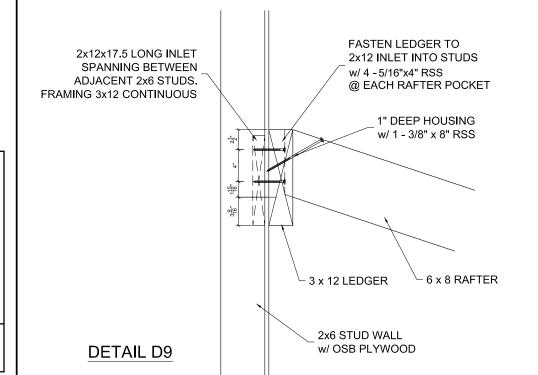
All timbers are to be full dimension Pine No.2 or better, U.N.O.

SECTION @ GRIDLINE 5

All timbers are to be full dimension Pine No.2 or better, U.N.O.







PineRidge timberframe

147 NORPARK AVE. MOUNT FOREST, ONTARIO N0G 2L0

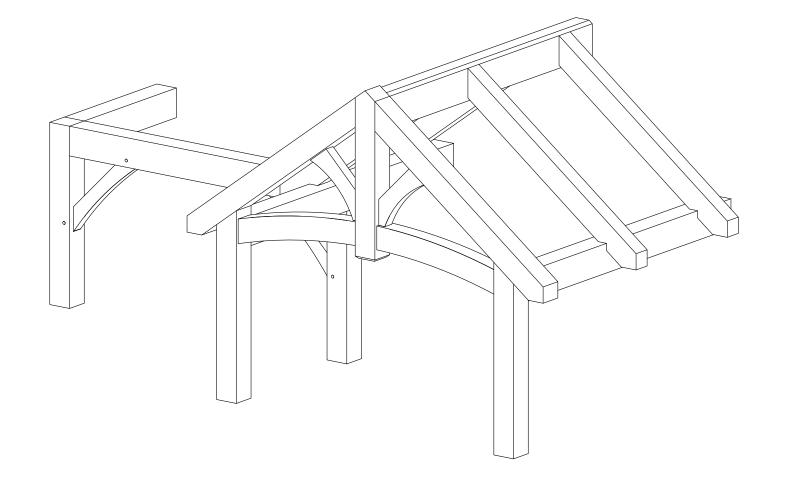
PHONE 519-323-3336 FAX 519-323-3382

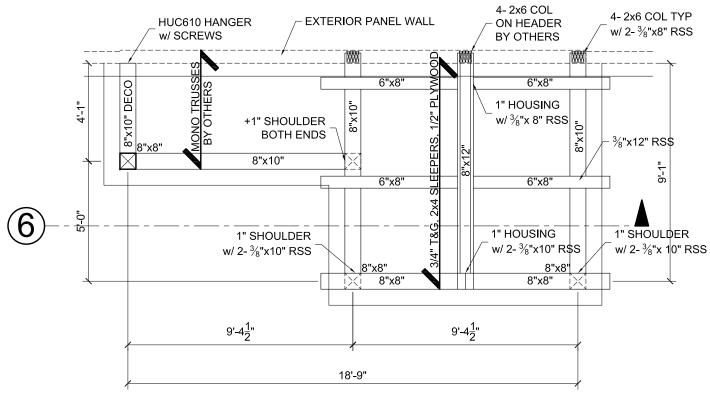
TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

BACK DECK 1/4" = 1'-0"

\$10





FRONT PORCH - ROOF PLAN

All timbers are to be full dimension Pine No.2 or better, U.N.O.





147 NORPARK AVE. MOUNT FOREST, ONTARIO N0G 2L0

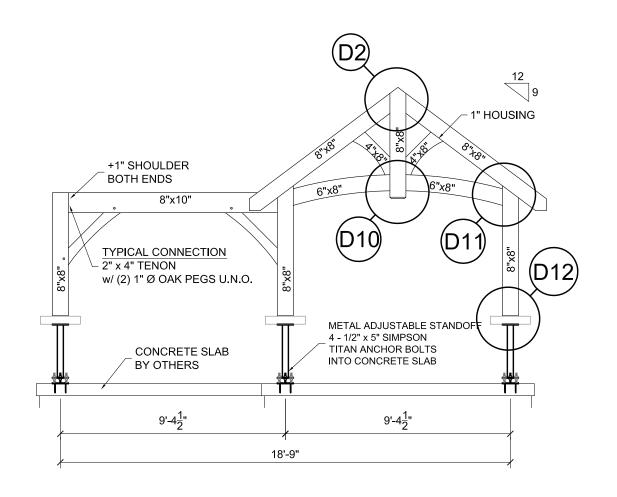
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TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

FRONT PORCH - ROOF PLAN

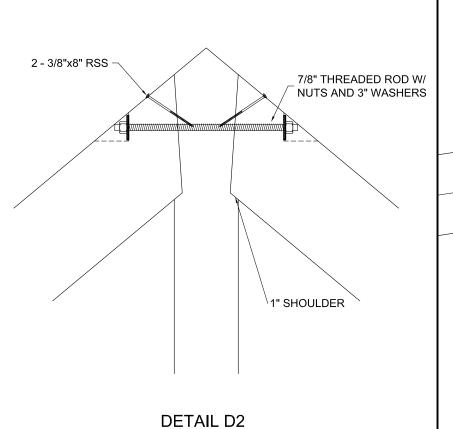
1/4" = 1'-0"

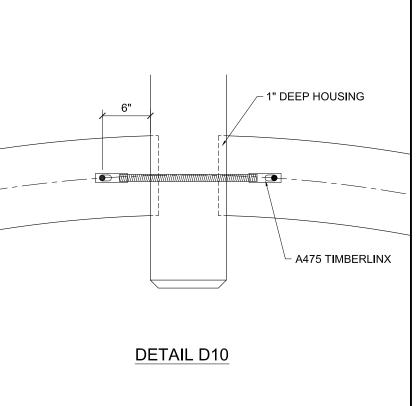


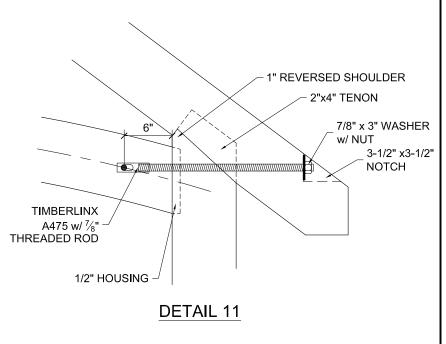
SECTION @ GRIDLINE 6

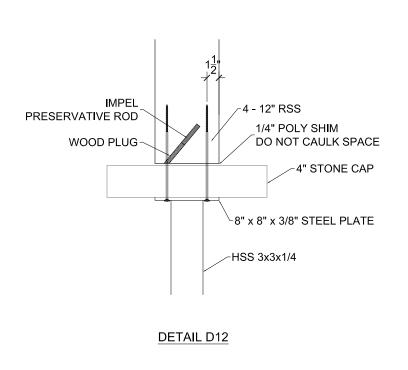
All timbers are to be full dimension Pine No.2 or better, U.N.O.













147 NORPARK AVE. MOUNT FOREST, ONTARIO NOG 2L0

PHONE 519-323-3336 FAX 519-323-3382

TIPPING RESIDENCE

3236 Jerseyville Rd W, Jerseyville, Ontario

FRONT PORCH

1/4" = 1'-0"

\$12



Committee of Adjustment City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT IN	FORMATION					
	NAME					
Registered Owners(s)	Scott & Anne-Marie Tippin					
Applicant(s)	Scott Tipping					
Agent or Solicitor	Scott Tipping					
1.2 All corresponden	ace should be sent to	☐ Purchase		☑ Owner ☐ Agent/Solicitor		
1.3 Sign should be s	ent to	☐ Purchase ☐ Applicant		☑ Owner☐ AgentSolicitor		
1.4 Request for digit		☑ Yes*	□No			
If YES, provide	email address where si	gn is to be sen	stipping30	@gmail.com		
1.5 All corresponder	nce may be sent by em	ail	✓ Yes*	□ No		
If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.						
2. LOCATION OF S	SUBJECT LAND					
2.1 Complete the ap	plicable sections:					

Municipal Address	3236 Jersey	ville Rd. W. Hamilton, ON L0)R 1R0	
Assessment Roll Number				
Former Municipality				
Lot	13	Concession	3	
Registered Plan Number		Lot(s)		101-3
Reference Plan Number (s)		Part(s)		

2.2	Are there	e any easements or restrictive covenants affecting the subject land?
	☐ Yes	☑ No describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Our new build home and accessory building (garage) are connected via an open breezeway which requires routine minor variance according to our City contacts. The accessory building includes a variance as the foundation corner of the garage is 7.2 m closer to road than home foundation. Also, the accessory structure is ~1 m higher than the allowable accessory building height (6 m) under by-law 05-200 4.8.1.2. The total height above grade 6.96 m for the accessory structure (garage). The two check-boxes below do not apply.

☐ Second Dwelling Unit	☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The design of the home and garage was intended to be permitted as single dwelling. The building department stated that an open breezeway requires we apply for the garage as an accessory structure. To meet the requirements under 05-200 4.8.1.2 would require significant costs to redesign and relocate structures. A routine minor variance is a practical approach as discussed with City officials at the planning department.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

V No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lat Frontogo	Lot Depth	Lot Area	Width of Street
Lot Frontage	1.001	~9.5 ha	~7.5 m (Total Width)
~30.26 m (On Street)	1.00 KIII		

4.2 Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
~37.45 m	+100 m	~7.88 m	10/01/2004
	+100 m	~28.17 m	12/01/2003
	+100 m	~4.00 m	01/01/1920
	Front Yard Setback ~37.45 m ~15.62 m ~24.13 m	Setback	Setback Rear Yard Setback Setbacks ~37.45 m +100 m ~7.88 m ~15.62 m +100 m ~28.17 m

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Proposed Home	56.04 m	+100 m	32.7 m	12/01/2023
Proposed Garage	48.99 m	+100 m	17.7 m	12/01/2023
T TOP STORE TO THE				
			XXXXIII CARA CARA CARA CARA CARA CARA CARA C	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

=xisting: Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Implement Shed (Farm Use)		~77.3 sgm	1	TBD < 6m
Home (To be demolished)		~131.9 sgm	1	TBD < 6m
Barn	~185 sam	~370 sqm	2	TBD ~ 8m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Proposed Home	186 sgm	186 sgm	1	6.90 m
Proposed Garage	62.4 sgm	62.4 sqm	1	6.96 m
1 Toposou Garago				

4.4	Type of water supply: (check appropriate box) ☐ publicly owned and operated piped water system ☐ privately owned and operated individual well	☐ lake or other water body ☐ other means (specify)
4.5	Type of storm drainage: (check appropriate boxes) ☐ publicly owned and operated storm sewers ☐ swales	☑ ditches ☐ other means (specify)

4.6	Type of sewage disposal proposed: (check appropriate box)
	☐ publicly owned and operated sanitary sewage
	system privately owned and operated individual
	septic system other means (specify) Septic
4.7	Type of access: (check appropriate box)
	☐ provincial highway ☐ municipal road, seasonally maintained ☐ other public road
	☑ municipal road, maintained all year
4.8	Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
	Single detached dwelling
4.9	Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
	Single detached dwelling and agricultural use
7 1	HISTORY OF THE SUBJECT LAND
7.1	Date of acquisition of subject lands:
7.1	Current property owners acquisition approx. May 2009
7.2	Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
1.2	Single detached dwelling
7.3	Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
	Single detached dwelling
7.4	Length of time the existing uses of the subject property have continued:
	Approx. 20 Years
7.5	What is the existing official plan designation of the subject land?
	Rural Hamilton Official Plan designation (if applicable): N/A
	Rural Settlement Area: N/A
	Urban Hamilton Official Plan designation (if applicable) N/A
	Please provide an explanation of how the application conforms with the Official Plan. N/A
76	What is the existing zoning of the subject land? A1
7.6	
7.8	Has the owner previously applied for relief in respect of the subject property? (Zoning By-lawAmendment or Minor Variance)
	☐ Yes ☑ No
	If yes, please provide the file number: A1 < This section is N/A

7.9		ect of a current application for consent under Section 53 of the		
	Planning Act?	Yes	☑ No	
	If yes, please provide the file nu	mber:		
7.10	If a site-specific Zoning By-law two-year anniversary of the by-	Amendment h	as been received for the subject property, has the sed expired?	
		☐ Yes	□ No	
7.11	If the answer is no, the decision application for Minor Variance i application not being "received"	s allowed mus	r Director of Planning and Chief Planner that the st be included. Failure to do so may result in an g.	
8	ADDITIONAL INFORMATION	Ē		
8.1	Number of Dwelling Units Exist	ting: <u>1</u>		
8.2	Number of Dwelling Units Prop	osed: 1		
8.3	Additional Information (please	include separa	ate sheet if needed):	
	The existing dwelling is to be	demolished.		

11 COMPLETE APPLICATION REQUIREMENTS 11.1 All Applications Application Fee Site Sketch ☐ Complete Application form Signatures Sheet 11.4 Other Information Deemed Necessary Cover Letter/Planning Justification Report Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance ☐ Minimum Distance Separation Formulae (data sheet available upon request) ☐ Hydrogeological Assessment Septic Assessment Archeological Assessment ☐ Noise Study Parking Study