



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>GL/A-23:76</b>	<b>SUBJECT PROPERTY:</b>	6140 TWENTY ROAD E, GLANBROOK
<b>ZONE:</b>	"M3" (Prestige Business Park)	<b>ZONING BY-LAW:</b>	Zoning By-law City of Hamilton 05-200, as Amended

**APPLICANTS:** Owner: EAST HAMILTON INDUSTRIAL LP & GREYCAN 15 PROPERTIES LP  
Agent: WEBB PLANNING CONSULTANTS C/O JAMES WEBB

The following variances are requested:

1. A maximum yard abutting a street of 35 metres shall be permitted instead of the required maximum of 27 metres.

**PURPOSE & EFFECT:** To permit the construction of an industrial warehouse.

**Notes:**

1. Please be advised that a portion of this property is under Conservation Management. Please contact the Hamilton Conservation Authority at 905-525-2181 for further information.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, May 4, 2023</b>
<b>TIME:</b>	<b>10:15 a.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

## GL/A-23:76

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

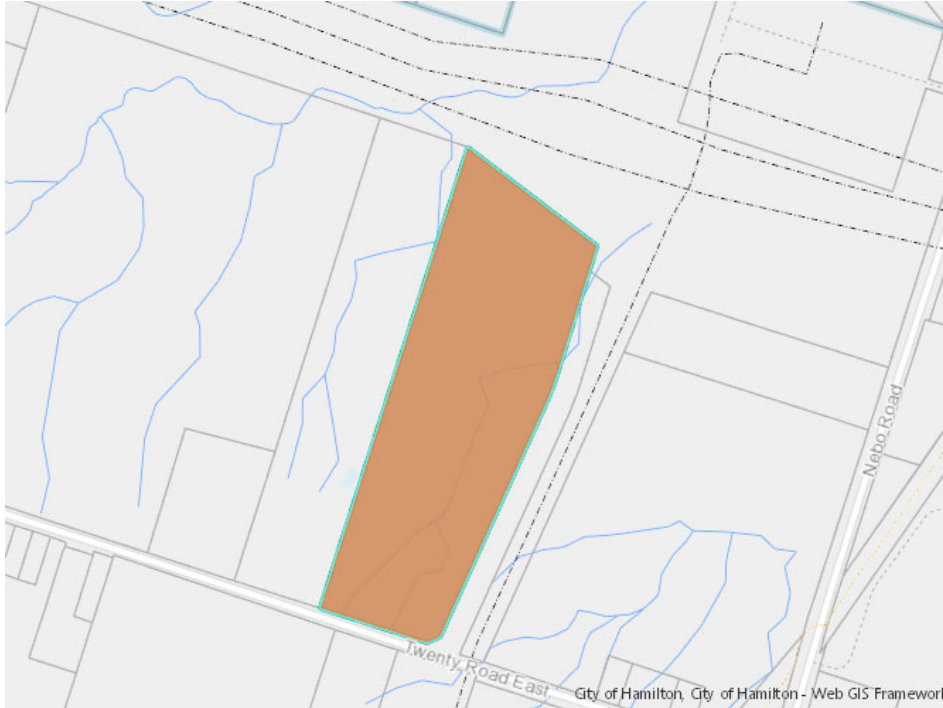
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

## FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding GL/A-23:76, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: April 18, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

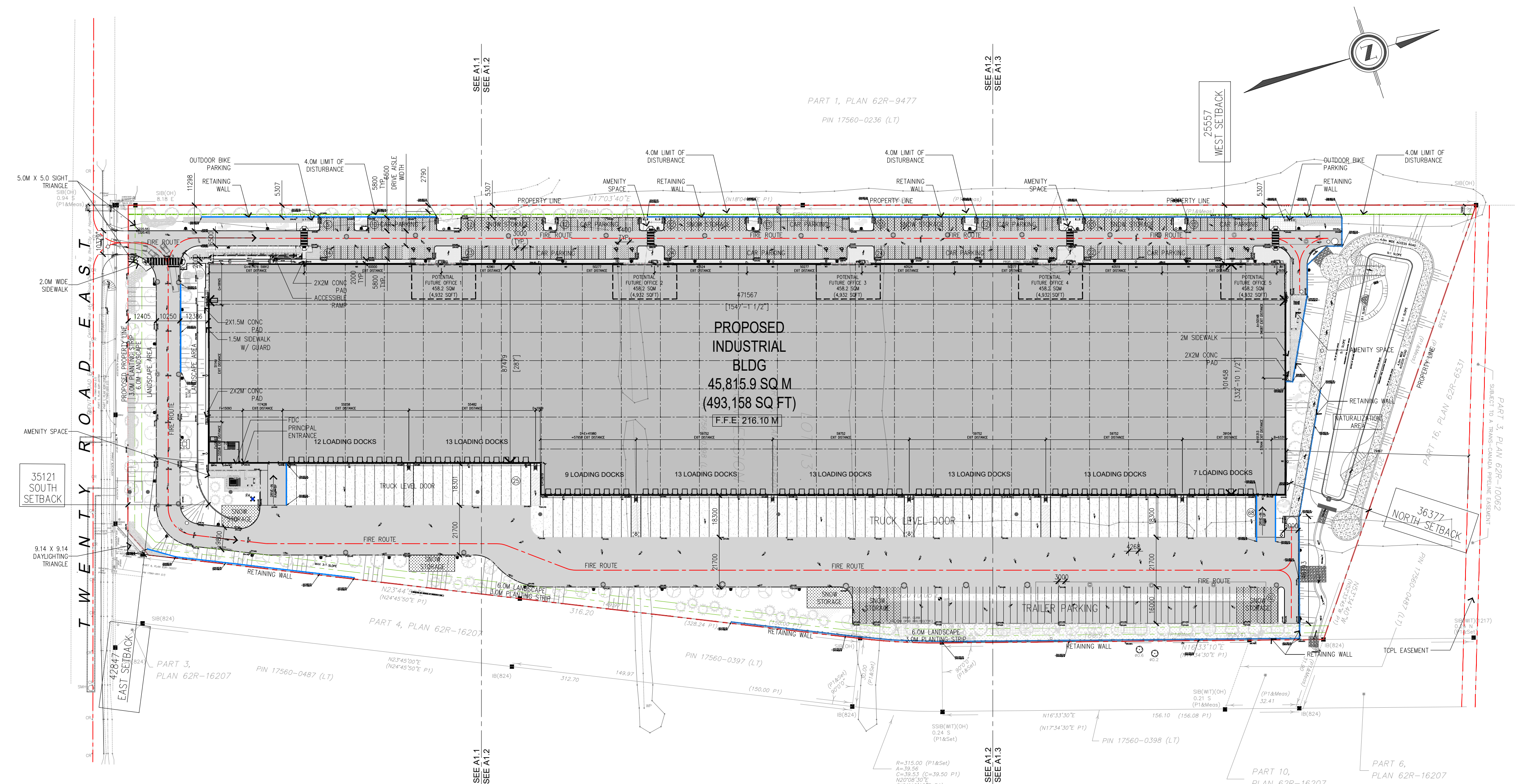
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

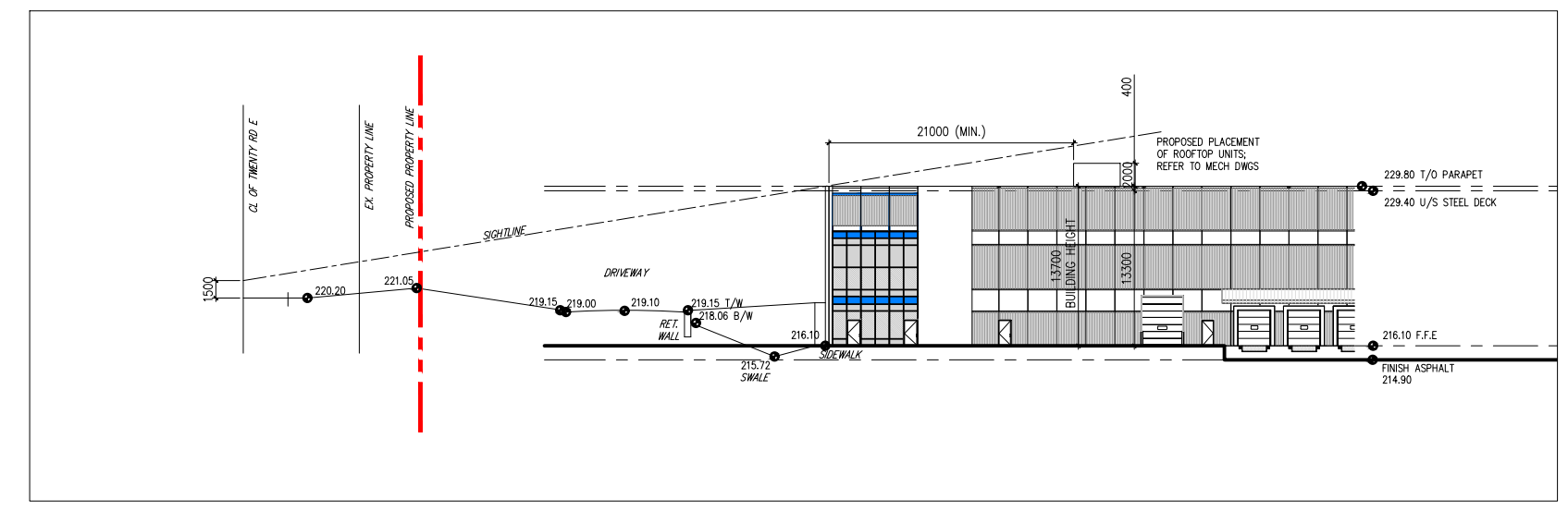
We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



**1**  
A1.0 OVERALL SITE PLAN  
SCALE 1 : 1250

**2**  
A1.0 SIGHTLINE STUDY  
SCALE 1 : 600



**SITE STATISTICS**

6140 TWENTY ROAD EAST, HAMILTON, ONTARIO

ZONING	COVERAGE				
	%	HA	ACRE	SQ FT	SQ M
TOTAL LOT AREA	100.00%	9.97	24.64	1,073,304.92	99,713.29
TOTAL BUILDING GFA	45.95%	4.58	11.32	493,158.24	45,815.90
PAVED AREA	28.85%	2.88	7.11	309,652.30	28,767.64
LANDSCAPED AREA (HARD + SOFT INC. TREE LOT, CONSERVATION AREAS AND BUFFER, SEPTIC AREA)	25.20%	2.51	6.21	270,484.38	25,129.75

BUILDING GFA	COVERAGE	
	SQ FT	SQ M
OFFICE (5% OF BUILDING GFA)	493,158.2	45,815.9
	24,657.9	2,290.8

PARKING	REQUIRED		PROVIDED	
	MIN (m)	PROPOSED (m)	MIN (m)	PROPOSED (m)
CAR PARKING (INC. BARRIER FREE) = 1/30 sqm OF OFFICE AREA (Summer)	76	231	76	181
(Winter)	76	181		
BARRIER FREE (4 FOR FIRST 100 PARKING; ADDITIONAL 1 PER 50)	8	10		
BIKE PARKING (5% OF CAR PARKING)	4	10		
LONG TERM INDOOR BIKE PARKING (5%)	4	5		
CAR PARKING LANDSCAPE AREA	MIN 10% OF CAR PARK AREA MIN 10 SQM	TOTAL CARPARK AREA = 10,854 SQM	LANDSCAPE AREA = 2,549 SQM >> 23.48%	

LOADING SPACES	PROVIDED	
	MIN (m)	PROPOSED (m)
TRUCK LEVEL DOOR	6	6.5
TRAILER PARK (Summer)		62
TRAILER PARK (Winter)		49
DRIVE-IN		2

FIRE TRUCK ROUTE	PROVIDED (m)	
	MIN (m)	PROPOSED (m)
	6	6.5

PARKING STALLS	PROVIDED (m)	
	MIN (m)	PROPOSED (m)
	3.0 x 5.8	3.0 x 5.8

BUILDING HEIGHT ABOVE GRADE	PROVIDED (m)	
	MIN (m)	PROPOSED (m)
	6.0	36.4
	6.0	42.9
	6.0	35.1
	6.0	25.6

- NOTES ON SITE PLAN**
- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF DEVELOPMENT AND REAL ESTATE APPROACH APPROVAL PERMITS ENCROACHMENT AGREEMENTS DIVISION, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
  - FIRE ROUTE SIGNS AND 3 WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
  - MAIN DRIVEWAYS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
  - ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
  - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO COMPLETE A CONSTRUCTION PROJECT SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
    - ROAD CUT PERMITS
    - SEWER PERMITS
    - ROAD CUT PERMITS
    - APPROACH APPROVAL PERMIT
    - ENCROACHMENT AGREEMENTS
    - RELOCATION OF SERVICES
    - COMMITTEE OF ADJUSTMENT (IF REQUIRED)
  - ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
  - FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: 5.0 METRE BY 5.0 METRE VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.60 METRES ABOVE THE CORRESPONDING PERPENDICULAR TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED CENTRE LINE ELEVATION OF THE ADJACENT STREET.
  - SIGNAGE SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON SIGN BY-LAW: No. 10-197
  - FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON FENCE BY-LAW: No. 10-124
  - NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY THE CITY OF HAMILTON, THE PROPONENT IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF TOURISM, CULTURE AND SPORT (MTC) SHOULD BE NOTIFIED IMMEDIATELY (416.314.7143).
  - IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MTC AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF SMALL BUSINESS AND CONSUMER SERVICES (416.326.8392).
  - STREET TREE PROVISIONS FOR THIS AREA REQUIRES A DOUBLE ROW OF TREES, ONE ROW ON PRIVATE PROPERTY AND ONE ROW WITHIN THE PUBLIC BOULEVARD.
  - DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVICE.
  - A MINIMUM OF 1.2M SEPARATION MUST BE PROVIDED WITHIN THE CITY'S ROAD ALLOWANCE AREA BETWEEN DRIVEWAYS, A FENCE AND ANY POLE, UTILITY, FIRE HYDRANT, TREE, SIGN, ETC. ANY COSTS FOR TRAFFIC SIGN OR UTILITY RELOCATION ARE THE SOLE RESPONSIBILITY OF THE APPLICANT/OWNER. IT IS THE APPLICANT'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE DEPARTMENTS AHEAD OF TIME.

**ZONING NOTES**

- THERE IS NO OUTDOOR DISPLAY WITHIN 6140 TWENTY ROAD E
- THERE IS NO ACCESSORY RETAIL AND/OR SHOWROOM AREA WITHIN 6140 TWENTY ROAD E

**UNDERTAKING** FILE NO: XX-XX-XXX

RE: 6140 TWENTY ROAD E, HAMILTON, ONTARIO

I, (We) \_\_\_\_\_ the owner(s) of the land, hereby undertake and agree without reservation, (a) to comply with all the content of this plan and drawing and not vary therefrom;

(b) to perform the facilities, works or matters mentioned in Section 41(7)(a) of the Planning Act shown on this plan and drawing(s) in accordance with the conditions of approval as set out in the Conditional Letter of Approval dated \_\_\_\_\_, 2022;

(c) to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways; and,

(d) in the event that the Owner does not comply with the plan dated \_\_\_\_\_, 2022 the owner agrees that the City may enter the land and do the required works, and further the Owner authorizes the City to use the security filed to obtain compliance with this plan.

(e) The Owner agrees to affix the physical municipal number(s) (10) or full address (6140 Twenty Road E) to either the building or a sign along the road that is clearly visible from the road.

(f) That the applicant contract Corridor Management in the Public Works Department should the applicant require information regarding Commercial and High-density Residential Driveway Access Permits; Any construction related activity that negatively impacts the City's Right of Way that requires a Construction Management Plan; and/or Temporary Lane & Sidewalk Occupancy Permit.

(g) The owner shall complete to the satisfaction of the Director of Engineering of the City of Hamilton and Canada Post:

- include on all offers of purchase and sale, a statement that advises the prospective purchaser:
  - that the business mail delivery will be from a designated Centralized Mail Box.
  - that the developers/owners are responsible for officially notifying the purchasers of the exact Centralized Mail Box locations prior to the closing of any home sales.
- The owner further agrees to:
  - work with Canada Post to determine and provide temporary suitable Centralized Mail Box locations which may be utilized by Canada Post until the curbs, boulevards and sidewalks are in place in the remainder of the subdivision.
  - install a concrete pad in accordance with the requirements of and in locations to be approved by Canada Post to facilitate the placement of Community Mail Boxes
  - identify the pads above on the engineering servicing drawings. Solid pads are to be poured at the time of the sidewalk and/or curb installation within each phase of the plan of subdivision.
  - determine the location of all centralized mail receiving facilities in co-operation with Canada Post and to indicate the location of the centralized mail facilities on appropriate maps, information boards and plans.
  - Maps are also to be prominently displayed in the sales office(s) showing specific Centralized Mail Facility locations.

(c) Canada Posts multi-unit policy, which requires that the owner/developer provide the centralized mail facility (Lock Box Assembly) at their own expense (less than 100 units will require a front loading Lock Box Assembly & more than 100 units will require a rear loading Lock Box Assembly which will require a mail room) will be in effect for buildings and complexes with a common lobby, common indoor or sheltered space.

(h) No buildings or structures shall be installed anywhere on TOPL's right-of-way. Permanent buildings and structures are to be located a minimum of 7 metres from the edge of the right-of-way. Temporary or accessory buildings are to be located a minimum of 3 metres from the edge of the right-of-way.

(i) A minimum setback of 7 metres from the nearest portion of a TOPL pipeline right-of-way shall also apply to any parking area or loading area, including any parking spaces, loading spaces, stacking spaces, bicycle parking spaces, and any associated drive aisle or driveway.

(j) Written consent from TOPL must be obtained before any of the following:
 

- Constructing or installing a facility across, on, along or under a TOPL pipeline right-of-way. A facility may include, but is not limited to: driveways, roads, access ramps, trails, pathways, utilities, berms, fences/fence posts; • Conducting ground disturbance (excavation or digging) on TOPL's right-of-way or within 30 metres of the centreline of TOPL's pipeline (the "Prescribed Area"); • Driving a vehicle, mobile equipment or machinery across a TOPL pipeline right-of-way outside the travelled portion of a highway or public road; • Using any explosives within 300 metres TOPL's right-of-way and • Use of TOPL's Prescribed Area for storage purposes.

(k) That the Owner shall indicate in the Agreement, in words satisfactory to Bell Canada, that it will grant to Bell Canada any easements that may be required, which may include a blanket easement, for communication/telecommunication infrastructure. In the event of any conflict with existing Bell Canada facilities or easements, the Owner shall be responsible for the relocation of such facilities or easements.

(l) The owner agrees that should any conflict arise with existing Bell Canada facilities where a current and valid easement exists within the subject area, the owner shall be responsible for the relocation of any such facilities or easements at their own cost.

(m) Should the proposed site plan impact Enbridge gas inc. (Union Gas) services, it may be necessary to terminate the gas service and relocate the line according to the new property boundaries. Any service relocation required would be at the cost of the property owner.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Witness (signature) Owner(s) (signature) \_\_\_\_\_ (seal)

Witness (print) Owner (print) \_\_\_\_\_

Address of Witness \_\_\_\_\_

**LEGEND**

● FIRE ROUTE SIGNAGE	○ STOP SIGN (R-1) AND STOP BAR PAVEMENT MARKING
■ HANDICAP SIGNAGE	
D 4" DIAMETER LED DOWNLIGHT RECESSED IN CANOPY SOFFIT (APPROX. 3.6M ABOVE FINISHED GROUND FLOOR). REFER TO ELEC DWGS.	
W EXTERIOR WALL MOUNTED LED LUMINAIRE MOUNTED AT 9.0M (30FT) ABOVE FINISHED FLOOR. REFER TO ELEC DWGS.	
W1 EXTERIOR WALL MOUNTED LED LUMINAIRE, MOUNTED AT 9.0M (30FT) ABOVE FINISHED FLOOR. REFER TO ELEC DWGS.	
W3 EXTERIOR WALL MOUNTED LED LUMINAIRE, MOUNTED AT 9.0M (30FT) ABOVE FINISHED FLOOR. REFER TO ELEC DWGS.	
W4 EXTERIOR WALL MOUNTED LED LUMINAIRE, MOUNTED AT 9.0M (30FT) ABOVE FINISHED FLOOR. REFER TO ELEC DWGS.	
● FH FIRE HYDRANT C/W BOLLARDS	○ CATCH BASIN MAN HOLE (SEE CIVIL DWGS)
● EX/FH EXISTING FIRE HYDRANT (REFER TO SURVEY)	○ MAN HOLE (SEE CIVIL DWGS)
— RETAINING WALL	— CHAINLINK FENCE
— FIRE TRUCK ROUTE	— SNOW STORAGE ON PERMEABLE PAVERS
— HEAVY DUTY ASPHALT DRIVEWAY SURFACE	
— PERMEABLE PAVERS/CAR PARKING AREA	
— CONCRETE PAVING	
— SNOW STORAGE	

**NOTES:**

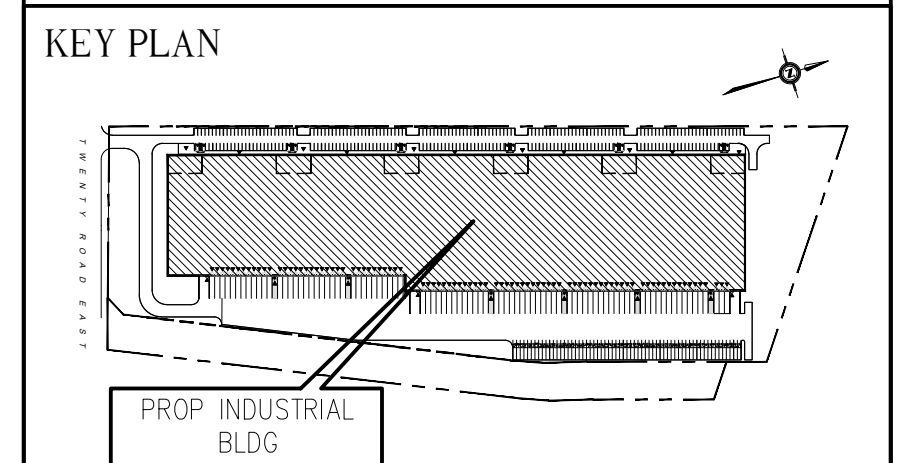
FOR LANDSCAPING, REFER TO LANDSCAPE DRAWINGS  
FOR GRADING, REFER TO CIVIL DRAWINGS

- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
- USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
- THE DRAWINGS ARE THE PROPERTY OF JRI ARCHITECTS INC. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.

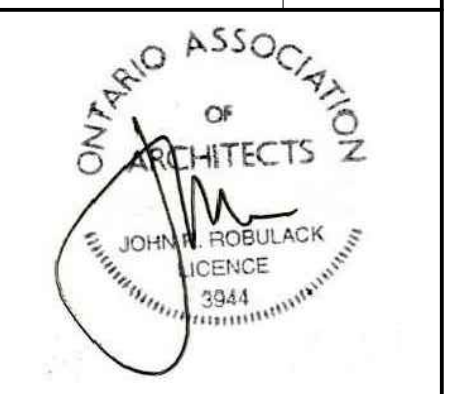
**NORTH**

NOTE: SURVEY INFORMATION ILLUSTRATED ON THIS DRAWING WAS TAKEN FROM PLAN OF SURVEY WITH TOPOGRAPHY OF PART OF LOT 13, CONCESSION 1 CITY OF HAMILTON PREPARED BY SPEIGHT, VAN NOSTRAND AND OGBORN LIMITED ON MARCH 14, 2022 (SEE SHEET AD.1) AND PLAN OF SURVEY OF PART OF LOT 13, CONCESSION 1 FOR PROPOSED RIGHT-OF-WAY/PROPERTY LINE (SEE SHEET AD.2).

FOR LANDSCAPING, REFER TO LANDSCAPE DRAWINGS  
FOR GRADING AND SITE SERVICES, REFER TO CIVIL DRAWINGS



NO.	DATE	REVISIONS	AP'D BY
7.			
6.			
5.			
4.			
3.	DEC 16/22	ISSUED FOR SITE PLAN APPROVAL	
2.	SEP 27/22	ISSUED FOR CONDITIONAL SITE PLAN APPROVAL	
1.	FEB 11/22	ISSUED FOR SITE PLAN APPROVAL	



4 PRINCE GEORGE DRIVE ETOBICOKE, ONTARIO M9A1X8

**PANATTONI**

185 The West Mall, Suite 860  
Toronto, ON M9C 5L

**PROJECT**

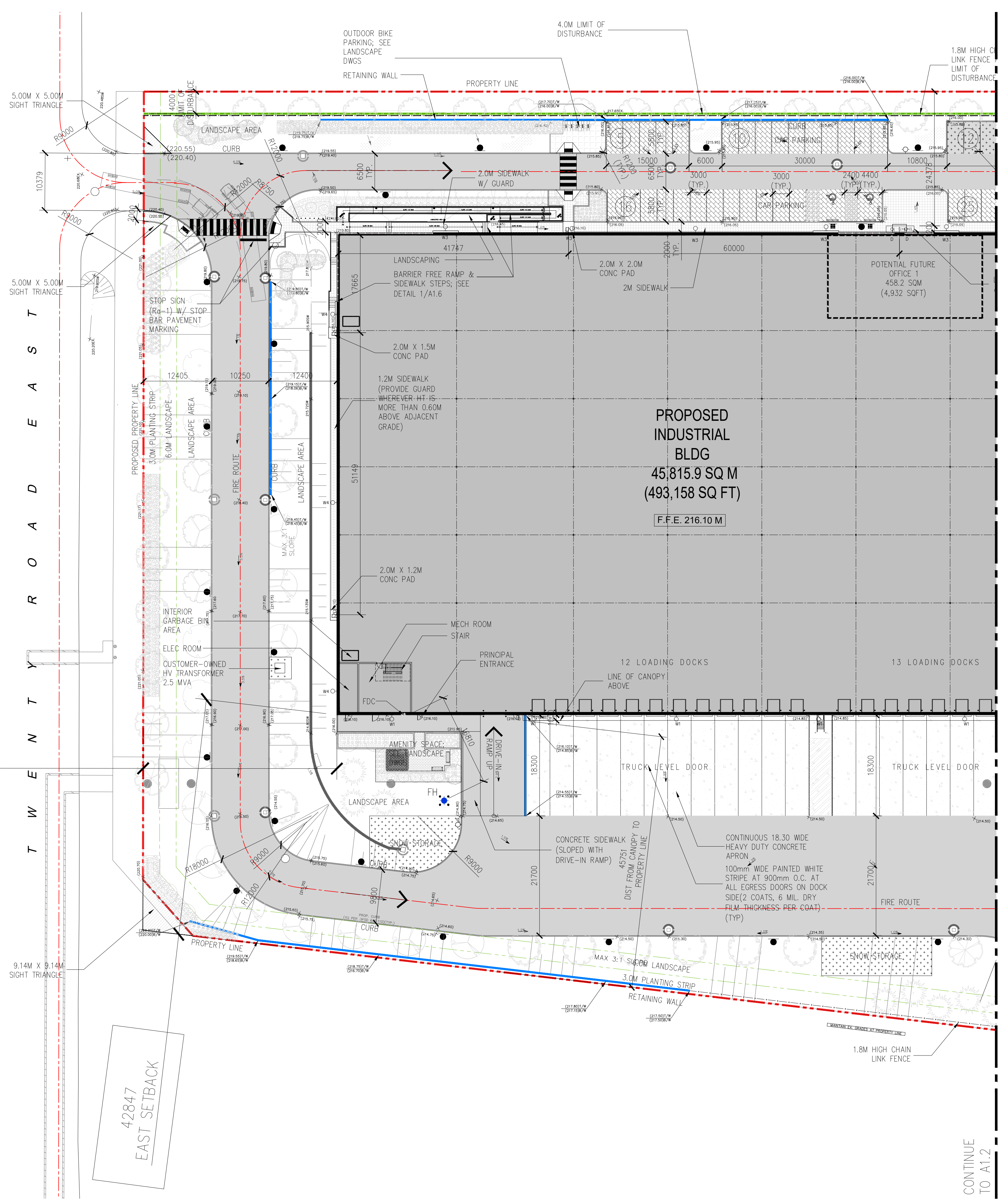
**NEW INDUSTRIAL DEVELOPMENT**  
6140 TWENTY ROAD EAST,  
HAMILTON, ON

**DRAWING TITLE**

OVERALL SITE PLAN

**DRAWN** MS  
**CHECKED** JR  
**SCALE** 1:1250  
**DATE** DECEMBER 2022

**PROJECT NUMBER** 2021-032  
**DRAWING NUMBER** A1.0



**LEGEND**

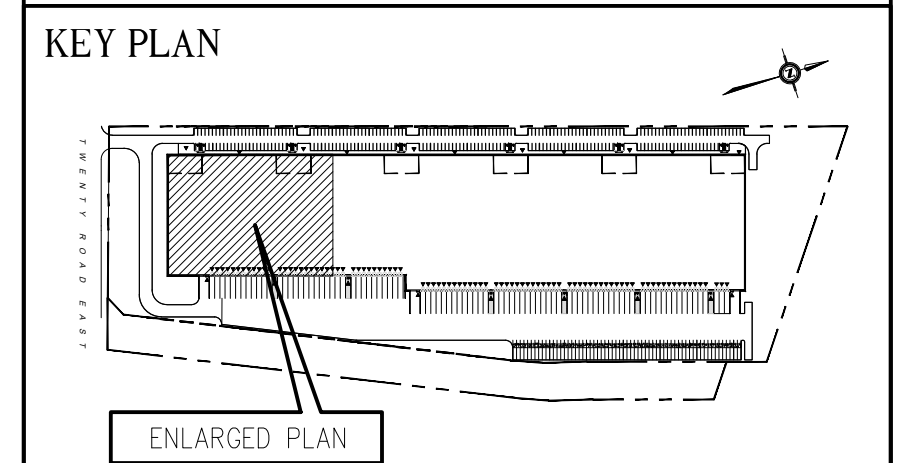
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- SNOW STORAGE
- CHAINLINK FENCE
- SNOW STORAGE ON PERMEABLE PAVERS

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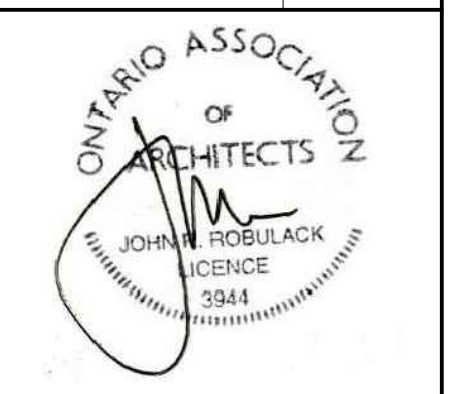
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7.			
6.			
5.			
4.			
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2.	SEP 27/22	ISSUED FOR CONDITIONAL SITE PLAN APPROVAL	
1.	FEB 11/22	ISSUED FOR SITE PLAN APPROVAL	
NO.	DATE	REVISIONS	APVD BY



**CLIENT**

**PANATTONI**

185 The West Mall, Suite 860  
Toronto, ON M9C 5L

**PROJECT**

**NEW INDUSTRIAL DEVELOPMENT**

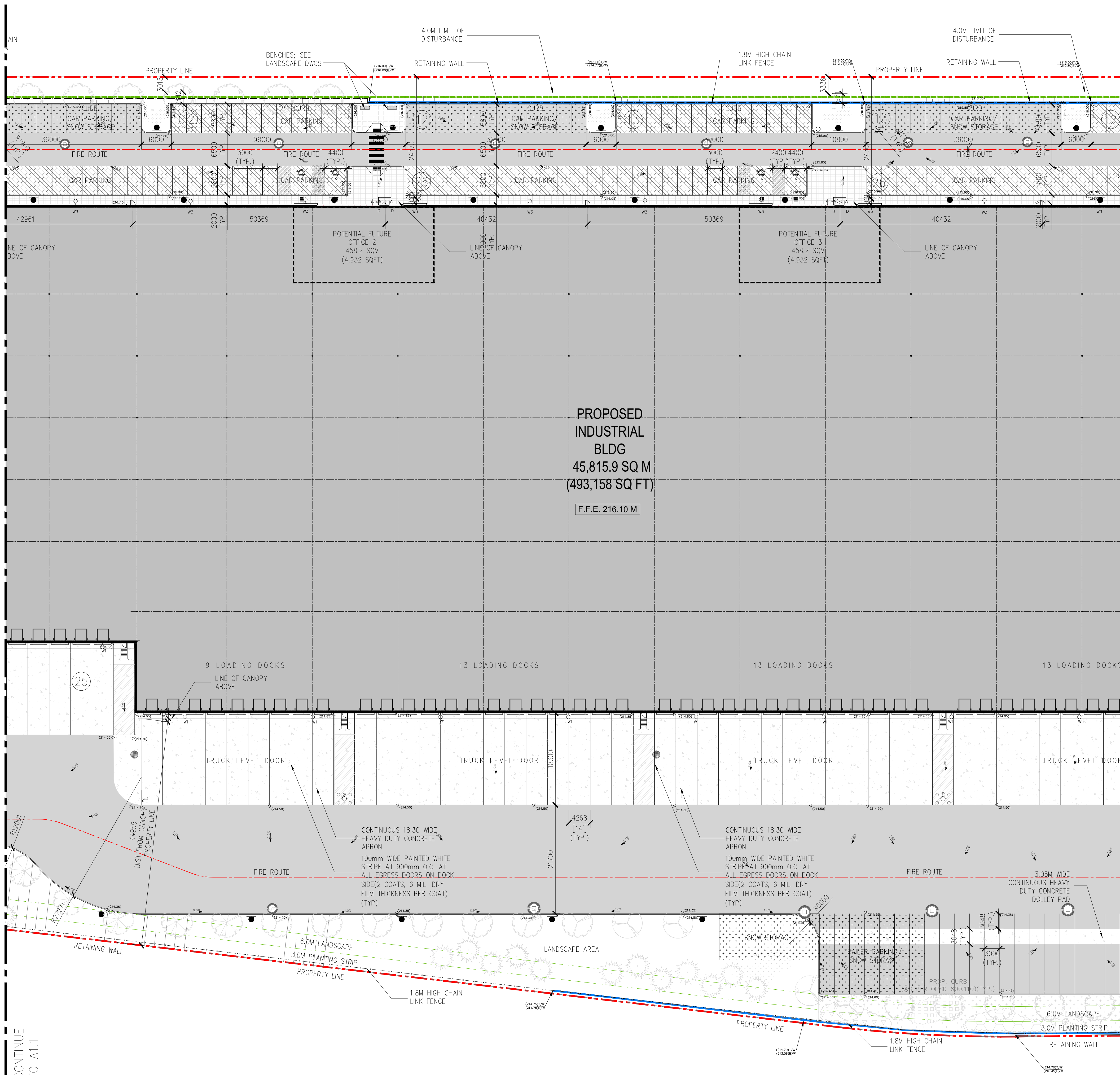
6140 TWENTY ROAD EAST,  
HAMILTON, ON

**DRAWING TITLE**

ENLARGED SITE PLAN  
(PART A)

**DRAWN** MS  
**CHECKED** JR  
**SCALE** 1:400  
**DATE** DECEMBER 2022

**PROJECT NUMBER** 2021-032  
**DRAWING NUMBER** A1.1



PROPOSED INDUSTRIAL BLDG  
 45,815.9 SQ M  
 (493,158 SQ FT)  
 F.F.E. 216.10 M

**LEGEND**

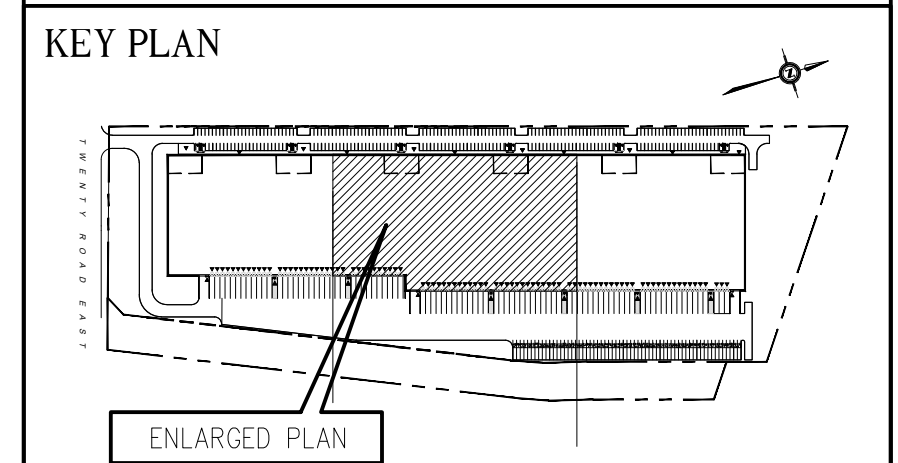
- FIRE ROUTE SIGNAGE
- HANDICAP SIGNAGE
- D 4" DIAMETER LED DOWNLIGHT RECESSED IN CANOPY SOFFIT (APPROX. 3.5M ABOVE FINISHED GROUND FLOOR). REFER TO ELEC DWGS.
- W EXTERIOR WALL MOUNTED LED LUMINAIRE MOUNTED AT 9.0M (30FT) ABOVE FINISHED FLOOR. REFER TO ELEC DWGS.
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- FH FIRE HYDRANT C/W BOLLARDS
- EX.FH EXISTING FIRE HYDRANT (REFER TO SURVEY)
- CATCH BASIN MAN HOLE (SEE CIVIL DWGS)
- MAN HOLE (SEE CIVIL DWGS)
- RETAINING WALL
- - - FIRE TRUCK ROUTE
- HEAVY DUTY ASPHALT DRIVEWAY SURFACE
- PERMEABLE PAVERS/CAR PARKING AREA
- CONCRETE PAVING
- SNOW STORAGE
- CHAINLINK FENCE
- SNOW STORAGE ON PERMEABLE PAVERS

**NOTES:**  
 FOR LANDSCAPING, REFER TO LANDSCAPE DRAWINGS  
 FOR GRADING, REFER TO CIVIL DRAWINGS

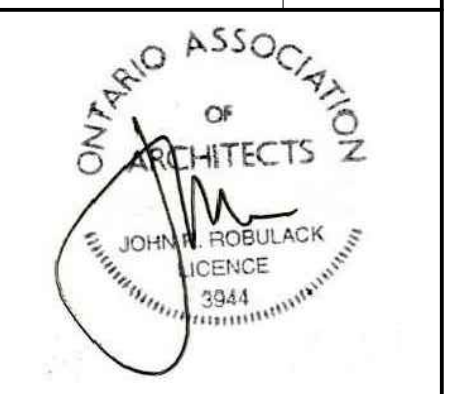
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
5. THE DRAWINGS ARE THE PROPERTY OF JRI ARCHITECTS INC. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.

**NOTE:**  
 SURVEY INFORMATION ILLUSTRATED ON THIS DRAWING WAS TAKEN FROM PLAN OF SURVEY WITH TOPOGRAPHY OF PART OF LOT 13, CONCESSION 1 CITY OF HAMILTON PREPARED BY SPEIGHT, VAN NOSTRAND AND GIBSON LIMITED ON MARCH 14, 2022 (SEE SHEET A0.1) AND PLAN OF SURVEY OF PART OF LOT 13, CONCESSION 1 FOR PROPOSED RIGHT-OF-WAY/PROPERTY LINE (SEE SHEET A0.2).

FOR LANDSCAPING, REFER TO LANDSCAPE DRAWINGS  
 FOR GRADING AND SITE SERVICES, REFER TO CIVIL DRAWINGS



7.			
6.			
5.			
4.			
3.	DEC 16/22	ISSUED FOR SITE PLAN APPROVAL	
2.	SEP 27/22	ISSUED FOR CONDITIONAL SITE PLAN APPROVAL	
1.	FEB 11/22	ISSUED FOR SITE PLAN APPROVAL	
NO.	DATE	REVISIONS	APPROVED BY



**CLIENT**  
**PANATTONI**  
 185 The West Mall, Suite 860  
 Toronto, ON M9C 5L

**PROJECT**  
 NEW INDUSTRIAL DEVELOPMENT  
 6140 TWENTY ROAD EAST,  
 HAMILTON, ON

**DRAWING TITLE**  
 ENLARGED SITE PLAN  
 (PART B)

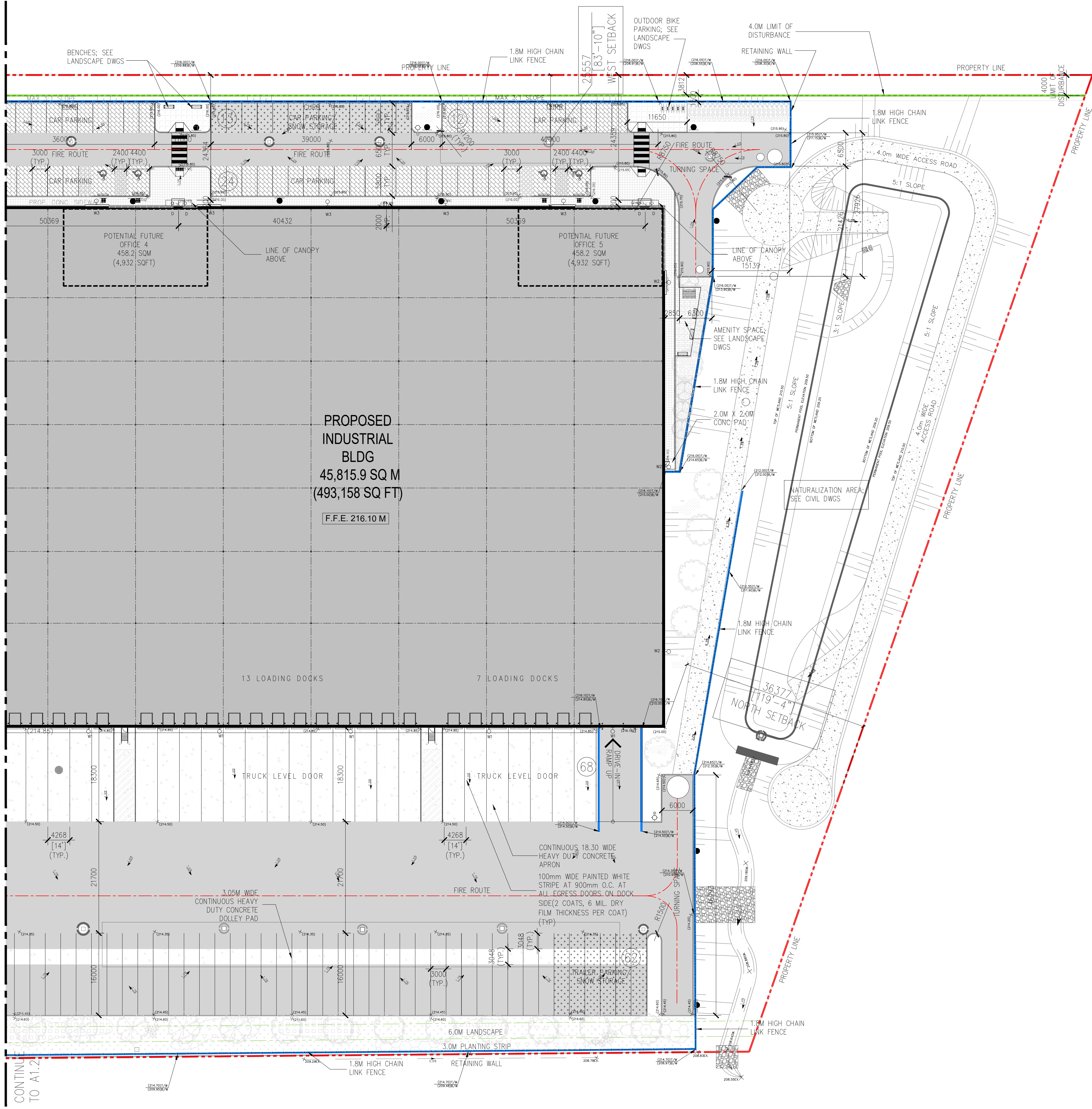
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**CHECKED** JR  
**SCALE** 1:400  
**DATE** DECEMBER 2022

**PROJECT NUMBER** 2021-032  
**DRAWING NUMBER**

**A1.2**

CONTINUE TO A1.1  
**1**  
**A1.2** ENLARGED SITE PLAN - PART B  
 SCALE 1:400

CONTINUE TO A1.3



**LEGEND**

- FIRE ROUTE SIGNAGE
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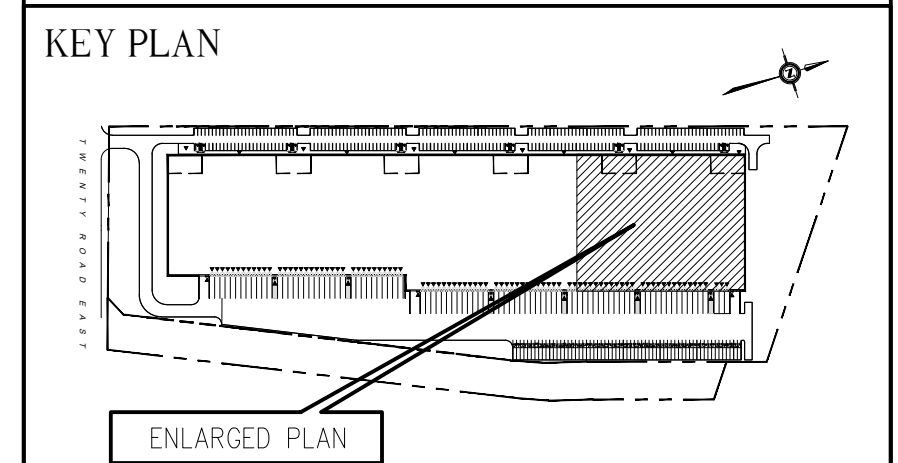
**NOTES:**

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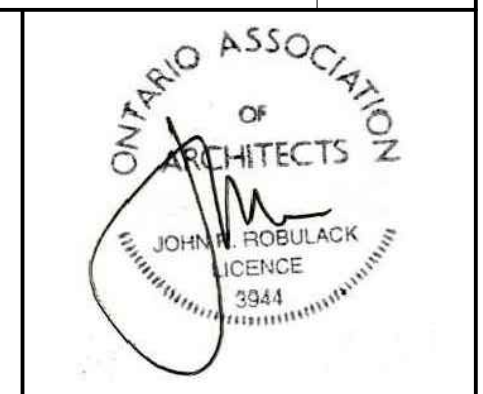
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**FOR LANDSCAPING, REFER TO LANDSCAPE DRAWINGS FOR GRADING AND SITE SERVICES, REFER TO CIVIL DRAWINGS**



7.				
6.				
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1.	FEB 11/22	ISSUED FOR SITE PLAN APPROVAL		
NO.	DATE	REVISIONS		AP'D BY



**CLIENT**

**PANATTONI**

185 The West Mall, Suite 860  
Toronto, ON M9C 5L

**PROJECT**

**NEW INDUSTRIAL DEVELOPMENT**

6140 TWENTY ROAD EAST,  
HAMILTON, ON

**DRAWING TITLE**

ENLARGED SITE PLAN  
(PART C)

**DRAWN** MS  
**CHECKED** JR  
**SCALE** 1:400  
**DATE** DECEMBER 2022

**PROJECT NUMBER** 2021-032  
**DRAWING NUMBER**

**A1.3**





March 23, 2023

City of Hamilton  
Planning & Economic Development Department  
Committee of Adjustment  
71 Main Street West  
Hamilton ON L8P 4Y5

Attention: Ms. Jamila Sheffield  
Secretary Treasurer

Dear Ms. Sheffield,

**Re:** Application for Minor Variance  
6140 Twenty Road East, Glanbrook, City of Hamilton

---

WEBB Planning Consultants are retained by the property owners – East Hamilton Industrial LP & GreyCan 15 Properties LP, to co-ordinate the municipal planning approvals necessary to implement the proposed development of the subject lands for employment uses.

The property is located within the City's Urban Area and more particularly within the Red Hill South Business Park, former Township of Glanbrook. The property has approximately 140 metres of frontage on the north side of Twenty Road, a lot depth of approximately 590 metres, and a total lot area of 10.25 hectares.

As illustrated by the accompanying plans prepared by JRI Architects, the property is proposed to be developed with a single industrial building intended for warehousing and logistics use, with ancillary office space. The building has a total floor area of 45,815 square metres, one storey in height with a measured maximum height of 13.7 metres. The site design proposes a single driveway connection to Twenty Road to accommodate all automobile and truck traffic with parking, loading and unloading located to the sides of the building. The building is sited close to the street frontage with the office floor area at the front of the building, the architecture to include an enhanced and active façade oriented to the street frontage.

The Red Hill South Business Park is identified as an Employment Area by the Urban Structure Plan of the City's Urban Official Plan, the specific land use designation being "Business Park" according to Schedule "E-1" – Urban Land Use Designations. The proposed development of the property for employment uses conforms with the applicable Policies of the UHOP with respect to land use and development that utilizes full municipal services.

The lands are Regulated by Zoning By-law 05-200 and currently Zoned as "M3" Zone – Prestige Business Park, the proposed warehouse and ancillary administrative offices are included as permitted uses. The accompanying Site Plan and Building Elevations have been prepared having regard for the applicable Regulations of the "M3" Zone including setbacks,

building height and landscaping. The building includes space allocated for offices which is permitted as an accessory use. Parking, truck loading and staging areas are located interior to the site and will be provided appropriate landscaping and screening in keeping with the By-law Regulations.

An Application for Site Plan Approval was submitted to the City in March 2022 with Conditional Site Plan Approval granted on November 3<sup>rd</sup>, 2022 pursuant to City File No. DA-22-093. Through the review of the Site Plan, it has been determined that implementation of the site design will require a Variance from the applicable Regulations of the in-force “M3” Zone Regulations to ensure Zoning compliance.

Regulation 9.3.3(b)(ii) states a maximum building setback of 27.0 metres. The development is not able to comply with this Regulation based on the configuration of the site and associated design requirements for on-site maneuvering of cars, trucks, and access to the interior of the site for truck loading and unloading. The Variance is therefore necessary to request the maximum setback be increased to 36.0 metres.

#### **ANALYSIS – 4 TESTS**

The following discussion summarizes the applicable Planning Policy framework applicable to the subject lands and provides an evaluation of the proposed Variances having regard for the Four Tests outlined by Section 45 (1) of the Planning Act.

**The Variance has been considered in the context of the Official Plan and in our opinion maintains the general purpose and intent.**

The subject lands are designated by the UHOP as Business Park and subject to the Urban Design Policies of Section B.3.3 of the Plan.

The form and scale of the proposed warehouse development is permitted by the land use Policies for the Business Park designation. The designation is intended for uses that will benefit from frontage on existing and future major roads with direction to incorporate urban design treatments to reflect their visibility.

With respect to design, Policies direct that development shall be subject to minimum standards of urban design such as high quality and attractive materials and landscaping, and a high level of sustainable design. The intent of the design Policies is being met through the Site Plan Approvals process wherein the project designers are incorporating appropriate considerations for materiality and functional design to support sustainable development. Additional matters including pedestrian circulation, bicycle parking, and recreation space for employees are being implemented through the Conditions of Site Plan Approval, including the preparation of detailed landscape plans.

**The Variance has been considered in the context of the Zoning By-law and in our opinion maintains the general purpose and intent.**

The proposed Variance seeks a modification to Regulations that guide the placement of the proposed building from the street edge and the provision of buffering and landscaping. The intent of the regulations is to achieve appropriate built form and urban design where development is highly visible from adjoining major roads such as Twenty Road.

With regard to the building setback, the site design emphasizes the relationship with Twenty Road to the extent possible. It is not possible for site development to meet the setback requirement with the mitigation provided in the form of robust landscaping across the street frontage to screen and buffer the parking areas. The increase does retain a building presence and relationship to the street frontage given the significant bulk and massing of the façade facing the street, including the activity space associated with the ancillary offices located as close as possible to the street edge.

It is our opinion that the proposal maintains the general purpose and intent of the By-law.

**The Variance is Minor.**

The appropriate test to establish that the Variances are minor is to consider if any adverse or negative impacts arise from the development. It is our opinion that the Variances do not permit an over-intensification of the site or reduction in the performance criteria that are otherwise intended to achieve a high standard of architecture and urban design where buildings are oriented to major roads. The development complies with the balance of the Zone Regulations with regard to building height, lot coverage, and overall site landscaping.

In our opinion, the Variance will not result in any adverse impacts and is considered minor.

**The proposed development is desirable for the appropriate development of the lands.**

It is our opinion that the Variance will provide for the desirable and appropriate development of the lands for the intended employment uses.

Through the Site Plan Approvals process, the proponents will be satisfying the various Conditions of approval which will include the submission of detailed landscape plans that will demonstrate compliance with the applicable standards and design guidelines. The implementation of these plans will ensure the building achieves the objectives for a high standard of design, including incorporation of attractive materials and landscaping, and sustainable design practices.

In our opinion, the proposed development is desirable and appropriate for the lands.

In summary, it is our opinion that the Variance required to implement the proposal meets the four tests of the Planning Act and will provide the appropriate and planned development of the site to accommodate employment uses.

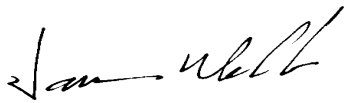
In keeping with the City's requirements for the submission of an Application for Minor Variance, the following materials are enclosed:

- Application for Minor Variance;
- Application Fee of \$3,735.00.00 payable to the City of Hamilton;
- Site Plan drawings A1.0, A1.1, A1.2 & A1.3 prepared by JRI Architects;

We trust that you will find the enclosed materials complete and suitable for the purpose of processing this Application for Minor Variance. Please contact our office immediately should you have any questions or require additional information in support of this submission.

Yours truly,

**WEBB Planning Consultants Inc.**



James Webb, MCIP, RPP

cc: East Hamilton Industrial LP & GreyCan 15 Properties LP



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION  
UNDER SECTION 45 OF THE PLANNING ACT**

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)		
Agent or Solicitor		

1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

Municipal Address	6140 Twenty Road East		
Assessment Roll Number			
Former Municipality	Twp of Glanford		
Lot	Part Lot 13	Concession	1
Registered Plan Number		Lot(s)	
Reference Plan Number (s)	62R-16207	Part(s)	5

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To permit a maximum building setback of 36.0 metres whereas the M3 Zone permits a maximum setback of 27.0 metres

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

To facilitate the efficient site layout for vehicle maneuvering as per Conditionally Approved Site Plan DA-22-093.

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
139 m	598 (irregualr)	9.97 ha	20.0 m

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Lands are vacant				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
One storey warehouse	35.1 m	36.4 m	E: 42.9 m, W: 25.6 m	06/01/2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Lands are vacant				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Warehouse	45,815 sq. m	45,815 sq. m	one	13.7 m

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
Industrial - warehousing and logistics use with ancillary office

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
Vacant, hydro corridor, future municipal road, agriculture

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:  
December 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Lands are vacant, evidence of prior agricultural use

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Lands are vacant

7.4 Length of time the existing uses of the subject property have continued:  
unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Business Park

Please provide an explanation of how the application conforms with the Official Plan.

Intended use is permitted by applicable land use policies and will be developed on basis of full municipal services

7.6 What is the existing zoning of the subject land? M3 Zone, Zoning Bylaw 05-200

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: M3 Zone, Zoning Bylaw 05-200



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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes  No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes  No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: \_\_\_\_\_

8.2 Number of Dwelling Units Proposed: \_\_\_\_\_

8.3 Additional Information (please include separate sheet if needed):

Please refer to accompanying cover letter prepared by WEBB Planning Consultants for a broader description of the development proposal

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
- \_\_\_\_\_
- \_\_\_\_\_