



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:93	SUBJECT PROPERTY:	56 CHARLTON AVENUE W, HAMILTON
ZONE:	“E” (Multiple Dwellings, Lodges, Clubs, Etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: **Owner:** FINLAY REPPAS ENTERPRISES INC.
 Agent: DECC INC. C/O MICHAEL ISOTTI PONGETTI

The following variances are requested:

1. One (1) parking space shall be provided instead of the minimum required two (2) parking spaces;
2. A minimum parking space length of 5.87 m shall be permitted instead of the minimum required parking space length of 6 m;
3. A required parking space shall be permitted to be located in the front yard, notwithstanding that a required parking space is not permitted in a front yard;
4. No manoeuvring space for the parking space shall be provided, instead of the requirement to provide a manoeuvring space on the lot;
5. A height of three (3) storeys shall be permitted instead of the maximum permitted two and one-half (2.5) storeys;
6. An exterior staircase shall be permitted to project 0.42 m into the minimum required 1.2 m side yard and to be located 0.78 m from the east side lot line instead of the maximum permitted projection of 0.4 m and minimum required side lot line setback of 0.80 m; and
7. A minimum lot width of 14.55 m shall be permitted for a two-family dwelling instead of the minimum required lot width of 18.0 m.

PURPOSE & EFFECT: To permit the conversion of the existing lodging house to a two-family dwelling including associated exterior alterations:

Notes:

- i. This property is designated under Part IV of the Ontario Heritage Act, by municipal By-law Number 15-152 as a property of cultural heritage value. A Heritage Permit may be required for alterations or changes to the property. Please contact a Cultural Heritage Planner at culturalheritageplanning@hamilton.ca or visit www.hamilton.ca/heritageplanning for further information.
- ii. Variance 7, concerning minimum required lot width, does not appear to be required. Pursuant to Section 11. (4)(i) of Hamilton Zoning By-law 6593, a two family dwelling in an “E” District requires a minimum lot width of 12.0 m and the existing lot width is 14.55 m.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, May 18, 2023
TIME:	9:30 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

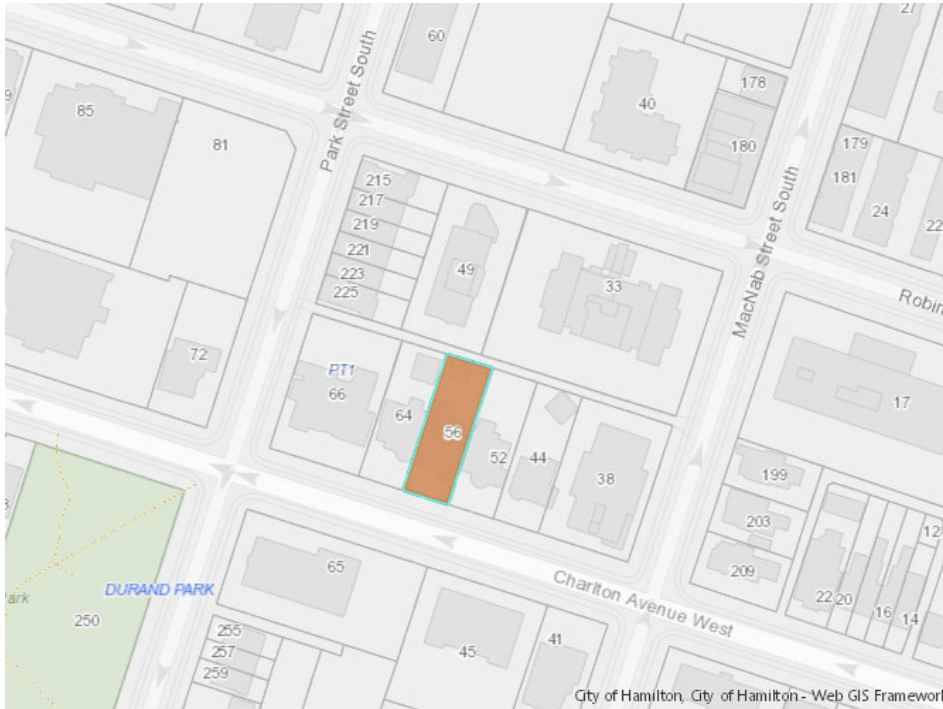
FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:93, you must submit

HM/A-23:93

a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: May 2, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

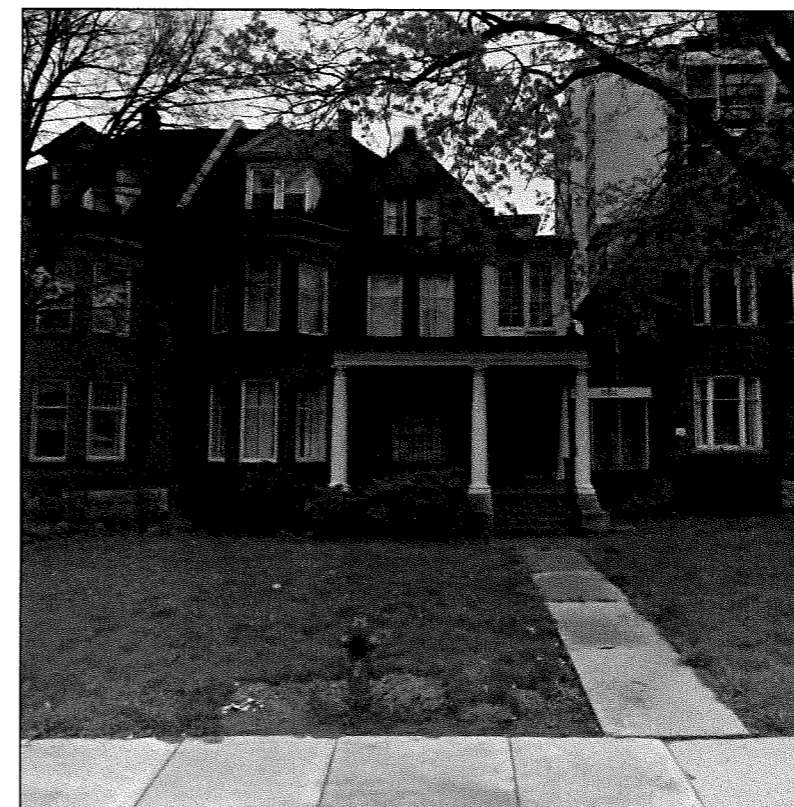
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

56 CHARLTON AVE. W. TWO FAMILY DWELLING

DRAWING LIST

- (1/16) - A0.01 - COVER SHEET
- (2/16) - A0.02 - GENERAL NOTES
- (3/16) - SP1.01 - SITE PLAN EXISTING
- (4/16) - SP1.02 - SITE PLAN PROPOSED
- (5/16) - A1.01 - 1ST FLOOR PLAN EXISTING
- (6/16) - A1.02 - 2ND FLOOR PLAN EXISTING
- (7/16) - A1.03 - 3RD FLOOR PLAN EXISTING
- (8/16) - A1.04 - BASEMENT FLOOR PLAN EXISTING
- (9/16) - A1.05 - 1ST FLOOR PLAN PROPOSED
- (10/16) - A1.06 - 2ND FLOOR PLAN PROPOSED
- (11/16) - A1.07 - 3RD FLOOR PLAN PROPOSED
- (12/16) - A1.08 - BASEMENT FLOOR PLAN PROPOSED
- (13/16) - A1.09 - EXTERIOR ACCESS STAIR PLAN
- (14/16) - A2.01 - EXTERIOR ACCESS STAIR ELEVATIONS
- (15/16) - A3.01 - EXTERIOR ACCESS STAIR
CONNECTION DETAILS
- (16/16) - A4.01 - EXTERIOR ACCESS STAIR SECTIONS

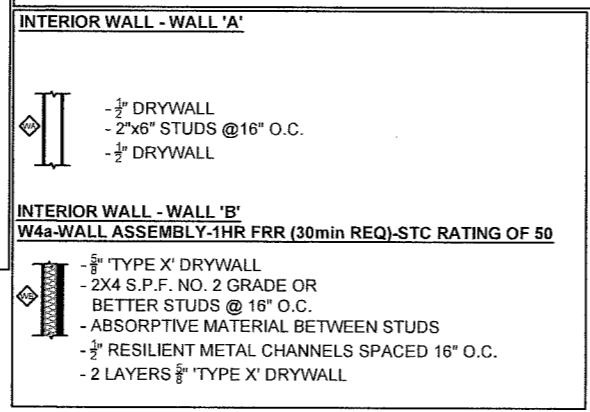


COVER PAGE
SCALE: NTS



1	04/13/2023	REV. & RESUBMIT.
#:	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE:		
56 CHARLTON AVE. W HAMILTON, ONTARIO		
PROJECT:		
TWO FAMILY DWELLING		
DWG:		
A0.01 COVER SHEET		
DATE:	DRAWN BY:	DWG #:
JAN 23, 2023	MP	1 / 16
PROJECT #:	CHKD BY:	
068	MP	

GENERAL NOTES		DUPLEX NOTES													
<p>1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE (O.B.C.) INCLUDING THE LATEST STANDARDS REFERENCED WITHIN.</p> <p>2. DRAWINGS ARE NOT TO BE SCALED AT ANY TIME.</p> <p>3. ALL DRAWINGS ARE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.</p> <p>4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.</p> <p>5. IF ANY ERRORS OR OMISSIONS ARE FOUND ON THESE DRAWINGS, THEY SHALL BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION. DRAWINGS MUST BE REVIEWED.</p>		<p>PROPOSED TWO FAMILY DWELLING</p> <p>- CURRENT USE - LODGING HOUSE</p> <p>- FINISHED 3RD FLOOR TO BE CONVERTED TO ADDITIONAL DWELLING UNIT, MAIN FLOOR/BASEMENT/2ND FLOOR IS OF PLASTER CONSTRUCTION</p> <p>- BUILDING APPROX. 120 YEARS OLD</p> <p>- 1.1.2.6. APPLICATION OF PART 11(1)...PART 11 OF DIVISION B APPLIES TO THE DESIGN AND CONSTRUCTION OF EXISTING BUILDING, OR PARTS OF EXISTING BUILDINGS, THAT HAVE BEEN IN EXISTENCE FOR AT LEAST FIVE YEARS</p> <p>ONTARIO BUILDING CODE REVIEW - PART 9 SINGLE FAMILY DWELLING w/ PROPOSED 3RD FLOOR APARTMENT:</p> <p>- SEPARATE ENTRANCES TO BE PROVIDED FOR MAIN FLOOR AND 3RD FLOOR APARTMENT, UPPER AND LOWER APARTMENTS TO BE SEPARATED WITH A 30min. FIRE SEPARATION</p> <p>- MAIN FLOOR APT. - FRONT ENTRANCE DOOR / 3RD FLOOR APT. - PROPOSED STAIRS TO 2ND FLOOR w/ ACCESS TO 3RD</p>													
<p>DESIGN LOADS</p> <table border="1"> <tr> <td>1. GROUND SNOW (Ss) / RAIN (Sr):</td> <td>1.3 kPa / 0.4 kPa</td> </tr> <tr> <td>2. MAXIMUM ROOF SNOW (S):</td> <td>1.44 kPa</td> </tr> <tr> <td>3. ROOF DEAD LOAD (D):</td> <td>1.0 kPa</td> </tr> <tr> <td>4. WIND LOAD (q50):</td> <td>0.46 kPa</td> </tr> <tr> <td>5. FLOOR LIVE LOAD (L):</td> <td>1.9 kPa</td> </tr> <tr> <td>6. FLOOR DEAD LOAD (D):</td> <td>1.0 kPa</td> </tr> </table>		1. GROUND SNOW (Ss) / RAIN (Sr):	1.3 kPa / 0.4 kPa	2. MAXIMUM ROOF SNOW (S):	1.44 kPa	3. ROOF DEAD LOAD (D):	1.0 kPa	4. WIND LOAD (q50):	0.46 kPa	5. FLOOR LIVE LOAD (L):	1.9 kPa	6. FLOOR DEAD LOAD (D):	1.0 kPa	<p>FIRE SEPARATION/FIRE RESISTANCE RATINGS AND NOTES</p> <p>- 9.10.8.1. - FIRE RESISTANCE RATINGS FOR FLOORS. TABLE 9.10.8.1. - 45min. REQ., USING PART 11 COMPLIANCE ALTERNATIVE C147 - 15min. PERMITTED (PAGE 49, DIV. B, SENTENCE (b)), - IN DETACHED HOUSES, SEMI-DETACHED HOUSES... CONTAINING NOT MORE THAN TWO DWELLING UNITS 15min. HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE.</p> <p>1) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREA IN CONFORMANCE WITH SUBSECTION 9.10.19., AND</p> <p>2) SMOKE ALARMS ARE INTERCONNECTED.</p> <p>*SMOKE ALARMS TO BE INSTALLED AS PER C147 NOTED ABOVE</p> <p>PROPOSED HORIZONTAL FIRE SEPARATION ON BASEMENT CEILING REQ. TO PROVIDE 15min. FRR (FIRE RESISTANCE RATING)</p> <p>- PROPOSING PROPOSING TO USE SUPPLEMENTARY STANDARD SB-2 - TABLE 2.3.4.D. 16mm PLASTER w/9.5mm GYPSUM LATH PROVIDES 65min. FRR.</p> <p>PROPOSED VERTICAL FIRE SEPARATION OF 45min. IS REQ. BETWEEN SEPARATE DWELLING UNITS AS PER SECTION 9.10.9.14. & 9.10.9.15. - PROPOSING TO USE PART 11 COMPLIANCE ALTERNATIVE C152 - 30min. FRR IS ACCEPTABLE.</p> <p>- VERTICAL (WALL) FIRE SEPARATION BETWEEN 3RD FLOOR APARTMENT & MAIN FLOOR APARTMENT - REQ. TO PROVIDE 30min. FRR</p> <p>- PROPOSING TO USE SUPPLEMENTARY STANDARD SB-2 - TABLE 2.3.4.D. 16mm PLASTER w/9.5mm GYPSUM LATH PROVIDES 65min. FRR.</p> <p>SERVICE ROOM DOOR REQ.</p> <p>- TO PROVIDE 20min. FRR AND EQUIPPED WITH SELF-CLOSING, SELF-LATCHING DEVICE.</p> <p>9.10.13.1. - DOORS, DAMPERS, AND OTHER CLOSURES IN FIRE SEPARATIONS - 9.10.13.1</p> <p>- TABLE 9.10.13.1. FIRE PROTECTION RATING FOR CLOSURES (IN FIRE SEPARATIONS) NOT REQUIRED FOR A 15min. FIRE SEPARATION - CHART REQUIRES CLOSURES FOR FIRE SEPARATIONS REQUIRING A FRR RATING BEGINNING WITH 30min.</p> <p>9.10.13.13. - FIRE DAMPERS (DUCTS PENETRATING FIRE SEPARATIONS)</p> <p>- PART 11 COMPLIANCE ALTERNATIVE C167/C168 (DIVISION B - PAGE 50)</p> <p>- ...IN A BUILDING CONTAINING NOT MORE THAN 4 DWELLING UNITS, THE EXISTING HEATING OR AIR-CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT, PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.</p> <p>- PROPOSING TO INSTALL THE ABOVE REQUIREMENTS THEREFORE FIRE DAMPERS WILL NOT BE REQUIRED.</p> <p>9.10.18.5. - SMOKE DETECTORS IN RECIRCULATING AIR HANDLING SYSTEMS</p> <p>- SMOKE DETECTOR TO BE INSTALLED IN RETURN AIR PLENUM, UPON DETECTION OF OF SMOKE FURNACE WILL SHUT DOWN</p> <p>9.10.19 - SMOKE ALARMS</p> <p>- SHALL BE HARD WIRED AND INTERCONNECTED (BASEMENT, 1ST, 2ND & 3RD FLOORS), INSTALLED IN EVERY SLEEPING ROOM, EVERY HALLWAY ADJACENT TO SLEEPING ROOMS, EVERY LEVEL, MUST BE AUDIBLE AND VISUAL</p> <p>9.33.4 - CARBON MONOXIDE ALARMS</p> <p>- SHALL BE HARD WIRED AND INTERCONNECTED, INSTALLED IN EACH SUITE OF RESIDENTIAL OCCUPANCY ADJACENT TO EACH SLEEPING AREA IN THE SUITE AND IN THE SERVICE ROOM WITH FUEL BURNING APPLIANCE.</p> <p>PROTECTION OF WOOD/STEEL BEAMS AND COLUMNS</p> <p>- 9.10.8.3. FIRE RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES</p> <p>- (1) EXCEPT AS OTHERWISE... ALL LOADBEARING WALLS, STEEL/WOOD BEAMS, COLUMNS... IN THE STOREY IMMEDIATELY BELOW A FLOOR OR ROOF ASSEMBLY SHALL HAVE A FIRE-RESISTANCE RATING (FRR) OF NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY - MINIMUM 15min. FIRE SEPARATION REQUIRED.</p> <p>PENETRATIONS OF FIRE SEPARATIONS AND FIRE STOPPING</p> <p>- 9.10.9.6. PENETRATION OF FIRE SEPARATIONS (1) PIPING, TUBING, DUCTS, CHIMNEYS, WRING, CONDUIT, ELECTRICAL OUT LET BOXES, AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION</p> <p>9.7.2.3. - MINIMUM WINDOW AREAS (SEE CHARTS FOR COMPLIANCE)</p>	
1. GROUND SNOW (Ss) / RAIN (Sr):	1.3 kPa / 0.4 kPa														
2. MAXIMUM ROOF SNOW (S):	1.44 kPa														
3. ROOF DEAD LOAD (D):	1.0 kPa														
4. WIND LOAD (q50):	0.46 kPa														
5. FLOOR LIVE LOAD (L):	1.9 kPa														
6. FLOOR DEAD LOAD (D):	1.0 kPa														
<p>LUMBER NOTES</p> <p>1. ALL SAWN LUMBER TO BE S.P.F. No. 2 GRADE OR BETTER AND CONFORM TO CSA-0141</p> <p>2. ALL ENGINEERED BUILT UP BEAMS ARE TO BE LVL'S (GRADE 2.0x10E4 PS) UNLESS OTHERWISE NOTED. REPLACEMENT WITH A HIGHER GRADE IS NOT ALWAYS A SUITABLE EQUIVALENT. CONTACT ENGINEER FOR EQUIVALENT.</p> <p>3. PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL LOAD BEARING WALLS/COLUMNS WHICH ARE PERPENDICULAR TO THE JOISTS.</p> <p>4. WOOD IS NOT TO BEAR DIRECTLY ON CONCRETE/MASONRY, PROVIDE PRESSURE TREATED, POLY OR SILL GASKET BETWEEN CONCRETE/MASONRY AND WOOD SILL PLATE.</p> <p>5. ALL JOISTS SHOULD HAVE A MINIMUM OF 40 mm (1-1/2") OF BEARING WITH JOIST HANGARS.</p> <p>6. ALL BUILT UP BEAMS TO PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/2" x 3-1/2" LG. @ 12" O.C. w/ MINIMUM 3-1/2" OF BEARING.</p>															
<p>FOUNDATION NOTES</p> <p>1. ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 3000 P.S.F.</p> <p>2. PROVIDE 4'-0" MINIMUM OF FROST COVER FOR ALL EXTERIOR FOOTINGS.</p> <p>3. ALL REINFORCING STEEL TO BE 400W AND SHALL CONFORM TO CSA-G30.18-M92.</p> <p>4. CONCRETE TO BE MIN. 32 MPa COMPRESSIVE STRENGTH @ 28 DAYS, 5-8% AIR ENTRAINMENT.</p> <p>5. END BEARING - ALL WOOD & STEEL BEAMS SHALL HAVE EVEN & LEVEL BEARING & SHALL NOT HAVE LESS THAN 3-1/2" OF BEARING AT END OF SUPPORTS AS PER O.B.C. 9.23.8.1.</p> <p>6. ALL FLOOR JOISTS SHALL HAVE NO LESS THAN 1-1/2"(38mm) IN LENGTH FOR END BEARING EXCEPT WHEN SUPPORTED ON RIBBON BOARDS AS PER O.B.C. 9.23.8.1(1).</p>															
<p>STRUCTURAL STEEL NOTES</p> <p>1. STRUCTURAL STEEL DESIGN MUST CONFORM TO CSA S16</p> <p>2. STRUCTURAL STEEL W SECTIONS AND COLUMNS SHALL CONFORM TO ASTM A992 U.O.N.</p> <p>3. STRUCTURAL STEEL CHANNELS, HSS, ANGLES, MUST CONFORM TO CSA G40.21, GRADE 350W U.O.N.</p> <p>4. ALL WELDING TO CONFORM TO C.W.B. APPROVED PROCEDURES. ALL WELDING TO BE CARRIED OUT BY WELDERS CERTIFIED BY THE C.W.B., EMPLOYED BY A FIRM CERTIFIED IN DIVISION 1 OR 2</p> <p>5. ALL STRUCTURAL STEEL SHALL RECEIVE A MINIMUM OF ONE COAT OF SHOP PRIMER</p> <p>6. DO NOT SPLICE OR CUT OPENING IN STRUCT. STEEL WITHOUT THE ENGINEERS APPROVAL</p>															
<p>CONCRETE & REINFORCING NOTES</p> <p>1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF CSA A23.1, A23.2 & 23.3.</p> <p>2. REINFORCING SHALL CONFORM TO CSA G30.18, GRADE 400W, FY=400MPa</p> <p>3. WELDED WIRE MESH AND WELDED WIRE FABRIC SHALL CONFORM TO CSA G30.5, FY=450MPa & HAVE A MINIMUM LAP OF 150mm (6") AT JOINTS U.O.N.</p> <p>4. ALL REINFORCING LAP SPLICES SHALL CONFORM TO THE LATEST CSA STANDARD A23.3 & ALL BAR SPLICES TO BE CLASS 'B' TENSION U.O.N.</p> <p>5. CRACK CONTROL SHOULD BE PLACED ALONG THE CENTRE OF THE LENGTH AND WIDTH OF AREA AND PLACED NO MORE THAN 14'-0" O/C. PROVIDE JOINT FILLER IN CONTROL JOINTS</p> <p>6. ALL CONCRETE COVER SHALL CONFORM TO CSA A23.1 AND THE FOLLOWING BELOW U.O.N.</p> <p>A. CONCRETE CAST AGAINST EARTH: 75mm</p> <p>B. EXTERIOR BEAMS, SLABS, COLUMNS, PIERS AND WALLS: 40mm</p> <p>C. INTERIOR SLABS: 25mm</p>															
<p>STAIRS/HANDRAILS/GUARDS (TO COMPLY WITH O.B.C. 9.8.)</p> <p>- PLEASE REFER TO STAIR DETAILS FOR NOTES</p>															



#	DATE	DESC.
1	04/13/2023	REV. & RESUBMIT

REVISIONS

DECC INC.
DESIGN | ENGINEER | CONSULT | CONSTRUCT

SITE:
**56 CHARLTON AVE. W
HAMILTON, ONTARIO**

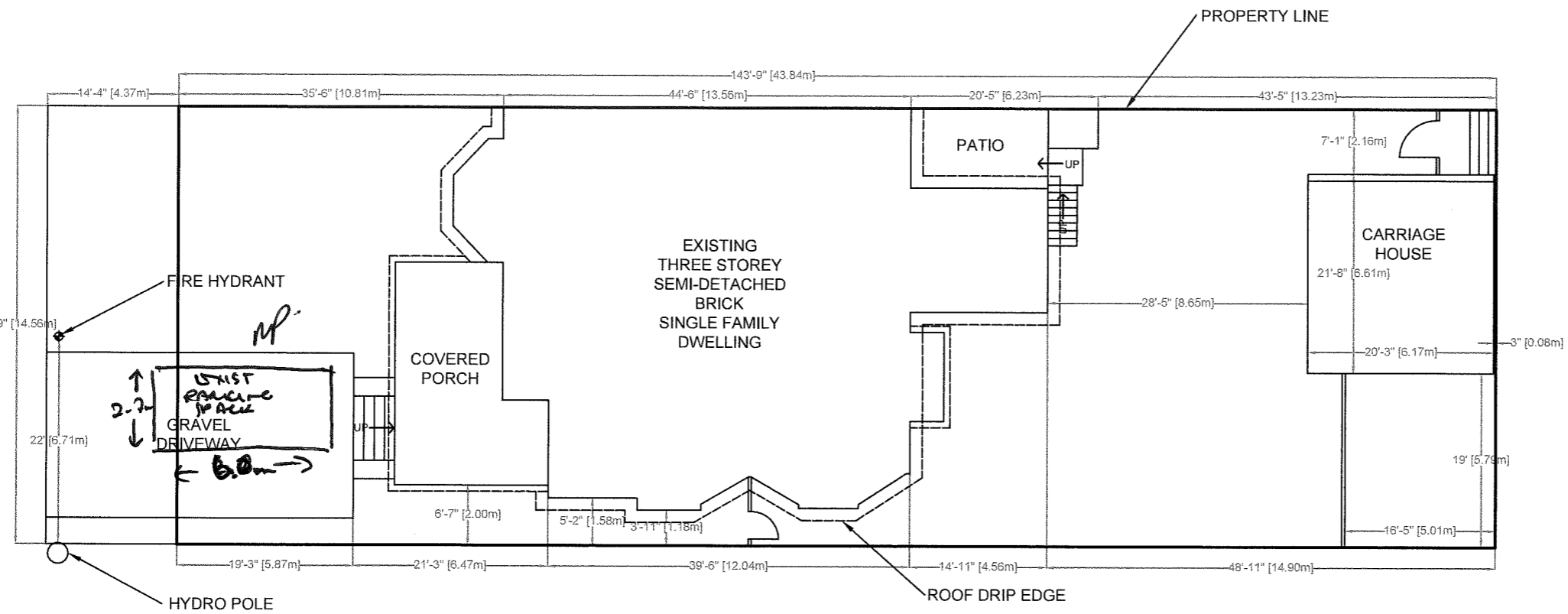
PROJECT:
TWO FAMILY DWELLING

DWG:
**A0.02
GENERAL NOTES**

DATE: JAN 23, 2023	DRAWN BY: MP	DWG #:
PROJECT #: 068	CHKD BY: MP	2 / 16

GENERAL NOTES
SCALE: NTS

CHARLTON AVE. WEST



#:	DATE:	DESC.
2	04/13/2023	REVISE & RESUB.
1	04/04/2023	REVISE & RESUB.

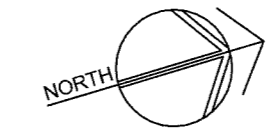
REVISIONS
DECC INC.
 DESIGN | ENGINEER | CONSULT | CONSTRUCT

SITE:
56 CHARLTON AVE. W
HAMILTON, ONTARIO

PROJECT:
TWO FAMILY DWELLING

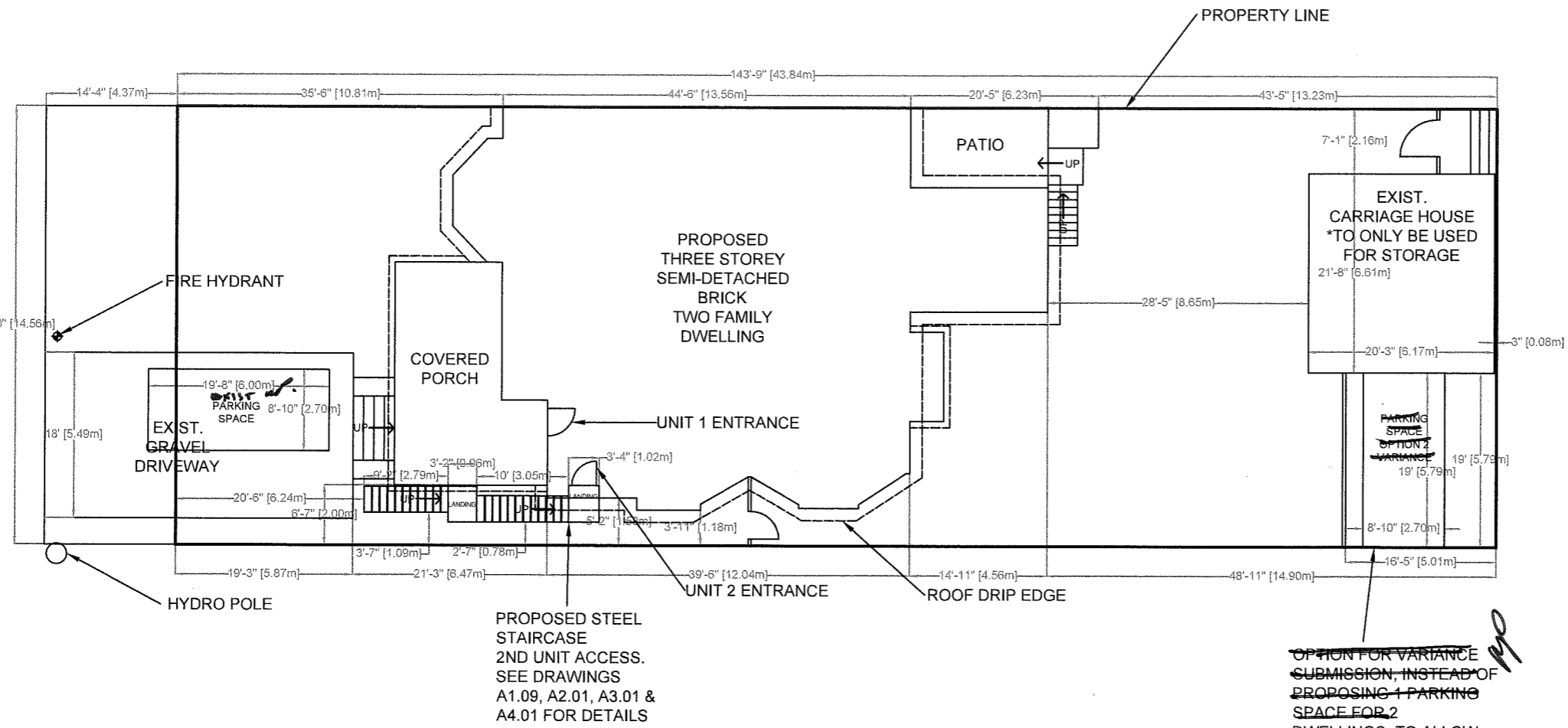
DWG:
SP1.01
SITE PLAN
EXISTING

DATE: JAN 23, 2023	DRAWN BY: MP	DWG #: 3 / 16
PROJECT #: 068	CHKD BY: MP	



SITE PLAN
 SCALE: $\frac{1}{16}'' = 1'-0''$

CHARLTON AVE. WEST



#:	DATE:	DESC.
3	04/13/2023	REVISE & RESUB.
2	04/04/2023	REVISE & RESUB.
1	03/10/2023	REVISE & RESUB.

REVISIONS

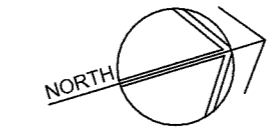
DECC INC.
DESIGN|ENGINEER|CONSULT|CONSTRUCT

SITE:
**56 CHARLTON AVE. W
HAMILTON, ONTARIO**

PROJECT:
TWO FAMILY DWELLING

DWG:
**SP1.02
SITE PLAN
PROPOSED**

DATE: JAN 23, 2023	DRAWN BY: MP	DWG #: 4 / 16
PROJECT #: 068	CHKD BY: MP	

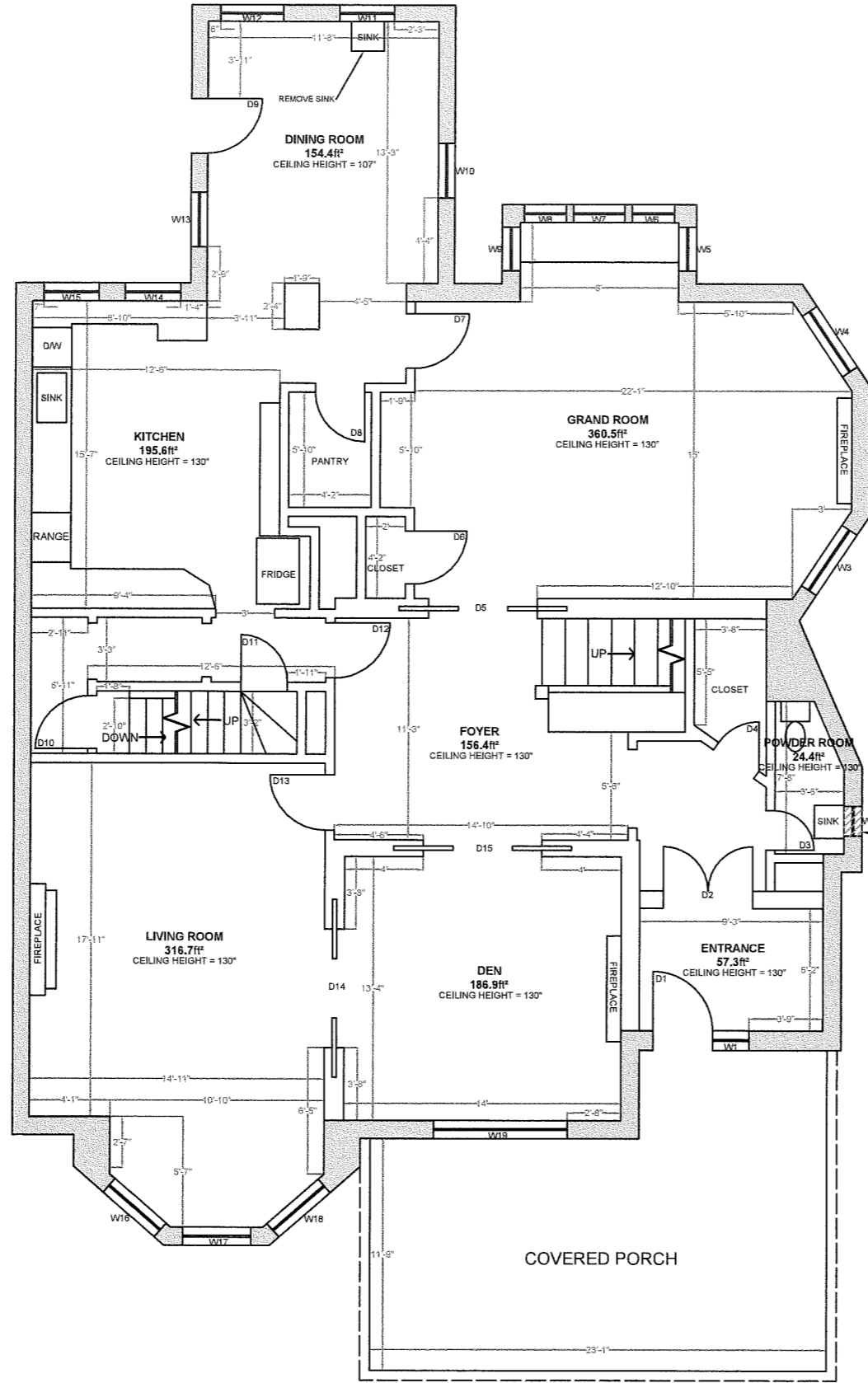


SITE PLAN
SCALE: $\frac{1}{16}'' = 1'-0''$

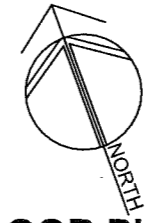
1ST FLOOR AREA:
+/- 1700.95ft²

WINDOW/DOOR SCHEDULE

NO.	WIDTH	HEIGHT
D1	36"	85"
D2 - DBL	27"	81"
D3	24"	81"
D4	30"	81"
D5 - DBL	33"	96"
D6	32"	81"
D7	33"	81"
D8	30"	81"
D9	33"	79"
D10	32"	80"
D11	29"	82"
D12	34"	82"
D13	34"	82"
D14 - DBL	36"	96"
D15 - DBL	36"	96"
W1	18"	96"
W2	15"	54"
W3	44"	89"
W4	44"	89"
W5	26.5"	89"
W6	25.5"	89"
W7	31"	89"
W8	25.5"	89"
W9	26.5"	89"
W10	33"	57"
W11	33"	57"
W12	38"	29.5"
W13	33"	57"
W14	33.5"	80"
W15	33.5"	80"
W16	41"	88"
W17	41"	88"
W18	41"	88"
W19	81"	88"



REMOVE EXISTING WINDOW
(TO BE STORED WITHIN DWELLING)
AND OPENING TO BE BRICKED IN
TO SATISFY O.B.C. 9.9.4.4. (WINDOW
ADJACENT TO DWELLING EXIT STAIR)



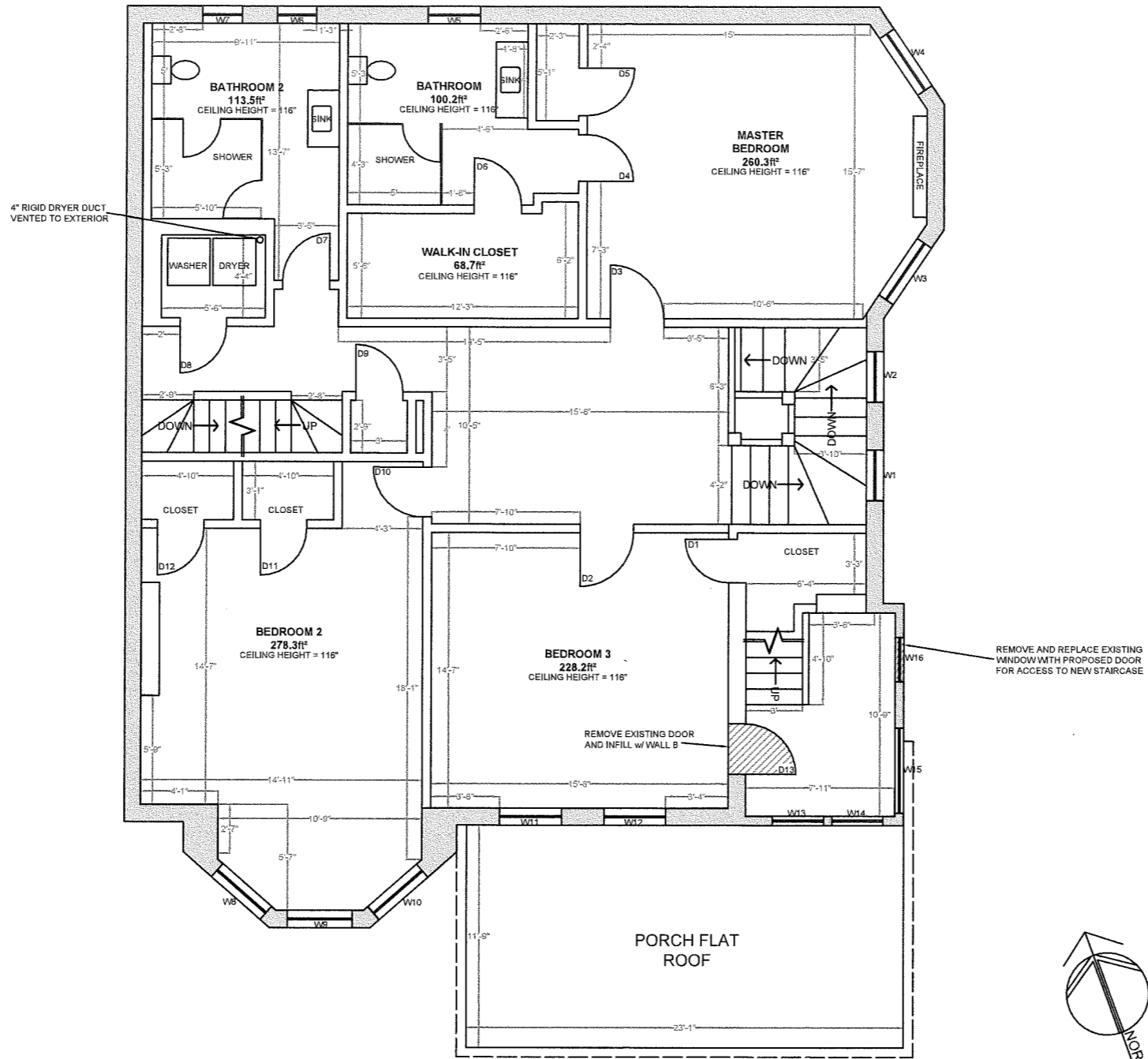
FLOOR PLAN
SCALE: 1/8" = 1'-0"



1	04/13/2023	REV. & RESUBMIT
#:	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE:		
56 CHARLTON AVE. W HAMILTON, ONTARIO		
PROJECT:		
TWO FAMILY DWELLING		
DWG:		
A1.01 1ST FLOOR PLAN EXISTING		
DATE:	DRAWN BY:	DWG #:
JAN 23, 2023	MP	5 / 16
PROJECT #:	CHKD BY:	
068	MP	

2ND FLOOR AREA:
+/- 1436.91ft²

WINDOW/DOOR SCHEDULE		
NO.	WIDTH	HEIGHT
D1	28"	80"
D2	34"	80"
D3	34"	80"
D4	30"	80"
D5	30"	80"
D6	30"	80"
D7	30"	80"
D8	30"	80"
D9	30"	80"
D10	32"	80"
D11	30"	80"
D12	30"	80"
D13	32"	80"
W1	32"	79"
W2	32"	79"
W3	43"	80"
W4	43"	80"
W5	33"	80"
W6	25"	51"
W7	25"	51"
W8	39"	80"
W9	39"	80"
W10	39"	80"
W11	39"	80"
W12	39"	80"
W13	32.5"	87"
W14	32.5"	87"
W15	54"	87"
W16	128"	58"



#	DATE:	DESC.
2	04/13/2023	REV. & RESUB.
1	02/10/2023	REV. & RESUB.

REVISIONS

DECC INC.

DESIGN|ENGINEER|CONSULT|CONSTRUCT

SITE:

**56 CHARLTON AVE. W
HAMILTON, ONTARIO**

PROJECT:

TWO FAMILY DWELLING

DWG:

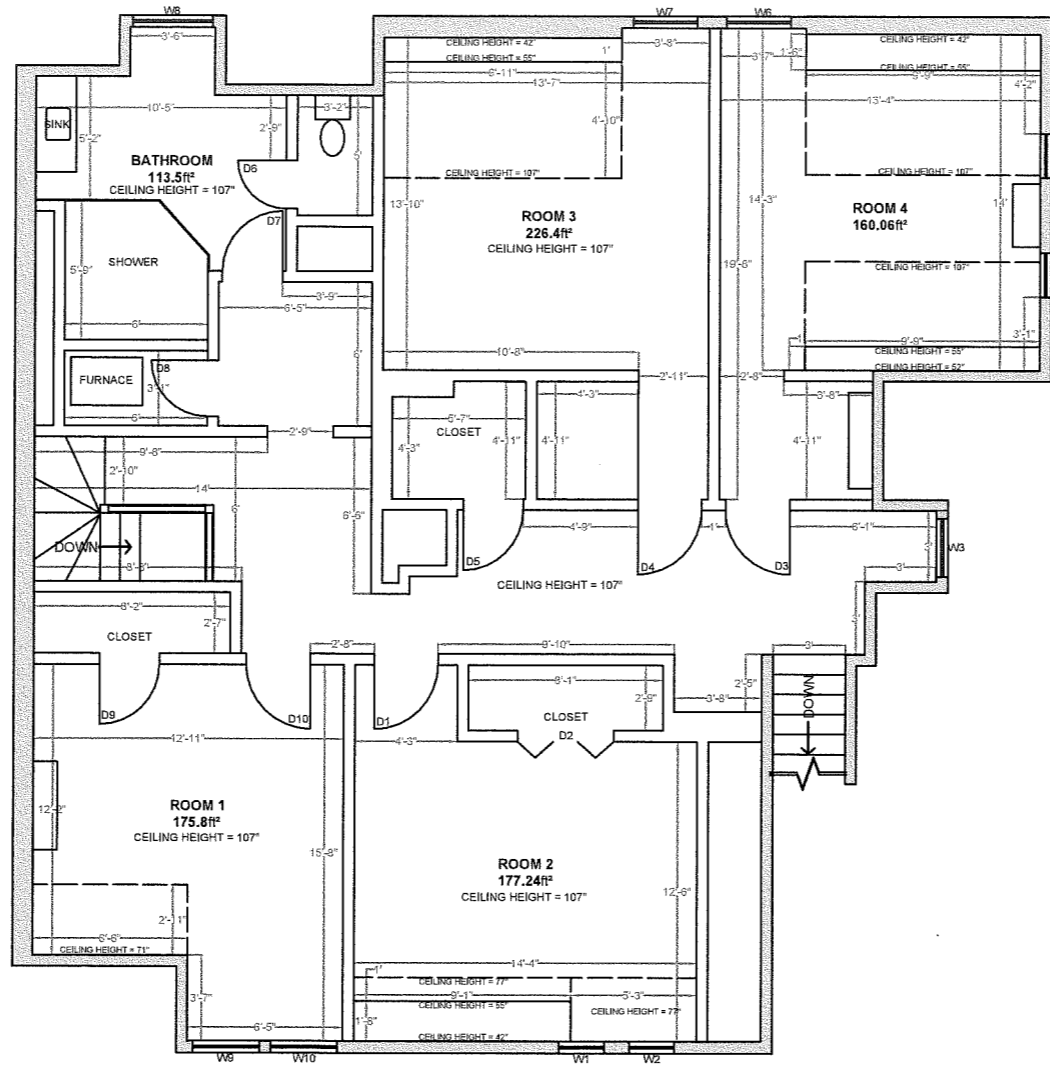
**A1.02
2ND FLOOR PLAN
EXISTING**

DATE: JAN 23, 2023	DRAWN BY: MP	DWG #: 6 / 16
PROJECT #: 068	CHKD BY: MP	

FLOOR PLAN
SCALE: $\frac{1}{8}" = 1'-0"$

3RD FLOOR AREA:
+/- 1357.46ft²

WINDOW/DOOR SCHEDULE		
NO.	WIDTH	HEIGHT
D1	32"	80"
D2 - DBL	24"	79"
D3	32"	80"
D4	32"	80"
D5	30"	80"
D6	24"	79"
D7	30"	79"
D8	28"	79"
D9	30"	80"
D10	32"	80"
W1	22.5"	47"
W2	22.5"	47"
W3	29"	50"
W4	22"	36"
W5	22"	36"
W6	32"	32"
W7	32"	32"
W8	40"	45"
W9	33"	60"
W10	33"	60"



#:	DATE:	DESC.
2	04/13/2023	REV. & RESUB.
1	02/10/2023	REV. & RESUB.

REVISIONS

DECC INC.

DESIGN|ENGINEER|CONSULT|CONSTRUCT

SITE:
**56 CHARLTON AVE. W
HAMILTON, ONTARIO**

PROJECT:
TWO FAMILY DWELLING

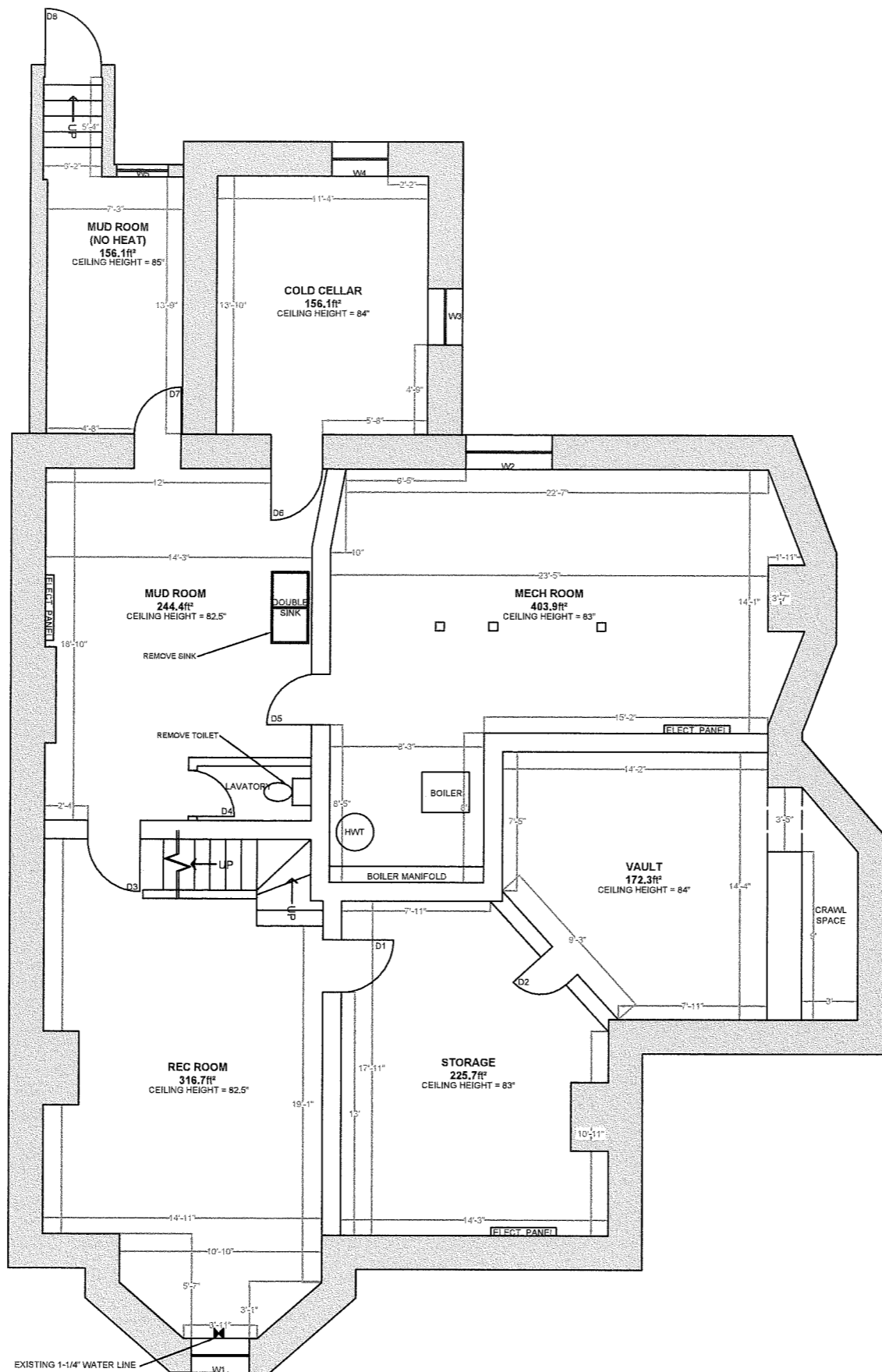
DWG:
**A1.03
3RD FLOOR PLAN
EXISTING**

DATE: JAN 23, 2023	DRAWN BY: MP	DWG #: 7 / 16
PROJECT #: 068	CHKD BY: MP	

FLOOR PLAN
SCALE: $\frac{1}{8}'' = 1'-0''$

BASEMENT FLOOR AREA:
+/- 1529.21ft²

WINDOW/DOOR SCHEDULE		
NO.	WIDTH	HEIGHT
D1	34"	78.5"
D2	24"	72"
D3	24"	81"
D4	29.5"	79"
D5	32.5"	77"
D6	33"	80"
D7	30"	78"
D8	36"	75"
W1	37"	26"
W2	55"	28"
W3	36"	31"
W4	36"	31"
W5	33"	26.5"



#:	DATE:	DESC.
2	04/13/2023	REV. & RESUBMIT
1	03/10/2023	REV. & RESUBMIT

REVISIONS

DECC INC.
DESIGN | ENGINEER | CONSULT | CONSTRUCT

SITE:
**56 CHARLTON AVE. W
HAMILTON, ONTARIO**

PROJECT:
TWO FAMILY DWELLING

DWG: **A1.04
BASEMENT FLOOR PLAN
EXISTING**

DATE: JAN 23, 2023	DRAWN BY: MP	DWG #: 8 / 16
PROJECT #: 068	CHKD BY: MP	

FLOOR PLAN
SCALE: 1/8" = 1'-0"

1ST FLOOR AREA:
+/- 1700.95ft²

UNIT 1 AREA - THIS FLOOR: 1700.95ft²
UNIT 1 AREA TOTAL: 4610ft²
UNIT 2 AREA - THIS FLOOR: 0ft²
UNIT 2 AREA TOTAL: 1414.53ft²

LEGEND
HARD WIRED INTERCONNECTED CO ALARMS
REQUIRED ADJACENT TO BEDROOMS
ON EACH LEVEL AND COMPLY w/ O.B.C. 9.33.4

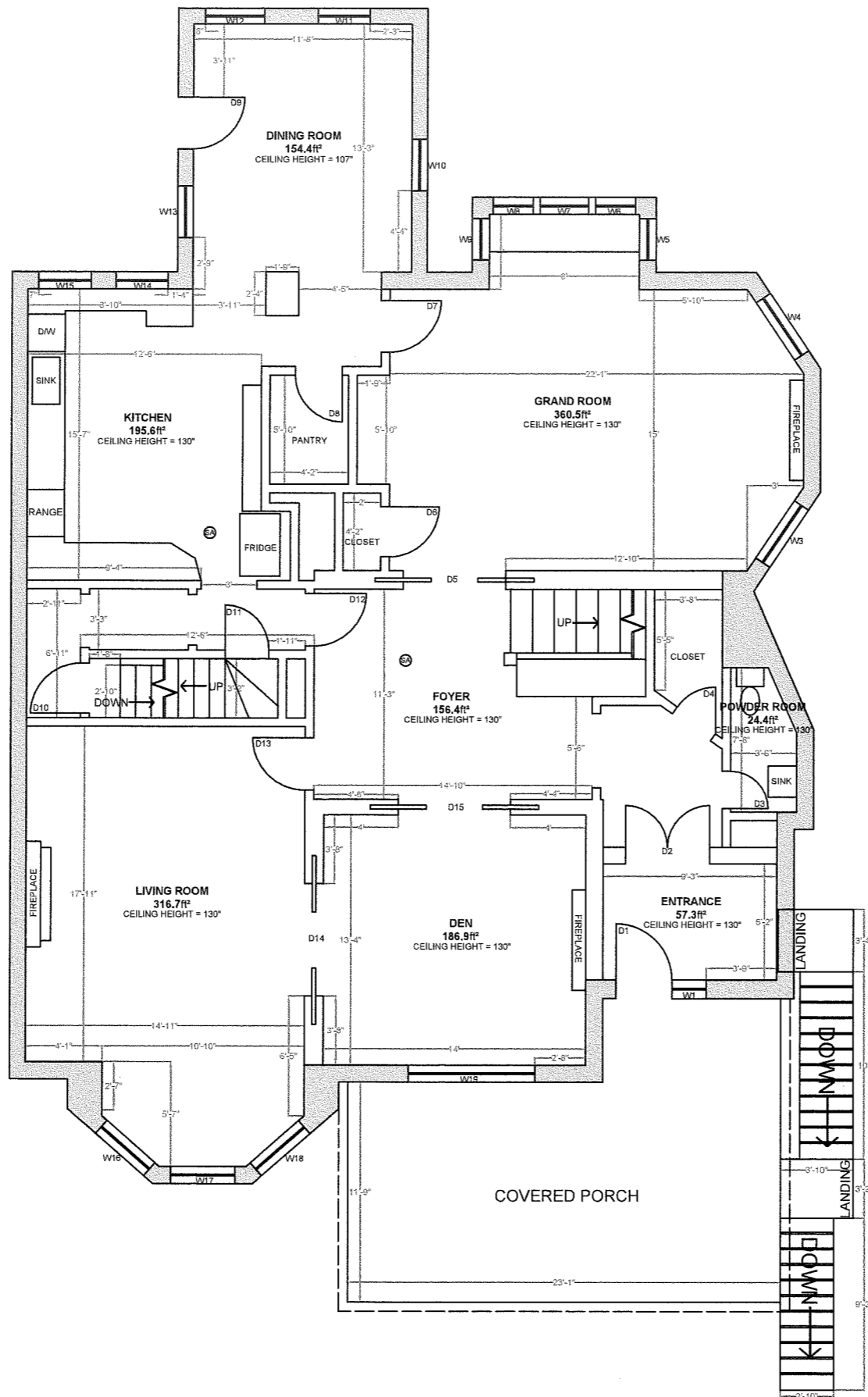
LEGEND
HARD WIRED INTERCONNECTED
COMBINATION SMOKE/STROBE ALARMS
ON EACH LEVEL AND COMPLY w/ O.B.C.
9.10.15.

ALL SMOKE DETECTORS TO BE
INTER-CONNECTED WITHIN EACH UNIT
AS PER FIRE CODE

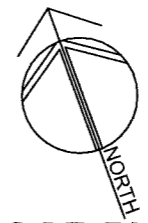
WINDOW/DOOR SCHEDULE

NO.	WIDTH	HEIGHT
D1	36"	95"
D2 - DBL	27"	81"
D3	24"	81"
D4	30"	81"
D5 - DBL	33"	96"
D6	32"	81"
D7	33"	81"
D8	30"	81"
D9	33"	79"
D10	32"	80"
D11	29"	82"
D12	34"	82"
D13	34"	82"
D14 - DBL	36"	96"
D15 - DBL	36"	96"
W1	18"	96"
W3	44"	89"
W4	44"	89"
W5	26.5"	89"
W6	26.5"	89"
W7	31"	89"
W8	25.5"	89"
W9	26.5"	89"
W10	33"	57"
W11	33"	57"
W12	38"	29.5"
W13	33"	57"
W14	33.5"	80"
W15	33.5"	80"
W16	41"	88"
W17	41"	88"
W18	41"	88"
W19	81"	88"

ROOM SIZES (O.B.C. 9.5.) / MINIMUM WINDOW AREAS (O.B.C. 9.7.2.3.)				
ROOM TYPE	AREA OF ROOM	MIN. ROOM SIZE	AREA OF REQ. WINDOWS	AREA OF WINDOWS PROVIDED
DINING ROOM	154.4ft ²	75.0ft ²	10% = 15.44ft ²	W10 = 33'x57" = 13.1ft ² W11 = 33'x57" = 13.1ft ² W12 = 38'x29.5" = 7.8ft ² W13 = 33'x57" = 13.1ft ² TOTAL = 47.1ft ²
GRAND ROOM	360.5ft ²	-	10% = 36.05ft ²	W3 = 44'x89" = 27.2ft ² W4 = 44'x89" = 27.2ft ² W5 = 26.5'x89" = 16.4ft ² W6 = 26.5'x89" = 16.4ft ² W7 = 31'x89" = 19.2ft ² W8 = 25.5'x89" = 15.8ft ² W9 = 26.5'x89" = 16.4ft ² TOTAL = 138.9ft ²
LIVING ROOM	316.7ft ²	145.31ft ²	10% = 31.67ft ²	W16 = 41'x88" = 25.1ft ² W17 = 41'x88" = 25.1ft ² W18 = 41'x88" = 25.1ft ² TOTAL = 75.3ft ²
DEN	186.9ft ²	-	10% = 18.69ft ²	W19 = 81'x88" = 49.5ft ²



ALL EXISTING WALLS & CEILINGS ARE OF PLASTER CONSTRUCTION
-16mm PLASTER WITH 8.5mm GYPSUM LATH PROVIDES MIN. 30min. REQ. FIRE RESISTANCE RATING TABLE 2.3.4D-SB2



FLOOR PLAN
SCALE: 1/8" = 1'-0"



#:	DATE:	DESC.
2	04/13/2023	REV. & RESUBMIT
1	03/10/2023	REV. & RESUBMIT

REVISIONS

DECC INC.
DESIGN | ENGINEER | CONSULT | CONSTRUCT

SITE:
**56 CHARLTON AVE. W
HAMILTON, ONTARIO**

PROJECT:
TWO FAMILY DWELLING

DWG:
**A1.05
1ST FLOOR PLAN
PROPOSED**

DATE: JAN 23, 2023	DRAWN BY: MP	DWG #: 9 / 16
PROJECT #: 068	CHKD BY: MP	

2ND FLOOR AREA:
+/- 1436.91ft²

UNIT 1 AREA - THIS FLOOR: 1379.84ft²
UNIT 1 AREA TOTAL: 4610ft²
UNIT 2 AREA - THIS FLOOR: 57.07ft²
UNIT 2 AREA TOTAL: 1414.53ft²

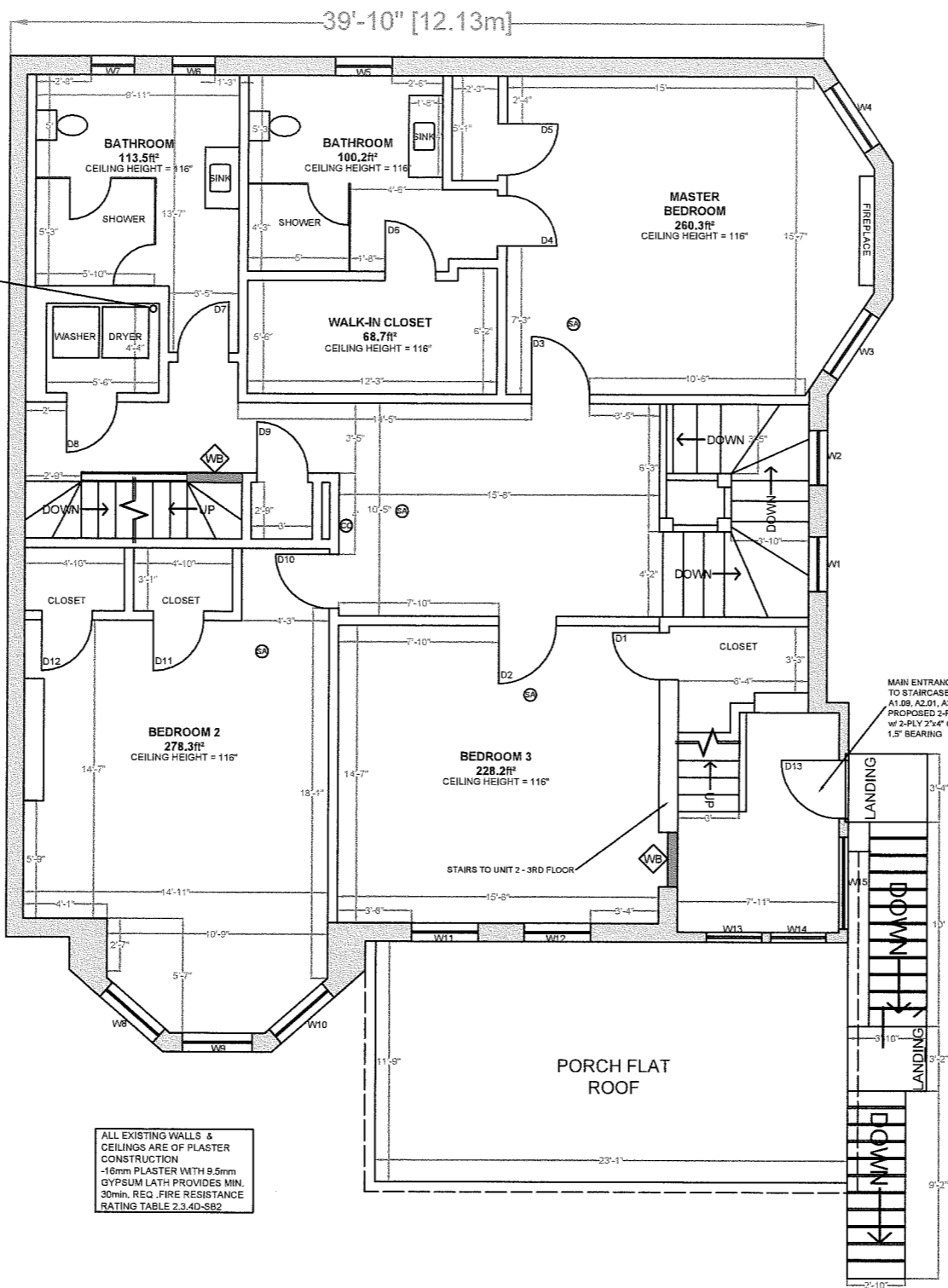
LEGEND (⊕)
HARD WIRED INTERCONNECTED CO ALARMS
REQUIRED ADJACENT TO BEDROOMS
ON EACH LEVEL AND COMPLY w O.B.C. 9.33.4

LEGEND (⊙)
HARD WIRED INTERCONNECTED
COMBINATION SMOKE/STROBE ALARMS
ON EACH LEVEL AND COMPLY w O.B.C.
9.10.18

ALL SMOKE DETECTORS TO BE
INTER-CONNECTED WITHIN EACH UNIT
AS PER FIRE CODE

WINDOW/DOOR SCHEDULE

NO.	WIDTH	HEIGHT
D1	28"	80"
D2	34"	80"
D3	34"	80"
D4	30"	80"
D5	30"	80"
D6	30"	80"
D7	30"	80"
D8	30"	80"
D9	30"	80"
D10	32"	80"
D11	30"	80"
D12	30"	80"
D13	34"	80"
W1	32"	79"
W2	32"	79"
W3	43"	80"
W4	43"	80"
W5	33"	80"
W6	25"	51"
W7	25"	51"
W8	39"	80"
W9	39"	80"
W10	39"	80"
W11	39"	80"
W12	39"	80"
W13	32.5"	87"
W14	32.5"	87"
W15	54"	87"



ROOM TYPE	AREA OF ROOM	MIN. ROOM SIZE	AREA OF REQ. WINDOWS	AREA OF WINDOWS PROVIDED
MASTER BEDROOM	260.3ft ²	95.0ft ²	5% = 13.02ft ²	W3 = 43"x80" = 23.9ft ² W4 = 43"x80" = 23.9ft ² TOTAL = 47.8ft ²
BEDROOM 2	284.3ft ²	64.6ft ²	5% = 14.22ft ²	W8 = 39"x80" = 21.7ft ² W9 = 39"x80" = 21.7ft ² W10 = 39"x80" = 21.7ft ² TOTAL = 65.1ft ²
BEDROOM 3	228.2ft ²	64.6ft ²	5% = 11.41ft ²	W11 = 39"x80" = 21.7ft ² W12 = 39"x80" = 21.7ft ² TOTAL = 43.4ft ²

ALL EXISTING WALLS & CEILINGS ARE OF PLASTER CONSTRUCTION
-15mm PLASTER WITH 9.5mm GYPSUM LATH PROVIDES MIN. 30min. REQ. FIRE RESISTANCE RATING TABLE 2.3.4D-SB2



#	DATE:	DESC.
2	04/13/2023	REV. & RESUB.
1	03/10/2023	REV. & RESUB.

REVISIONS

DECC INC.
DESIGN|ENGINEER|CONSULT|CONSTRUCT

SITE:
**56 CHARLTON AVE. W
HAMILTON, ONTARIO**

PROJECT:
TWO FAMILY DWELLING

DWG:
**A1.06
2ND FLOOR PLAN
PROPOSED**

DATE: JAN 23, 2023	DRAWN BY: MP	DWG #: 10 / 16
PROJECT #: 068	CHKD BY: MP	

FLOOR PLAN
SCALE: 1/8" = 1'-0"

3RD FLOOR AREA:
+/- 1357.46ft²

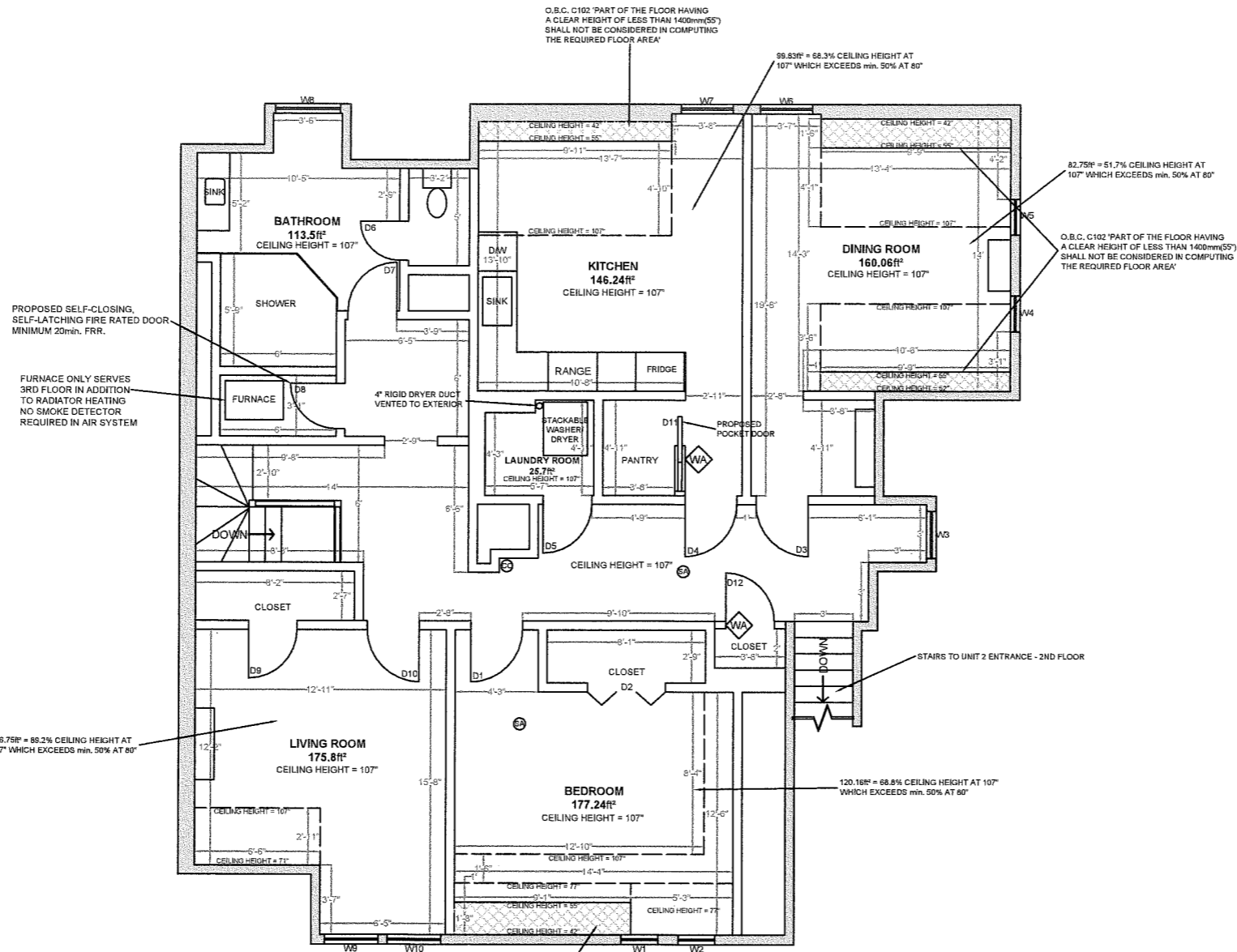
UNIT 1 AREA - THIS FLOOR: 0ft²
UNIT 1 AREA TOTAL: 4610ft²
UNIT 2 AREA - THIS FLOOR: 1357.46ft²
UNIT 2 AREA TOTAL: 1414.53ft²

LEGEND
HARD WIRED INTERCONNECTED CO ALARMS
REQUIRED ADJACENT TO BEDROOMS
ON EACH LEVEL AND COMPLY w/ O.B.C. 9.3.4

LEGEND
HARD WIRED INTERCONNECTED
COMBINATION SMOKE/STROBE ALARMS
ON EACH LEVEL AND COMPLY w/ O.B.C.
9.16.15

ALL SMOKE DETECTORS TO BE
INTERCONNECTED WITHIN EACH UNIT
AS PER FIRE CODE

WINDOW/DOOR SCHEDULE		
NO.	WIDTH	HEIGHT
D1	32"	80"
D2 - DBL	24"	79"
D3	32"	80"
D4	32"	80"
D5	30"	80"
D6	24"	79"
D7	30"	79"
D8	28"	79"
D9	30"	80"
D10	32"	80"
D11	28"	80"
D12	30"	80"
W1	22.5"	47"
W2	22.5"	47"
W3	29"	50"
W4	22"	36"
W5	22"	36"
W6	32"	50"
W7	32"	32"
W8	40"	45"
W9	33"	60"
W10	33"	60"



#:	DATE:	DESC.
2	04/13/2023	REV. & RESUB.
1	02/10/2023	REV. & RESUB.

REVISIONS

DECC INC.
DESIGN|ENGINEER|CONSULT|CONSTRUCT

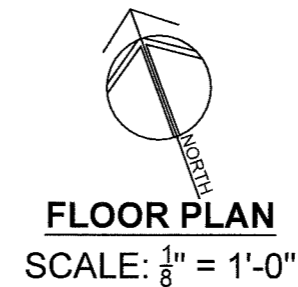
SITE:
**56 CHARLTON AVE. W
HAMILTON, ONTARIO**

PROJECT:
TWO FAMILY DWELLING

DWG: **A1.07
3RD FLOOR PLAN
PROPOSED**

DATE: JAN 23, 2023	DRAWN BY: MP	DWG #: 11 / 16
PROJECT #: 068	CHKD BY: MP	

ROOM SIZES (O.B.C. 9.5.) / MINIMUM WINDOW AREAS (O.B.C. 9.7.2.3.)			
ROOM TYPE	AREA OF ROOM	MIN. ROOM SIZE	AREA OF REQ. WINDOWS
DINING ROOM	160.0ft ²	75.0ft ²	10% = 16.00ft ²
LIVING ROOM	175.8ft ²	145.31ft ²	10% = 17.58ft ²
BEDROOM	177.24ft ²	95.0ft ²	5% = 9.62ft ²



BASEMENT FLOOR AREA:
+/- 1529.21ft²

UNIT 1 AREA - THIS FLOOR: 1529.21ft²
UNIT 1 AREA TOTAL: 4610ft²
UNIT 2 AREA - THIS FLOOR: 0ft²
UNIT 2 AREA TOTAL: 1414.53ft²

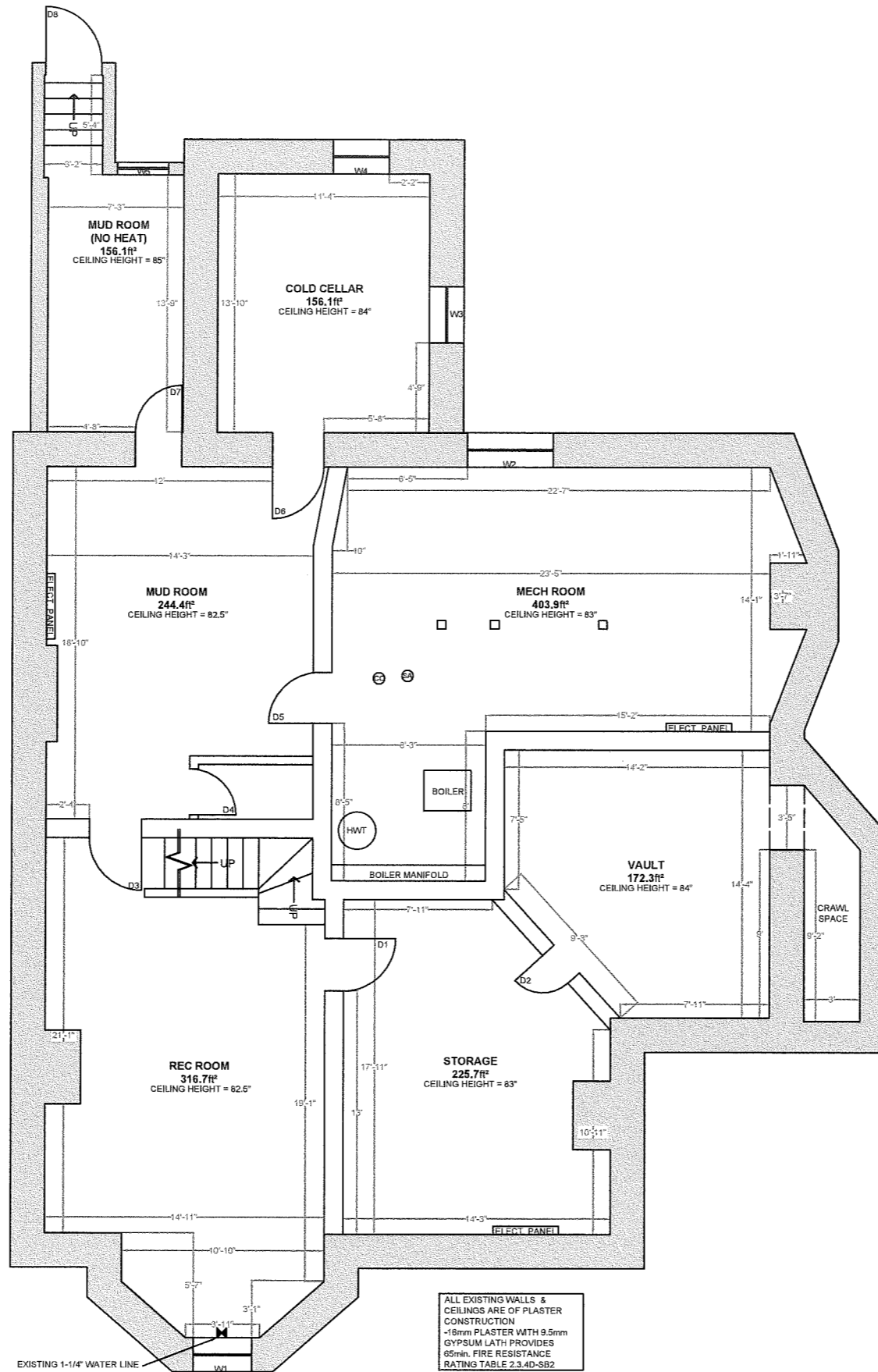
LEGEND (Symbol)
HARD WIRED INTERCONNECTED CO ALARMS
REQUIRED ADJACENT TO BEDROOMS
ON EACH LEVEL AND COMPLY w/ O.B.C. 9.3.3.4

LEGEND (Symbol)
HARD WIRED INTERCONNECTED
COMBINATION SMOKE/STROBE ALARMS
ON EACH LEVEL AND COMPLY w/ O.B.C.
9.10.18

ALL SMOKE DETECTORS TO BE
INTER-CONNECTED WITHIN EACH UNIT
AS PER FIRE CODE

WINDOW/DOOR SCHEDULE

NO.	WIDTH	HEIGHT
D1	34"	78.5"
D2	24"	72"
D3	24"	81"
D4	29.5"	79"
D5	32.5"	77"
D6	33"	80"
D7	30"	78"
D8	36"	75"
W1	37"	26"
W2	55"	28"
W3	36"	31"
W4	36"	31"
W5	33"	26.5"



ALL EXISTING WALLS &
CEILINGS ARE OF PLASTER
CONSTRUCTION
-16mm PLASTER WITH 9.5mm
GYPSUM LATH PROVIDES
65min. FIRE RESISTANCE
RATING TABLE 2.3.4D-SB2

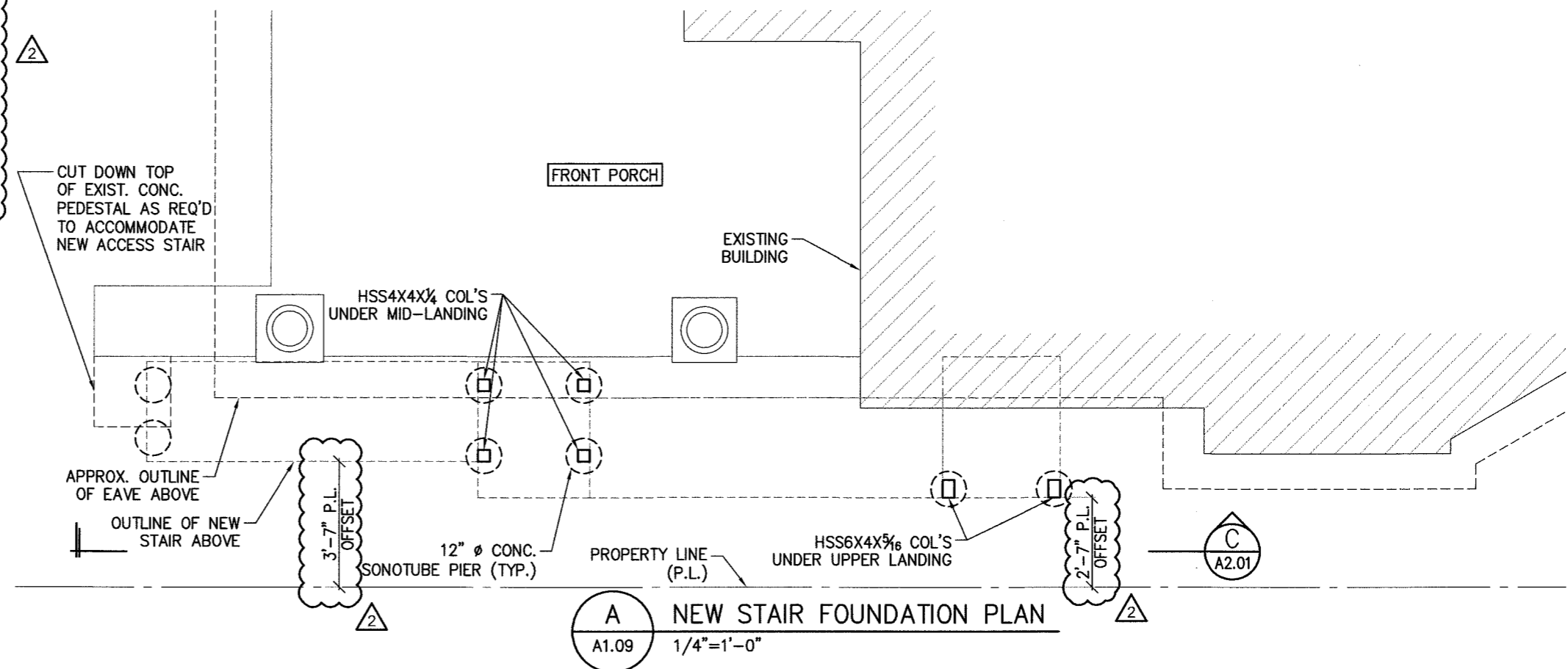
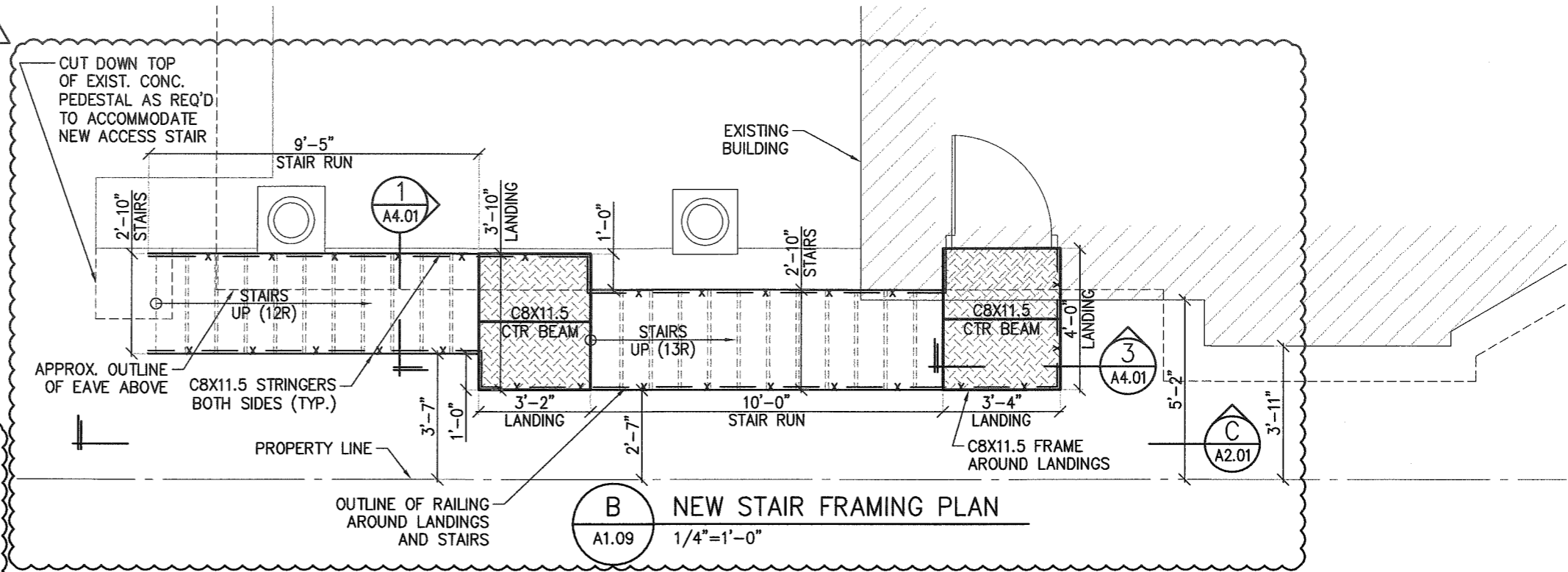
FLOOR PLAN
SCALE: 1/8" = 1'-0"



2	04/13/2023	REV. & RESUBMIT
1	03/10/2023	REV. & RESUBMIT
#:	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE:		
56 CHARLTON AVE. W HAMILTON, ONTARIO		
PROJECT:		
TWO FAMILY DWELLING		
DWG:		
A1.08 BASEMENT FLOOR PLAN PROPOSED		
DATE:	DRAWN BY:	DWG #:
JAN 23, 2023	MP	12 / 16
PROJECT #:	CHKD BY:	
068	MP	

STAIR AND RAILING NOTES:

1. ALL NEW RAILING COMPONENTS SHALL BE PRIMED AND PAINTED WITH EXTERIOR GRADE COATINGS. PROVIDE PRODUCT DATASHEET FOR CONSULTANT REVIEW AND APPROVAL. COLOUR TO BE BLACK, AS SELECTED BY OWNER.
2. THE RESIDENTIAL ACCESS STAIRS ILLUSTRATED ON THESE DRAWINGS HAVE BEEN DESIGNED FOR A LIVE LOAD OF 40psf [1.9kPa].
3. THE RESIDENTIAL RAILING ILLUSTRATED ON THESE DRAWINGS HAVE BEEN DESIGNED TO WITHSTAND THE FOLLOWING DESIGN LOADS DEFINED IN CLAUSE 9.8.8.2. OF THE 2012 ONTARIO BUILDING CODE:
 - a. 1.0 kN HORIZONTAL CONCENTRATED LOAD OR 0.5 kN/m HORIZONTAL DISTRIBUTED LOAD APPLIED INWARD OR OUTWARD AT ANY POINT ALONG THE TOP RAIL;
 - b. 0.5 kN APPLIED OVER AN AREA OF 300mm X 300mm LOCATED AT ANY POINT ON ANY INDIVIDUAL ELEMENT OF THE GUARD INCLUDING POSTS, RAILS, AND GROUP OF 3 PICKETS;
 - c. 1.5 kN/m VERTICAL DISTRIBUTED LOAD APPLIED DOWNWARD AT THE TOP OF THE GUARD;
3. THE RESIDENTIAL ACCESS STAIR AND RAILINGS ILLUSTRATED ON THESE DRAWINGS SERVE AN INDIVIDUAL DWELLING UNIT AS DEFINED BY THE 2012 ONTARIO BUILDING CODE:
 - a. ALL INTERIOR AND EXTERIOR STAIRS TO CONFORM TO O.B.C. 9.8.2.
 - b. MIN. STAIR WIDTH TO BE 2'-10" 9.8.2.1(2).
 - c. ALL STAIRS TO BE UNIFORM IN RISE & RUN (MIN. RISE 4¹⁵/₁₆"; MAX. RISE 7⁷/₁₆"; MIN. RUN 8¹/₄"; MAX. RUN 14")
 - d. NOSING TO BE 1" MAX.
 - e. RAILING MUST HAVE A CLEARANCE OF 2" ERGONOMIC DESIGN (9.8.7.5.)
 - f. FIRST ATTACHMENT FOR HANDRAILS MUST BE MAX. 12" FROM EITHER END.
 - g. MIN. HANDRAIL HEIGHT TO BE 34", MAX. HANDRAIL HEIGHT TO BE 38"
 - h. CLOSED STAIRS (CLOSED WITH WALLS ON BOTH SIDES) REQUIRE RAILING ON ONE SIDE, IF STAIRS ARE WIDER THAN 43" THEN RAILINGS ARE REQUIRED ON BOTH SIDES
 - i. IF STAIRS ARE OPEN ON BOTH SIDES, GUARDS ARE REQUIRED BOTH SIDES OF STAIRS AND RAILING ONE SIDE. IF STAIRS ARE WIDER THAN 43" THAN HANDRAILS REQUIRED ON BOTH IN ADDITION TO GUARDS.
 - j. GUARDRAIL AROUND STAIR OPENING TO BE MINIMUM OF 42" IN HEIGHT, COMPLY WITH 9.8.8. AND WITHSTAND LOADING PROVIDED IN TABLE 9.8.8.2.
 - k. OPENINGS IN GUARD SHALL PREVENT THE PASSAGE OF A 4" OBJECT
4. RESIDENTIAL RAILINGS SHALL BE FABRICATED AND INSTALLED TO SATISFY THE REQUIREMENTS OF SECTIONS 9.8.7. AND 9.8.8. OF THE 2012 ONTARIO BUILDING CODE.
5. THE TOP RAIL OF ALL RAILINGS ACT SIMULTANEOUSLY AS GUARDS AS WELL AS HANDRAILS. RAILING HEIGHTS ARE CRITICAL TO COMPLY WITH THE BUILDING CODE.
6. ALL STAIR, HANDRAIL AND GUARD COMPONENTS TO BE CSA G40.21-13 50W/350W GRADE STEEL (F_y = 350 MPa MIN.).
7. ALL ANCHORS KWIK BOLT 3 (KB3) BY HILTI, UNLESS NOTED OTHERWISE, AND SHALL BE HOT DIP GALVANIZED. THREADED ROD ANCHORS, WHERE REQUIRED, TO BE ASTM F1554 GRADE 36, HOT DIP GALVANIZED (HDG).
8. FULLY SHOP WELD ALL STAIR AND RAILING COMPONENTS WITH MINIMUM 3/16" FILLET WELD OR EQUIVALENT, ALL AROUND ALL JOINTS, CONNECTIONS, AND INTERSECTIONS. ALL WELDING TO BE COMPLETED IN ACCORDANCE WITH CSA W59-2018.
9. CONTRACTOR TO PROVIDE FABRICATION DRAWINGS FOR REVIEW AND APPROVAL ILLUSTRATING ALL PROPOSED CONNECTION AND ASSEMBLY DETAILS.
10. SITE VERIFY ALL DIMENSIONS.
11. EXISTING BUILDING ELEMENTS ILLUSTRATED ARE APPROXIMATE FOR REFERENCE ONLY. SITE VERIFY ACTUAL CONDITIONS.

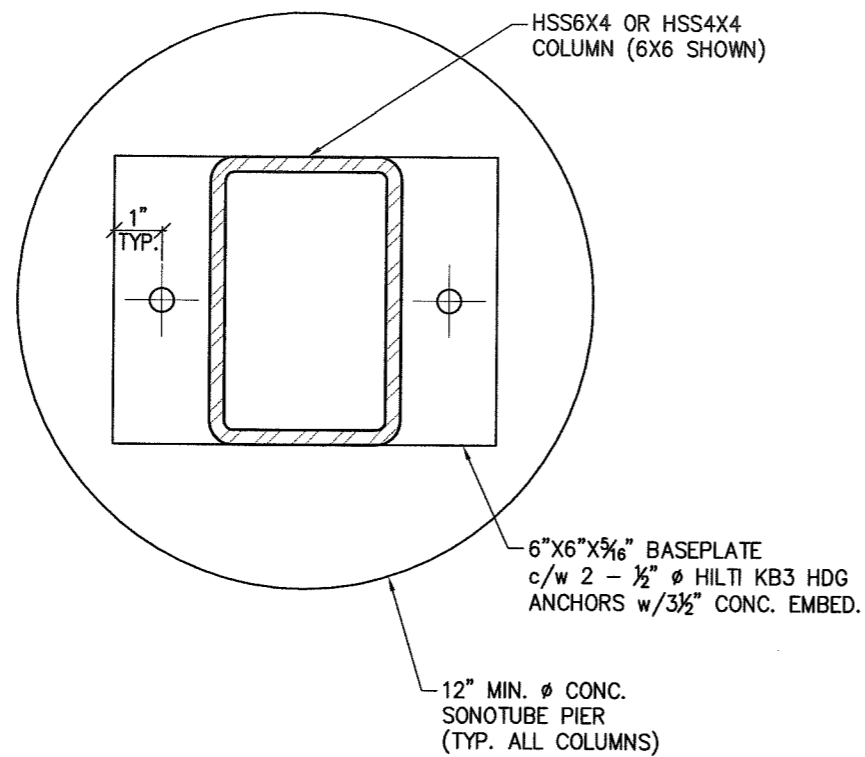


498 Eagle St. N., Suite 207, Cambridge, Ontario, Canada N3H 1C2
 t: 519.650.1222 f: 416.961.7434
 e: drawings@quinndressel.com www.quinndressel.com

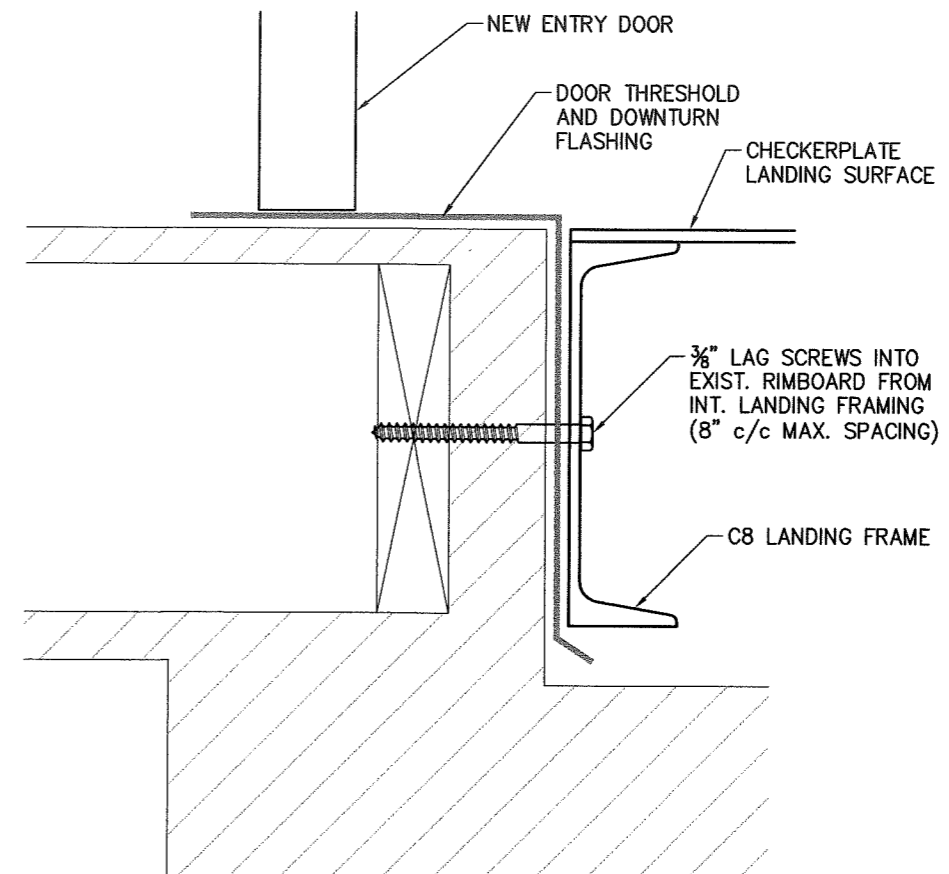
PROJECT
56 CHARLTON AVE W, HAMILTON, ON
NEW EXTERIOR ACCESS STAIR

PROJECT NUMBER
22-272

Date: 2023-04-12 Plot Scale: 1/4" = 1'-0" Drawn/Checked: CA/CA Sketch No: A1.09 (13/16)
 ISSUED FOR: PERMIT REV. 2



4 COLUMN BASEPLATE DETAIL
A3.01 3"=1'-0"



5 LANDING TIE-IN DETAIL
A3.01 3"=1'-0"



498 Eagle St. N., Suite 207, Cambridge, Ontario, Canada N3H 1C2
t: 519.650.1222 f: 416.961.7434
e: drawings@quindressel.com www.quindressel.com

PROJECT
56 CHARLTON AVE W, HAMILTON, ON
NEW EXTERIOR ACCESS STAIR

PROJECT NUMBER
22-272

Date	2023-02-21	Plot Scale:	3" = 1'-0"	Drawn/Checked	CA/CA	Sketch No	A3.01 (16/16)
							ISSUED FOR: PERMIT REV. 1

PLAN OF SURVEY
AND TOPOGRAPHIC SKETCH
OF ALL OF
LOT 5
REGISTERED PLAN 191
IN THE
CITY OF HAMILTON

SCALE: 1 : 150 METRIC



McKECHNIE SURVEYING LTD.
ONTARIO LAND SURVEYORS

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-44027



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1028, Section 28(3)

ELEVATION INFORMATION

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM GPS OBSERVATION
(RTK CAN-NET HT2).
AND ARE RELATED TO:
SITE BM # 1 TOP NUT OF FIRE HYDRANT
ELEVATION.....110.86

REFERENCE BEARING

BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH
LIMIT OF CHARLTON AVENUE AS SHOWN ON REGISTERED PLAN 191. HAVING A
BEARING OF N70°50'00"W.

LEGEND

- denotes SET
- denotes FOUND
- IB denotes IRON BAR
- SIB denotes STANDARD IRON BAR
- RIB denotes ROUND IRON BAR
- CC denotes CUT CROSS
- CP denotes CONCRETE PIN
- MEAS denotes MEASURED
- PIN denotes PROPERTY IDENTIFICATION No.
- P1 denotes REGISTERED PLAN 191
- P2 denotes DEPOSITED PLAN 62R-5174

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON MARCH 16, 2023

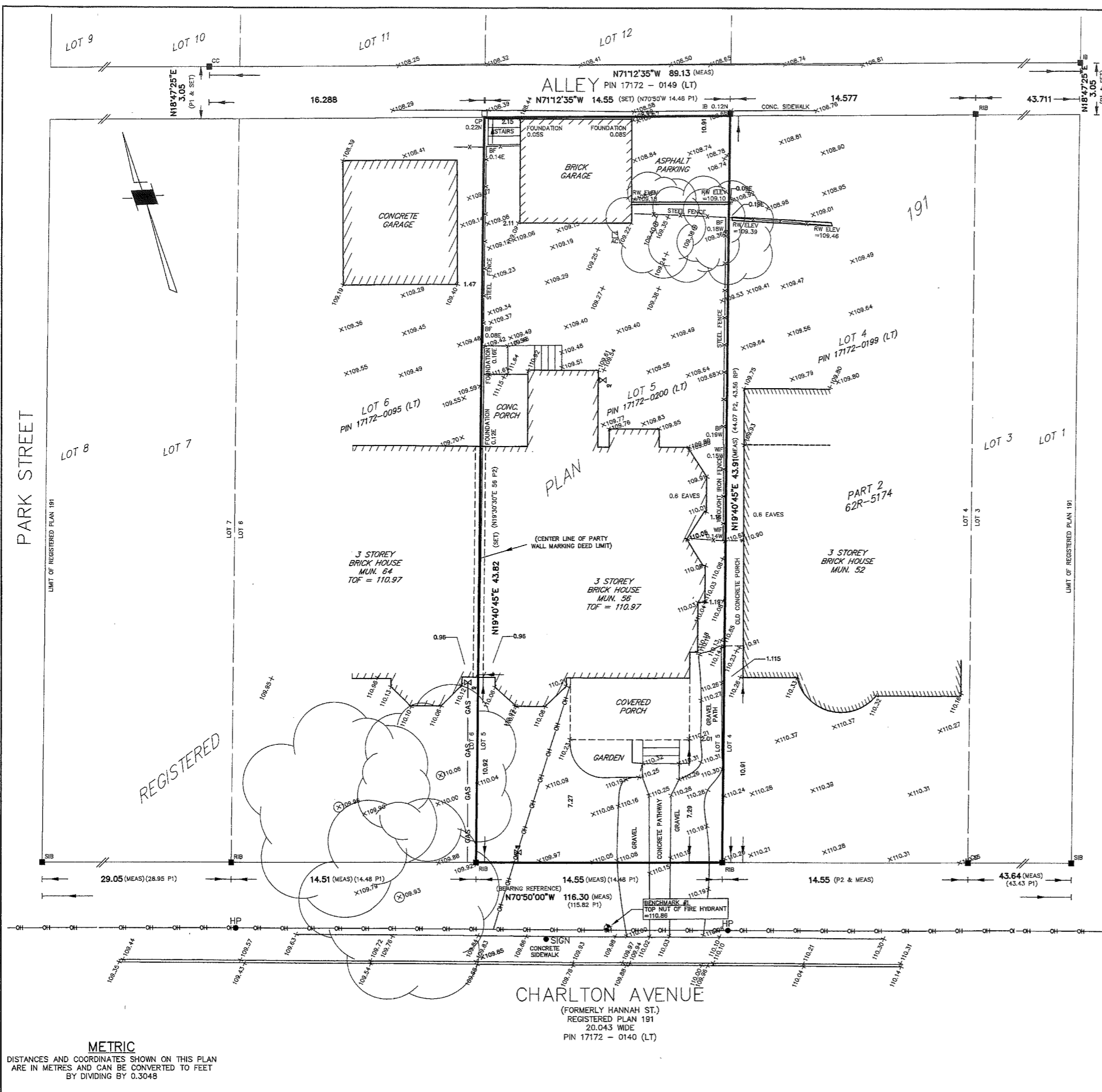
DATE APR 6/23

DAVID J. RAITHYBY, OLS
McKECHNIE SURVEYING LTD.

DRAWN BY C.O. CHECKED BY D.J.R. FILE NO. 23-024

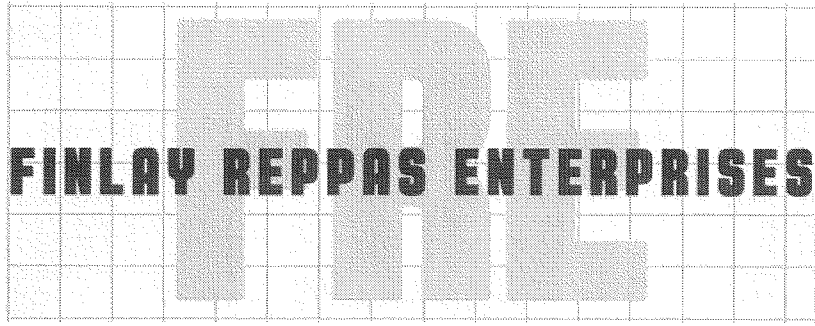


FIELD: 2023\BASE_GROUND
CADD: 2023-024_TOPO_Ab
85 MAINTYRE DRIVE
KITCHENER, ONTARIO
N2R 1H6
TEL : (519) 578-5570
email : plans@kwsurveys.ca



METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET
BY DIVIDING BY 0.3048

23-024



March 7, 2023

To Whom it may concern,

We the owners of 56 Charlton Ave West, Hamilton ON, L8P 2C1 would like to state for the record that the intent for the detached building located at the rear of the property is for storage.

Please do not hesitate to contact us if there are any questions or concerns.

Yours truly,

Liam Finlay

Email: liamcfinlay@gmail.com
Phone: 905 818 9254

Christina Reppas-Rindlisbacher

Email: christina.reppas@gmail.com
Phone : 647 624 6852

Certificate of Incorporation

Certificat de constitution

Business Corporations Act

Loi sur les sociétés par actions

FINLAY REPPAS ENTERPRISES INC.

Corporation Name / Dénomination sociale

1000315437

Ontario Corporation Number / Numéro de société de l'Ontario

This is to certify that these articles are effective on

La présente vise à attester que ces statuts entreront en
vigueur le

September 19, 2022 / 19 septembre 2022

V. Quintanilla W.

Director / Directeur

Business Corporations Act / Loi sur les sociétés par actions

The Certificate of Incorporation is not complete
without the Articles of Incorporation.

Certified a true copy of the record of the
Ministry of Government and Consumer Services.

V. Quintanilla W.

Director/Registrar



Le certificat de constitution n'est pas complet s'il
ne contient pas les statuts constitutifs.

Copie certifiée conforme du dossier du
ministère des Services gouvernementaux et des
Services aux consommateurs.

V. Quintanilla W.

Directeur ou registrateur



Articles of Incorporation

Business Corporations Act

1. Corporation Name

FINLAY REPPAS ENTERPRISES INC.

2. Registered Office Address

95 Langford Ave., Toronto, Ontario, Canada, M4J 3E5

3. Number of Directors

Minimum/Maximum

Min 1 / Max 9

4. The first director(s) is/are:

Full Name

Liam Cole FINLAY

Resident Canadian

Yes

Address for Service

95 Langford Ave., Toronto, Ontario, Canada, M4J 3E5

Full Name

Christina REPPAS-RINDLISBACHER

Resident Canadian

Yes

Address for Service

95 Langford Ave., Toronto, Ontario, Canada, M4J 3E5

5. Restrictions, if any, on business the corporation may carry on or on powers the corporation may exercise. If none, enter "None":

None

The endorsed Articles of Incorporation are not complete without the Certificate of Incorporation.
Certified a true copy of the record of the Ministry of Government and Consumer Services.

V. Quintanilla W.

Director/Registrar, Ministry of Government and Consumer Services

6. The classes and any maximum number of shares that the corporation is authorized to issue:
The Corporation is authorized to issue an unlimited number of shares of one class designated as Common shares.

7. Rights, privileges, restrictions and conditions (if any) attaching to each class of shares and directors' authority with respect to any class of shares which may be issued in series. If there is only one class of shares, enter "Not Applicable":
N/A

8. The issue, transfer or ownership of shares is/is not restricted and the restrictions (if any) are as follows. If none, enter "None":
The right to transfer shares of the Corporation shall be restricted in that no shareholder shall be entitled to transfer any share or shares in the capital of the Corporation except with the approval of: (a) the directors of the Corporation expressed in a resolution passed at a duly called meeting of the board of directors or by an instrument or instruments in writing signed by all of the directors of the Corporation entitled to vote on such resolution at a meeting of directors; or (b) the shareholders of the Corporation expressed in a resolution passed at a duly called meeting of the shareholders by the shareholders holding shares carrying more than 50% of votes for the election of directors or by an instrument or instruments in writing signed by all of the shareholders of the Corporation.

9. Other provisions, if any. Enter other provisions, or if no other provisions enter "None":
(1) The directors of the Corporation may from time to time on such terms as they deem expedient: (a) borrow money upon the credit of the Corporation; (b) issue, reissue, sell or pledge debt obligations of the Corporation; (c) charge, mortgage, hypothecate, pledge or otherwise create a security interest in any property of the Corporation, real or personal, or moveable or immovable, to secure any present or future indebtedness, liabilities or other obligations of the Corporation, by trust deed or in any other manner; (d) subject to the Business Corporations Act (Ontario), give a guarantee on behalf of the Corporation to secure performance of an obligation of any person; and (e) by resolution, delegate to one or more of the directors of the Corporation all or any of the foregoing powers. (2) The powers conferred on the directors and the Corporation in the preceding paragraphs are in addition to and not in substitution for any powers possessed by the Corporation and its directors independently of such provisions. (3) The right to transfer securities of the Corporation (other than non-convertible debt securities) shall be restricted in that no holder of such securities shall be entitled to transfer such securities except in accordance with restrictions on transfer contained in security holders' agreements or in the absence of any such restrictions: (a) with the approval of the directors of the Corporation expressed in a resolution passed at a duly called meeting of the board of directors or by an instrument or instruments in writing signed by all of the directors of the Corporation entitled to vote on such resolution at a meeting of directors; or (b) with the approval of the shareholders of the Corporation expressed in a resolution passed at a duly called meeting of the shareholders by the shareholders holding shares carrying more than 50% of votes for the election of directors or by an instrument or instruments in writing signed by all of the shareholders of the Corporation.

10. The name(s) and address(es) of incorporator(s) are:

Full Name

John C. PAPADAKIS

Address for Service

2 Queen Street East, Suite 1500, Toronto, Ontario, Canada, M5C 3G5

The endorsed Articles of Incorporation are not complete without the Certificate of Incorporation.
Certified a true copy of the record of the Ministry of Government and Consumer Services.

V. Quintanilla W.

Director/Registrar, Ministry of Government and Consumer Services

The articles have been properly executed by the required person(s).

The endorsed Articles of Incorporation are not complete without the Certificate of Incorporation.
Certified a true copy of the record of the Ministry of Government and Consumer Services.

V. Quintanilla W.

Director/Registrar, Ministry of Government and Consumer Services

Supporting Information - Nuans Report Information

Nuans Report Reference #

121697281

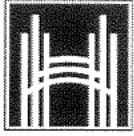
Nuans Report Date

September 19, 2022

The endorsed Articles of Incorporation are not complete without the Certificate of Incorporation.
Certified a true copy of the record of the Ministry of Government and Consumer Services.

V. Quintanilla W.

Director/Registrar, Ministry of Government and Consumer Services



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

Table with columns NAME and MAILING ADDRESS, and rows Registered Owners(s), Applicant(s), Agent or Solicitor. The content is redacted with a black box.

1.2 All correspondence should be sent to [checkbox] Purchaser [checkbox] Owner [checkbox checked] Applicant [checkbox checked] Agent/Solicitor

1.3 Sign should be sent to [checkbox] Purchaser [checkbox] Owner [checkbox checked] Applicant [checkbox checked] AgentSolicitor

1.4 Request for digital copy of sign [checkbox checked] Yes* [checkbox] No

If YES, provide email address where sign is to be sent [redacted]

1.5 All correspondence may be sent by email [checkbox checked] Yes* [checkbox] No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	56 CHARLTON AVE. WEST		
Assessment Roll Number			
Former Municipality	HAMILTON		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

MP
- TO PERMIT ONE (1) PARKING SPACE FOR A TWO FAMILY DWELLING INSTEAD OF THE REQ. TWO (2), ~~OPTION TO ALLOW A SMALLER 2ND PARKING SPACE (19' LENGTH RATHER THAN 40') IN THE REAR OF THE PROPERTY~~ - TO PERMIT THE ENCROACHMENT OF 2'7" (.78m) TO THE PROPERTY LINE FOR A STEEL STAIRCASE TO ACCESS THE 3RD FLOOR DWELLING INSTEAD OF THE REQ'D 3' (.9m) FROM THE PROPERTY LINE - TO PERMIT THE CONVERSION TO A TWO FAMILY DWELLING WITH A LOT WIDTH OF 47'9" (14.55m) INSTEAD OF THE REQ'D 59.06 (18m)

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

LOT SIZE IS SET AND NO ADDITIONAL ROOM TO CREATE THE REQUIRED PARKING SPACES AS WELL AS THE WIDTH REQUIREMENT FOR THE CONVERSION, LOT HAS NOT BEEN CHANGED - IN ORDER TO ACCESS 3RD UNIT, THE STEEL STAIRCASE CAN ONLY BE PLACED IN THIS AREA, AND NEEDS TO MEET MINIMUM WIDTH TO COMPLY WITH O.B.C.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
14.56m	43.84m	637.84m ²	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
LODGING HOUSE	7.35m	14.9m	1.18m	03/01/1896
CARRIAGE HOUSE (STORAGE)	37.59m	.08m	2.16m/5.79m	03/01/1896

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
TWO FAMILY DWELLING	7.35m	14.9m	1.18m	03/01/1896
STEEL STAIRCASE	6.24m	29.77m	.78m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
LODGING HOUSE	158m ²	559.7m ²	3	10.668m
CARRIAGE HOUSE (STORAGE)	39m ²	78m ²	2	5.5m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
TWO FAMILY DWELLING	158m ²	559.7m ²	3	10.668m
STEEL STAIRCASE	7.2m ²	7.2m ²	2	6.1m

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
SEMI DETACHED TWO FAMILY DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
MULTI UNIT, SINGLE FAMILY DWELLING, COMMERCIAL (LOW RISE)

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
DEC 20TH, 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
LODGING HOUSE

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
LODGING HOUSE

7.4 Length of time the existing uses of the subject property have continued:
SINCE 1961 - USE WAS NEVER CHANGED AFTER CITY SOLD THE PROPERTY

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) NEIGHBORHOODS

Please provide an explanation of how the application conforms with the Official Plan.

2 FAMILY DWELLING PROPOSED IN A AREA WITH MULTIPLE DWELLINGS.

7.6 What is the existing zoning of the subject land? _____

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No N/A.

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-