



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>HM/A-23:81</b>	<b>SUBJECT PROPERTY:</b>	122 DROMORE CRESCENT, HAMILTON
<b>ZONE:</b>	"C" (Urban Protected Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Hamilton 6593, as Amended 96-109

**APPLICANTS:**      **Owner:** HILLARY PEACH & BENJAMIN GARDEN  
**Agent:** N-CUBED SERVICES INC. C/O DUY NGUYEN

The following variances are requested:

1. Two (2) parking spaces shall be permitted instead of the required five (5) parking spaces.
2. A parking space size of 2.6 metres wide by 6.0 metres long shall be permitted instead of the required parking space size of 2.7 metres wide by 6.0 metres long.
3. A maximum gross floor area ratio of 0.99 shall be permitted instead of the maximum 0.45 gross floor area ratio permitted.

**PURPOSE & EFFECT:**      To permit an addition and rear deck to an existing single detached dwelling.

**Notes:**

1. As per Variance #1 this site requires a minimum of five (5) parking spaces based on a total of thirteen (13) habitable rooms.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, May 4, 2023</b>
<b>TIME:</b>	<b>9:20 a.m.</b>

<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

## **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:81, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: April 18, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

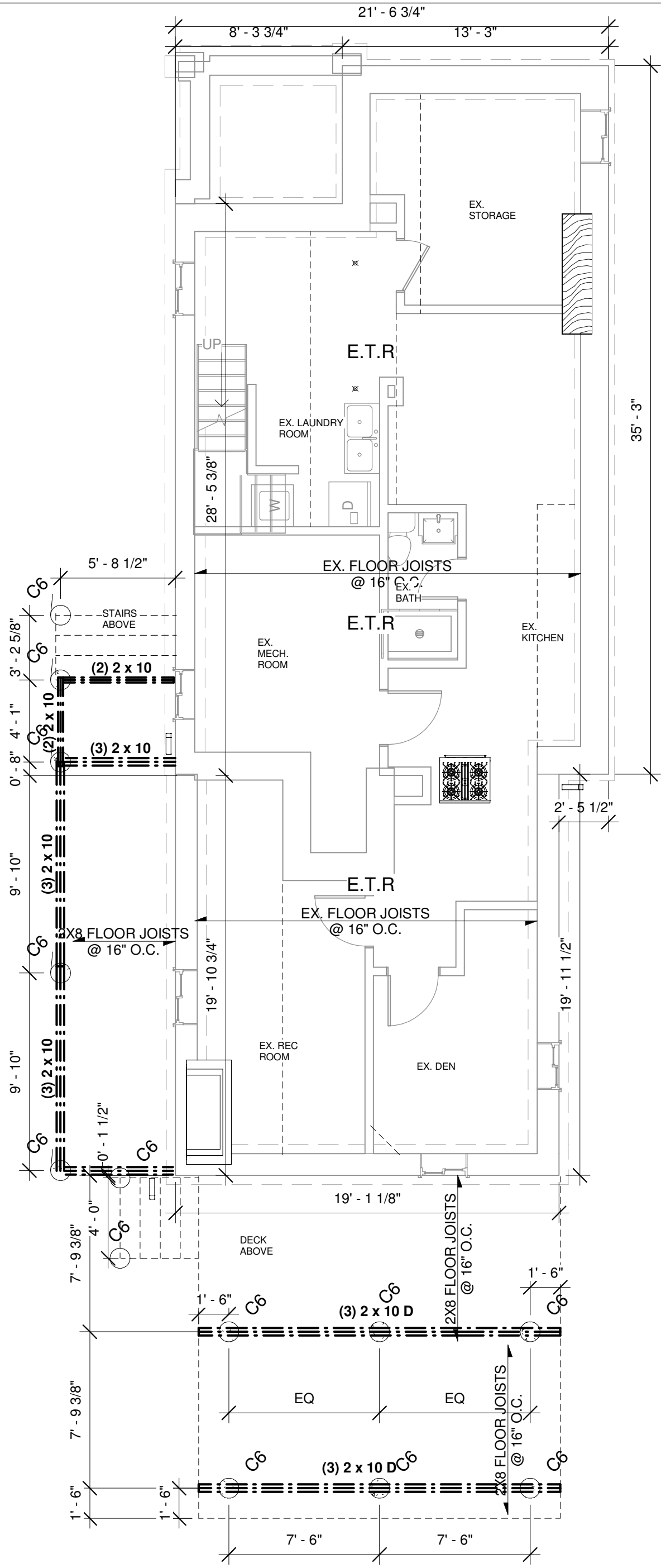
#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

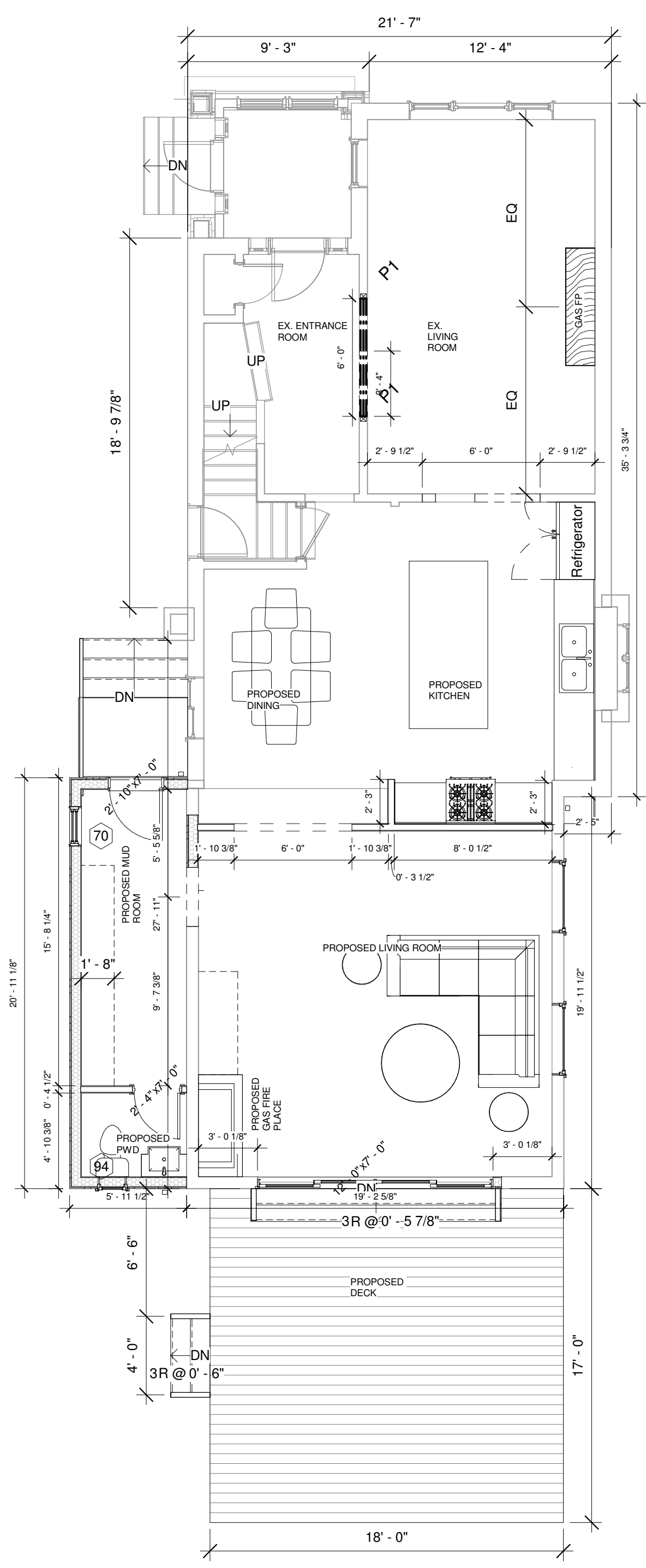
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

Drawings have been approved and meet the minimum requirements of the Ontario Building Code



No.	Description	Date

Drawings have been approved and meet the minimum requirements of the Ontario Building Code



**N-CUBED**  
*designs*  
 ENGINEERING + CONSTRUCTION  
 897 King St W Hamilton, Ontario  
 ncubeddesigns.com  
 905-865-5355  
N-Cubed Designs is a division of N-Cubed Services Inc.

**A1.02**

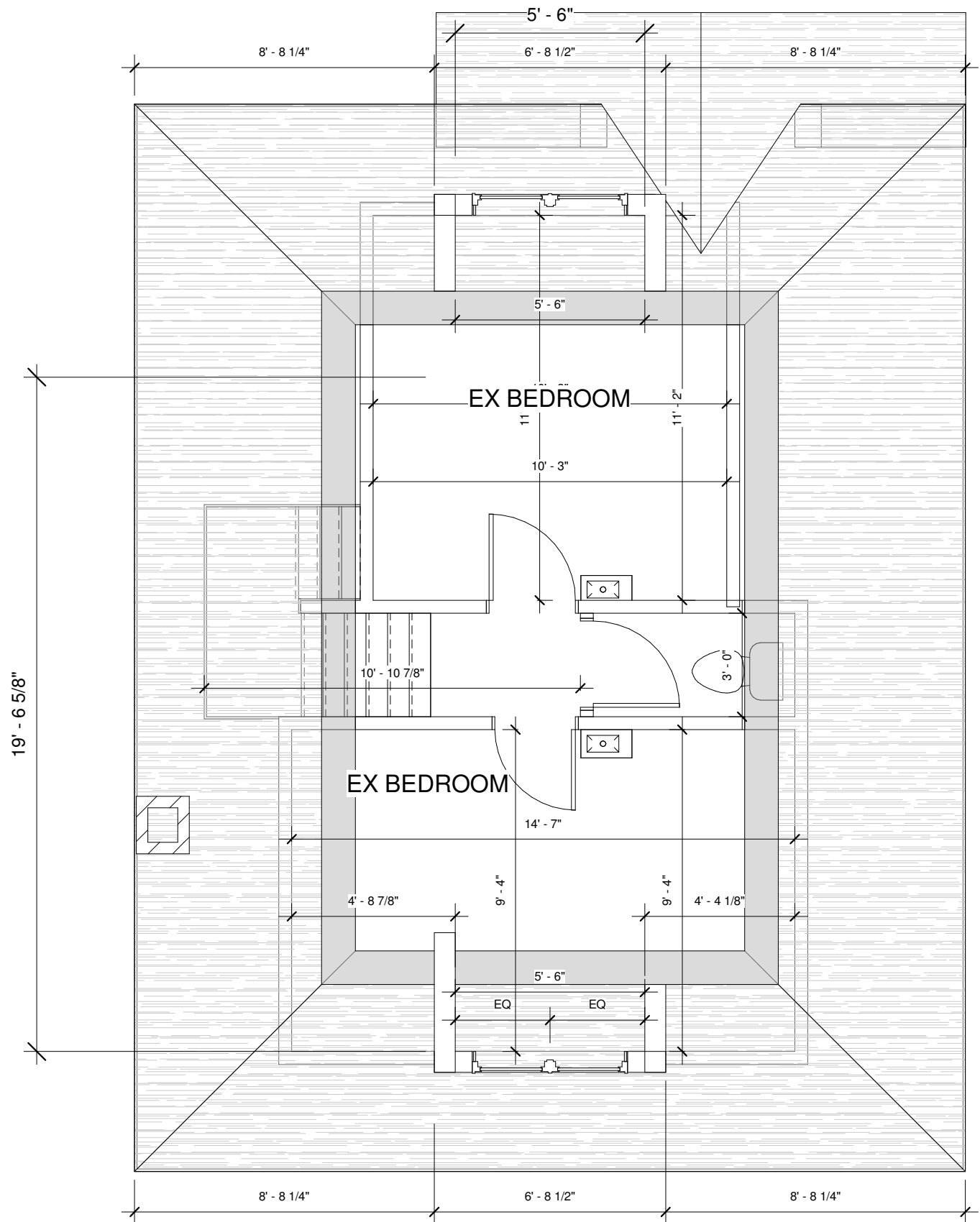
**122 Dromore Cres.**  
**ADDITION**  
**FIRST FLOOR PLAN**

Scale 3/16" = 1'-0"

No.	Description	Date



Drawings have been approved and meet the minimum requirements of the Ontario Building Code



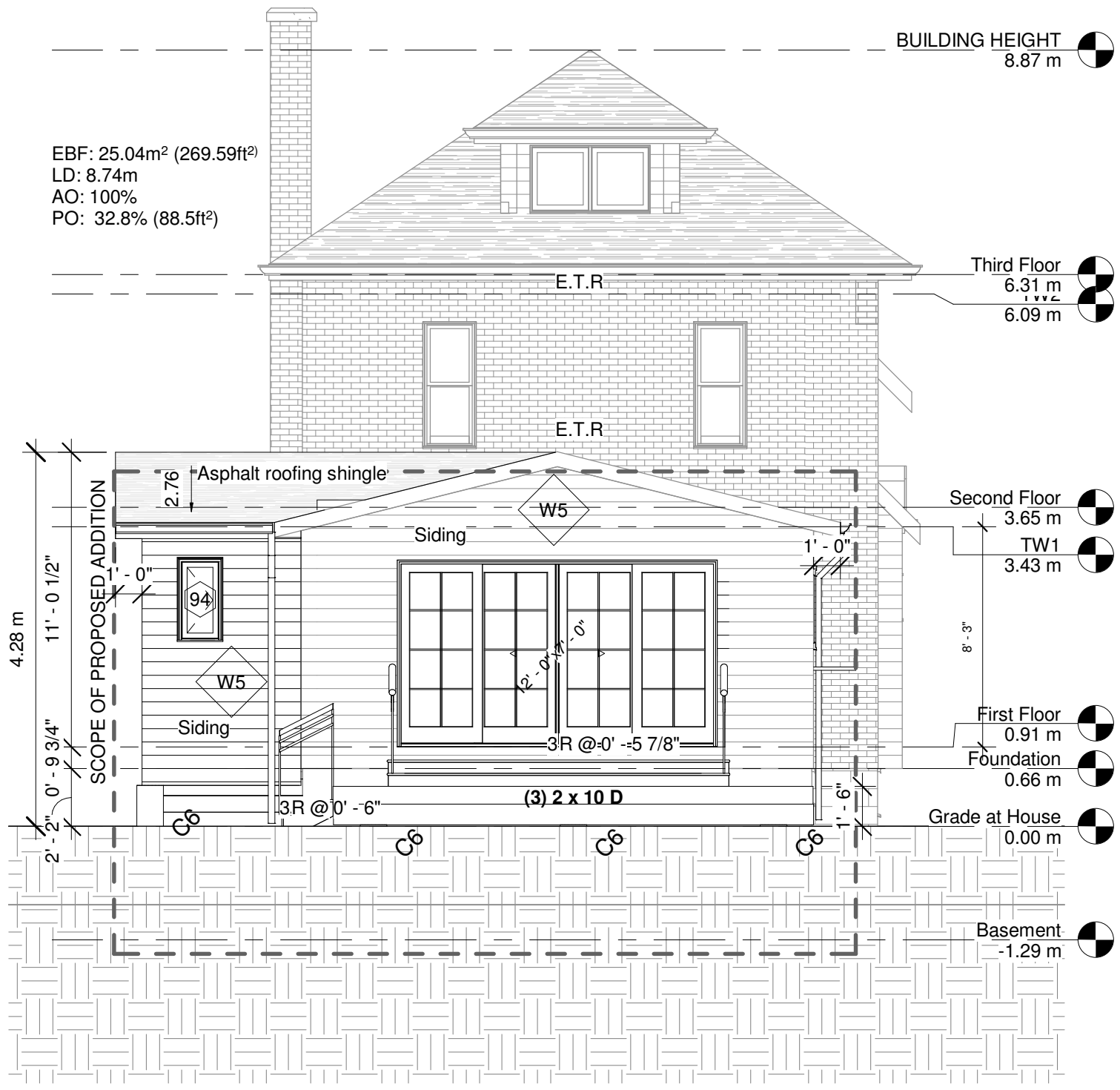
**N-CUBED**  
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 897 King St W Hamilton, Ontario  
 ncubeddesigns.com  
 905-865-5355  
N-Cubed Designs is a division of N-Cubed Services Inc.

**A1.04**  
 Scale 1/4" = 1'-0"

**122 Dromore Cres.**  
**ADDITION**  
**THIRD FLOOR**

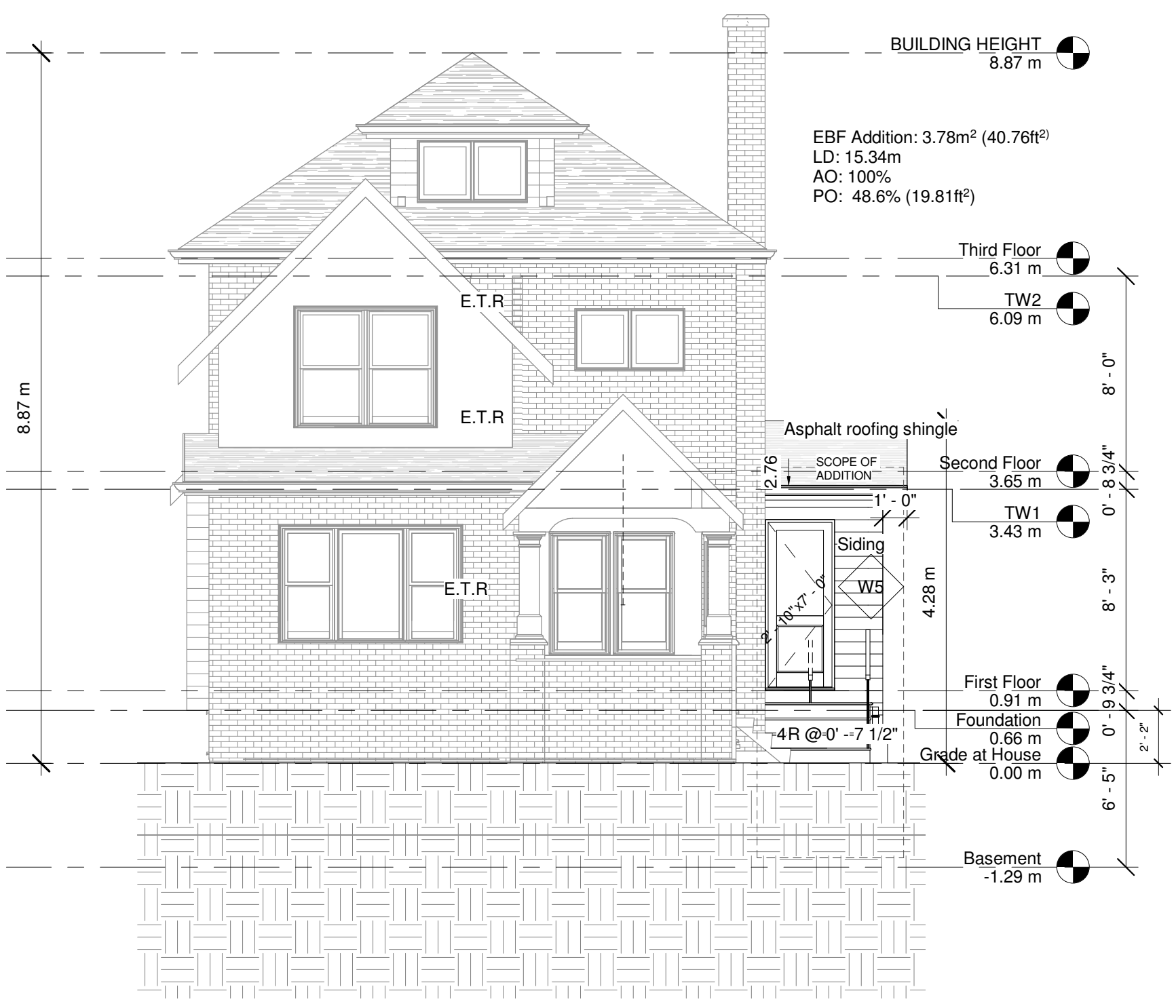
No.	Description	Date





① West Rear  
3/16" = 1'-0"

No.	Description	Date

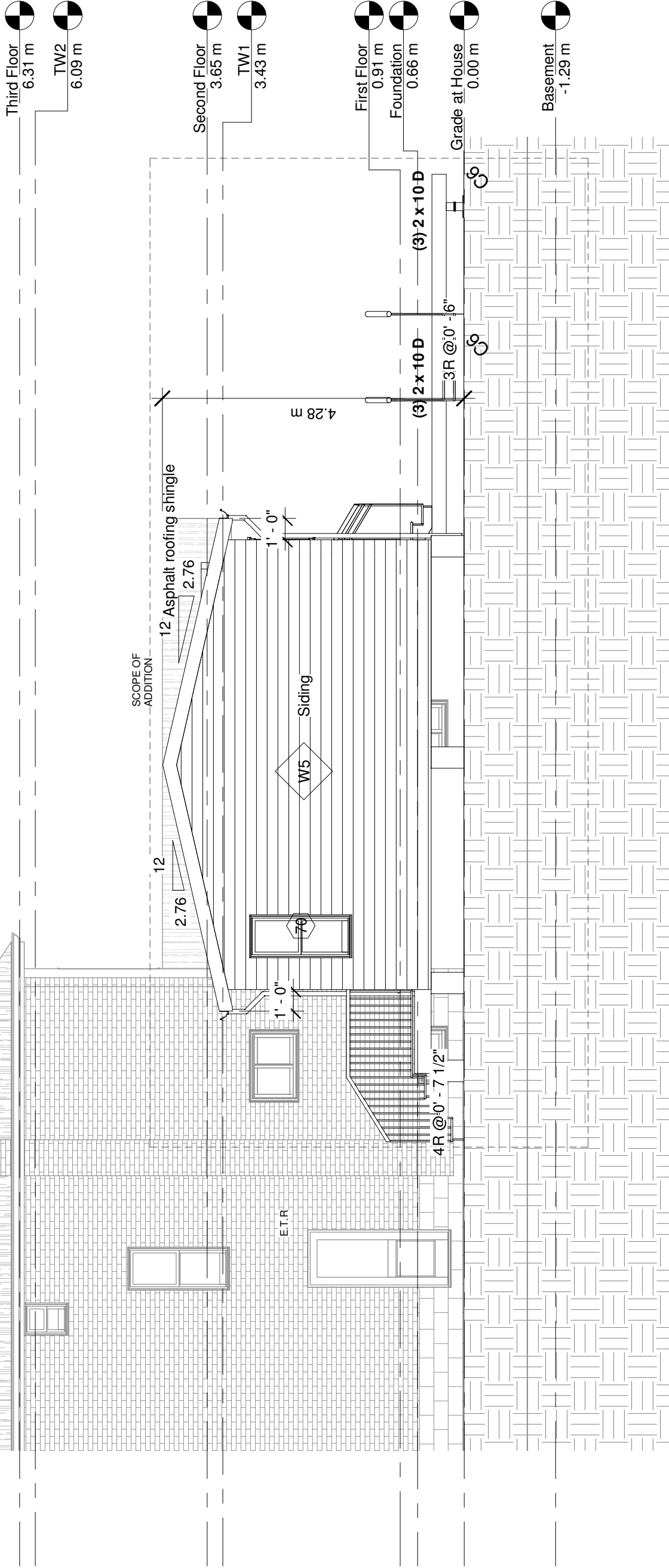


① East Front  
3/16" = 1'-0"

No.	Description	Date

BUILDING HEIGHT 8.87 m

EBF Addition: 18.83m<sup>2</sup> (202.73ft<sup>2</sup>)  
 LD: 1.34m  
 AO: 8%  
 PO: 7.96% (16.141ft<sup>2</sup>)



Drawings have been approved and meet the minimum requirements of the Ontario Building Code

1 South Side  
 3/16" = 1'-0"



897 King St W Hamilton, Ontario  
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 905-865-5355

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**A2.03**

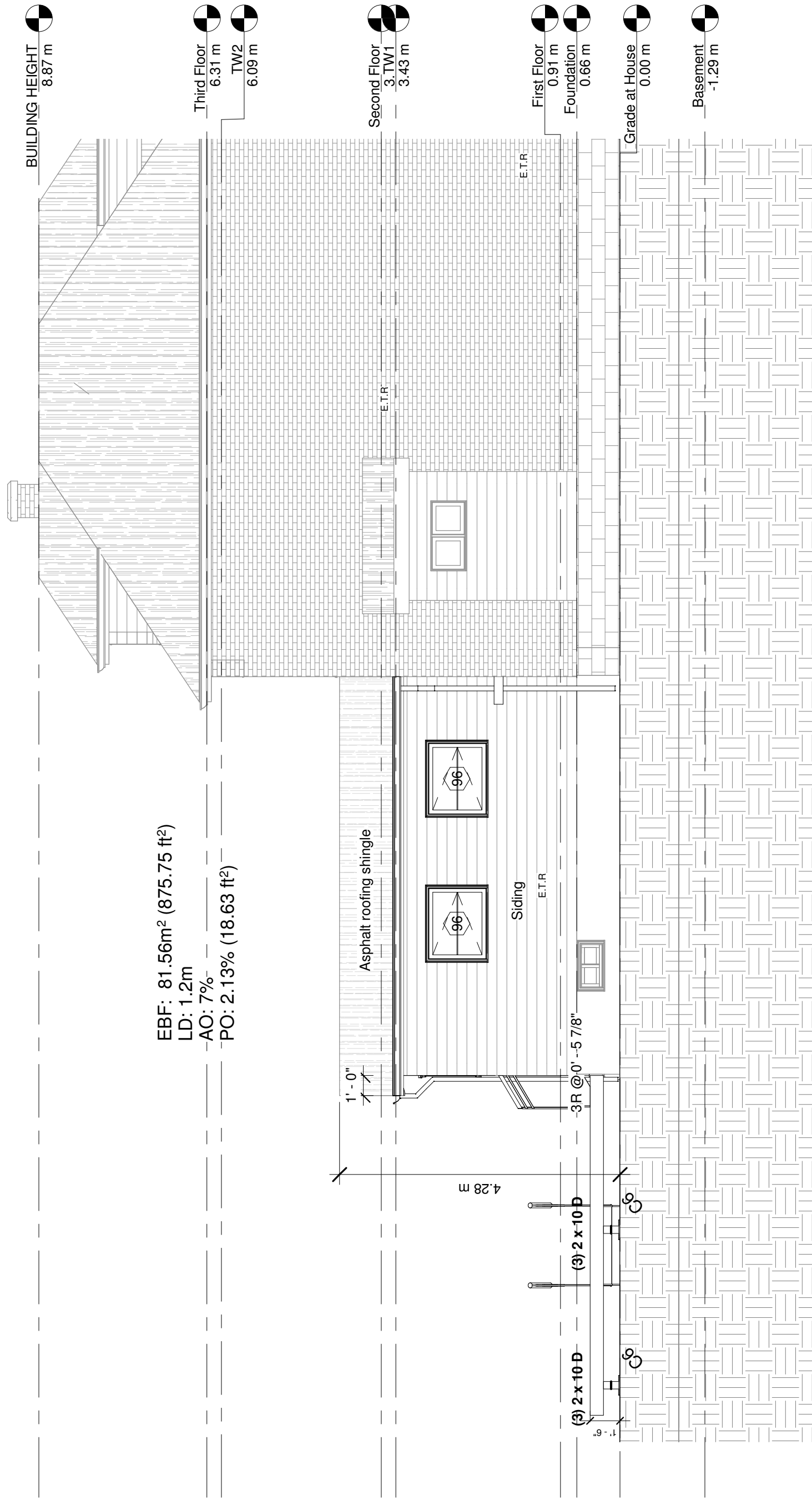
Scale 3/16" = 1'-0"

**122 Dromore Cres.**

**ADDITION**

**ELEVATIONS**

No.	Description	Date



Drawings have been approved and meet the minimum requirements of the Ontario Building Code

1 North Side  
3/16" = 1'-0"



897 King St W Hamilton, Ontario  
ncubedesigns.com  
905-865-5355

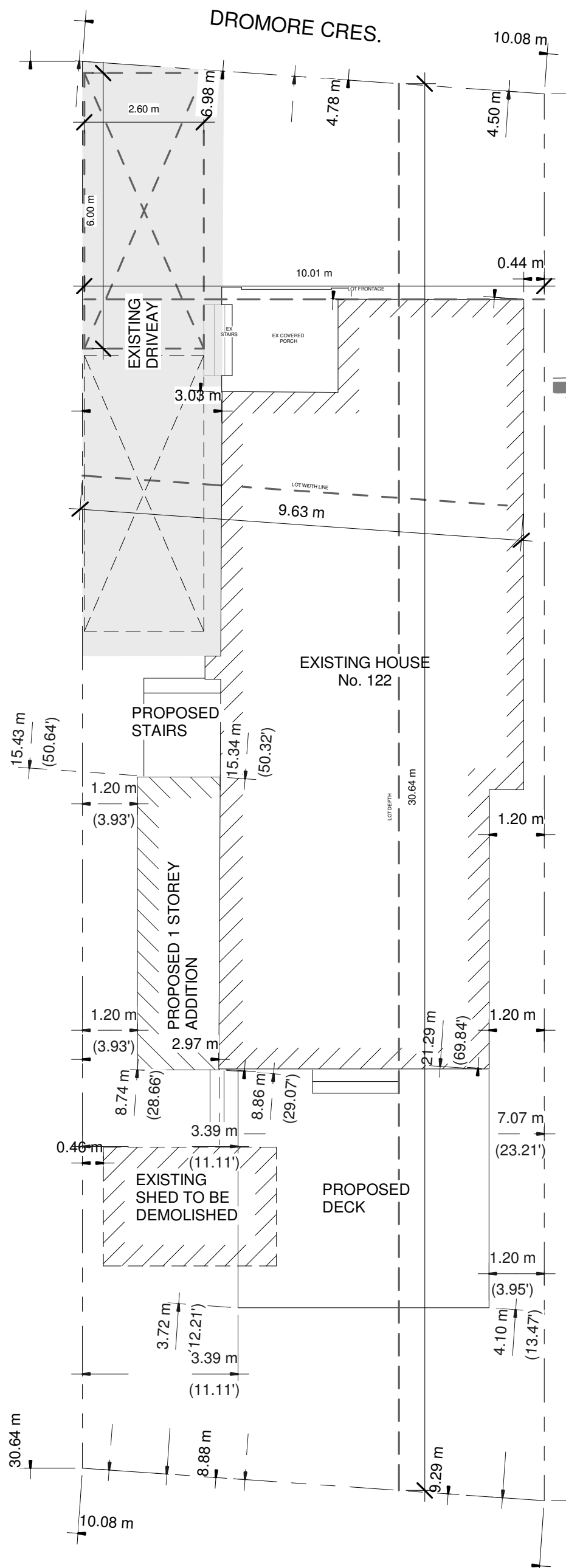
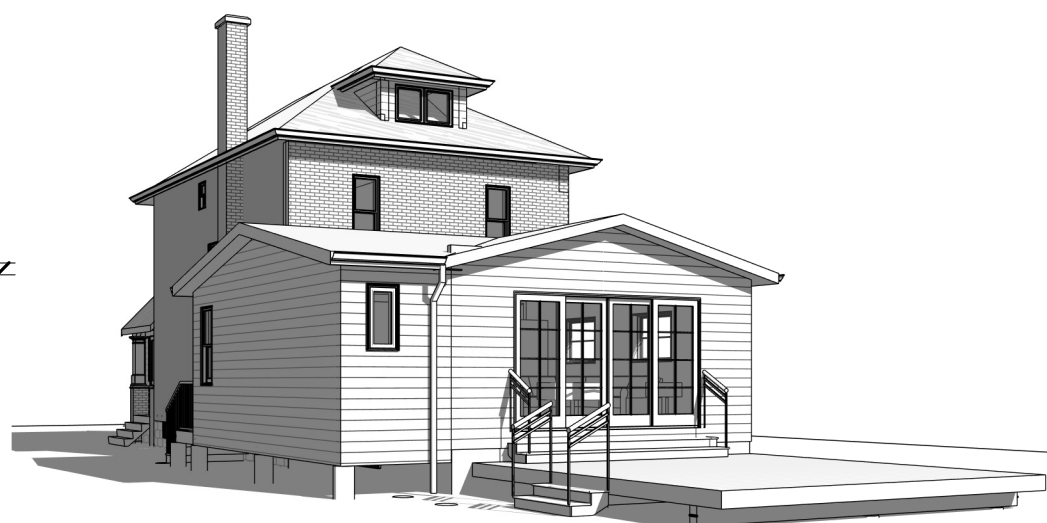
**A2.04**

Scale 3/16" = 1'-0"

**122 Dromore Cres.**  
**ADDITION**  
**ELEVATIONS**

No.	Description	Date

Drawings have been approved and meet the minimum requirements of the Ontario Building Code



City of Hamilton: Zoning By-Law No. 6593: "C" S-1361

**122 Dromore Cres**

Areas	Area				Total	
	Existing		Addition		sqf	sqm
	sqf	sqm	sqf	sqm	sqf	sqm
Lot Area	3315.35	308.01	-	-	3315.35	308.01
Gross Floor Area	Basement	1084.00	100.71	0.00	0.00	1084.00
	Ground Floor	1088.00	101.08	121.00	11.24	1209.00
	Second Floor	641.00	59.55	0.00	0.00	641.00
	Third Floor	319.00	29.64	0.00	0.00	319.00
	GFA Subtotal	3132.00	290.97	121.00	11.24	3253.00

NOTE: GFA MEASURED TO THE EXTERIOR FACE OF EXTERIOR WALLS.

GFA Ratio	Required	Existing	Proposed
Max. House GFA	45.00%	94.47%	98.12%

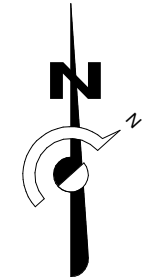
Distances	Required		Existing		Proposed	
	ft	m	ft	m	ft	m
Lot Width	-	-	31.60	9.63	33.00	9.77
Min. Building Setbacks	E - Rear Yard Setback to House	24.61	7.50	29.14	8.88	28.68
	W - Front Yard Setback	19.69	6.00	14.76	4.50	50.33
	N - Side Yard to House	3.94	1.20	1.44	0.44	23.10
	S - Side Yard to House	3.94	1.20	9.74	2.97	4.40
Max. Building Height	36.09	11.00	29.10	8.87	14.04	4.28

Proposed Deck	Min. Setbacks	
	ft	m
E - Setback to deck	12.21	3.72
W - Setback to deck	69.85	21.29
N - Setback to deck	3.87	1.18
S - Setback to deck	10.79	3.29
Height off Grade	1.51	0.46

Building & Parking Requirements	Required	Existing	Proposed
Number of Storeys	2.5	3	3
Number of Parking Spaces	5	2	2

\*Unchanged

Number of Habitable Rooms PROJECT: 13 (includes basement rooms)



1 Site  
1 : 100

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**SP1.01**

**122 Dromore Cres.**  
**ADDITION**  
**SITE PLAN**

Scale 1 : 100

No.	Description	Date



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)		
Agent or Solicitor		

1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

Municipal Address	122 Dromore Cres. Hamilton, ON L8S 4B2		
Assessment Roll Number	0100510 8650 0000		
Former Municipality	Former Hamilton		
Lot		Concession	
Registered Plan Number	652	Lot(s)	708/709 (part)
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

An increase in the GFA ratio to 98.12% from the required 45%. 94.47% Existing. To provide two parking spaces where the bylaw requires 5 based on 13 habitable rooms. parking space to measure 2.6m x 6.0m instead of required 2.7m x 6.0m.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The existing parking space provided is an existing condition that is consistent with the neighbourhood. existing parking space measures 2.6m x 6.0m to allow for an existing set of stairs off the existing porch.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
See Site Stats	See Site Stats	See Site Stats	See Site Stats



4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
	See Site Stats	See Site Stats	See Site Stats	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
	See Site Stats	See Site Stats	See Site Stats	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
	See Site Stats	See Site Stats	See Site Stats	See Site Stats

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
	See Site Stats	See Site Stats	See Site Stats	See Site Stats

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)



- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
  - system privately owned and operated individual
  - septic system other means (specify) \_\_\_\_\_
- 4.7 Type of access: (check appropriate box)
- provincial highway
  - municipal road, seasonally maintained
  - municipal road, maintained all year
  - right of way
  - other public road
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
Single Detached Dwelling
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
See Site Stats

## 7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands: Nov. 27. 2020
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
See Site Stats
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
See Site Stats
- 7.4 Length of time the existing uses of the subject property have continued:
- 7.5 What is the existing official plan designation of the subject land?
- Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_
- Rural Settlement Area: \_\_\_\_\_
- Urban Hamilton Official Plan designation (if applicable) \_\_\_\_\_
- Please provide an explanation of how the application conforms with the Official Plan.

- 7.6 What is the existing zoning of the subject land? C/S-1361
- 7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)
- Yes                       No
- If yes, please provide the file number: \_\_\_\_\_

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes                       No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes                       No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

**8        ADDITIONAL INFORMATION**

8.1    Number of Dwelling Units Existing:      1  

8.2    Number of Dwelling Units Proposed:      1  

8.3    Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
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