



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:84	SUBJECT PROPERTY:	84 TRAYMORE AVENUE, HAMILTON
ZONE:	"C/S-1361" (Urban Protected Residential, etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended 96-109

APPLICANTS: **Owner:** WISE CASTLE HOLDINGS LTD. C/O GUOPING JIANG
Agent: TENHOUSE BUILDING WORKSHOP C/O MATTHEW FRATARCANGELI

The following variances are requested:

1. A gross floor area of 269.28 sq m, equal to 0.78 times the lot area, shall be permitted instead of the maximum permitted gross floor area of 154.71 sq m, equal to 0.45 times the lot area;
2. One (1) parking space shall be provided instead of the minimum required number of five (5) parking spaces; and
3. The additional dwelling unit shall be permitted a maximum number of three (3) bedrooms instead of the maximum permitted number of two (2) bedrooms.

PURPOSE & EFFECT: To alter the existing single-family dwelling by constructing a rear one-storey addition and creating an additional dwelling unit within the basement:

Notes:

- i. Regarding Variance 1, concerning gross floor area, the calculation of gross floor area includes the area of each floor, inclusive of the basement/cellar and attic areas, and excludes only the area dedicated to heating equipment and laundry in the basement/cellar.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, May 18, 2023
TIME:	9:15 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

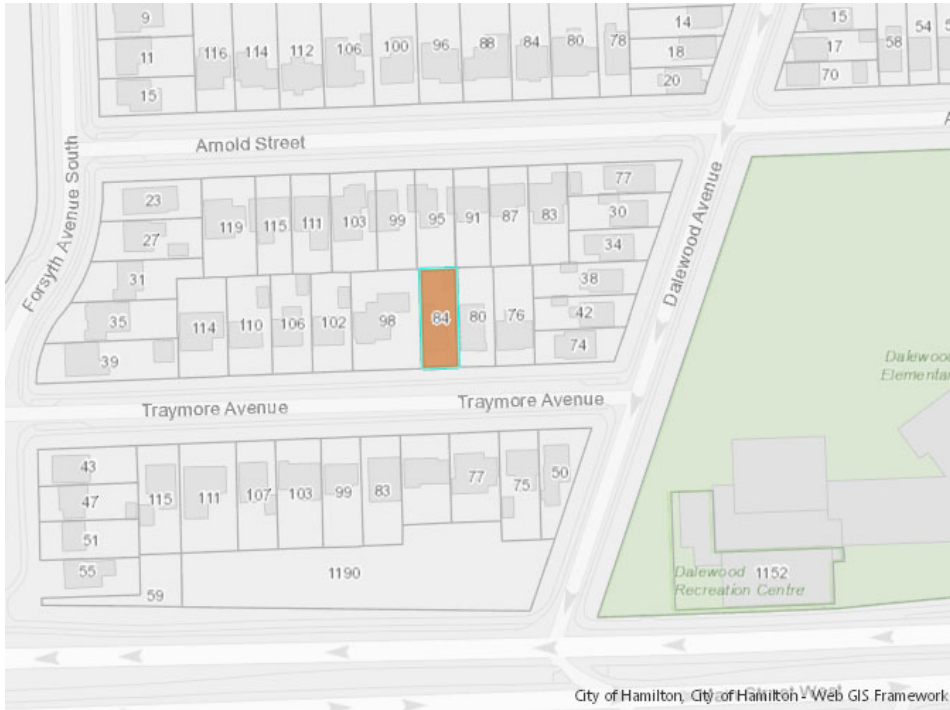
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:84, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: May 2, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.





2. In person Oral Submissions

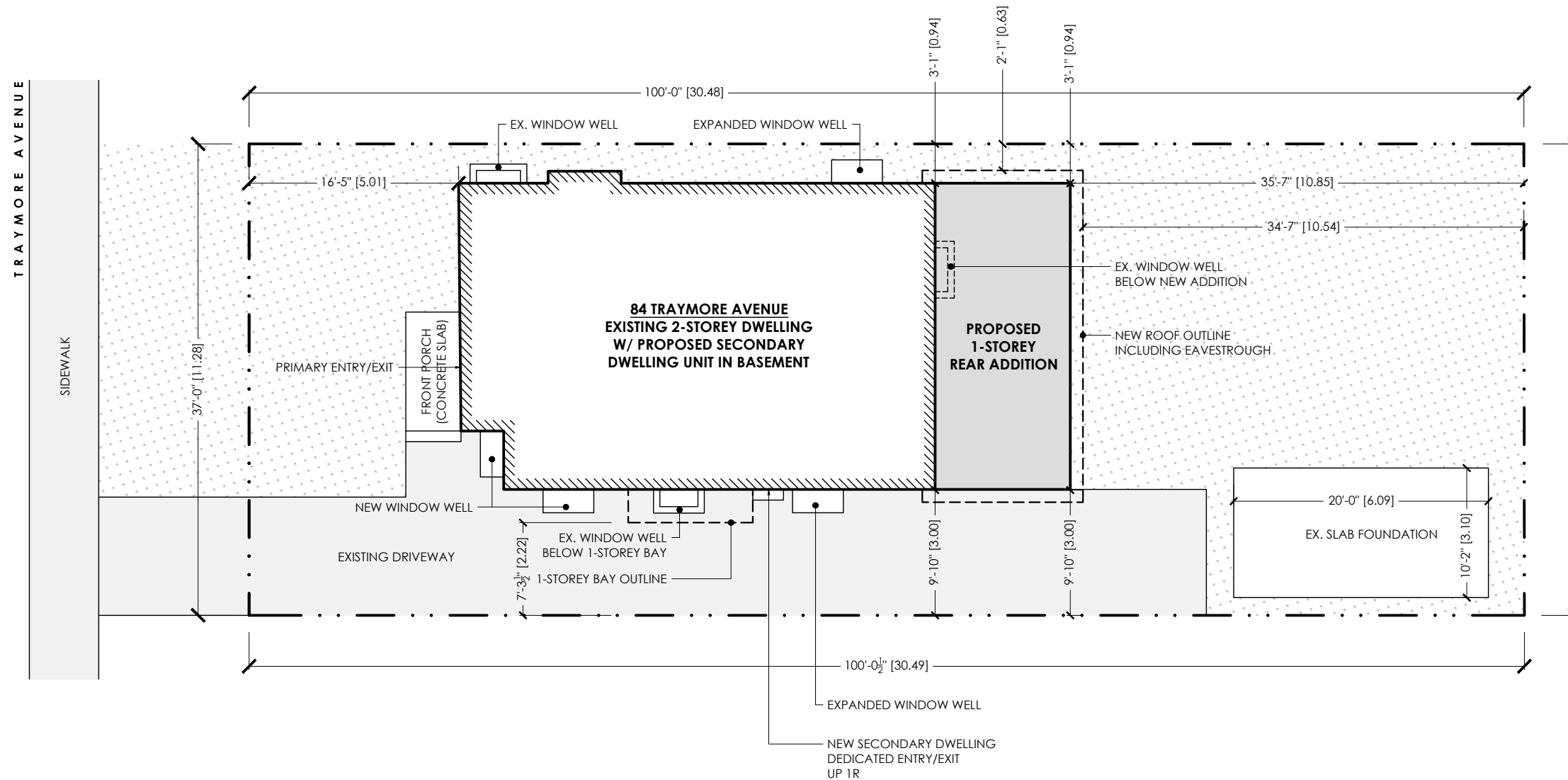
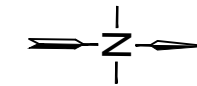
Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

LEGEND:

-  EXISTING SOFTSCAPE
-  CONSTRUCTION TO REMAIN
-  EXISTING HARDSCAPE
-  NEW ADDITION



LOT STATS:

LOT AREA	3700.74	SQ. FT.	[343.81	SQ. M.]
EXISTING HOUSE	911.30	SQ. FT.	[84.66	SQ. M.]
EXISTING FRONT PORCH	40.68	SQ. FT.	[3.75	SQ. M.]
EXISTING SLAB FOUNDATION	203.65	SQ. FT.	[18.92	SQ. M.]
NEW REAR ADDITION	254.88	SQ. FT.	[23.68	SQ. M.]
PROPOSED GFA	1850.37	SQ. FT.	[171.91	SQ. M.]

TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#:44839

Matthew Fratarcangeli

REGISTRATION INFORMATION
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BCIN#:112916

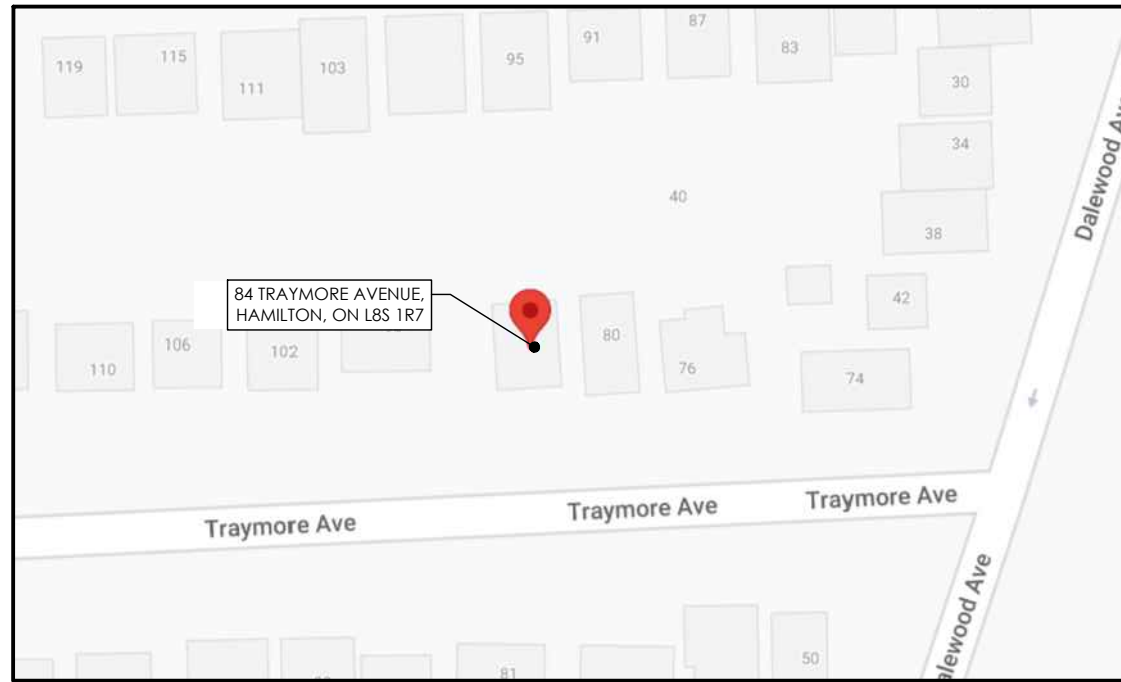
NO.	DATE	REVISION/ISSUE
0	04-06-2023	FOR PERMIT APPLICATION

PROJECT:

NEW SECONDARY DWELLING IN BASEMENT AND REAR ADDITION AT 84 TRAYMORE AVENUE, HAMILTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2023-06	CHECKED: M.D.F
REVISION: 0	DATE: 04-06-2023

PROPOSED SITE PLAN
SP1.02



1 AREA MAP
A0.01 NTS



2 84 TRAYMORE AVENUE
A0.01 NTS

PROJECT DESCRIPTION:

- THESE DRAWINGS OUTLINE A NEW SECONDARY DWELLING IN THE BASEMENT AND A REAR ADDITION AT 84 TRAYMORE AVENUE, HAMILTON, ONTARIO.
- THERE ARE NO CHANGES TO THE EXISTING BUILDING OR SITE CONDITIONS UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- EXISTING SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED. MINIMUM 24" AROUND PROPERTY LINE TO REMAIN UNCHANGED - GRADES TO MATCH.

PROJECT NOTES:

1. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT O.B.C. AND THE ONTARIO CONSTRUCTION SAFETY ACT.
2. CONTRACTOR TAKE NECESSARY PRECAUTIONS TO COMPLY WITH LOCAL SAFETY AUTHORITIES HAVING JURISDICTION (I.E. OCCUPATIONAL HEALTH AND SAFETY ACT).
3. CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE FROM DRAWINGS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBORING PROPERTIES.
6. ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED. ANY DAMAGED OR DISTURBED UTILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTORS EXPENSE.
7. SAFEGUARD ALL EXISTING STRUCTURES, SERVICES, AND ADJACENT PROPERTY AFFECTED BY THE CONSTRUCTION.
8. ALL CONCRETE WORK, INCLUDING FORMING, REINFORCING, PREPARATION, MIXING, PLACING, CURING AND FINISHING SHALL CONFORM TO CSA CAN 3-A23.1-M90 (M94).

9. ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH CAN3-5304-M90.
10. IF THERE ARE ANY DEVIATIONS NOTED FROM WHAT IS DEPICTED ON THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY TENHOUSE BUILDING WORKSHOP AND SEEK INSTRUCTION BEFORE PROCEEDING.
11. DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH CSA S350-M1980(R2003) AND MINISTRY OF LABOUR REQUIREMENTS.
12. IF REQUIRED, CONTRACTOR IS TO PROVIDE SUPPORTS OR SHORING WHERE NECESSARY, BEFORE ANY CLEANUP, DEMOLITION, OR REPAIR ACTIVITIES.
13. ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
14. ALL DIMENSION LUMBER TO BE SPRUCE, PINE, FIR (SPF) NO. 1 OR NO. 2 GRADE.
15. THE CONTRACTOR SHALL SEEK FURTHER DIRECTION, IF REQUIRED, REGARDING DETAILS OR MATERIAL SELECTION. TENHOUSE BUILDING WORKSHOP DOES NOT TAKE RESPONSIBILITY FOR DETAILS NOT INCLUDED IN THESE DRAWINGS.
16. ALL SPECIFICATIONS AND MATERIALS PROPOSED BY ENGINEERS SHALL BE USED IN PLACE OF SPECIFICATIONS AND MATERIALS IDENTIFIED IN THE CONSTRUCTION NOTES.
17. ALL MANUFACTURED ITEMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS. SUBMIT ALL INSTALLATION INSTRUCTIONS TO OWNER UPON COMPLETION OF JOB.
18. ALL HAZARDOUS MATERIALS TO BE IDENTIFIED BY THE CONTRACTOR AND PROPERLY DISPOSED OF.
19. ALL WORK AND TRADES SHALL BE COORDINATED BY THE GENERAL CONTRACTOR TO ENSURE ALL WORK IS COMPLETED TO THE HIGHEST LEVEL OF STANDARD.
20. GENERAL CONTRACTOR IS RESPONSIBLE OF OBTAIN ALL NECESSARY AND REQUIRED INSPECTIONS.
21. ALL MATERIALS TO BE NEW AND FREE OF DEFECTS.

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	GW	GYPSUM WALL BOARD
ALUM	ALUMINUM	HB	HOSE BIB
BBSE	BEAM BY STRUCTURAL ENGINEER	INSUL	INSULATED OR INSULATION
BM	BEAM	INT	INTERIOR
CLG	CEILING	JST	JOIST
CRF	CONVENTIONAL ROOF FRAMING	LVL	LAMINATED VENEER LUMBER
CMU	CONCRETE MASONRY UNIT	LSL	LAMINATED STRAND LUMBER
COL	COLUMN	MAX	MAXIMUM
CONC	CONCRETE	MIN	MINIMUM
CONT	CONTINUOUS	MTL	METAL
CW	COMPLETE WITH	OBC	ONTARIO BUILDING CODE
DEMO	DEMOLISH	OC	ON CENTER
DIM	DIMENSION	OSB	ORIENTED STRAND BOARD
DJ	DOUBLE JOIST	OTA	OPEN TO ABOVE
DN	DOWN	OTB	OPEN TO BELOW
DO	DO OVER	PT	PRESSURE TREATED
DR	DOOR	PTD	PAINT OR PAINTED
DROP	DROPPED	REQD	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DWG	DRAWING	RT	ROOF TRUSS
EA	EACH	RWL	RAIN WATER LEADER
EIFS	EXTERIOR INSULATED FINISH SYSTEM	SB	SOLID BEARING
ELEV	ELEVATION	SBFA	SOLID BEARING FROM ABOVE
ENC	ENCLOSED	SJ	SINGLE JOIST
ENG	ENGINEER OR ENGINEERED	SPEC	SPECIFIED OR SPECIFICATION
EQ	EQUAL	SPF	SPRUCE, PINE, FIR
EST	ESTIMATED	STL	STEEL
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN	TJ	TRIPLE JOIST
FG	FIXED GLASS	T/O	TOP OF
FL	FLUSH	TYP	TYPICAL
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	U/S	UNDERSIDE
GALV	GALVANIZED	WIC	WALK-IN CLOSET
		WP	WEATHER PROOF



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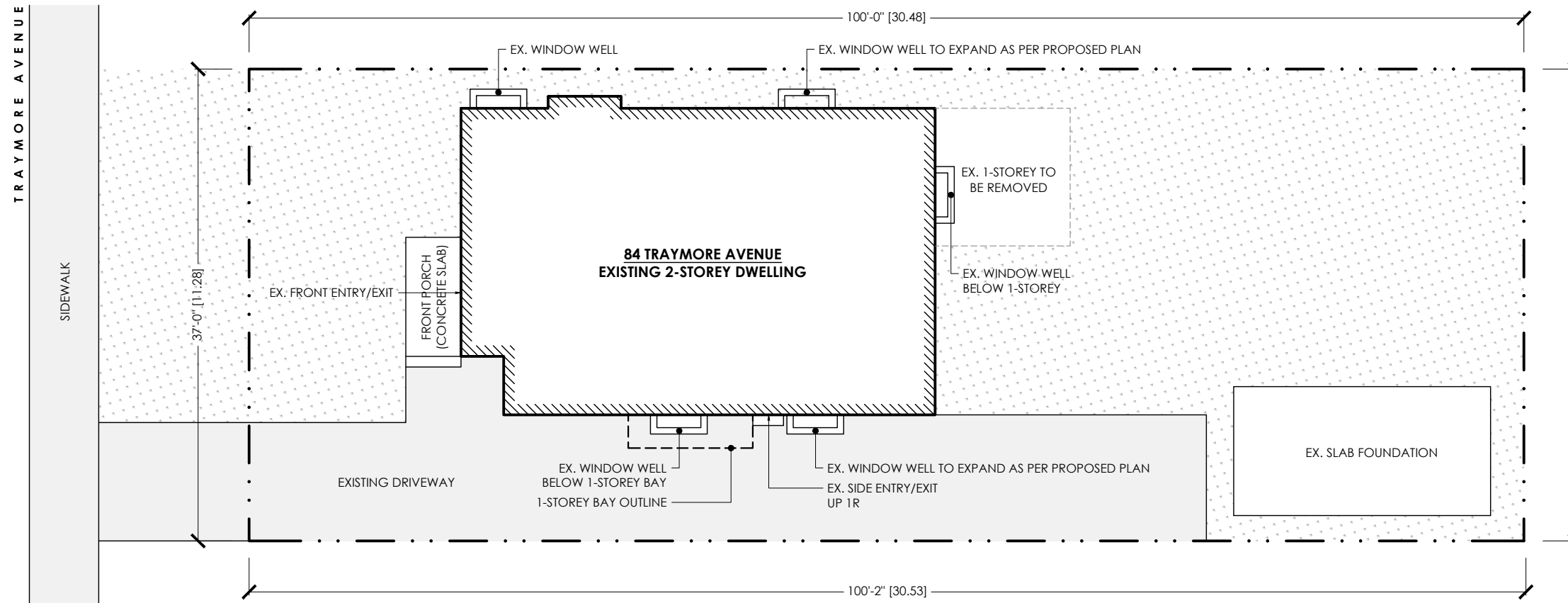
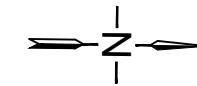
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FILE NO: 2023-06	CHECKED: M.D.F
REVISION: 0	DATE: 04-06-2023

LEGEND:

-  EXISTING SOFTSCAPE
-  CONSTRUCTION TO REMAIN
-  EXISTING HARDSCAPE
-  TO BE REMOVED





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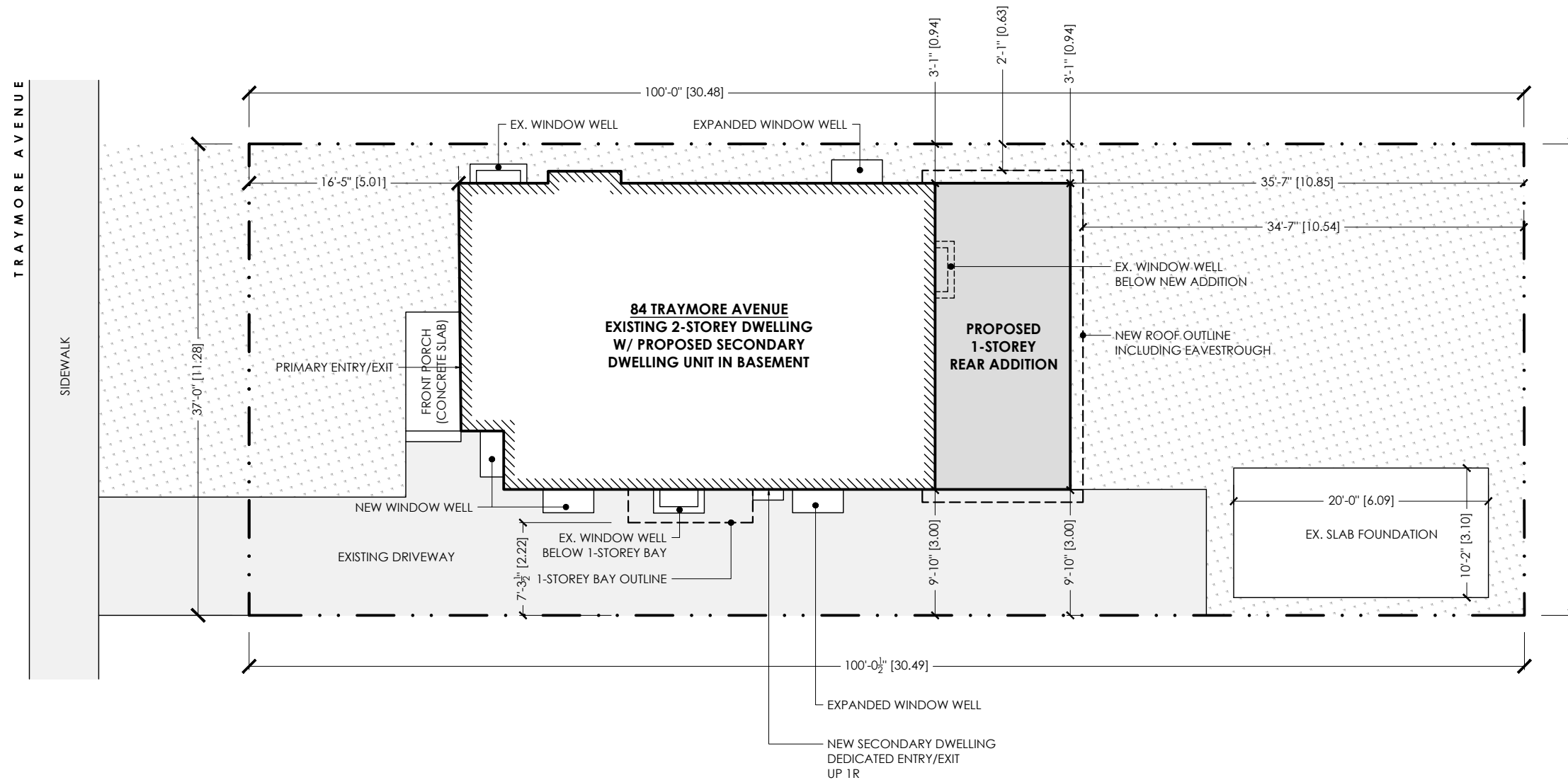
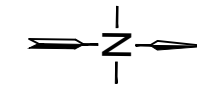
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EXISTING SITE PLAN
SP1.01

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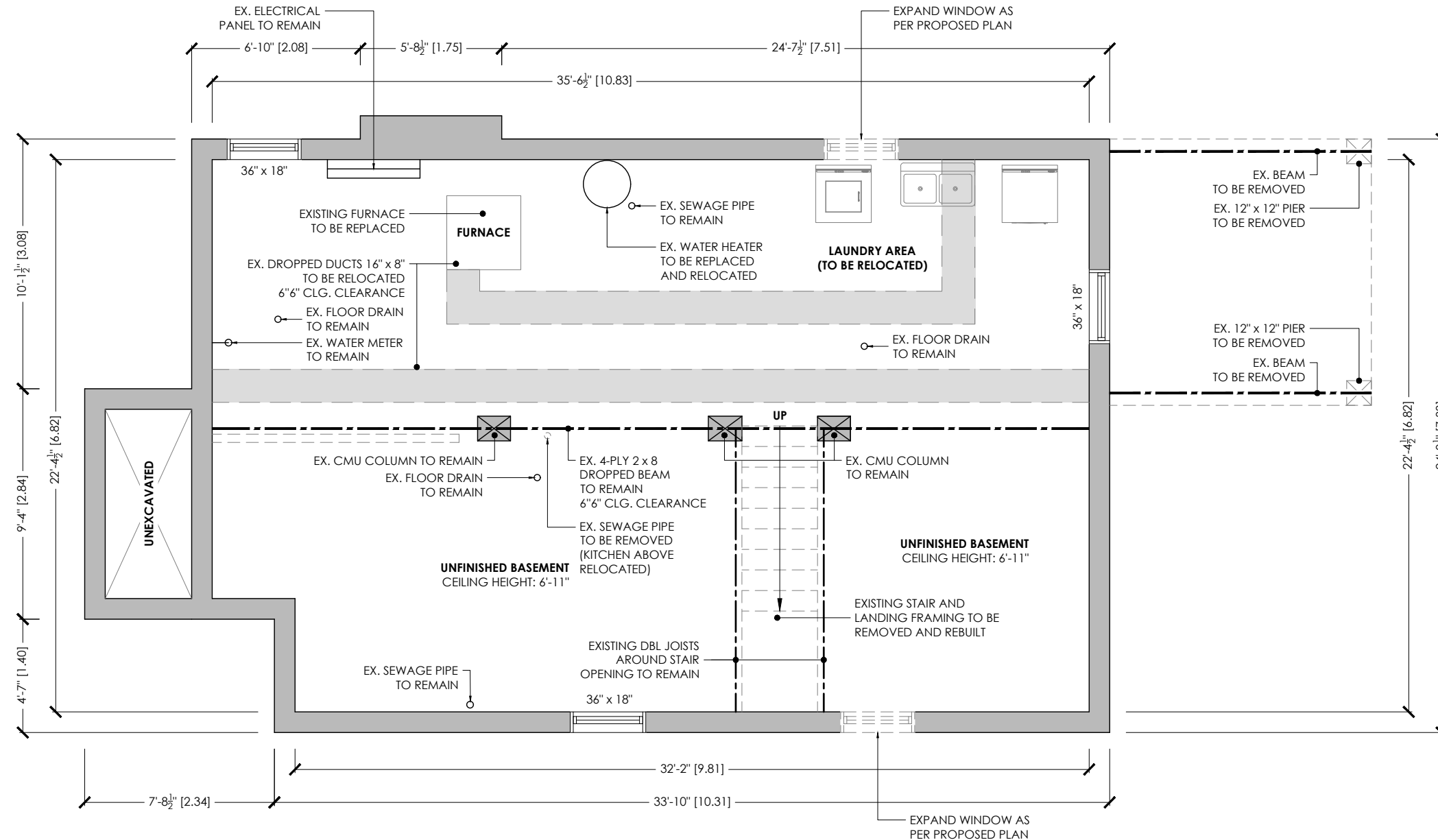
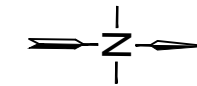
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PROPOSED SITE PLAN
SP1.02

LEGEND:

- CONSTRUCTION TO REMAIN
- TO BE REMOVED



1 EXISTING BASEMENT LEVEL
3/16" - 1'-0"

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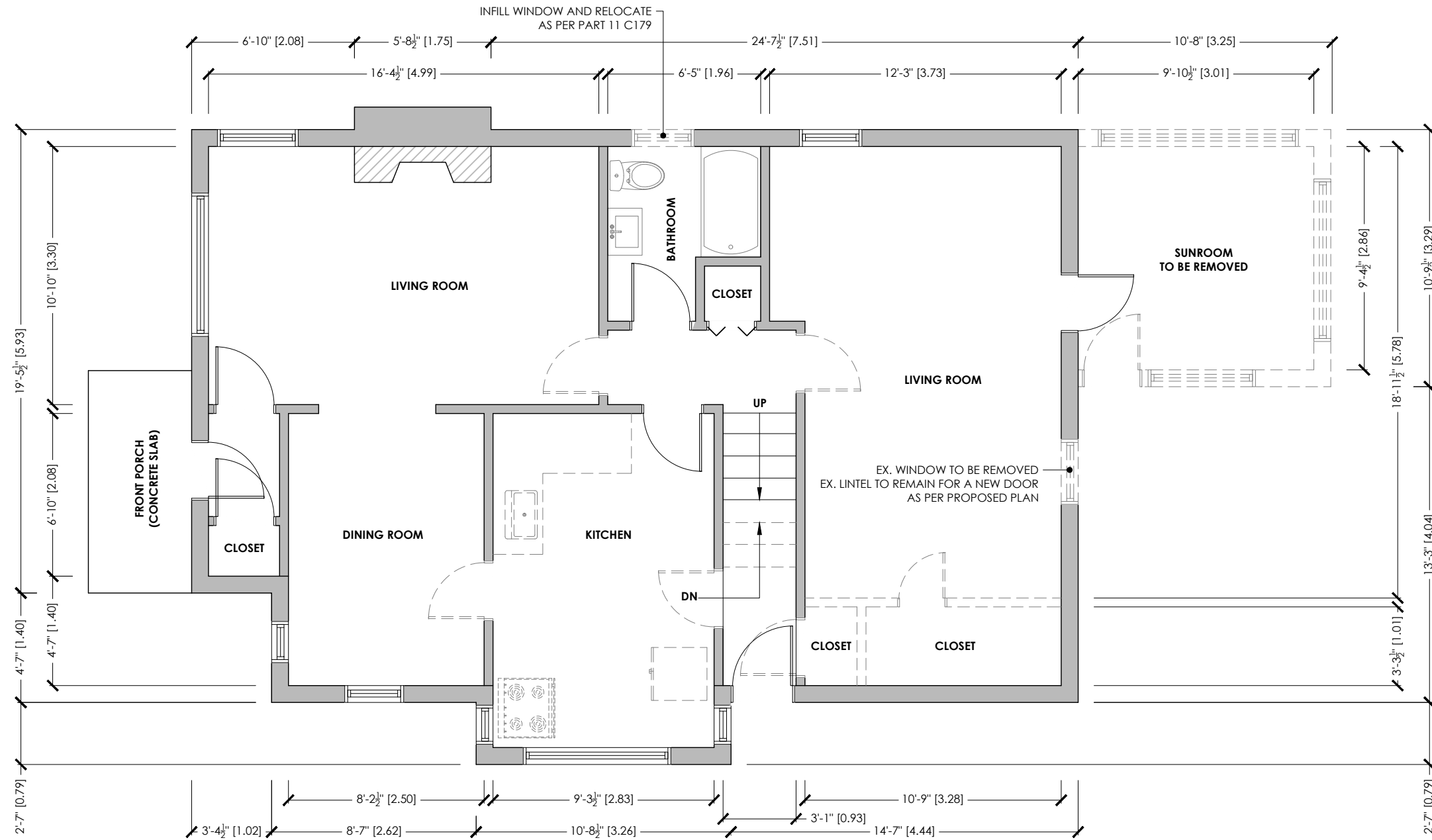
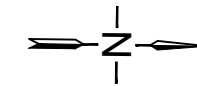
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EXISTING BASEMENT LEVEL
A1.01

LEGEND:

- CONSTRUCTION TO REMAIN
- TO BE REMOVED



1 EXISTING MAIN LEVEL
A1.02 3/16" = 1'-0"

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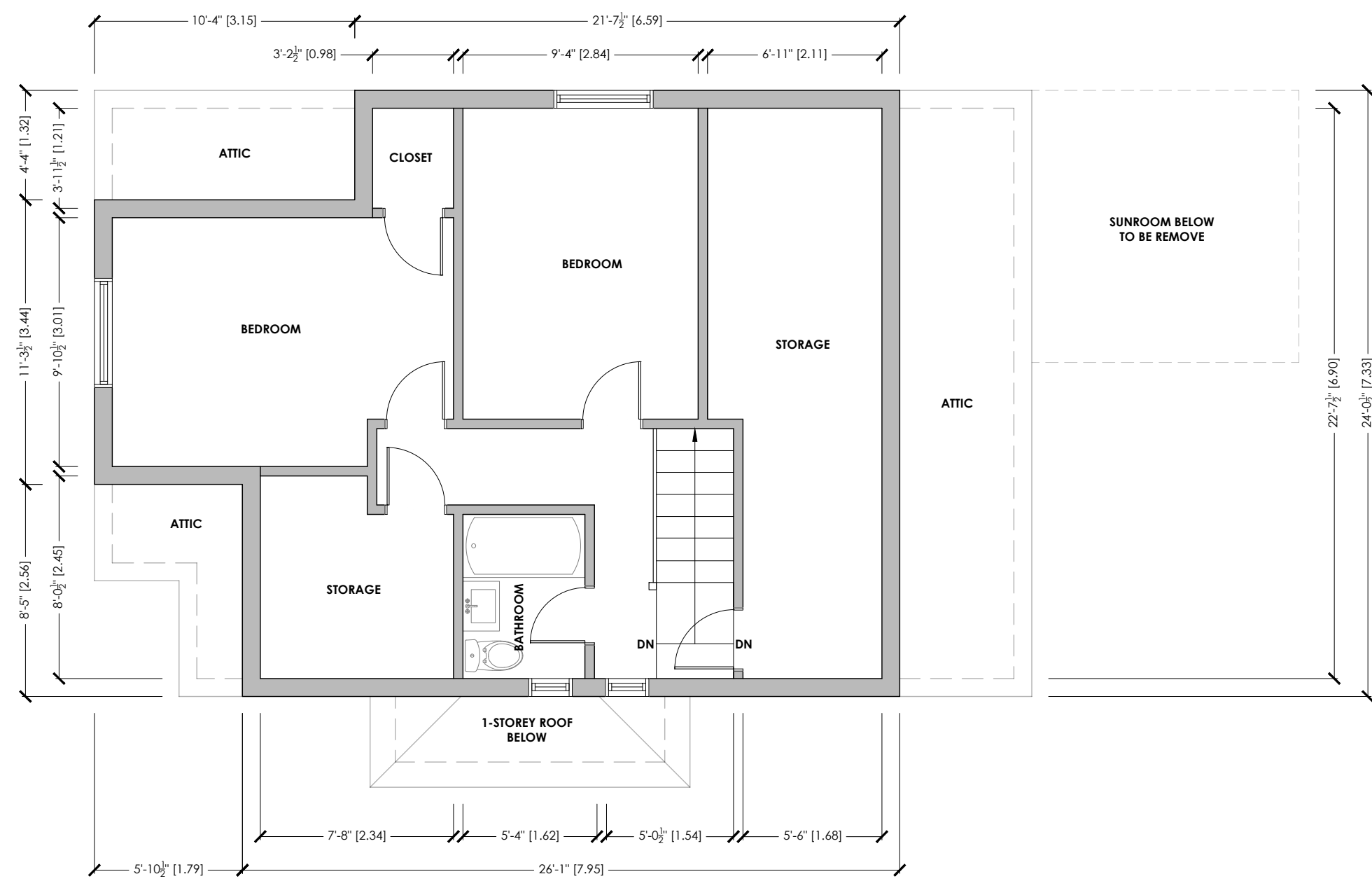
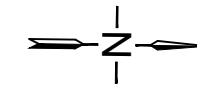
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EXISTING MAIN LEVEL
A1.02



1 EXISTING SECOND LEVEL
3/16" = 1'-0"

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EXISTING SECOND LEVEL
A1.03

LEGEND:	
SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	NEW WALLS
	DOOR WIDTH (PROVIDE FIRE RATED DOOR W/ SELF CLOSER FOR FURNACE ROOM)
	SA SMOKE ALARM SHALL BE INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREAS AS PER OBC. 9.10.19 AND ARE INTERCONNECTED WITH VISUAL SIGNA (STROBE)
	CMA CARBON MONOXIDE AND SMOKE ALARM EITHER COMBINED OR SEPARATED
	EXISTING AIR OUTLET (ALL SUPPLY/RETURN AIR OUTLETS ARE EXISTING AND TO REMAIN)
	EXHAUST FAN/VENT SHALL BE VENTED DIRECTLY TO EXTERIOR
	S.D. SMOKE DUCT DETECTOR (INSTALLED IN RETURN AIR PLENUM)
	EXISTING FLOOR DRAIN (ALL EXISTING TO REMAIN)

WALL SCHEDULE:

- W1 - NEW INTERIOR PARTITION WALL**
1/2" GYPSUM BOARD
2 x 4 AT 16" O.C STUD WALL
- W2 - NEW INTERIOR PARTITION WALL 30 MIN. FIRE SEPARATION**
AS PER SB-3 WALL W1c
1/2" GYPSUM BOARD
2 x 4 AT 16" O.C STUD WALL
SOUND INSULATION TO FILL STUD CAVITY
1/2" GYPSUM BOARD
- W3 - CMU FOUNDATION WALL**
2 x 4 AT 24" O.C STUD WALL
FILLED WITH R24 BATT INSULATION (ROXUL FIRE & SAFE)
1/2" GYPSUM BOARD

CEILING SCHEDULE:

- C1 - NEW 30 MIN. FRR. CEILING**
- EXISTING PLYWOOD, OSB, OR WAFERBOARD SUBFLOOR
- WOOD JOIST OR I-JOIST SPACED NOT MORE 24" O.C
- SOUND INSULATION (OPTIONAL)
- RESILIENT METAL CHANNELS SPACED 24" O.C
- ONE LAYER 1/2" TYPE X/C GYPSUM BOARD

NOTE: WHERE A 15-MIN. FIRE SEPARATION IS USED, BOTH UNITS MUST HAVE THEIR SMOKE ALARMS UPDATED TO MEET DIV-B.9.10.19.

THE FOLLOWING IS REQUIRED:

- SMOKE ALARM IS TO BE INSTALLED:
- a) ON EACH STOREY, INCLUDING BASEMENTS
 - b) IN EACH SLEEPING ROOM
 - c) IN THE HALLWAY(S) ADJACENT TO THE SLEEPING ROOMS
 - d) IN ALL COMMON AREAS

ALL SMOKE ALARM SHALL HAVE VISUAL SIGNALING COMPONENT (STROBE) AS PART OF THE SYSTEM (EITHER COMBINED OR SEPARATE)

ALL SMOKE ALARMS IN BOTH SUITES MUST BE INTERCONNECTED

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LEDGER BOARD SCHEDULE

- LD1 - NEW 2- 2 x 8 DROPPED LEDGER BOARD LAG BOLTED**
W/ EXPANSION SLEEVE TO EX. CMU FOUNDATION
W/ 1/2" Ø HILTI KWIK 1 W/ MIN. 4" EMBEDMENT AT 16" O.C, STAGGERED

FOOTING SCHEDULE

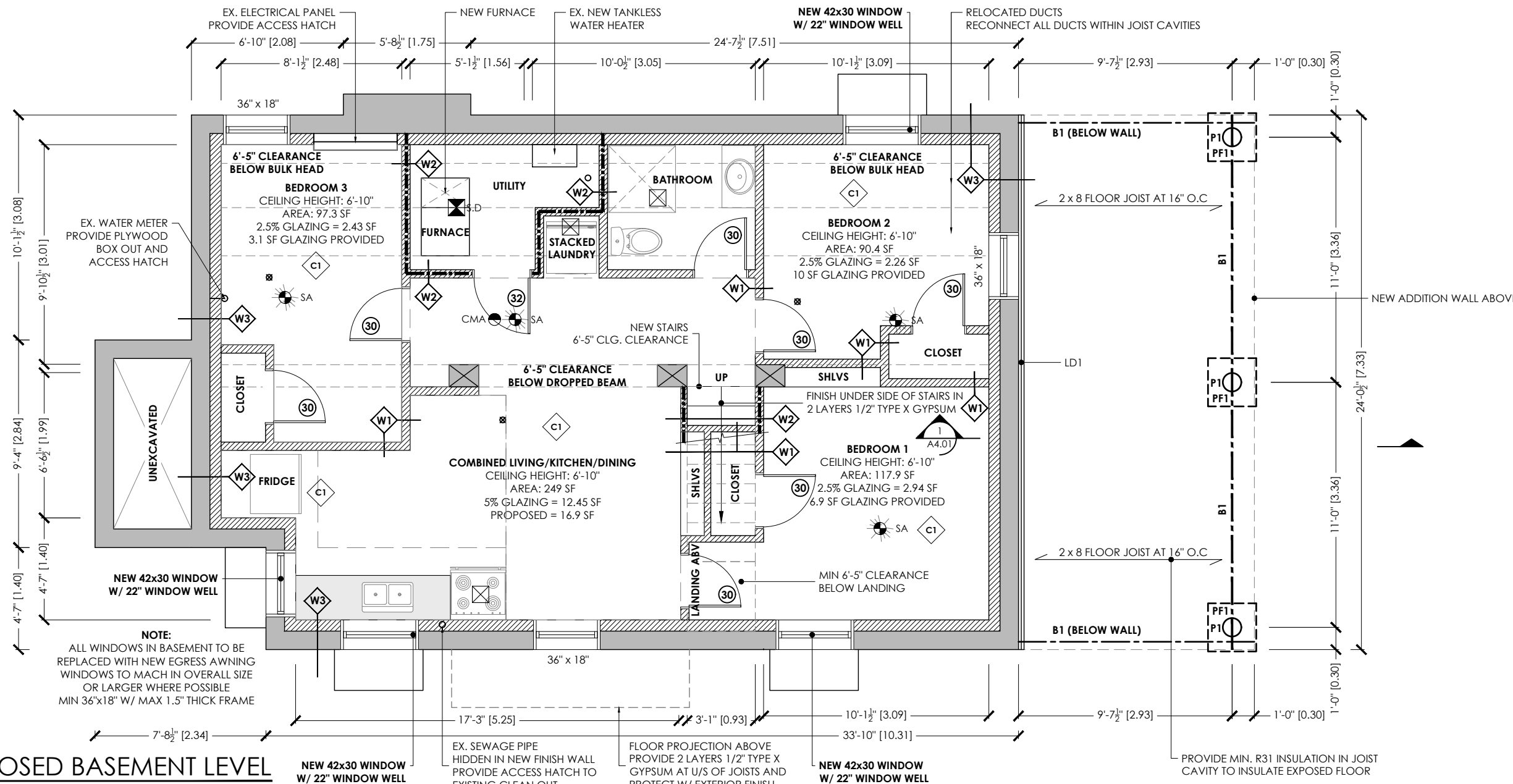
- PF1 - PAD FOOTING**
26" x 26" x 10" CONCRETE PAD FOOTING ON UNDISTURBED SOIL TO SUPPORT 1 FLOOR (NEW ADDITION)

POST SCHEDULE

- P1 - 10" Ø POURED CONCRETE PIER**
MIN. 4' DEEP ON UNDISTURBED SOIL
BEAM MUST BE CENTERED ON CONCRETE PIER

BEAM SCHEDULE

- B1 - FLOOR BEAM**
4-PLY 2 x 8 DROPPED BEAM
PROVIDE METAL BEAM SADDLE ANCHORED TO CONCRETE PIER



NOTE:
ALL WINDOWS IN BASEMENT TO BE REPLACED WITH NEW EGRESS AWNING WINDOWS TO MATCH IN OVERALL SIZE OR LARGER WHERE POSSIBLE
MIN 36"x18" W/ MAX 1.5" THICK FRAME

1 PROPOSED BASEMENT LEVEL
A2.01 3/16" - 1'-0"

TENHOUSE
BUILDING WORKSHOP
TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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MATTHEW FRATARCANGELI
BCIN#:44839

Matthew Fratarcangeli

REGISTRATION INFORMATION
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BCIN#:112916

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0	04-06-2023	FOR PERMIT APPLICATION

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DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2023-06	CHECKED: M.D.F
REVISION: 0	DATE: 04-06-2023

PROPOSED BASEMENT LEVEL
A2.01

LEGEND:	
SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	NEW WALLS
	DOOR WIDTH
	SMOKE ALARM SHALL BE INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREAS AS PER OBC, 9.10.19 AND ARE INTERCONNECTED WITH VISUAL SIGNA (STROBE)
	CARBON MONOXIDE AND SMOKE ALARM EITHER COMBINED OR SEPARATED
	EXISTING AIR OUTLET (ALL SUPPLY/RETURN AIR OUTLETS ARE EXISTING AND TO REMAIN)
	EXHAUST FAN/VENT SHALL BE VENTED DIRECTLY TO EXTERIOR
	SMOKE DUCT DETECTOR (INSTALLED IN RETURN AIR PLENUM)
	EXISTING FLOOR DRAIN (ALL EXISTING TO REMAIN)

WALL SCHEDULE:	
	W1- NEW INTERIOR PARTITION WALL 1/2" GYPSUM BOARD 2 x 4 AT 16" O.C STUD WALL
	W2- NEW INTERIOR PARTITION WALL 30 MIN. FIRE SEPARATION 1/2" GYPSUM BOARD 2 x 4 AT 16" O.C STUD WALL, FILLED WITH BATT INSULATION SOUND INSULATION TO FILL STUD CAVITY 1/2" GYPSUM BOARD
	W4- EXTERIOR SIDING WALL BACK VENTED SIDING AS PER MANU. 3/4" STRAPPING AT 16" O.C. FASTENED TO STUDS CONTINUOUS AIR BARRIER SEAL ALL JOINTS W/ HW TAPE 2" RIGID INSULATION 3/8" EXTERIOR GRADE SHEATHING 2x6 STUDS AT 16" O.C., DBL TOP PLATE AND BLOCKING AT MID HEIGHT FILLED W/ BATT INSULATION IN CONT. CONTACT W/ SHEATHING 6 MIL POLY VAPOR BARRIER OVERLAP AND SEAL JOINTS INTERIOR 1/2" GYPSUM BOARD PROVIDE 5/8" TYPE X GYPSUM IF WALL IS LESS THAN 3'-1 1/2" FROM PROPERTY LINE

NOTE: WHERE A 15-MIN. FIRE SEPARATION IS USED, BOTH UNITS MUST HAVE THEIR SMOKE ALARMS UPDATED TO MEET DIV-B.9.10.19.

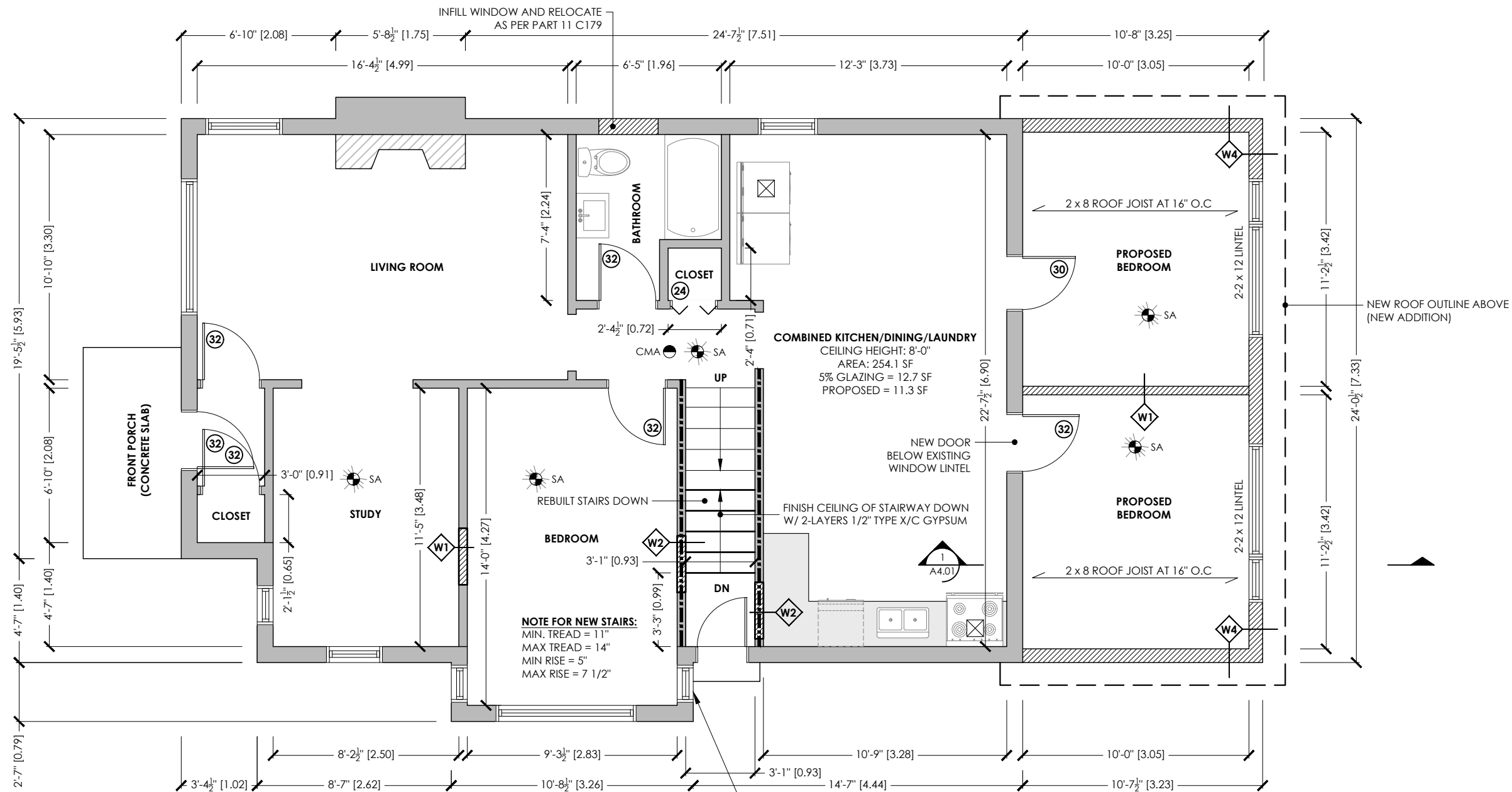
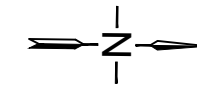
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- SMOKE ALARM IS TO BE INSTALLED:
- a) ON EACH STOREY, INCLUDING BASEMENTS
 - b) IN EACH SLEEPING ROOM
 - c) IN THE HALLWAY(S) ADJACENT TO THE SLEEPING ROOMS
 - d) IN ALL COMMON AREAS

ALL SMOKE ALARM SHALL HAVE VISUAL SIGNALING COMPONENT (STROBE) AS PART OF THE SYSTEM (EITHER COMBINED OR SEPARATE)

ALL SMOKE ALARMS IN BOTH SUITES MUST BE INTERCONNECTED

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1 PROPOSED MAIN LEVEL
A2.02 3/16" - 1'-0"

FIRE PROTECTION OF SECONDARY DWELLING EXIT
OPTION 1 - REMOVE AND INFILL WINDOW WITH EXTERIOR WALL ASSEMBLY TO MATCH EXISTING
OPTION 2 - REPLACE WINDOW WITH WIRED GLASS IN FIXED STEEL FRAME OR GLASS BLOCK
INSTALLED IN ACCORDANCE WITH ARTICLES 9.10.13.5. AND 9.10.13.7.

TENHOUSE
BUILDING WORKSHOP
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107 GLADSTONE AVENUE
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Matthew Fratarcangeli

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PROPOSED MAIN LEVEL
A2.02

LEGEND:

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	NEW WALLS
	DOOR WIDTH
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	CARBON MONOXIDE AND SMOKE ALARM EITHER COMBINED OR SEPARATED
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	EXHAUST FAN/VENT SHALL BE VENTED DIRECTLY TO EXTERIOR
	SMOKE DUCT DETECTOR (INSTALLED IN RETURN AIR PLENUM)
	EXISTING FLOOR DRAIN (ALL EXISTING TO REMAIN)

WALL SCHEDULE:

- W1 - NEW INTERIOR PARTITION WALL**
1/2" GYPSUM BOARD
2 x 4 AT 16" O.C STUD WALL
- W2 - NEW INTERIOR PARTITION WALL 30 MIN. FIRE SEPARATION**
1/2" GYPSUM BOARD
2 x 4 AT 16" O.C STUD WALL, FILLED WITH BATT INSULATION
SOUND INSULATION TO FILL STUD CAVITY
1/2" GYPSUM BOARD

CEILING SCHEDULE:

- C1 - NEW 30 MIN. FRR. CEILING**
- EXISTING PLYWOOD, OSB, OR WAFERBOARD SUBFLOOR
- WOOD JOIST OR I-JOIST SPACED NOT MORE 24" O.C
- SOUND INSULATION (OPTIONAL)
- RESILIENT METAL CHANNELS SPACED 24" O.C
- ONE LAYER 1/2" TYPE X/C GYPSUM BOARD

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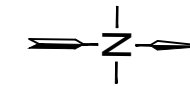
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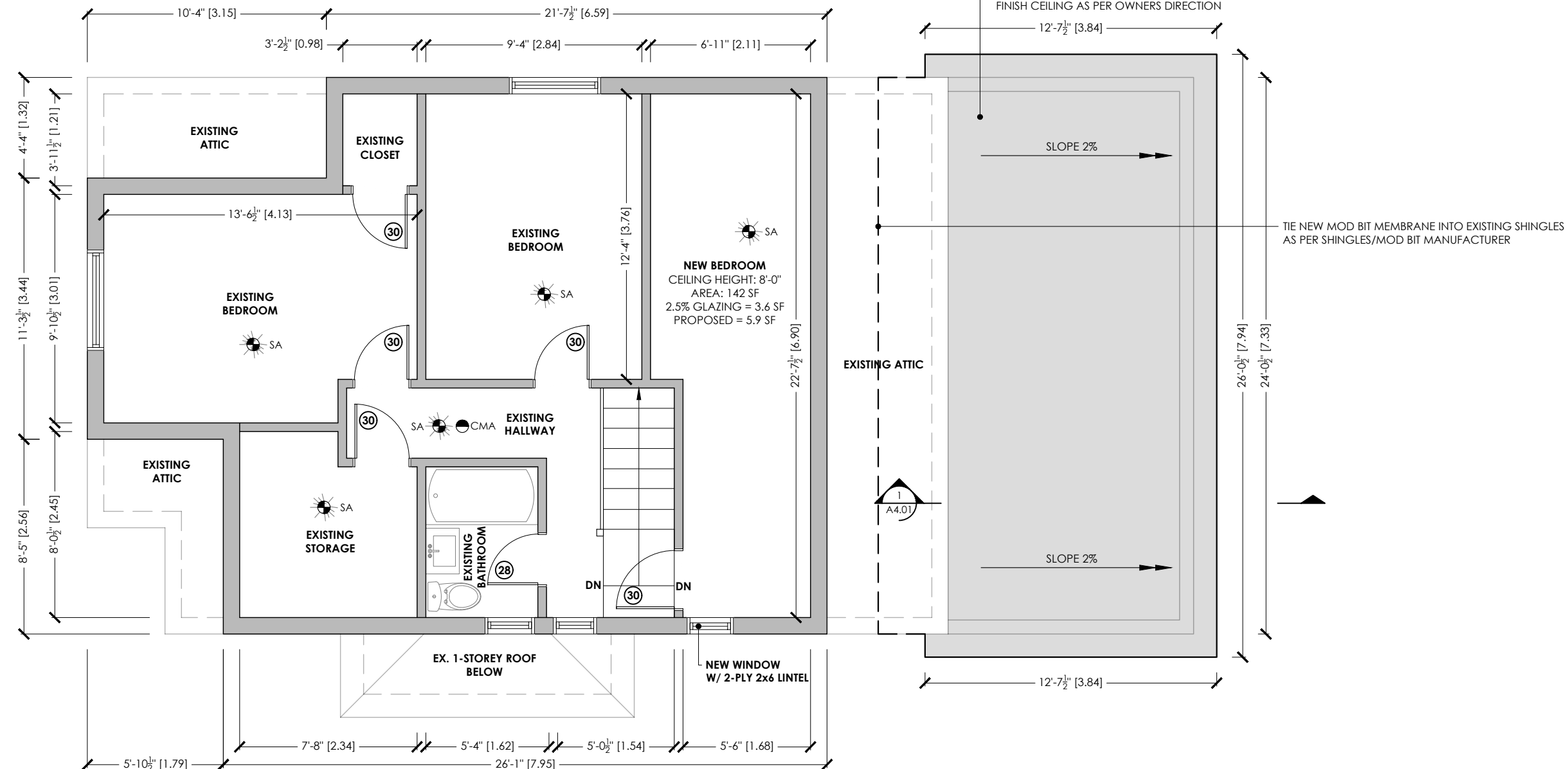
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ROOF CONSTRUCTION

COMMERCIAL GRADE MOD BIT PEEL AND STICK ROOF MEMBRANE AS PER MANUFACTURER
MOD BIT PRIMER ROLLED ON SHEATHING AS PER MANUFACTURER
1/2" EXTERIOR GRADE SHEATHING ON SLEEPERS RIPPED TO SLOPE
PROVIDE FULL SHEETS OF PLYWOOD AROUND ROOF EDGE
ROOF JOISTS AS PER PLAN WITH BLOCKING AT MID SPAN
MIN. R31 SPRAY FOAM IN JOIST CAVITY
FINISH CEILING AS PER OWNERS DIRECTION



1 PROPOSED SECOND LEVEL
3/16" = 1'-0"

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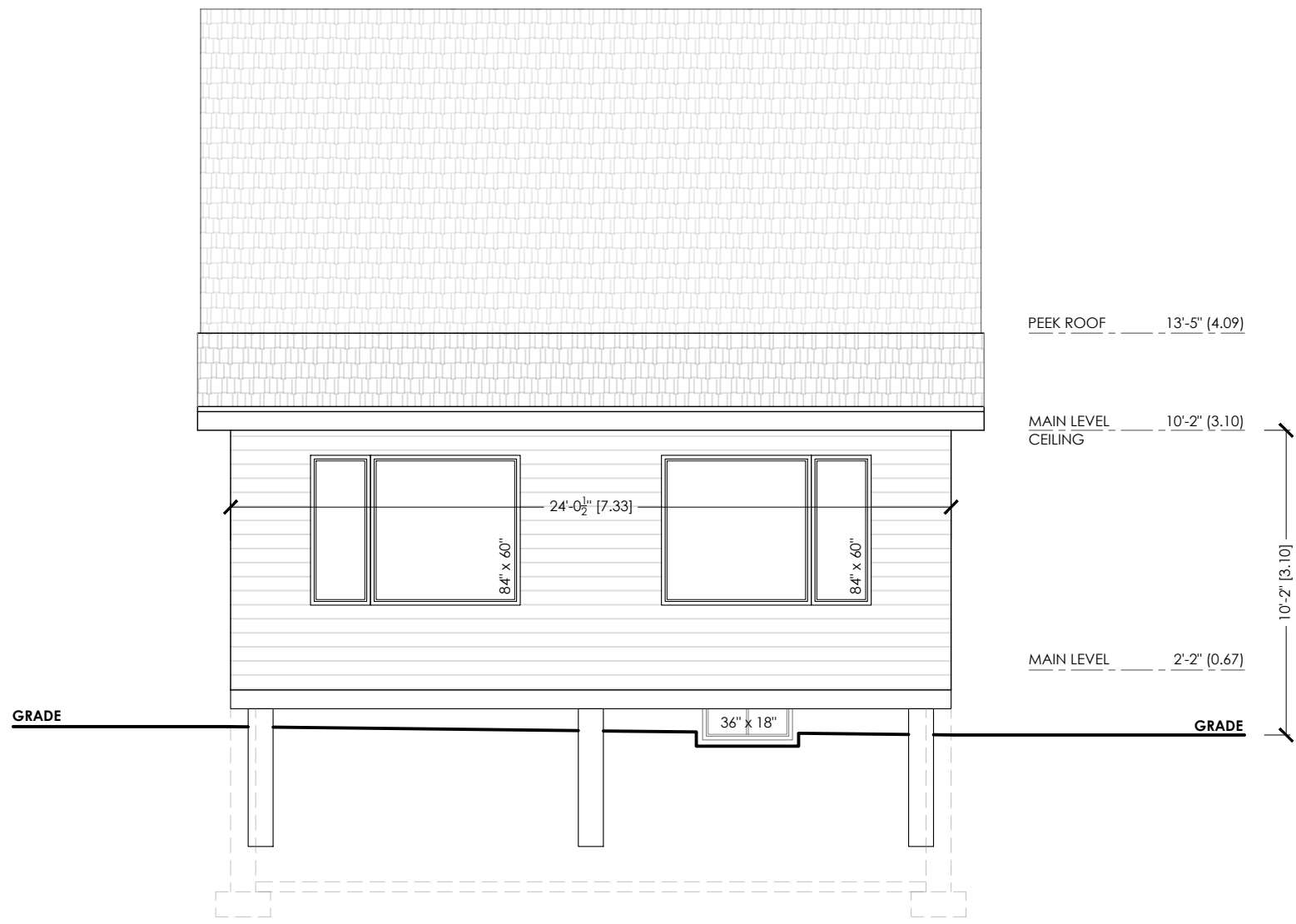
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PROPOSED SECOND LEVEL
A2.03



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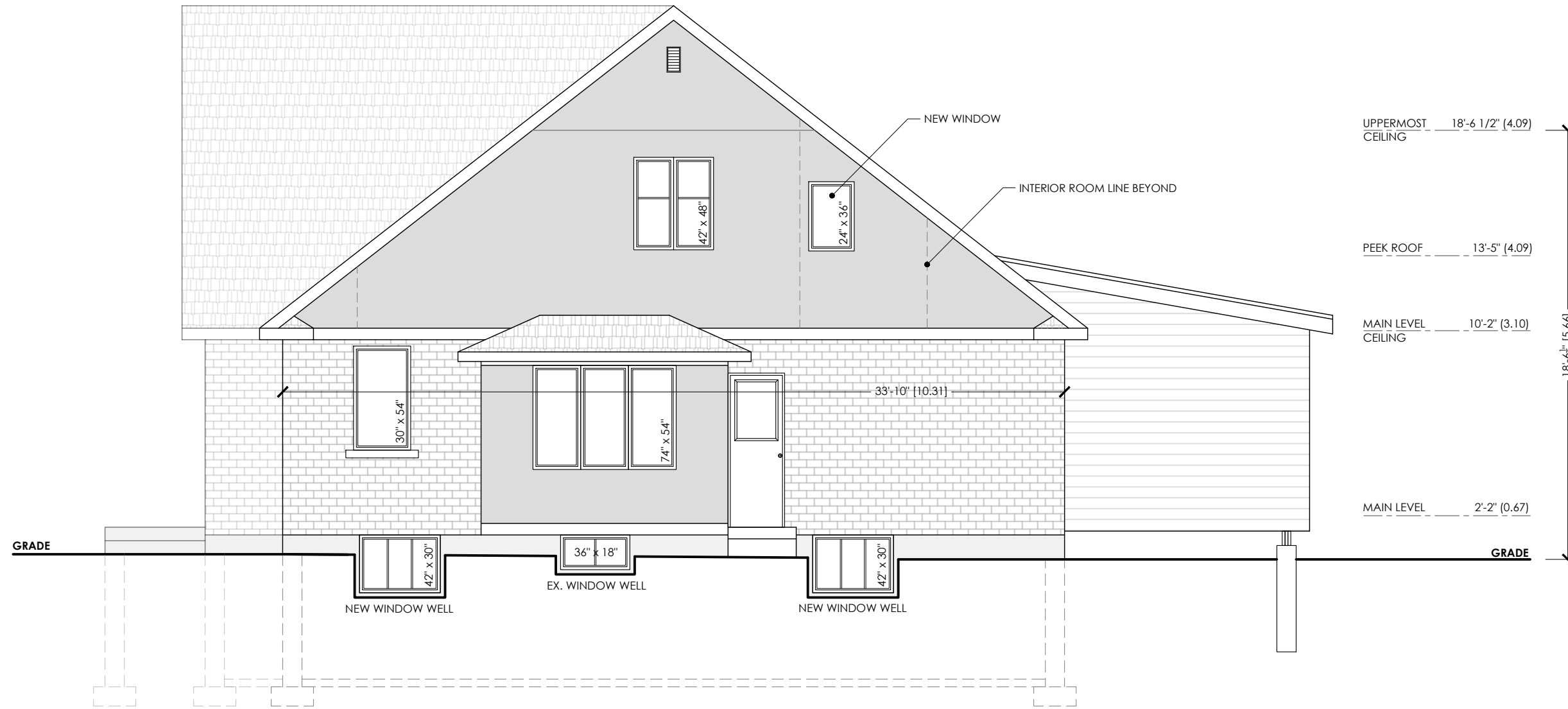
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PROPOSED REAR ELEVATION
A3.01

1 PROPOSED REAR ELEVATION
3/16" - 1'-0"

ALLOWABLE OPENINGS CALCULATION AREA 1:
 LIMITING DISTANCE = 2.22 METERS
 EXPOSED BUILDING FACE AREA = 49.42 SQUARE METERS
 MAX ALLOWABLE GLAZING = 6.92 SQUARE METERS [14%]
 GLAZING PROVIDED = 5.75 SQUARE METERS



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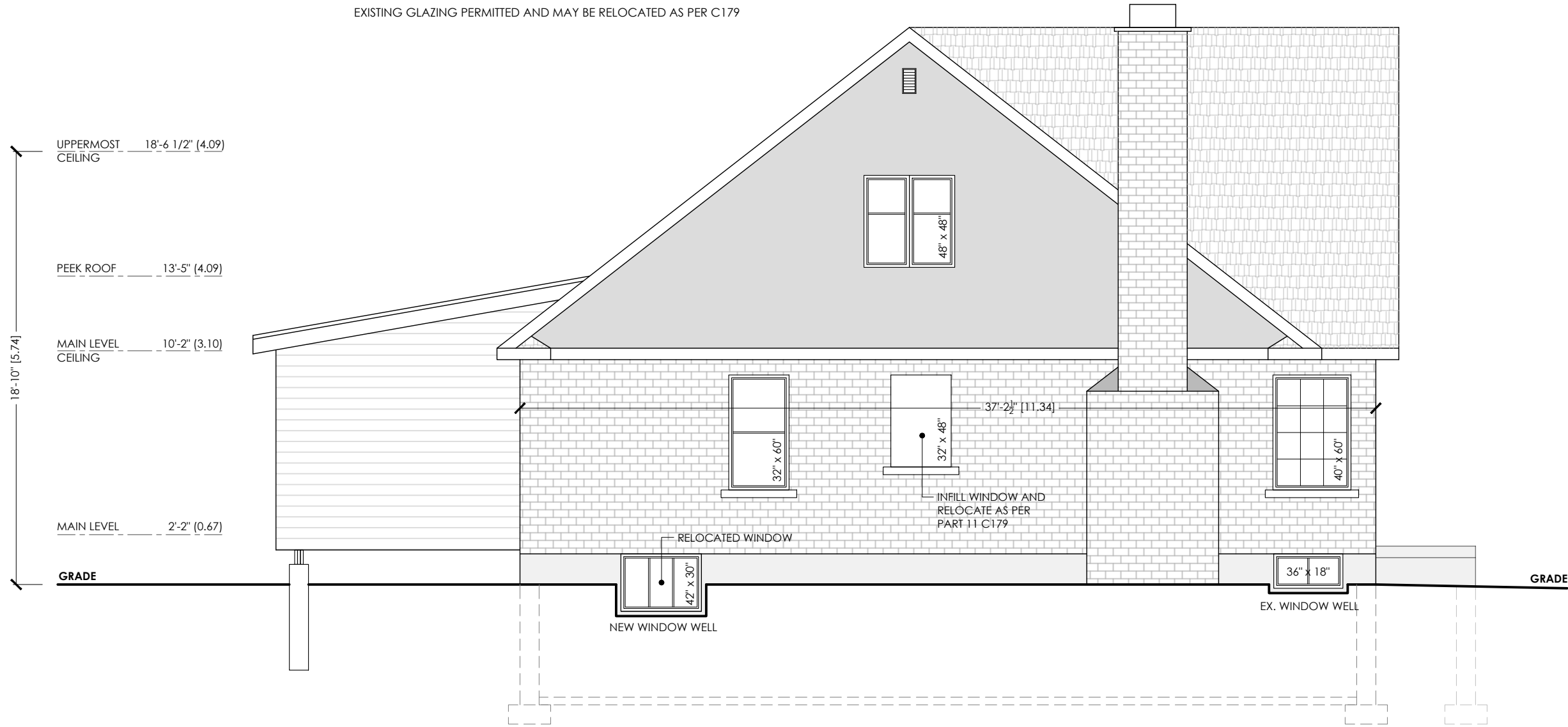
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PROPOSED SIDE ELEVATION
A3.02

1 PROPOSED SIDE ELEVATION
 3/16" - 1'-0"

ALLOWABLE OPENINGS CALCULATION AREA 1:
 LIMITING DISTANCE = 0.65 METERS
 EXPOSED BUILDING FACE AREA = 51.51 SQUARE METERS
 MAX ALLOWABLE GLAZING = 0%
 GLAZING PROVIDED = 6.46 SQUARE METERS

EXISTING GLAZING PERMITTED AND MAY BE RELOCATED AS PER C179



UPPERMOST CEILING 18'-6 1/2" (4.09)
 PEAK ROOF 13'-5" (4.09)
 MAIN LEVEL CEILING 10'-2" (3.10)
 MAIN LEVEL 2'-2" (0.67)
 GRADE

1 PROPOSED SIDE ELEVATION
 A3.03 3/16" - 1'-0"

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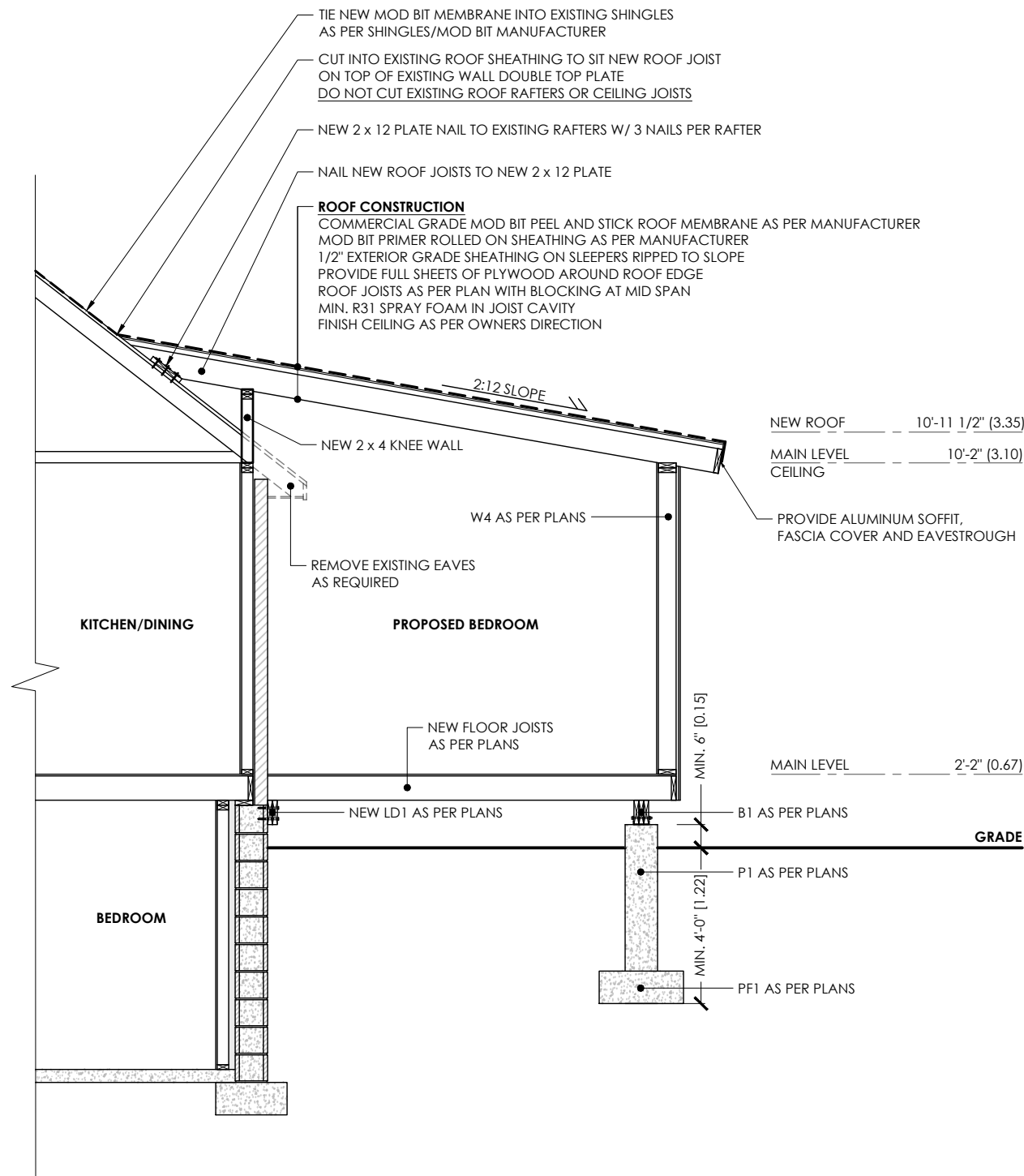
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PROPOSED SIDE ELEVATION
A3.03



1 SECTION A
 A4.01 3/16" - 1'-0"



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PROPOSED SECTION

A4.01



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	Phone
Registered Owners(s)			
Applicant(s)			
Agent or Solicitor			

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant AgentSolicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	84 TRAYMORE AVENUE, HAMILTON, ON L8S 1R7		
Assessment Roll Number	01005104240		
Former Municipality			
Lot	605	Concession	
Registered Plan Number	664	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

MAXIMUM GFA = 45% OF LOT AREA / PROPOSED GFA = 50% OF LOT AREA

8 HABITABLE ROOMS = 3 PARKING SPACES REQUIRED / PROPOSED = 1 PARKING SPACES

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

To help to ease the escalating housing crisis in the City, a second dwelling unit (SDU) and rear yard addition are proposed in accordance with the "More Homes Built Faster Act, 2022". As such, a larger GFA is required.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
11.28 m	30.49 m	343.8 sq.m.	~ 6 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SINGLE FAMILY HOUSE	5.00 m	10.85 m	2.90 m / 0.94 m	03/23/1984

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
REAR ADDITION	N/A	10.85m	2.90 m / 0.94 m	06/01/2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SINGLE FAMILY HOUSE	95.38 sq.m.	158.00 sq.m.	2	7.39 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
REAR ADDITION	23.69 sq.m.	23.69 sq.m.	1	4.10 m

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
 - system privately owned and operated individual
 - septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway
 - municipal road, seasonally maintained
 - municipal road, maintained all year
 - right of way
 - other public road
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
SINGLE FAMILY DETACHED DWELLING WITH SECONDARY DWELLING IN BASMEENT
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
SINGLE FAMILY DETACHED DWELLING W/ SECONDARY DWELLING

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
2023
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
SINGLE FAMILY DETACHED DWELLING
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
SINGLE FAMILY DETACHED DWELLING
- 7.4 Length of time the existing uses of the subject property have continued:
1984
- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) INSTITUTIONAL

Please provide an explanation of how the application conforms with the Official Plan.

EXTRA GFA COMMONLY SEEN IN THE AREA IS BEING PROPOSED FOR MORE LIVING SPACE

- 7.6 What is the existing zoning of the subject land? C/S-1361 URBAN PROTECTED RESIDENTIAL

- 7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-