



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>SC/A-19:328</b>	<b>SUBJECT PROPERTY:</b>	12 LAKESIDE DRIVE, STONEY CREEK
<b>ZONE:</b>	"R2" (Single Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Stoney Creek 3692-92, as Amended

**APPLICANTS:**      Owner: ORION SLOLEY  
                                 Agent: PROFESSIONAL FLOOR PLANS INC. C/O RAED AL-RAWI

The following variances are requested:

1. The dwelling shall be permitted to be located 0.34 m from the east side lot line instead of the minimum required east side yard setback of 1.25 m;
2. The dwelling shall be permitted to be located 0 m from the rear lot line instead of the minimum required rear yard setback of 7.5 m;
3. The dwelling shall be permitted to be located 0 m from the top of bank of the Lake Ontario shoreline instead of the minimum required setback of 7.5 m;
4. The eaves and gutters of the dwelling shall be permitted to encroach the full width of the east side yard, up to the maximum 0.77 m, instead of the maximum encroachment of 0.5 m.; and
5. The dwelling shall be permitted a lot coverage of 44.3% of the lot area (173.79 sq m) instead of the maximum permitted lot coverage of 40% (156.84 sq m).

**PURPOSE & EFFECT:**      To recognize additions to the existing single detached dwelling:

**Notes:**

- i. This property is located entirely within an area regulated by the Hamilton Conservation Authority and this agency has issued a permit for repair and reinforcement of an existing shorewall. As such, the minimum required setback from the top of bank of the Lake Ontario shoreline is 7.5 m, pursuant

to Section 4.13.2 (a) of Stoney Creek Zoning By-law 3692-92;

- ii. With respect to Variance 1, concerning the east side yard setback, the required setback has been identified as 1.25 m, contrary to the application submission noting 1 m, since the east side addition includes building portions other than an attached garage, which require relief from the minimum setback of 1.25 m;
- iii. With respect to Variances 2 and 3, concerning rear yard setback and top of bank setback respectively, since the site plan does not clearly identify the rear lot line or top of bank, and does not include a dimension from either limit to the nearest portion of the dwelling, a variance for 0 m setback has been identified for each required setback. The applicant may provide a revised site plan clearly identifying these limits and setbacks to clarify the relief required. If clarifying top of bank, please include confirmation from the Hamilton Conservation Authority regarding its location;
- iv. With respect to Variance 4, concerning eave projection, relief for encroaching the full east side yard has been identified since the eave projection is not dimensioned in the plans and gutters are not shown. If the eaves and gutters project no more than 0.5 m from the east side wall of the dwelling, then this variance is not required. Please note that a variance from the Zoning By-law does not constitute permission for an eave or gutter to encroach into adjacent private property. Any encroachment into private property may require a private encroachment agreement; and
- v. With respect to Variance 5, concerning lot coverage, this variance has been written as submitted in the original application. However, the figures are not reflective of the figures and percentages for lot area and lot coverage in the plans submitted. The plans note a coverage of 38.5% of the lot area. As such, this variance may not be required.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, April 6, 2023</b>
<b>TIME:</b>	<b>9:45 a.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

**FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding SC/A-19:328, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: March 21, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

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E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

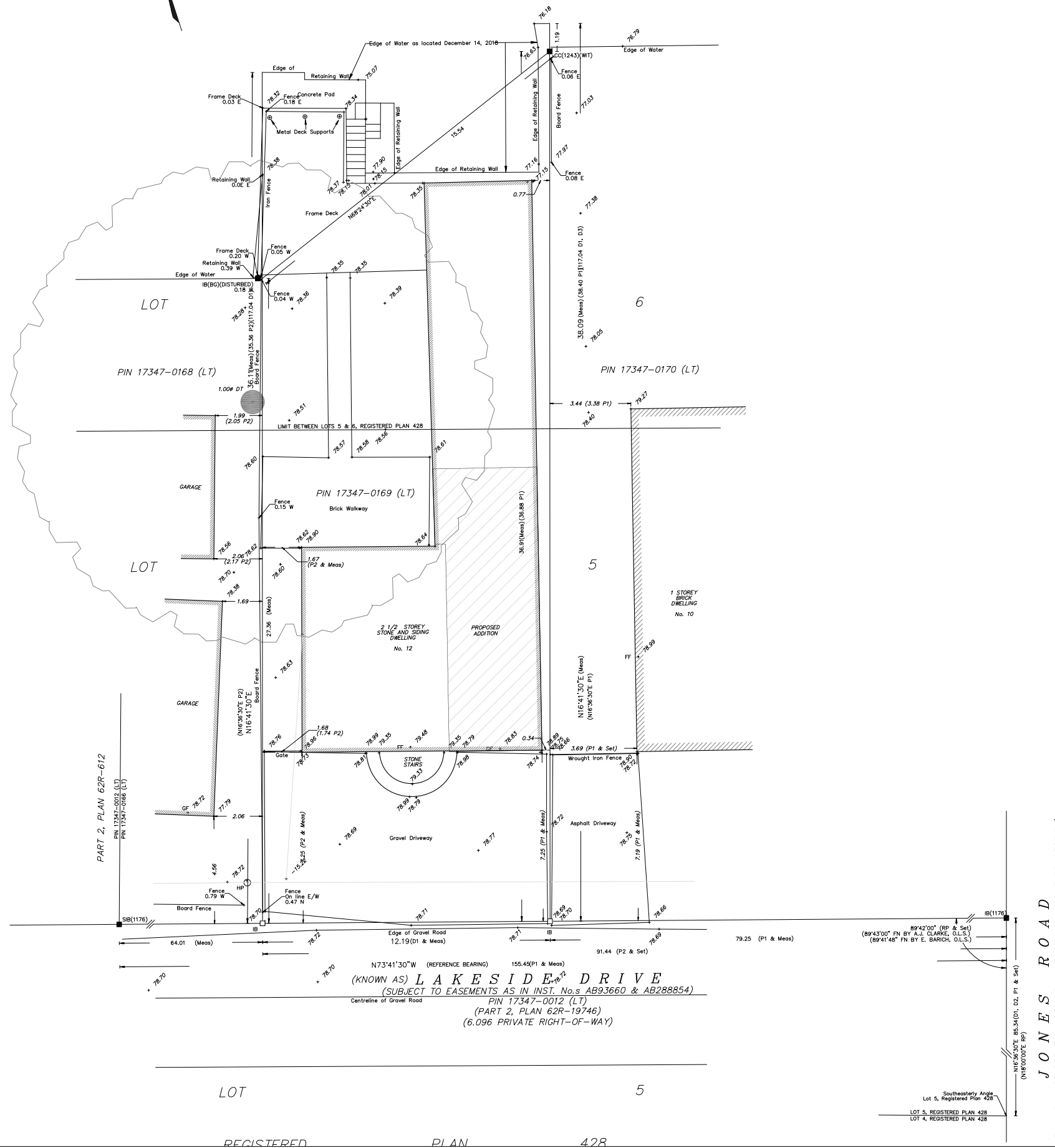
**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



L A K E O N T A R I O



SITE PLAN  
SCALE 1:200

LOT

5

REGISTERED PLAN 428

KEY PLAN



REV.	DESCRIPTION	DATE
01	BUILDING PERMIT APPLICATION	Jul., 29th, 2019

PROJECT:  
12 Lakeside Dr., Stoney Creek

CLIENT: Orion Sloley

CONSULTANT: PROFESSIONAL FLOOR PLANS INC.  
5147 Preservation Circle,  
Mississauga, ON, L5M7T4  
www.proffloorplans.ca

DWG TITLE: SITE PLAN

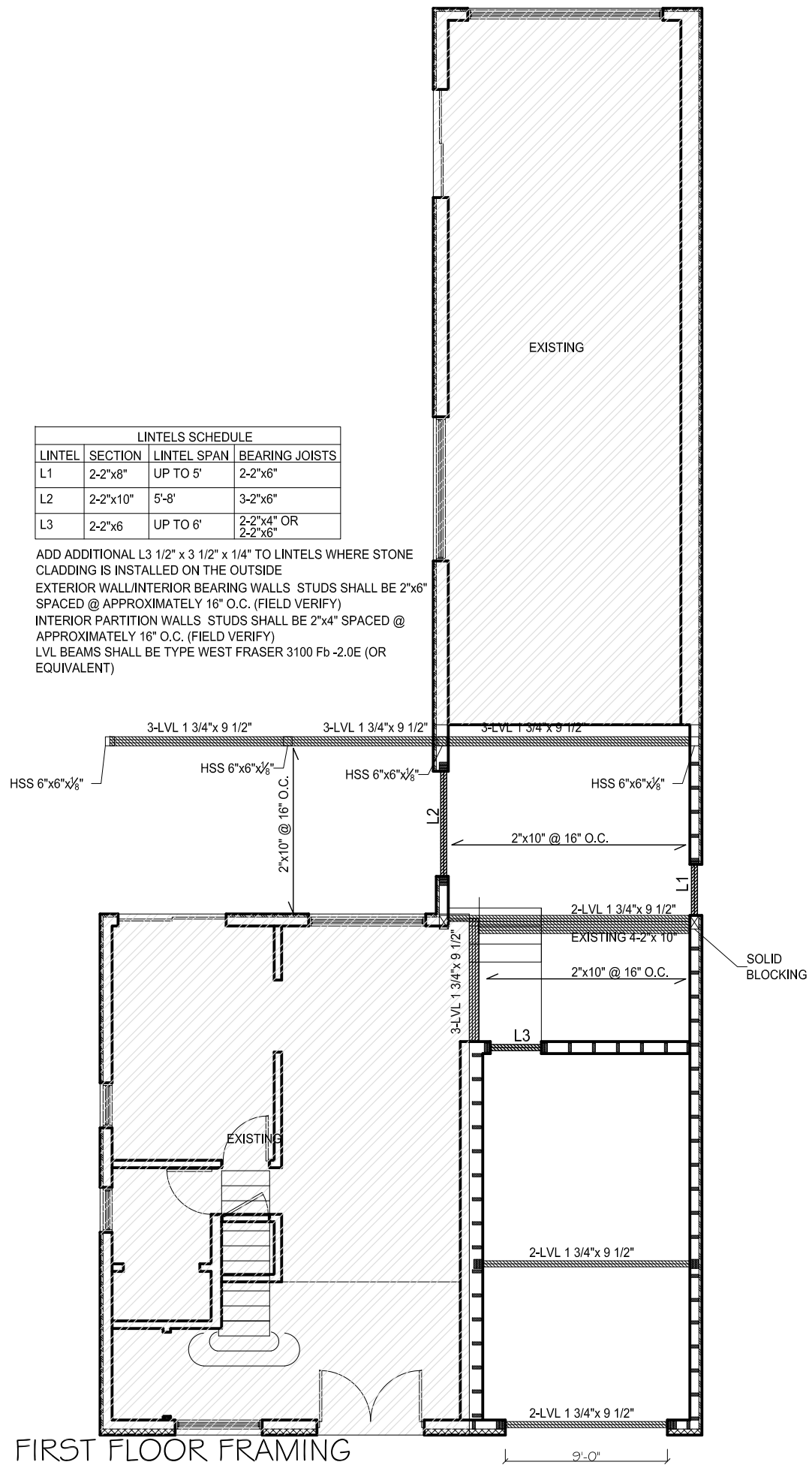
SHEET: SP1.01  
SCALE: 1/200

DRAWN: Zainab Khudair  
DATE: Apr. 8th, 2019

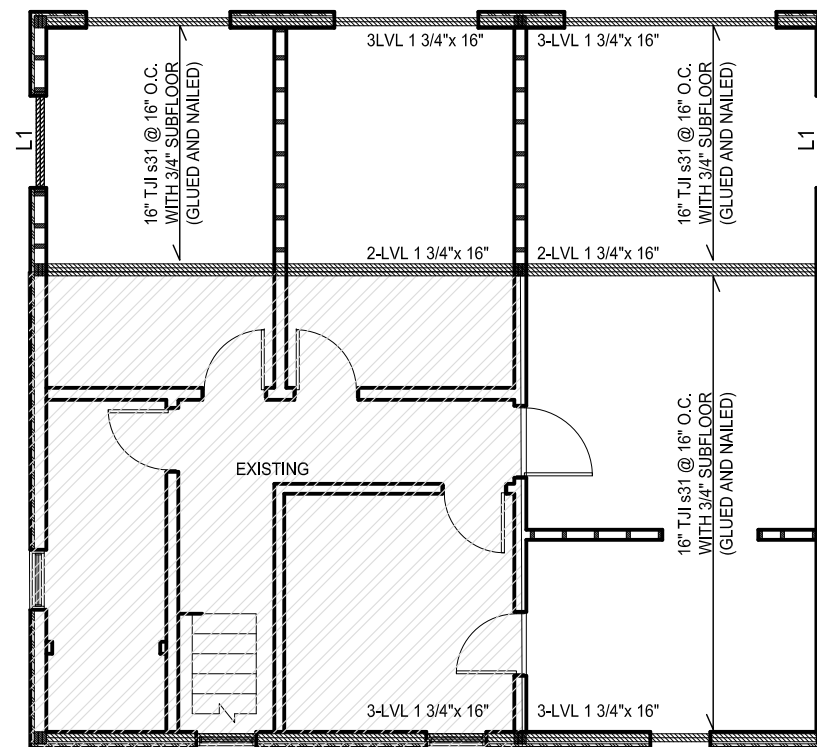
JONES ROAD  
AD ALLOWANCE BETWEEN LOTS 12 & 13, BROKEN FRONT CONCESSION

LINTELS SCHEDULE			
LINTEL	SECTION	LINTEL SPAN	BEARING JOISTS
L1	2-2"x8"	UP TO 5'	2-2"x6"
L2	2-2"x10"	5'-8"	3-2"x6"
L3	2-2"x6"	UP TO 6'	2-2"x4" OR 2-2"x6"

ADD ADDITIONAL L3 1/2" x 3 1/2" x 1/4" TO LINTELS WHERE STONE CLADDING IS INSTALLED ON THE OUTSIDE  
 EXTERIOR WALL/INTERIOR BEARING WALLS STUDS SHALL BE 2"x6" SPACED @ APPROXIMATELY 16" O.C. (FIELD VERIFY)  
 INTERIOR PARTITION WALLS STUDS SHALL BE 2"x4" SPACED @ APPROXIMATELY 16" O.C. (FIELD VERIFY)  
 LVL BEAMS SHALL BE TYPE WEST FRASER 3100 Fb -2.0E (OR EQUIVALENT)



**FIRST FLOOR FRAMING**  
 SCALE 1/8" = 1'-0"



**SECOND FLOOR FRAMING**  
 SCALE 1/8" = 1'-0"

KEY PLAN

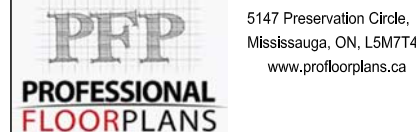


01	BUILDING PERMIT APPLICATION	Jul., 29th, 2019
REV.	DESCRIPTION	DATE

PROJECT:  
 12 Lakeside Dr., Stoney Creek

CLIENT: Orion Stoley

CONSULTANT: PROFESSIONAL FLOOR PLANS INC.



DWG TITLE: FIRST & SECOND FLOOR FRAMING

SHEET: F4.01  
 SCALE: 1/8" = 1'-0"

DRAWN: Zainab Khudair  
 DATE: Apr. 8th, 2019

CITY OF HAMILTON ZONING BY-LAW

	BY LAW	PROPOSED
ZONING	R2	DETACHED DWELLING
LOT AREA	460.0 m2 MIN.	412.7 m2 (EXISTING)
LOT FRONTAGE	15.00 m	12.19 m (EXISTING)
MIN. FRONT YARD	6.00 m	7.25 m (EXISTING)
MIN. EXTERIOR SIDE YARD	3.00 m	N.A.
MIN. INTERIOR SIDE YARD	1.25 m, 1.00 m	1.67 m, 0.34 m
MIN. REAR YARD	7.50 m	6.70 m (EXISTING)
MAXIMUM HEIGHT	11.00 m	9.50 m

BUILDING AREA		
FIRST FLOOR AREA		137.30 m2
SECOND FLOOR AREA		95.21 m2
<b>TOTAL</b>		<b>232.51 m2</b>
LOWER LEVEL (UNFINISHED BASEMENT AREA)		53.21 m2
FRONT COVERED PORCH		0.00 m2
GARAGE		21.72 m2
TOTAL COVERAGE AREA		159.02 m2
LOT COVERAGE	40% (165.08 m2)	38.5 %
PARKING SPACES (MIN.)	2	2

**GENERAL DEMOLITION NOTES**

- DISPOSE OF REMOVED ITEMS IN A LAWFUL MANNER IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MUNICIPALITY HAVING JURISDICTION
- ALL EXISTING WALLS AND ITEMS TO BE REMOVED ARE SHOWN DASHED.
- OWNER TO HAVE RIGHT TO FIRST REFUSAL OF ALL ITEMS REMOVED. ALL REMOVED ITEM SHALL BE DISPOSED OF AS PER NOTE No. 1.
- COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALL RELATED COMPONENTS OF DEMOLITION, MODIFICATION AND NEW INSTALLATION.
- SAWCUT AND REMOVE THE EXISTING SLAB ON GRADE TO FACILITATE ANY BURIED MECHANICAL AND/OR ELECTRICAL ITEMS PATCH AND MAKE GOOD SLAB ON GRADE AFTER NEW SERVICES ARE IN PLACE. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- REMOVE, RELOCATE AND/OR REROUTE ALL MECHANICAL AND ELECTRICAL SERVICES AND CONNECTIONS AS REQUIRED TO ACCOMMODATE DEMOLITION OR AS NECESSARY AS A RESULT OF DEMOLITION.
- SUPPLY AND INSTALL NECESSARY SHORING AND/OR BRACING AS REQUIRED FOR TEMPORARY SUPPORT OF EXISTING STRUCTURE. COORDINATE WITH A STRUCTURAL ENGINEER AS REQUIRED.
- ENSURE ALL FLOOR AREAS ARE FREE OF HAZARDS AFTER DEMOLITION IS COMPLETE. LEVEL PATCH, FILL AND GRIND FLOOR AS REQUIRED TO ACHIEVE A SMOOTH SANITARY SURFACE READY TO RECEIVE FLOOR FINISH.
- CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO EXISTING AS BUILT WALLS, SURFACES AND FINISHES TO REMAIN.
- PROTECT SALVAGED AND/OR ITEMS TO REMAIN FROM DAMAGE. PROVIDE ADEQUATE COVERINGS AND/OR STORAGE AS REQUIRED.
- EXISTING EXIT SIGNAGE, FIRE ALARM SYSTEM AND EMERGENCY LIGHTING TO BE LEFT IN OPERATION DURING DEMOLITION AND DURATION OF CONTRACT OR UNTIL NEW INSTALLED.
- SUPPLY AND MAINTAIN ON A DAILY BASIS ALL INTERIOR AND EXTERIOR TEMPORARY COVERINGS, FENCING, TARPING, HOARDING, FLOOR PLATES, SIGNAGE AND OTHER SEPARATIONS REQUIRED TO MAINTAIN THE SAFETY OF THE PUBLIC DURING WORK OF THIS CONTRACT. COORDINATE THESE PROTECTIVE MEASURES WITH THE OWNER. REMOVE AND/OR DISPOSE OF ALL FROM SITE AFTER COMPLETION OF WORK OF THIS CONTRACT.
- MAINTAIN A CLEAN, SAFE AND ORDERLY SITE AT ALL TIMES.
- COORDINATE WITH OWNER THE STAGING AREAS FOR SITE TRAILER AND MATERIALS STORAGE.
- COORDINATE WITH OWNER AREAS FOR WASTE BIN LOCATION. SUPPLY AND MAINTAIN PROTECTIVE MEASURES TO ENSURE THE PUBLICS SAFETY.
- COORDINATE WITH THE OWNER ANY STAGING OF WORK AND/OR DISRUPTION OF PARKING AND TRAFFIC FLOWS.
- SHOULD MATERIAL RESEMBLING SPRAY OR TROWEL APPLIED ASBESTOS OR OTHER TOXIC OR HAZARDOUS MATERIALS BE ENCOUNTERED IN THE COURSE OF DEMOLITION, STOP WORK, TAKE PREVENTATIVE MEASURES AND NOTIFY ARCHITECT AND/OR OWNER IMMEDIATELY. DO NOT PROCEED UNTIL WRITTEN INSTRUCTIONS HAVE BEEN RECEIVED.
- THE DRAWINGS INDICATE THE PHYSICAL DIMENSIONS, EXISTING LEVELS AND SIMILAR ITEMS BEING INDICATED WHERE KNOWN. ALL INFORMATION RELATIVE TO EXISTING SHE CONDITIONS IS OFFERED TO ASSIST THE CONTRACTOR IN EVALUATION OF THE WORK, BUT WITH NO SPECIFIC REPRESENTATION EITHER EXPRESSED OR IMPLIED, AS TO COMPLETENESS OR ACCURACY.

FIRM NAME: PROFESSIONAL FLOOR PLANS INC.

NAME OF PROJECT: DETACHED DWELLING

LOCATION:  
12 LAKESIDE DR., STONEY CREEK

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9				OBC SECTION REFERENCE				
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION PROPOSED TWO-STORY IS				<input type="checkbox"/> PART 3 2.1.1 [A] 3.2.2.43 [A]		<input checked="" type="checkbox"/> PART 9 2.1.1 9.10.1.3.		
2	MAJOR OCCUPANCY(S): GROUP C				3.1.2.1.(1)		9.10.2.		
3	BUILDING AREA: 165.08 M2 (1,776.91 SQ.FT)				1.4.1.2. [A]		1.4.1.2. [A]		
4	GROSS AREA: 260.29 M2 (2,801.74 SQ.FT)				1.4.1.2. [A]		1.4.1.2. [A]		
5	NUMBER OF STOREYS: ABOVE GRADE: 2 BELOW GRADE: 1				3.2.1.1. & 1.1.3.2 [A]		1.4.1.2. [A] & 9.10.4		
6	NUMBER OF STREETS/FIRE FIGHTER ACCESS: 1				3.2.2.10. & 3.2.5.		9.10.20.		
7	BUILDING CLASSIFICATION: C				3.2.2.20.-83		9.10.2.		
8	SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED				3.2.2.20.-83 3.2.1.5. 3.2.2.17. INDEX		9.10.8.2.   INDEX		
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.2.5.9		N/A		
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.2.4.		9.10.19.		
11	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO				3.2.5.7.		N/A		
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.2.6.		N/A		
13	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH				3.2.2.20.-83		9.10.6.		
14	MEZZANINE(S) AREA: N/A				3.2.1.1.(3)-(8)		9.10.4.1.		
15	OCCUPANT LOAD BASED ON <input checked="" type="checkbox"/> TWO PERSONS/SLEEPING ROOM  No. OF SLEEPING ROOMS = 3 OCCUPANCY GROUP C LOAD 6 PERSONS				3.1.17.  3.7.		9.9.1.3.		
16	BARRIER-FREE DESIGN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.8.		9.5.2.		
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.3.1.2. & 3.3.1.19.		9.10.1.3.(4)		
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES		LISTED DESIGN No. OR DESCRIPTION (SG-2)		3.2.2.20.-83 & 3.2.1.4.		9.10.8. & 9.10.9.	
FRR (HOURS)									
FLOORS		45 MIN	SG-2						
ROOF		N/A	-						
MEZZANINE		N/A	-						
FFR OF SUPPORTING MEMBERS		LISTED DESIGN No. OR DESCRIPTION (SG-2)							
FLOORS	45 MIN	SG-2							
ROOF	N/A	-							
MEZZANINE	N/A	-							
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS				3.2.3. 9.10.14. 9.10.15.				
	WALL	AREA OF EBF (SQ.M.)	L.D. (M.)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	PERMITTED MAX. % OF GLAZED OPENINGS	PROPOSED % OF GLAZED OPENINGS	
EAST	FRONT	55.50	10.40	-	100.00	24.10	100.00	5.31	
WEST	REAR	90.20	>12.00	-	100.00	23.27	100.00	23.27	
NORTH	RIGHT	107.72	0.56	-	0.00	1.61	0.00	1.61	
SOUTH	LEFT	63.04	1.67	-	8.37	4.18	8.37	4.18	
SOUTH	LEFT	32.57	7.00	-	48.35	28.87	48.35	28.87	
20	OTHER - DESCRIBE:								

KEY PLAN



REV.	DESCRIPTION	DATE
01	BUILDING PERMIT APPLICATION	Jul., 29th, 2019

PROJECT:  
12 Lakeside Dr., Stoney Creek

CLIENT: Orion Stoley

CONSULTANT: PROFESSIONAL FLOOR PLANS INC.

DWG TITLE:  
GENERAL NOTES & BUILDING MATRIX

SHEET: A0.02 SCALE: N.T.S

DRAWN: Zainab Khudair DATE: Apr. 8th, 2019



**TRUSSES:**

FLOOR TRUSS MANUFACTURER SHALL DESIGN AND PROVIDE TRUSSES TO HAVE A MAXIMUM DEFLECTION OF 3/8" FOR SPANS GREATER THAN 16'-0" AND L/480 FOR SPANS UNDER 16'-0"  
TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL TRUSS DESIGNS INCLUDING GIRDERS, HANGERS, BEARING SEATS AND ANCHORS FOR TRUSSES. TRUSS FRAMING SHOWN ON PLANS IS FOR GENERAL REFERENCE AND TO INDICATE BEARING LOCATIONS. MANUFACTURER SHALL NOTIFY ARCHITECT IF ADDITIONAL BEARING POINTS AND/OR WALLS ARE NEEDED PRIOR TO FABRICATION AND ERECTION.  
ALL ROOF TRUSSES SHALL BE BRACED PER MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED ON DRAWINGS.

**INSULATION NOTE:**  
PROVIDE INSULATION AS REQUIRED TO MEET CURRENT OBC CODE SEE ENERGY CALCULATIONS FOR INSULATION R-VALUES.

**FRAMING MATERIALS :**

**BEARING WALLS:**  
EXTERIOR: 8'-1 1/8" PLATE HEIGHT OR LESS: 2X4 SPRUCE-PINE-FIR #2 KD OR BETTER  
9'-1 1/8" PLATE HEIGHT OR LESS: 2X4 SPRUCE-PINE-FIR #1 KD OR BETTER.  
16'-1 1/8" PLATE HEIGHT OR LESS: 2X6 HEM-FIR #2 KD OR BETTER.

INTERIOR: BEARING WALLS- SPRUCE-PINE-FIR #2 KD OR BETTER NON-BEARING WALLS- SPRUCE-PINE-FIR. KILN DRIED, STUD GRADE OR BETTER.  
HEADER: HEM-FIR #2 KD OR BETTER; FIBER BENDING STRESS=850 P.S. (SINGLE MEMBER) ELASTICITY MODULUS=1,300,000 P.S.I.  
JOIST AND RAFTERS: HEM-FIR #2 KD OR BETTER; FIBER BENDING STRESS= 1.075 P.S.I. (REPETITIVE MEMBER) ELASTICITY MODULUS=1,300,000 P.S.I.  
FURRING: SPRUCE-PINE-FIR KILN DRIED, NO.3 OR BETTER.

**BEARING WALLS:**  
PROVIDE 2X4 SOLID BLOCKING AT 16" O.C. ON 2X4 LEDGER BOARDS BETWEEN HEADER JOISTS (SEE DRAWINGS FOR SIZE OF MEMBER) UNDER ALL BEARING PARTITIONS PARALLEL TO FLOOR FRAMING DIRECTION.  
PROVIDE SOLID BLOCKING UNDER ALL POINT LOAD CONDITIONS CONTINUOUS TO SOLID BEARING AT HEADERS OR FOUNDATION.  
PROVIDE SOLID BLOCKING BETWEEN JOIST UNDER ALL BEARING WALLS PERPENDICULAR TO FRAMING DIRECTION.

**WALL FRAMING:**  
STUDS IN ALL WALLS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.  
EXTERIOR WOOD FRAME WALLS OVER 9'-2" IN HEIGHT SHALL BE OF MINIMUM 2X6 CONSTRUCTION. ALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF FLOOR OR ROOF FRAMING ABOVE. SEE FRAMING MATERIALS FOR MINIMUM STUD SIZES AND GRADES.  
ALL STRUCTURAL MULLIONS TO HAVE MINIMUM DOUBLE STUD CONSTRUCTION CONTINUOUS FROM FLOOR TO UNDERSIDE OF FLOOR FRAMING ABOVE. WINDOW TRANSOM HEADERS SHALL SPAN BETWEEN CONTINUOUS STUDS WITH FLUSH HANGER BRACKETS AS REQUIRED.

PROVIDE CONTINUOUS WALL STUDS FROM FLOOR TO UNDERSIDE OF ROOF FRAMING AT ALL SLOPED CEILING CONDITIONS. (BALOON FRAMING)  
LOWER LEVEL (BASEMENT) EXTERIOR FRAME WALLS SHALL BE MINIMUM 2X6 FRAMING @16" O.C. WITH PRESSURE TREATED BASE PLATE. INTERIOR LEVEL BEARING WALLS SHALL BE 2X6 FRAMING @16" O.C. WHEN CARRYING (2) FLOORS OR MORE.

**WALL SHEATHING:**  
STRUCTURAL GRADE FOR LATERAL BRACING OF EXTERIOR WALL LOADING. WHEN NON-STRUCTURAL SHEATHING IS USED PROVIDE LET-IN DIAGONAL BRACING OR OTHER APPROVED TYPE OF BRACING AT ALL EXTERIOR CORNERS OF STRUCTURE.

**ROOFING:**  
ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN (4) FASTENERS PER STRIP SHINGLE, OR NOT LESS THAN (2) FASTENERS PER INDIVIDUAL SHINGLE. SHINGLE HEADLAP SHALL NOT BE LESS THAN 2 INCHES (15 MM).

**ROOF PENETRATIONS:**  
ALL PLUMBING, MECHANICAL VENT STACKS AND FURNACE FLUES SHALL BE OFFSET TO REAR ROOF LINES. FURNACE FLUES SHALL COMPLY WITH CODE FOR MAXIMUM SLOPE AND NUMBER OF TURNS ALLOWED FOR OFFSETS.

**ATTIC ACCESS:**  
A READILY-ACCESSIBLE OPENING NOT LESS THAN 22"x30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30".

**STAIRS:**  
ALL STAIRS SHALL CONFORM TO CODE FOR ALLOWABLE RISER HEIGHT AND TREAD DEPTH, (MINIMUM 10" TREADS AND MAXIMUM 7 3/4" RISERS IN SINGLE FAMILY DWELLINGS). NOSING PROFILE SHALL BE CONSTRUCTED AS REQUIRED BY CODE.  
HANDRAIL TO HAVE A DIAMETER SIZE OF 1 1/2" MIN. 2" MAX.  
ALL HANDRAILS SHALL BE LOCATED AT A HEIGHT OF 34" MIN. AND 38" MAX. ABOVE NOSE OF TREAD. THE SIZE AND SHAPE OF HANDRAILS SHALL CONFORM TO CURRENT CODE REQUIREMENTS.

**GUARD RAIL:**  
BALUSTERS SHALL BE SPACED SO THAT A SPHERE WITH A DIAMETER OF 4" CANNOT PASS THROUGH ANY OPENING.  
TOP OF GUARD RAILS AT STAIRS TO SERVE AS HANDRAIL SHALL BE A MIN. OF 36" HIGH TO A MAX. OF 42" HIGH. ALL OTHER GUARD RAILS SHALL BE A MIN. OF 42" HIGH (OR 36" HIGH IN SINGLE FAMILY DWELLING).

**WINDOWS AND GLAZING:**  
A MINIMUM OF ONE (1) WINDOW IN EACH SLEEPING AREA SHALL MEETS EMERGENCY EGRESS REQUIREMENTS. WINDOW CONTRACTOR SHALL PROVIDE EGRESS HARDWARE NECESSARY TO ALLOW WINDOWS TO MEET APPLICABLE EGRESS REQUIREMENTS

PROVIDE FLASHING AT ALL WINDOW/DOOR HEAD, JAMB AND SILL CONDITIONS. PROVIDE THE APPROPRIATE SAFETY GLASS (IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES) FOR ALL HAZARDOUS LOCATIONS LISTED BELOW:

- A) GLAZING IN FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS (PATIO AND MALL TYPE).
- B) GLAZING IN STORM DOORS.
- C) GLAZING IN ALL UNFRAMED SWINGING DOORS.
- D) GLAZING IN SHOWER AND BATHTUB DOORS AND ENCLOSURES.

**PROPOSED VENT AREA: TO BE CALCULATED PER MANUFACTURE RECOMMENDATIONS**

**VENT AREA:**  
VENT AREA RATIO 1:150

**INSULATION:**  
PROVIDE AND INSTALL BUILDING INSULATION FOR COMPLIANCE TO CURRENT ENERGY CODE REQUIREMENTS.  
PROVIDE RIGID INSULATION AT ALL EXPOSED PERIMETER SLAB ON GRADE CONDITIONS AS REQUIRED TO MEET CURRENT ENERGY CODE REQUIREMENTS.  
PROVIDE INSULATION AT ALL BOND CONDITIONS-SEE INSULATION NOTE.  
PROVIDE INSULATION AROUND ALL SKYLIGHT SHAFTS-SEE INSULATION NOTE.  
THERMAL BATT AND BLANKET INSULATION SHALL HAVE A VAPOR BARRIER, WITH A PERM RATING OF 1 OR LESS APPLIED TO THE INTERIOR FACE.  
INSULATION SHALL BE INSTALLED IN SUCH A MANNER AS TO ALLOW FREE AIR FLOW FROM THE SOFFIT TO THE ROOF/ATTIC SPACE.  
VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED.

**GARAGE SEPARATIONS:**  
PRIVATE GARAGES ATTACHED SIDE BY SIDE TO HABITABLE ROOMS SHALL BE COMPLETELY SEPARATED FROM THE INTERIOR SPACES BY FIRE PARTITIONS AND FLOOR/CEILING ASSEMBLIES WHICH ARE CONSTRUCTED WITH NOT LESS THAN A 1-HOUR FIRE RESISTANCE RATING. (SEE DETAILS)

- ELECTRICAL:**
- 1) MAINTAIN SEPARATION AT SERVICE-GAS & ELECTRICAL TO BE 36" APART. (METERS)
  - 2) ASSURE MECHANICAL & ELECTRICAL SYSTEMS, MAINTAIN SEPERATION-WIRE & DUCTS, WIRE & PLUMBING 2" MINIMUM.
  - 3) MAINTAIN SEPARATION OF OUTLETS IN PARTY WALLS, I.E. BACK TO BACK OUTLETS AND PROVIDE FOR FIRE SAFETY WITH RATED BOXES AND FIRE PROTECTIVE PADS (SUCH AS 3-M).
  - 4) 20 AMP CIRCUITS FOR KITCHEN, LAUNDRY, & TOILETS.
  - 5) GFI CIRCUITS FOR KITCHEN & TOILET OUTLETS.
  - 6) ASSURE PROPER CIRCUITS FOR FOR SEPARATE CIRCUIT ITEMS, SUCH AS SUMP, FURNACE, ETC.
  - 7) 3 WIRE MULTI-BRANCH CIRCUITS TO HAVE COMMON TRIP BREAKERS.

- PLUMBING:**
- 1) SUMP PUMP-TERMINATE TO AN APPROVED LOCATION
  - 2) INSTALL AUTOMATIC TRAP PRIMERS DEEP SEAL TRAPS TO ALL FLOOR/HUB OUTLET DRAINS. PRIMERS TO INACCESSIBLE FLOOR DRAINS. (LAUNDRY AND/OR CONDENSATE 1002.4)
  - 3) SANITARY SUMPS/EJECTORS INSTALL AND VENT TO CODE REQUIREMENTS
  - 4) INSTALL BACKWATER VALVES PER CODE REQUIREMENTS.
  - 5) ALL WORK SUBJECT TO FIELD VERIFICATION AND APPROVAL.

- MECHANICAL:**
- 1) PROVIDE APPROPRIATE GAS SHUT OFF TO FIREPLACES.
  - 2) BE AWARE OF ISSUES REGARDING VENT TERMINATION.
  - 3) CONSIDER ALL ISSUES IN REFERENCE TO FIRE-STOPPING.
  - 4) ALL WORK MUST BE VERIFIED.

**GENERAL NOTES :**  
THESE NOTES ARE FOR GENERAL REFERENCE. WHERE CONFLICTS EXIST BETWEEN THESE NOTES AND CURRENT CODES THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL.

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE CURRENT 2015 OBC BUILDING CODE. ALL CONSTRUCTION MUST CONFORM TO ALL REQUIREMENTS OF THE CURRENT CODE.

MATERIALS OR CONSTRUCTION PROCEDURES WHICH ARE PROHIBITED BY LAW OR SHALL CAUSE A HARMFUL EFFECT TO THE NATURAL ENVIRONMENT OR TO THE HEALTH OF ANY PERSON ON THE SITE DURING CONSTRUCTION AND/OR DURING OCCUPANCY SHALL NOT BE USED IN THIS PROJECT.

ALL TRADES SHALL CONFORM WITH ALL APPLICABLE FEDERAL, PROVENCE, AND LOCAL CODES, RULES AND REGULATIONS. IN CASE OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

DIMENSIONS OF INTERIOR WALLS ON PLANS SHALL BE 5" (ROUGH STUD DIMENSIONS) UNLESS OTHERWISE INDICATED.

ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS 10' HIGH AND HIGHER MUST BE CONSTRUCTED OF 2" X 6" OR 2" X 8" STUDS AT 16" O.C. THIS SHALL BE CONSTRUED AS TO INCLUDE THE GARAGE WALLS. FIRESTOP BETWEEN THE STUDS AT THE 8' LINE.

DO NOT DRILL HOLES IN MICRO-LAM BEAMS UNLESS APPROVED BY THE MANUFACTURER OR ENGINEER.

APPROVED FIRESTOP MATERIAL REQUIRED FOR ALL DROPS AND FLOOR-CEILING PENETRATIONS.

APPROVED HARDWIRE SMOKE DETECTOR REQUIRED ON EACH FLOOR AND IN EACH BEDROOM WITH BATTERY BACKUP (INTERCONNECTED) AS PER CODE

STEPS REQUIRED AT ACTIVE DOORS PER CODE.

ALL SAFETY GLAZING CODE REQUIREMENTS MUST BE MET.

PROVIDE ATTIC ACCESS OF 22" X 30" MINIMUM AS REQUIRED.

HAND/GUARD RAILS REQUIRED ON ALL STAIRS WITH MORE THAN 3 RISERS AS PER CODE.

PROVIDE 2'-8" WIDE DOORS TO ALL ROOMS GREATER THAN 9 S.F. AND 3'-0" WIDE DOOR AT MAIN ENTRANCE AS PER CODE

ALL BATHS TO HAVE EXHAUST FAN TO EXTERIOR AS PER CODE.

ALL SHOWER, TUB DOORS AND GLAZING TO BE TEMPERED GLASS AS PER CODE.

PROVIDE EMERGENCY ESCAPE WINDOWS PER CODE IN BEDROOMS.

ELECTRICAL WORK SHALL BE DONE AS PER CODE.

**KEY PLAN**



01	BUILDING PERMIT APPLICATION	July 29th, 2019
REV.	DESCRIPTION	DATE

PROJECT:  
12 Lakeside Dr., Stoney Creek

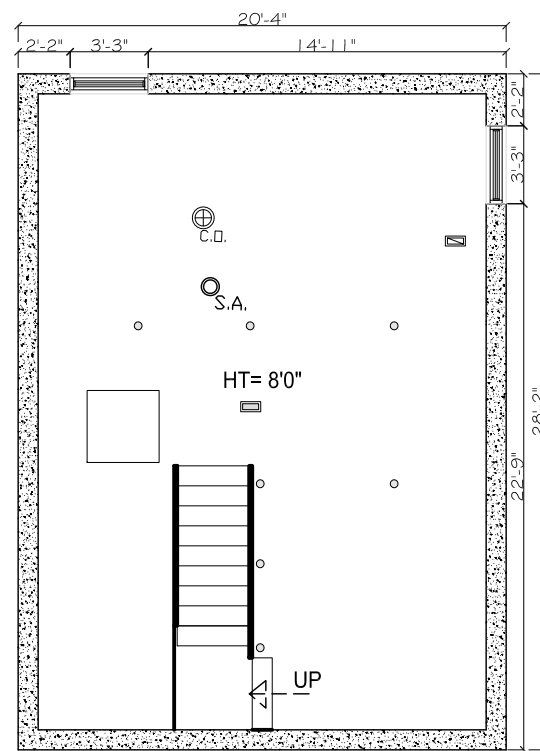
CLIENT: Orion Sloley

CONSULTANT: PROFESSIONAL FLOOR PLANS INC.

**PFP**  
**PROFESSIONAL FLOORPLANS**  
5147 Preservation Circle,  
Mississauga, ON, L5M7T4  
www.proffloorplans.ca

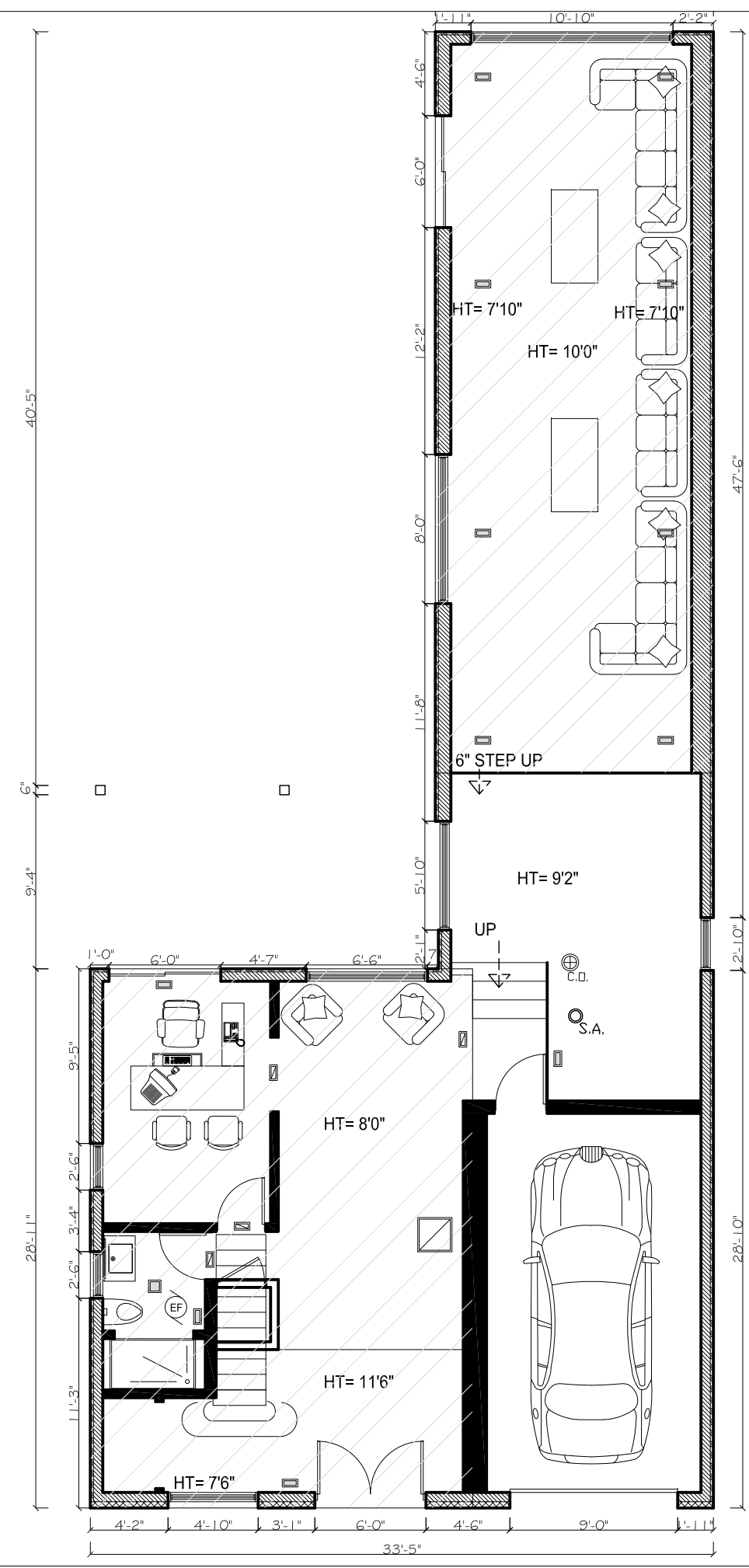
DWG TITLE:  
GENERAL NOTES-2

SHEET: A0.03	SCALE: N.T.S
DRAWN: Zainab Khudair	DATE: Apr. 14th, 2019



\*NO CHANGES TO BASEMENT FLOOR

**BASEMENT FLOOR PLAN**  
SCALE 1/8" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE 1/8" = 1'-0"

**KEY PLAN**

**LEGEND**

- CONCRETE WALL
- DRY WALL WITH EXTERIOR CLADDING
- DRYWALL
- FLOOR JOIST
- S.A.
- C.O.
- RAIN WATER LEADER
- EXHAUST FAN
- FLOOR DRAIN
- SUPPLY DIFFUSER
- RETURN GRILL

01	BUILDING PERMIT APPLICATION	Jul., 29th, 2019
REV.	DESCRIPTION	DATE

PROJECT:  
12 Lakeside Dr., Stoney Creek

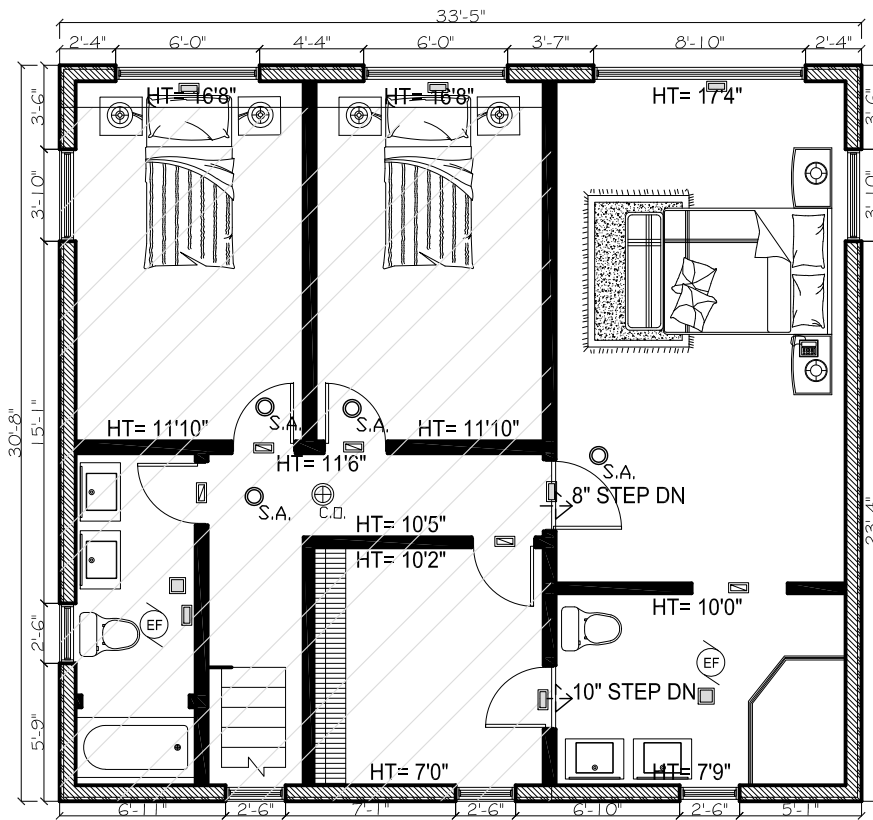
CLIENT: Orion Sloley  
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.

5147 Preservation Circle,  
Mississauga, ON, L5M7T4  
www.profloorplans.ca

DWG TITLE: BASEMENT & FIRST FLOOR PLAN

SHEET: A1.01      SCALE: 1/8" = 1'-0"

DRAWN: Zainab Khudair      DATE: Apr. 8th, 2019



**SECOND FLOOR PLAN**  
SCALE 1/8"=1'-0"

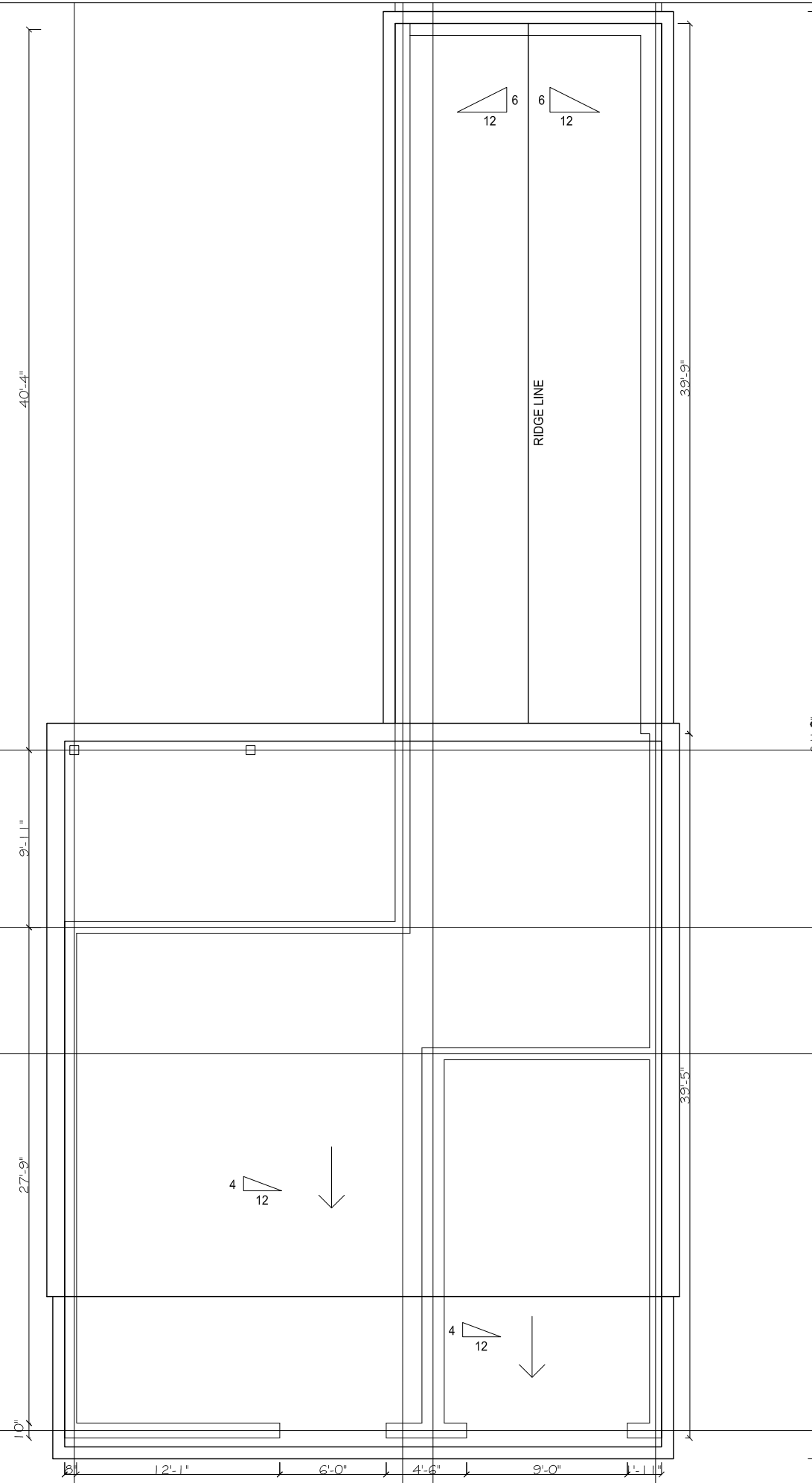
(A)

(B)

(C)

(D)

**ROOF PLAN**  
SCALE 1/8"=1'-0"



**KEY PLAN**

**LEGEND**

- CONCRETE WALL
- DRY WALL WITH EXTERIOR CLADDING
- DRYWALL
- FLOOR JOIST
- S.A. INTER-CONNECTED SMOKE ALARM WITH STROBE
- C.O. INTER-CONNECTED CARBON MONOXIDE ALARM WITH STROBE
- RAIN WATER LEADER
- EF EXHAUST FAN
- FD FLOOR DRAIN
- SD SUPPLY DIFFUSER
- RG RETURN GRILL



01	BUILDING PERMIT APPLICATION	Jul., 29th, 2019
REV.	DESCRIPTION	DATE

PROJECT:  
12 Lakeside Dr., Stoney Creek

CLIENT: Orion Stoley

CONSULTANT: PROFESSIONAL FLOOR PLANS INC.

**PFP**  
5147 Preservation Circle,  
Mississauga, ON, L5M7T4  
www.proffloorplans.ca

**PROFESSIONAL FLOORPLANS**

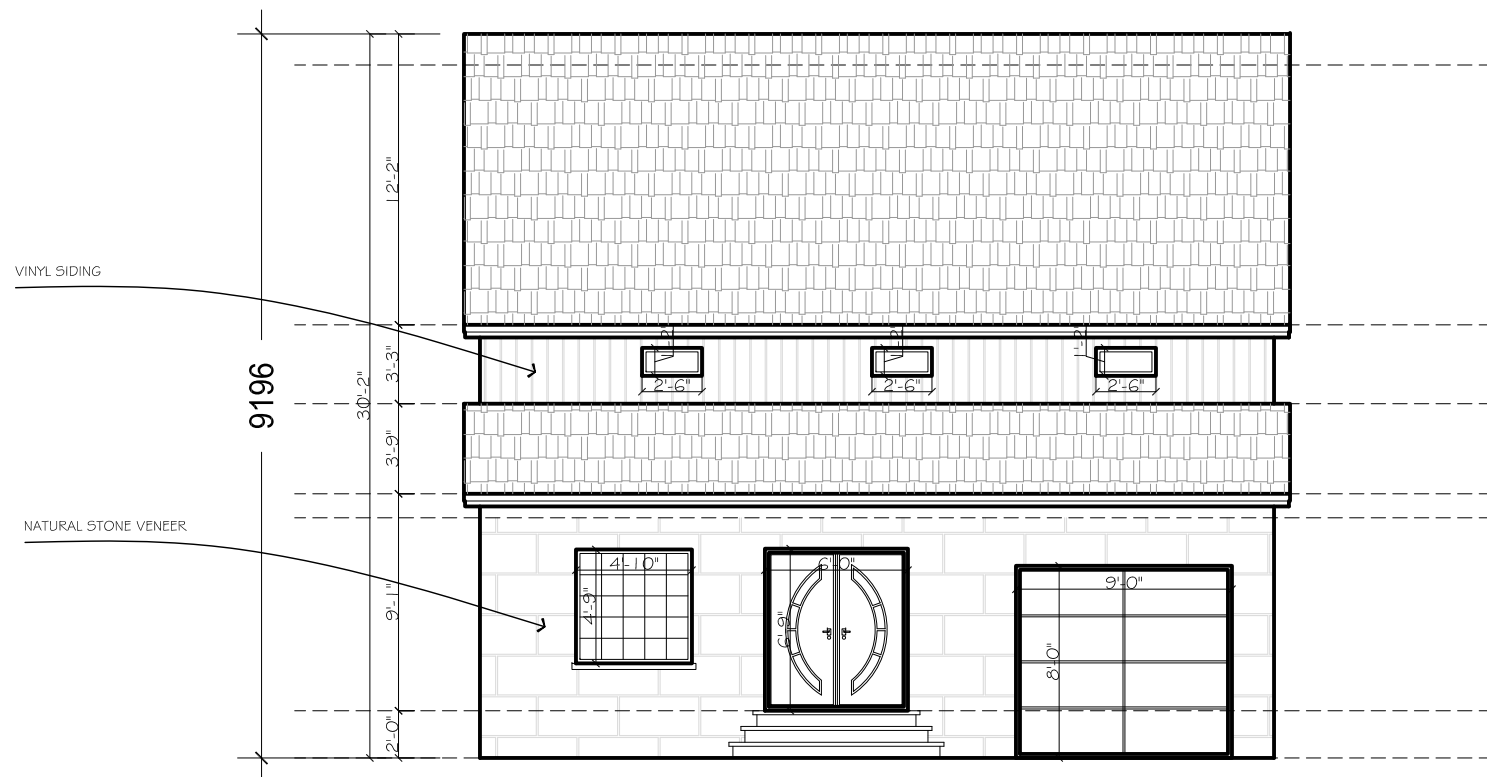
DWG TITLE:  
SECOND FLOOR & ROOF PLAN

SHEET:  
A1.02

SCALE:  
1/8"=1'-0"

DRAWN:  
Zainab Khudair

DATE:  
Apr. 8th, 2019



FRONT ELEVATION  
SCALE 1/8"=1'-0"



REAR ELEVATION  
SCALE 1/8"=1'-0"

KEY PLAN



REV.	DESCRIPTION	DATE
01	BUILDING PERMIT APPLICATION	Jul., 29th, 2019

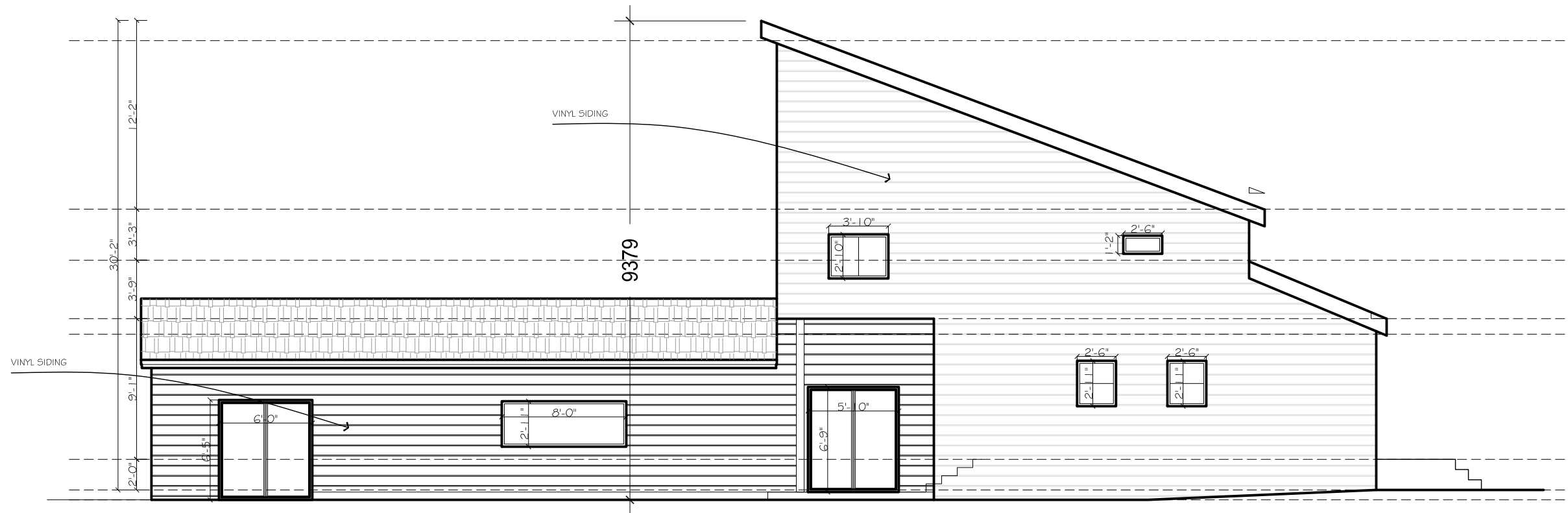
PROJECT:  
12 Lakeside Dr., Stoney Creek

CLIENT: Orion Sloley  
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.

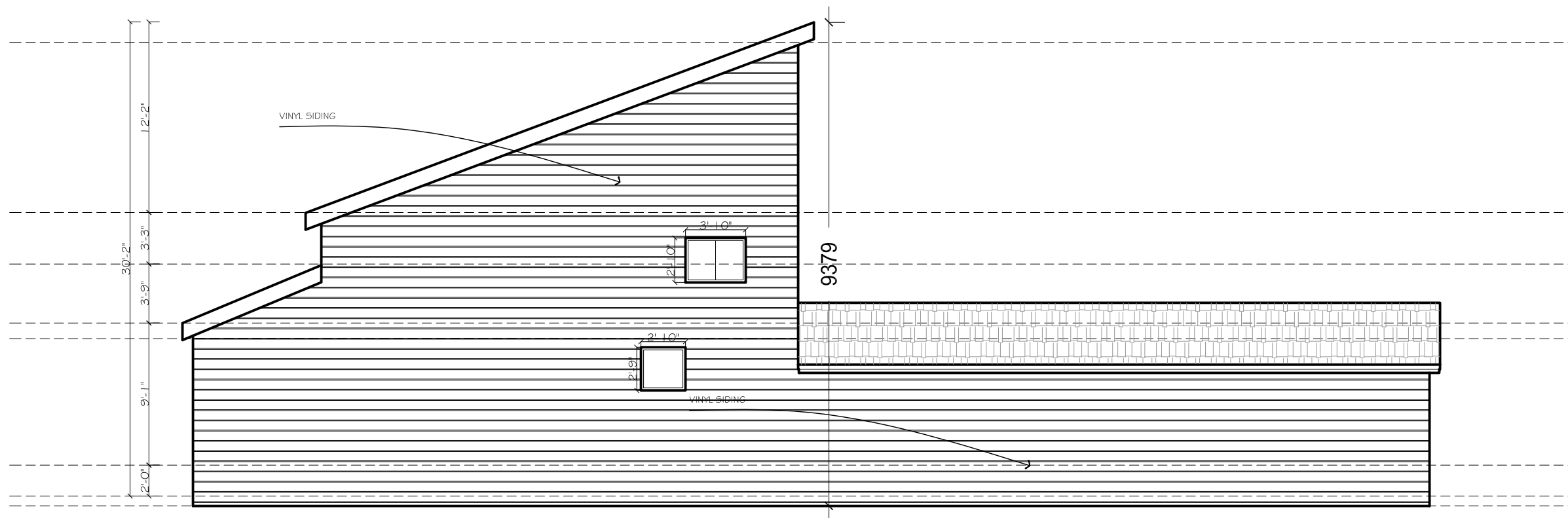


DWG TITLE:  
FRONT & REAR ELEVATIONS

SHEET: A2.01	SCALE: 1/8"=1'-0"
DRAWN: Zainab Khudair	DATE: Apr. 8th, 2019



WEST ELEVATION  
SCALE 1/8" = 1'-0"



EAST ELEVATION  
SCALE 1/8" = 1'-0"

KEY PLAN

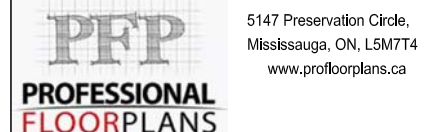


01	BUILDING PERMIT APPLICATION	Jul., 29th, 2019
REV.	DESCRIPTION	DATE

PROJECT:  
12 Lakeside Dr., Stoney Creek

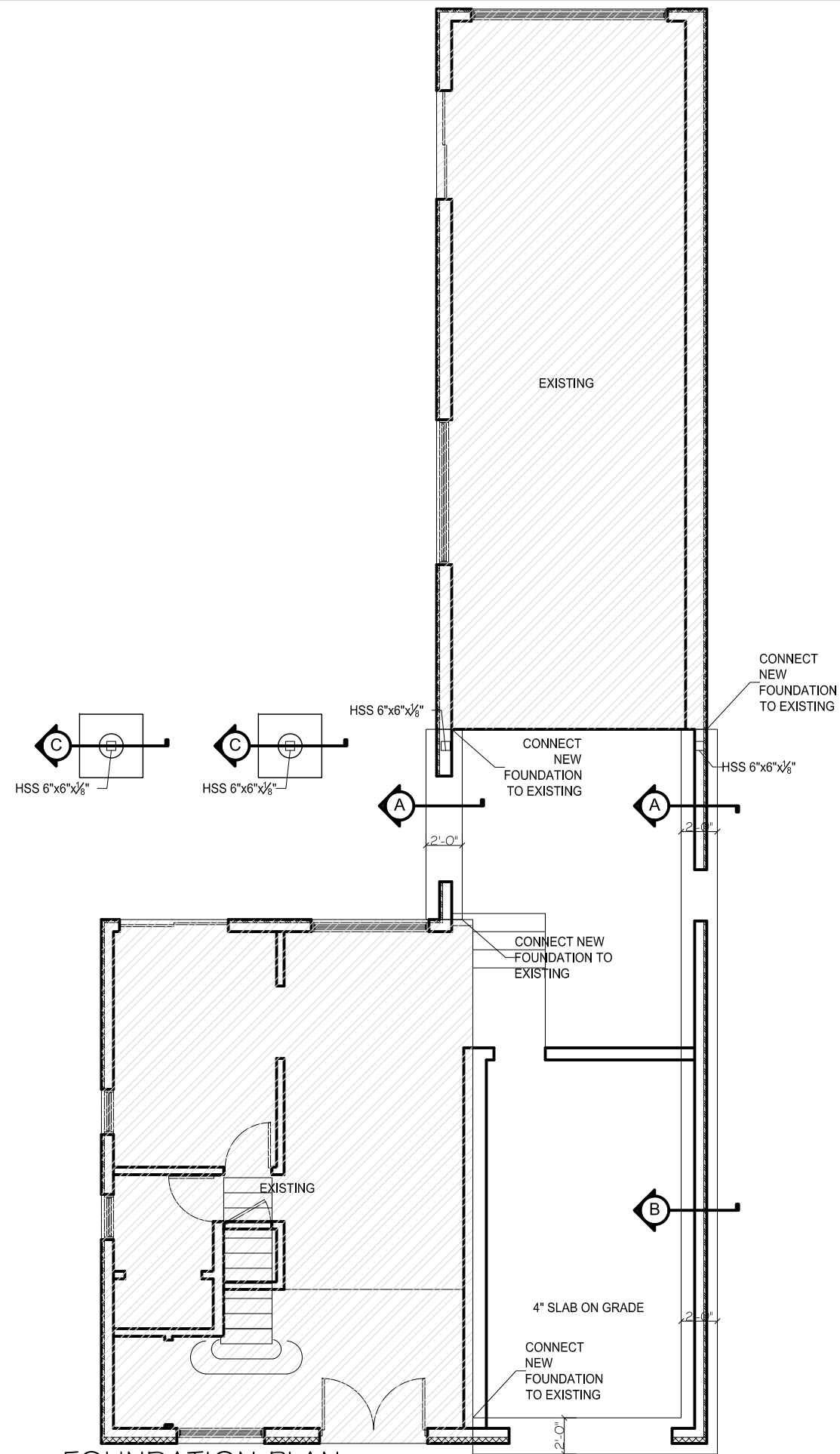
CLIENT: Orion Sloley

CONSULTANT: PROFESSIONAL FLOOR PLANS INC.



DWG TITLE: WEST & EAST ELEVATIONS

SHEET: A2.02	SCALE: 1/8" = 1'-0"
DRAWN: Zainab Khudair	DATE: Apr. 8th, 2019



**FOUNDATION PLAN**  
SCALE 1/8" = 1'-0"

KEY PLAN



01	BUILDING PERMIT APPLICATION	Jul., 29th, 2019
REV.	DESCRIPTION	DATE

PROJECT:  
12 Lakeside Dr., Stoney Creek

CLIENT: Orion Soley  
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.

**PFP**  
**PROFESSIONAL FLOORPLANS**

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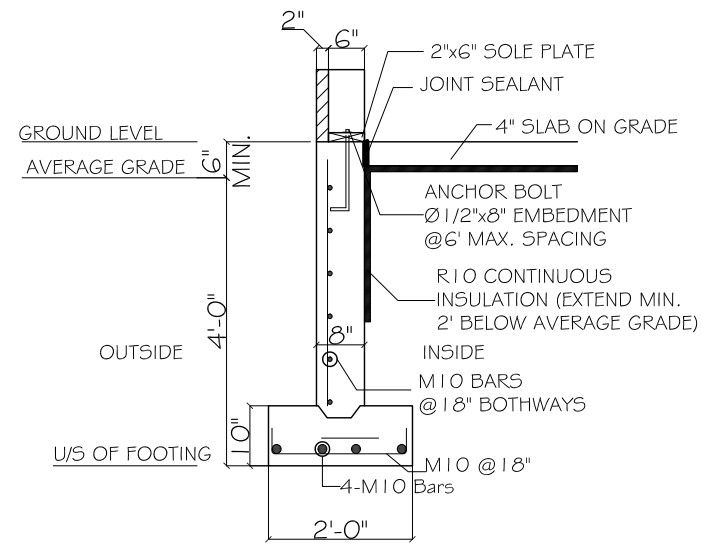
DWG TITLE:  
FOUNDATION PLAN

SHEET:  
F1.01

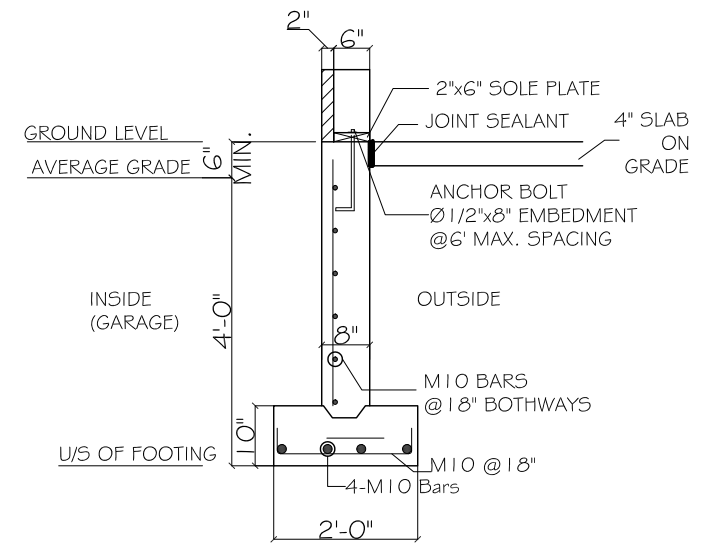
SCALE:  
1/8" = 1'-0"

DRAWN:  
Zainab Khudair

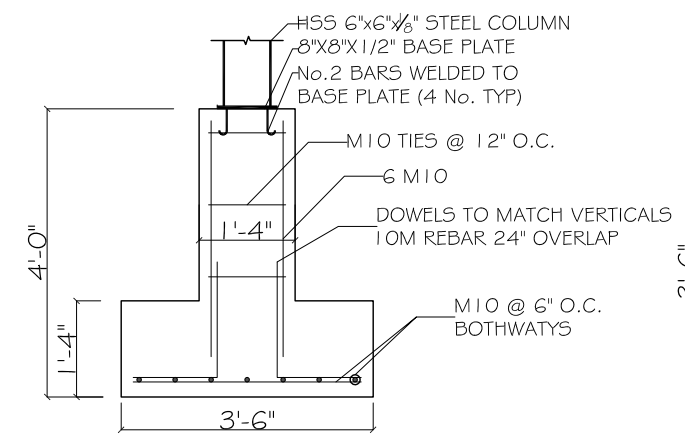
DATE:  
Apr. 8th, 2019



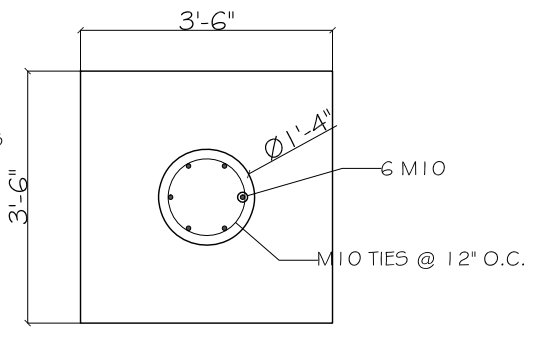
SECTION A-A



SECTION B-B



SECTION C-C



COLUMN FOUNDATION PLAN VIEW

FOUNDATION SECTIONS  
SCALE 3/8" = 1'-0"

KEY PLAN



REV.	DESCRIPTION	DATE
01	BUILDING PERMIT APPLICATION	Jul., 29th, 2019

PROJECT:  
12 Lakeside Dr., Stoney Creek

CLIENT: Orion Stoley  
CONSULTANT: PROFESSIONAL FLOOR PLANS INC.



DWG TITLE:  
FOUNDATION SECTIONS

SHEET: F4.01  
SCALE: 3/8" = 1'-0"

DRAWN: Zainab Khudair  
DATE: Apr. 8th, 2019

**From:** Orion@osdynamics.com  
**Sent:** Monday, November 7, 2022 11:42 AM  
**To:** raed@profloorplans.ca  
**Cc:** zainab@profloorplans.ca; osloley@hotmail.com  
**Subject:** FW: Follow up to site visit at 12 Lakeside Dr

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Here is a copy of the close off emails.

---

**Orion Sloley**

Co-founder & CEO  
O.S.Dynamics Inc.  
(416) 878-8840  
[orion@osdynamics.com](mailto:orion@osdynamics.com)  
[www.OSDynamics.com](http://www.OSDynamics.com)

---

**From:** Orion@osdynamics.com <Orion@osdynamics.com>  
**Sent:** Friday, December 3, 2021 11:46 AM  
**To:** 'Elizabeth Reimer' <ereimer@conservationhamilton.ca>  
**Cc:** bahar@ahydtech.ca  
**Subject:** RE: Follow up to site visit at 12 Lakeside Dr

Hello Elizabeth,

Just wanted to give you an update on the shorewall based on the recommendations from the last visit.

- 1: As suggested, we have **cut in control points at regular intervals** with adequate spacing to prevent random cracking of the pad. (See picture below).
- 2: As suggested we have **filled the large gaps between the concrete block** revetment and the poured concrete pad/slab to prevent ice formation in the voids. (See picture below).
- 3: We are also keeping an eye on the armour stones (doing very well) and we will fill any gaps that may develop to ensure that the concrete revetment is protected.

I also wanted to say thank you as this shorewall with the continuous surface proved its value during the last week long storms where our home and foundation were protected from the lake and crashing waves compared to the past.

Picture showing new cut control points, concrete filled gaps and stable armour stones after several major storms:





Please let me know if you have any questions.

Thank you

---

**Orion Sloley, MCSD**

Co-founder & CEO  
O-S-Dynamics Inc.  
(416) 878-8840  
[orion@osdynamics.com](mailto:orion@osdynamics.com)  
[www.OSDynamics.com](http://www.OSDynamics.com)

---

**From:** Elizabeth Reimer <[ereimer@conservationhamilton.ca](mailto:ereimer@conservationhamilton.ca)>

**Sent:** Tuesday, November 2, 2021 2:52 PM

**To:** [Orion@osdynamics.com](mailto:Orion@osdynamics.com); [bahar@ahydtech.ca](mailto:bahar@ahydtech.ca)

**Subject:** Follow up to site visit at 12 Lakeside Dr

Hello Orion and Bahar,

Thank you for meeting with us on site at the property at 12 Lakeside Dr on October 15 to discuss the progress on the shorewall to date. Based on our site visit, we offer the following:

- HCA staff observed that the key stones used for the concrete block revetment are smaller than the 4-6 ton armour stones recommended in the designs approved by the HCA. The smaller stones may become dislodged over time. The shorewall condition must be monitored over

time, and any gaps that develop must be filled in order to maintain the capacity of the wall to protect the wall from scour and increase the lifespan of the concrete revetment.

- The wall has a gap between the concrete block revetment and the poured concrete pad/slab. The gap runs the length of the wall next to the concrete blocks. This gap must be filled to prevent ice formation in the voids, which could lead to cracking.
- Control points should be cut at regular intervals with adequate spacing to prevent random cracking of the pad.
- The approved plans indicate a beveled corner at the northwest corner of the wall, while the wall was constructed with a 90° angle at the corner. While the more sharply-angled corner is inherently weaker, the HCA has no objection to this modification of the design.
- Additional stone is recommended at the corner to protect this point from scour and erosion to maintain the integrity of the wall.
- The steps indicated on the plan were not constructed. The HCA is supportive of this design change, as the integrity of the shorewall is improved with a continuous surface, not interrupted by a steps.

Please advise if/when the deficiencies (filling the gap, cutting control points, supplementing toe stone at the corner) have been addressed. If you have any questions or concerns, feel free to call or email.

Regards,

**Elizabeth Reimer**

Conservation Planner

Hamilton Conservation Authority

838 Mineral Springs Road, P.O. Box 81067

Ancaster, ON L9G 4X1

**Phone:** 905-525-2181 Ext. 165

**Email:** [ereimer@conservationhamilton.ca](mailto:ereimer@conservationhamilton.ca)

[www.conservationhamilton.ca](http://www.conservationhamilton.ca)



**A Healthy Watershed for Everyone**

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Conservation  
Authority

A Healthy Watershed for Everyone

838 Mineral Springs Road, PO Box 81067  
Ancaster, Ontario L9G 4X1  
Telephone: 905-648-4427 Fax: 905-648-4622

## PERMIT

Nº 2020-41

*ISSUED UNDER THE CONSERVATION AUTHORITIES ACT, PURSUANT TO ONTARIO REGULATION 161/06 – HAMILTON CONSERVATION AUTHORITY DEVELOPMENT, INTERFERENCE WITH WETLANDS, AND ALTERATIONS TO SHORELINES AND WATERCOURSES REGULATION.*

Permission has been granted to: **Orion Sloley**

Phone: **647-400-3007**

Mailing Address: **12 Lakeside Drive, Stoney Creek, ON L8E 5C2**

Location: **in a regulated area of the Lake Ontario shoreline, in the City of Hamilton**

For the: **alteration of a shoreline consisting of the re-enforcement/repair of an existing shorewall and to recognize completion of additions and renovations to an existing residence in a regulated area of the Lake Ontario shoreline at 12 Lakeside Drive, Part Lot 13, Broken Front Concession, in the City of Hamilton (former City of Stoney Creek)**

on the above property during the period **June 26, 2020 to June 26, 2022** subject to the following conditions.



Hamilton

**APPLICATION FOR A MINOR VARIANCE/PERMISSION  
UNDER SECTION 45 OF THE PLANNING ACT**

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)		
Agent or Solicitor		

1.2 All correspondence should be sent to  Owner  Applicant  
 Agent/Solicitor

1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No  
If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email  Yes\*  No  
If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

Municipal Address	12 Lakeside Dr., Stoney Creek, ON, L8E 5C2		
Assessment Roll Number	003030086000000		
Former Municipality	Stoney Creek		
Lot		Concession	
Registered Plan Number	428	Lot(s)	5, 6
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

---

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Interior side yard of 0.34, rear yard of 1.09, total coverage of 44.3%

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Lot size and dimensions are limited. Existing building

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
12.19 m	27.36m, 36.10m	392.09 sq.m	6.1m (Unpaved)

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 Storey existing detached dwelling	7.25 m	1.09 m	1.67 m, 0.34 m	More than 50 years

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 Storey existing detached dwelling	7.25 m	1.09 m	1.67 m, 0.34 m	More than 50 years

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2 Storey existing detached dwelling	137.3 sq.m	232.51 sq.m	2	9.38 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2 Storey existing detached dwelling	137.3 sq.m	232.51 sq.m	2	9.38 m

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)
- 

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)
- 

- 4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
  - privately owned and operated individual septic system
  - other means (specify)
- 

4.7 Type of access: (check appropriate box)

- provincial highway
  - municipal road, seasonally maintained
  - municipal road, maintained all year
  - right of way
  - other public road
- 

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
Single Detached Dwelling

---

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
Single Detached Dwelling

---

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:  
September 14th, 2007

---

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Single Detached Dwelling

---

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Single Detached Dwelling

---

7.4 Length of time the existing uses of the subject property have continued:  
More than 50 Years

---

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Rural Residential (Neighbourhoods)

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R2

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7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

- Yes       No

If yes, please provide the file number:

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes       No

If yes, please provide the file number:

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7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes       No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

## **8 ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing: \_\_\_\_\_

8.2 Number of Dwelling Units Proposed: \_\_\_\_\_

8.3 Additional Information (please include separate sheet if needed):



## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
- \_\_\_\_\_
- \_\_\_\_\_