

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	HM/A-22:294	SUBJECT PROPERTY:	735 BEACH BOULEVARD, HAMILTON
ZONE:	"C" (Urban Protected Residential & Etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended 99-169

APPLICANTS: **Owner:** KEVIN & AMANDA WHITE
 Agent: BARICH GRENKIE SURVEYING LTD. C/O JULIANNA HRIBLJAN

The following variances are requested:

1. A minimum rear yard setback of 0.0 metres to the principle dwelling shall be provided instead of the required rear yard setback of 4.5 metres.
2. A side yard setback of 1.43 metres shall be provided instead of the required side yard setback of 1.7 metres.

PURPOSE & EFFECT: To permit the construction of a one and a half storey addition on the existing Single-Family Dwelling notwithstanding that:

Notes:

- i. Note, the requested variance for a reduced rear yard setback shall include setback requirements for both Section 9(3)(iii) and Zoning By-Law Amendment 99-169 Section 2. a). All buildings and structures, including the principle dwelling, shall be setback 0.0 metres from the rear lot line as per the requested variance.
- ii. Be advised, it is noted during the previous hearing that photo evidence was submitted indicating an addition to the principle dwelling located on the first floor. The drawings provided have not indicated the addition on Elevation Drawings or Floor Plan. As such, Zoning requirements cannot be determined should the drawings submitted not match the proposed work and additional variances may be required.
- iii. Should the variance be approved to permit a reduced side and rear yard, the eaves/ gutter as

proposed shall comply with Section 18(3)(vi)(b) of Hamilton Zoning By-Law 6593.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, May 18, 2023
TIME:	9:45 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-22:294, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: May 2, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

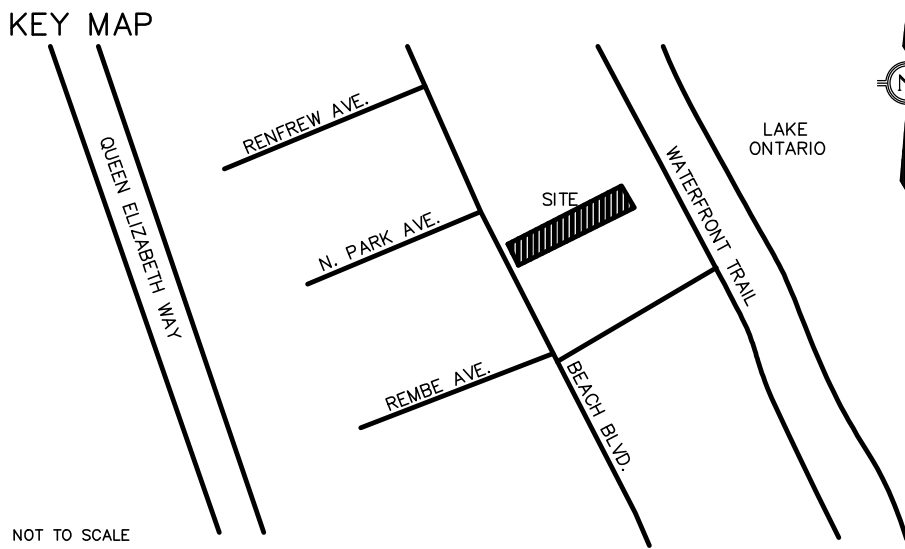
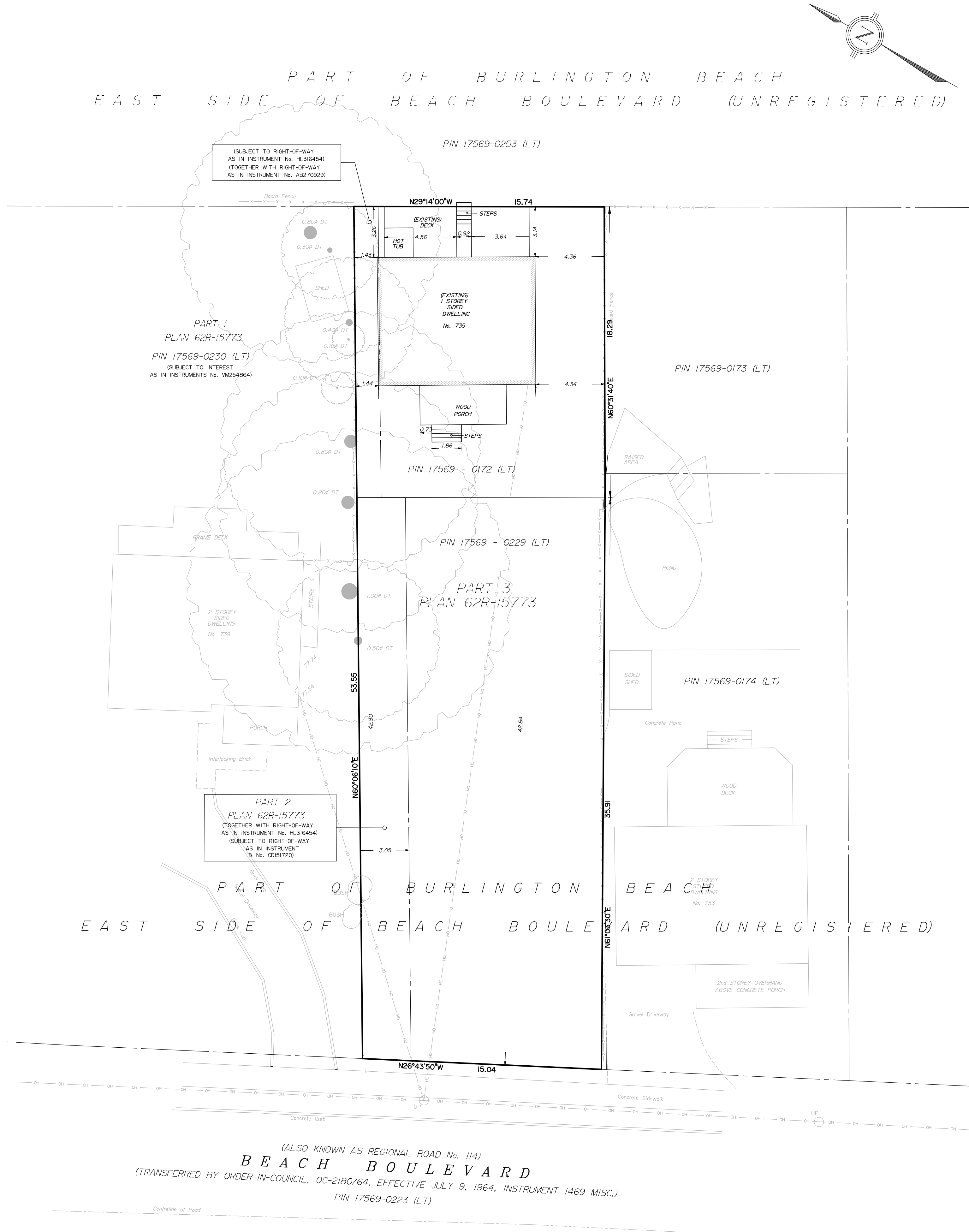
Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

MUNICIPAL ADDRESS		
735 BEACH BLVD. HAMILTON		
LEGAL DESCRIPTION		
PART OF BURLINGTON BEACH, EAST SIDE OF BEACH BOULEVARD (UNREGISTERED) CITY OF HAMILTON		
ZONING C/S-1435		
SITE STATISTICS	BYLAW	PROPOSED
LOT AREA	N/A	831.41 m ² (EX)
FRONT YARD SETBACK	6.0 m	42.30 m
REAR YARD SETBACK	4.5 m	0.00 m*
SIDE YARD SETBACK (NORTH)	1.7 m	1.43 m*
SIDE YARD SETBACK (SOUTH)	1.7 m	4.34 m
HEIGHT (PEAK OF ROOF)	11.0 m	6.27 m
LOT FRONTAGE	12.0 m	15.04 m (EX)
LOT COVERAGE	N/A	9.60%

* REQUIRES A MINOR VARIANCE WITH THE CITY OF HAMILTON



ADDRESS: 735 BEACH BLVD., HAMILTON

SITE PLAN FOR MINOR VARIANCE OF
PART OF BURLINGTON
BEACH EAST SIDE OF
BEACH BOULEVARD
(UNREGISTERED)
GEOGRAPHIC TOWNSHIP OF SALT FLEET
IN THE
CITY OF HAMILTON

BARICH GRENKIE SURVEYING LTD.
A DIVISION OF GEOMAPLE
© COPYRIGHT 2022

METRIC
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND	
DT	DENOTES DECIDUOUS TREE
---	DENOTES SUBJECT LANDS BOUNDARY
---	DENOTES DEED LINE
---	DENOTES LOT LINE
---	DENOTES FENCE LINE
N-E-S-W	DENOTES NORTH-EAST-SOUTH-WEST
•	DENOTES DOWN SPOUT WITH SPLASH PAD

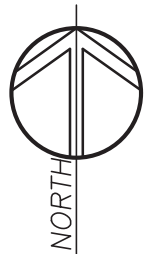
ELEVATION NOTE
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM
(CGVD-1928:1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK
No. 0011965U130 HAVING AN ELEVATION OF 76.487 m.

1	02/23/2023	JMH	AS PER CLIENT AND CITY REQUEST
0	02/17/2022	JMH	ISSUED FOR REVIEW
NO.	DATE	BY	REVISIONS
DESIGN	JMH	CHK'D	GRCH DATE
DRAWN	JMH	CHK'D	GRCH FEBRUARY 23, 2023
Scale 1:250			
5 0 5 10 15 METRES			

APPROVALS			
<div>Barich Grenkie Surveying Ltd. 301 HWY No. 8 (2nd FLOOR) - STONEY CREEK, ON (905) 882-6767</div>			STAMP <div>M. FATHI 10006843 FEB. 23, 2023 PROVINCE OF ONTARIO</div>
			DWN BY: JMH CHK BY: GRCH JOB No. 21-2819
CLIENT KEVIN AND AMANDA WHITE			
PROJECT NAME PROPOSED ADDITION AND DECK 735 BEACH BOULEVARD, HAMILTON			
TITLE SITE PLAN			
PROJECT No. 21-2819		DRAWING No. 21-2819 SGP	



KEY PLAN



LEGEND



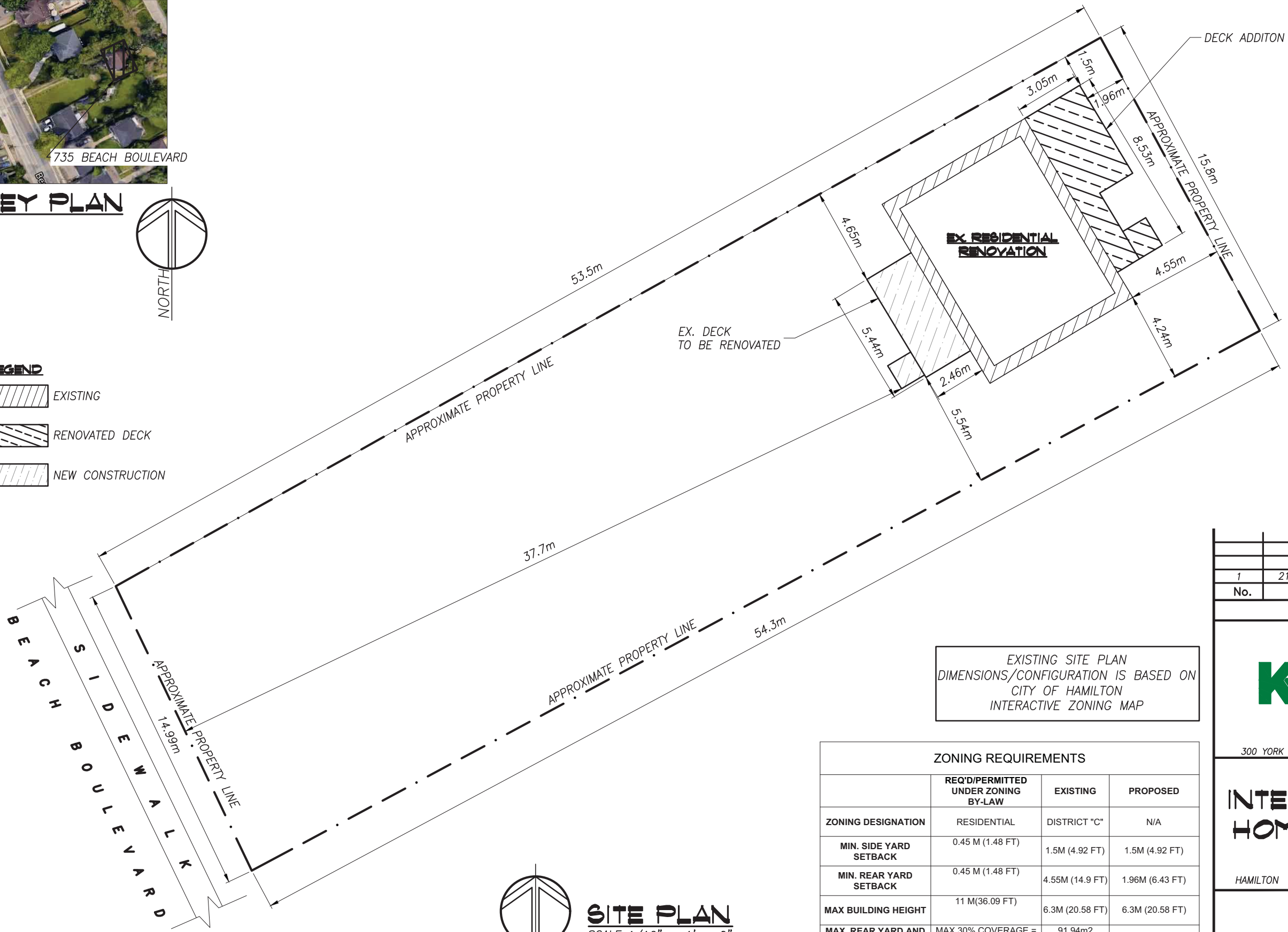
EXISTING



RENOVATED DECK

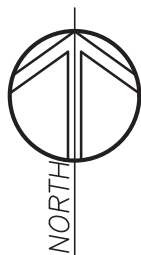


NEW CONSTRUCTION



SITE PLAN

SCALE: 1/16" = 1' - 0"



EXISTING SITE PLAN
DIMENSIONS/CONFIGURATION IS BASED ON
CITY OF HAMILTON
INTERACTIVE ZONING MAP

ZONING REQUIREMENTS			
	REQ'D/PERMITTED UNDER ZONING BY-LAW	EXISTING	PROPOSED
ZONING DESIGNATION	RESIDENTIAL	DISTRICT "C"	N/A
MIN. SIDE YARD SETBACK	0.45 M (1.48 FT)	1.5M (4.92 FT)	1.5M (4.92 FT)
MIN. REAR YARD SETBACK	0.45 M (1.48 FT)	4.55M (14.9 FT)	1.96M (6.43 FT)
MAX BUILDING HEIGHT	11 M(36.09 FT)	6.3M (20.58 FT)	6.3M (20.58 FT)
MAX. REAR YARD AND SIDE YARD COMBINED COVERAGE	MAX 30% COVERAGE = (830.94m2*0.3) = 249.28m2	91.94m2 (989.63 SQ. FT)	113.31m2 (1219.7 SQ. FT)



1	21/06/09	ISSUED FOR PERMIT
No.	DATE	REVISION
REVISIONS		
		
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119		
INTERIOR/EXTERIOR HOME RENOVATION		
735 BEACH BOULEVARD		
HAMILTON ONTARIO		
SITE PLAN		
DATE JUNE 2021	DRAWN BY JD	DRAWING No. SP.01
PROJECT No. 21127	CHECKED BY J.P.C.	

PLOT DATE: 2021/06/09 6:21 PM

Item	Ontario Building Code Data Matrix Parts 3 & 9								OBC Reference					
									References are to Division B unless noted (A) for Division A or (C) for Division C.					
1	Project description: PROPOSED RENOVATION					<input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Alteration			<input type="checkbox"/> Part 11 11.1 to 11.4		<input type="checkbox"/> Part 3 1.1.2.(A) 1.1.2.7. (A)		<input checked="" type="checkbox"/> Part 9 1.1.2.(A), 9.10.1.3 1.1.2.7. (A)	
2	Major Occupancy(s) GROUP C								3.1.2.1.(1)			9.10.2		
3	Building Area (m ²) Existing: 74.94m ² New:45.44m ² Total: 120.38m ²								1.4.1.2.(A)			1.4.1.2.(A)		
4	Gross Area Floor Area: 120.83m ²								1.4.1.2.(A)			1.4.1.2.(A)		
5	Number of Storeys Above Grade: 1.5 Below Grade: 1								3.2.1.1 &			9.10.4. &		
6	Number of Streets/Fire Fighter Access: 1 street								3.2.2.10 & 3.2.5.			9.10.20		
7	Building Classification C - Residential occupancies								3.2.2.20-.83			9.10.2		
8	Sprinkler System Proposed					<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required			3.2.2.20-.83 3.2.1.5 3.2.1.17 INDEX		9.10.8.2. INDEX			
9	Standpipe Required					<input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No			3.2.9		N/A			
10	Fire Alarm Required					<input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes No			3.2.4		9.10.18.			
11	Water Service/Supply is Adequate					<input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.2.5.7		N/A			
12	High Building					<input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No			3.2.6.		N/A			
13	Permitted Construction		<input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both					3.2.2.20-.83		9.10.6.				
	Actual Construction		<input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both											
14	Mezzanine(s) Area m ² N/A								3.2.1.1.(3)-(8)		9.10.4.1.			
15	Occupant load based on <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building <input type="checkbox"/> As Noted Occupancy <u>C</u> Load <u>6</u> persons								3.1.17		9.9.1.3.			
16	Barrier-free Design <input type="checkbox"/> Yes <input type="checkbox"/> No (Explain) <input checked="" type="checkbox"/> N/A								3.8		9.5.2			
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No								3.3.1.2. & 3.3.1.19		9.10.1.3(4)			
18	Required Fire Resistance Rating (FRR)		Horizontal Assemblies FFR			Listed Design No. of Description (SG-2)			3.2.2.20-.83 & 3.2.1.4		9.10.8 9.10.9			
			Floors N/A			N/A								
			Roof N/A			N/A								
			Mezzanine N/A			N/A								
			FFR of Supporting Members			Listed Design No. of Description (SG-2)								
			Floors N/A			N/A								
			Roof N/A			N/A								
			Mezzanine N/A			N/A								
19	Spatial Separation - Construction of Exterior Walls								3.2.3		9.10.14			
	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FFR (Hours)	Listed Design or	Comb. Const.	Comb. Const. Nonc. Cladding	Non-comb. Const.			
	FRONT	35.1	37.7	N/A	100%	10%	N/A	N/A	YES	-	-			
	REAR	56.4	4.55	N/A	28%	26.1%	N/A	N/A	YES	-	-			
	LEFT	42.32	1.5	N/A	7%	0%	N/A	N/A	YES	-	-			
	RIGHT	42.32	4.2	N/A	32%	19.6%	N/A	N/A	YES	-	-			

ZONING REQUIREMENTS			
	REQ'D/PERMITTED UNDER ZONING BY-LAW	EXISTING	PROPOSED
ZONING DESIGNATION	RESIDENTIAL	DISTRICT "C"	N/A
MIN. SIDE YARD SETBACK	0.45 M (1.48 FT)	1.5M (4.92 FT)	1.5M (4.92 FT)
MIN. REAR YARD SETBACK	0.45 M (1.48 FT)	4.55M (14.9 FT)	1.96M (6.43 FT)
MAX BUILDING HEIGHT	11 M(36.09 FT)	6.3M (20.58 FT)	6.3M (20.58 FT)
MAX. REAR YARD AND SIDE YARD COMBINED COVERAGE	MAX 30% COVERAGE = (830.94m2*0.3) = 249.28m2	91.94m2 (989.63 SQ. FT)	113.31m2 (1219.7 SQ. FT)

GLAZING CALCULATIONS

EXISTING BUILDING FACE:	145.26m ²
EXISTING GLAZING:	16.6m ²
% EX. GLAZING COVERAGE:	11.4%
PROPOSED BUILDING FACE:	176.14m ²
PROPOSED GLAZING:	20.63m ²
% PROPOSED GLAZING COVERAGE:	11.7%



1	21/06/09	ISSUED FOR PERMIT
No.	DATE	REVISION
R E V I S I O N S		
<div></div> <div>300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119</div>		
INTERIOR/EXTERIOR HOME RENOVATION		
735 BEACH BOULEVARD		
HAMILTON		ONTARIO
GENERAL NOTES		
DATE JUNE 2021	DRAWN BY JD	DRAWING No. S0.02
PROJECT No. 21127	CHECKED BY J.P.C.	

[illegible]

EXTEND ALL POSTS TO BEAMS/FOUNDATION
WALLS BELOW OR BLOCK AS REQUIRED

1	21/06/09	ISSUED FOR PERMIT
No.	DATE	REVISION
R E V I S I O N S		
		
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119		
<p>INTERIOR/EXTERIOR HOME RENOVATION</p> <p>735 BEACH BOULEVARD</p> <p>HAMILTON ONTARIO</p>		
<p>MAIN FLOOR FRAMING -BASEMENT PLAN</p>		
DATE JUNE 2021	DRAWN BY JD	DRAWING No.
PROJECT No. 21127	CHECKED BY J.P.C.	S1.01

PLOT DATE: 2021/06/09 6:22 PM

WINDOW SCHEDULE:

- W1 - EX. 55"x50" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING
- W2 - EX. 43"x30" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W3 - EX. 55"x30" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING
- W4 - EX. 43"x20" WINDOW TO REMAIN
EX. HEADER ADEQUATE TO REMAIN
- W5 - EX. 35"x27" WINDOW REMOVED
REPLACED W/ NEW 35"x27" WINDOW
NEW 2-2"x8" HEADER
- W6 - NEW 43"x48" WINDOW
NEW 2-2"x8" HEADER
- W7 - NEW 33"x22" WINDOW
NEW 2-2"x8" HEADER
- W8 - EX. 53"x95" WINDOW REMOVED
EX. HEADER TO BE REMOVED
- W9 - EX. 16"x16" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED
REPLACED W/ 48"x72" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR
TO HAVE MAX U-VALUE OF 0.28

DOOR SCHEDULE:

- D1 - NEW 48"x84" DOOR
NEW 2-2"x8" HEADER
- D2 - EX. 36"x84" DOOR TO BE INFILLED
EX. LINTEL TO BE REMOVED
- D3 - NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER
- D4 - EX. 36"x84" DOOR REMOVED
REPLACED W/ NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER TO SUIT NEW OPENING
- D5 - NEW 60"x60" SLIDING DOOR
NEW 2-2"x8" HEADER

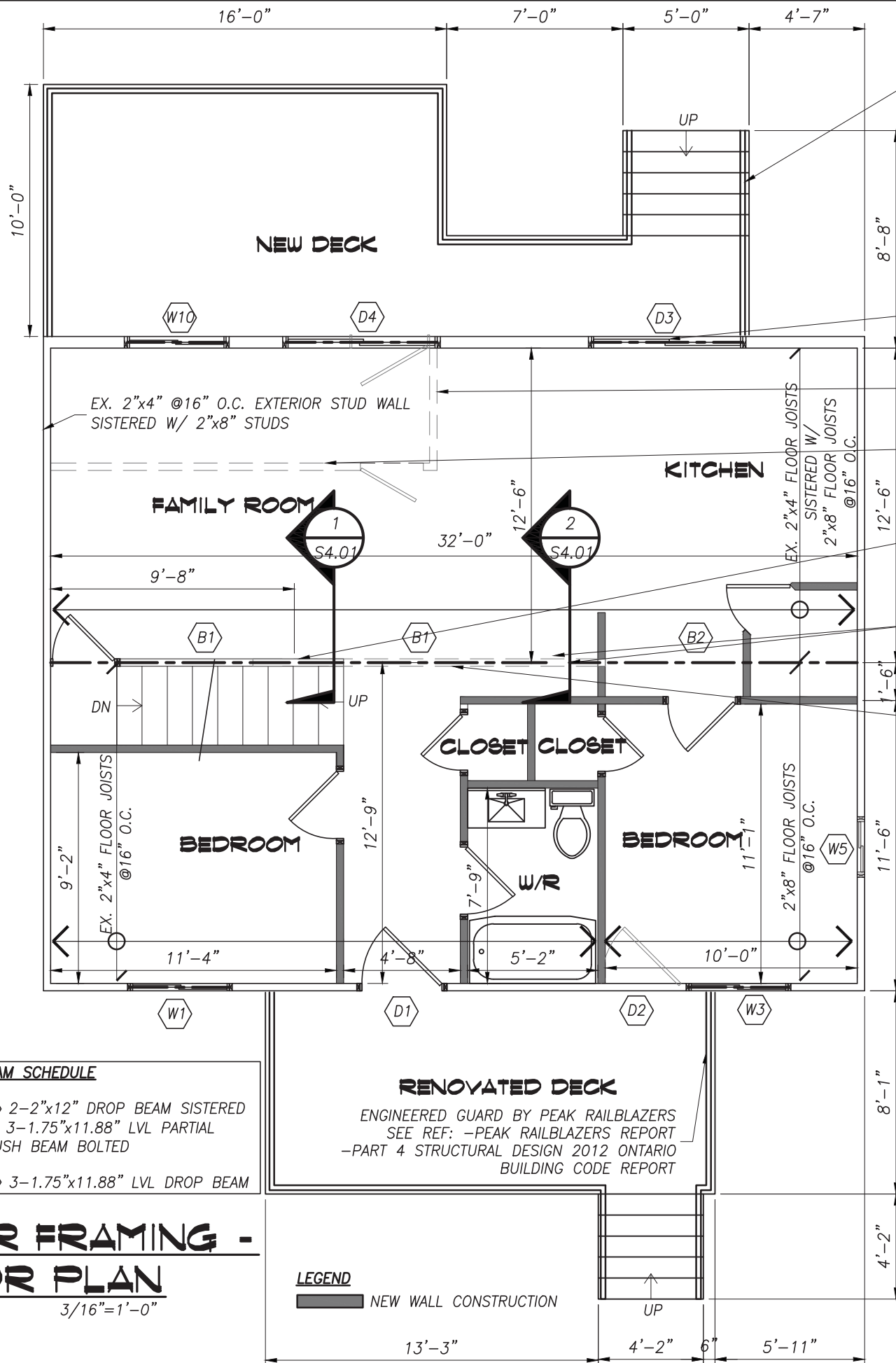
NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO
HAVE MAX U-VALUE OF 0.28

BEAM SCHEDULE

- B1 2-2"x12" DROP BEAM SISTERED
W/ 3-1.75"x11.88" LVL PARTIAL
FLUSH BEAM BOLTED
- B2 3-1.75"x11.88" LVL DROP BEAM

**SECOND FLOOR FRAMING -
MAIN FLOOR PLAN**

SCALE: 3/16"=1'-0"



ENGINEERED GUARD BY PEAK RAILBLAZERS
SEE REF: -PEAK RAILBLAZERS REPORT
-PART 4 STRUCTURAL DESIGN 2012
BUILDING CODE REPORT

EX. WINDOW TO BE REMOVED
NEW 70"x80" SLIDING DOOR C/W
2-2"x8" HEADER TO SUIT OPENING

EX. NON LOAD BEARING WALL
TO BE REMOVED

EX. LOAD BEARING WALL
TO BE REMOVED

3-2"x4" BUILT UP POST
PROVIDE SOLID BLOCKING BELOW

5-2"x4" BUILT UP POST
PROVIDE SOLID BLOCKING TO BEAM BELOW

EX. LOAD BEARING WALL
TO BE REMOVED



NOTE: GUARD DESIGN TO MEET OR
EXCEED
4.1.5.14(C) OF THE O.B.C.

(1) THE MINIMUM SPECIFIED
HORIZONTAL LOAD
APPLIED INWARD OR OUTWARD AT
THE MINIMUM
REQUIRED HEIGHT OF EVERY
REQUIRED GUARD
SHALL BE,

(C) 0.75KN/M OR A
CONCENTRATED LOAD OF 1.0KN
APPLIED AT ANY POINT, WHICHEVER
GOVERNS FOR
LOCATIONS OTHER THAN THOSE
DESCRIBED IN
CLAUSES (A) AND (B).

DESIGN LOADING:

MAIN FLOOR:
DEAD LOAD = 15 psf
LIVE LOAD = 40 psf

SECOND FLOOR:
DEAD LOAD = 15 psf
LIVE LOAD = 40 psf

ROOF LOAD (HAMILTON BELOW
ESCARPMENT EAST OF HWY 403)

Ss = 27.2 psf
Sr = 8.4 psf

No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

**INTERIOR/EXTERIOR
HOME RENOVATION**

735 BEACH BOULEVARD

HAMILTON

ONTARIO

**SECOND FLOOR
FRAMING-
MAIN FLOOR PLAN**

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S1.02
PROJECT No. 21127	CHECKED BY J.P.C.	

PLOT DATE: 2021/06/09 6:22 PM

WINDOW SCHEDULE:

- W1

EX. 55"x50" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING
- W2

EX. 43"x30" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W3

EX. 55"x30" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING
- W4

EX. 43"x20" WINDOW TO REMAIN
EX. HEADER ADEQUATE TO REMAIN
- W5

EX. 35"x27" WINDOW REMOVED
REPLACED W/ NEW 35"x27" WINDOW
NEW 2-2"x8" HEADER
- W6

NEW 43"x48" WINDOW
NEW 2-2"x8" HEADER
- W7

NEW 33"x22" WINDOW
NEW 2-2"x8" HEADER
- W8

EX. 53"x95" WINDOW REMOVED
EX. HEADER TO BE REMOVED
- W9

EX. 16"x16" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W10

EX. 63"x146" WINDOW REMOVED
REPLACED W/ 48"x72" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

DOOR SCHEDULE:

- D1

NEW 48"x84" DOOR
NEW 2-2"x8" HEADER
- D2

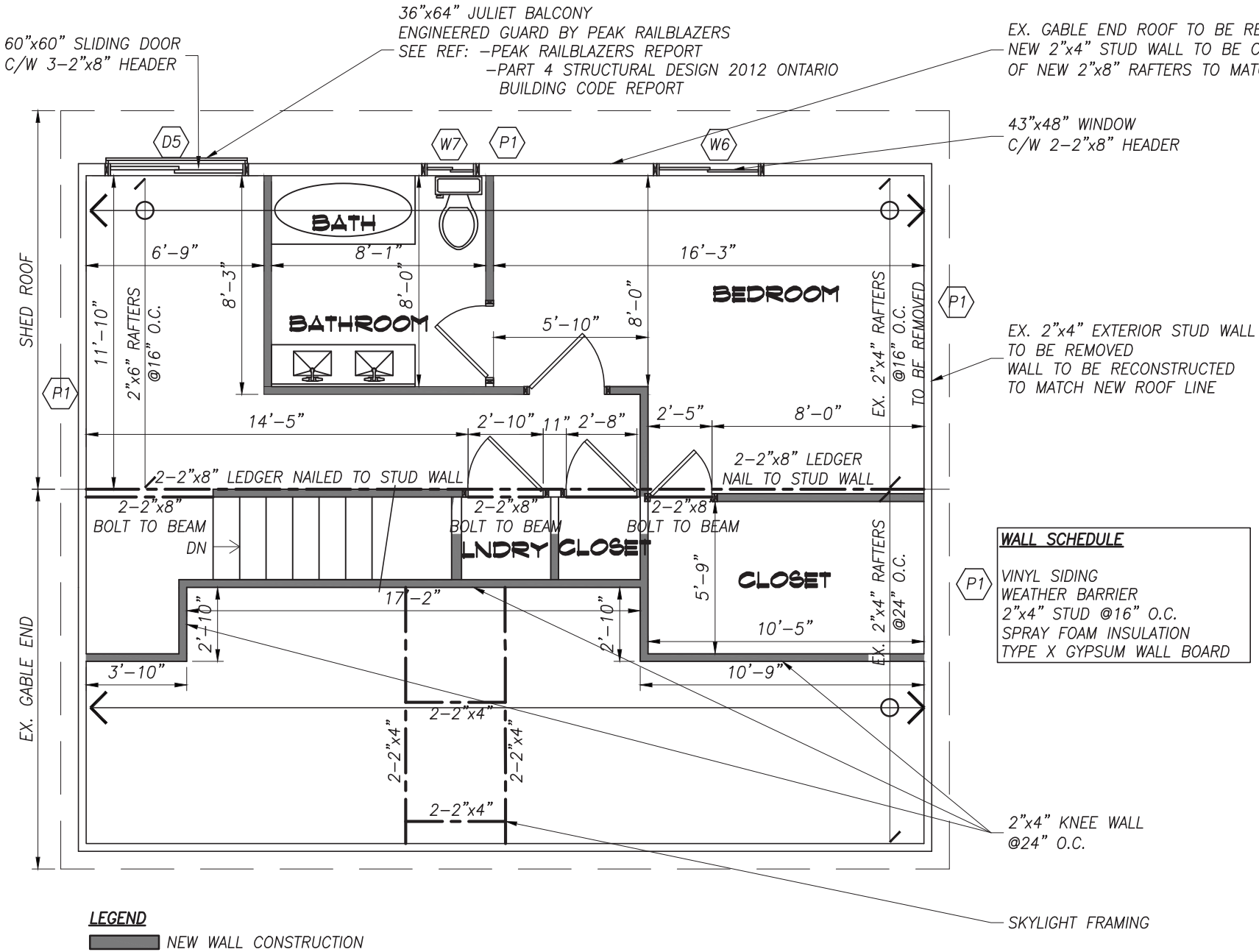
EX. 36"x84" DOOR TO BE INFILLED
EX. LINTEL TO BE REMOVED
- D3

NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER
- D4

EX. 36"x84" DOOR REMOVED
REPLACED W/ NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER TO SUIT NEW OPENING
- D5

NEW 60"x60" SLIDING DOOR
NEW 2-2"x8" HEADER

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28



1		
No.	DATE	REVISION
REVISIONS		
<div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div>		
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119		
INTERIOR/EXTERIOR HOME RENOVATION		
735 BEACH BOULEVARD HAMILTON ONTARIO		
ROOF FRAMING PLAN		
DATE JUNE 2021	DRAWN BY JD	DRAWING No. S1.03
PROJECT No. 21127	CHECKED BY J.P.C.	



PLOT DATE: 2021/06/09 6:23 PM

WINDOW SCHEDULE:

- W1 - EX. 55"x50" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING
- W2 - EX. 43"x30" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W3 - EX. 55"x30" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING
- W4 - EX. 43"x20" WINDOW TO REMAIN
EX. HEADER ADEQUATE TO REMAIN
- W5 - EX. 35"x27" WINDOW REMOVED
REPLACED W/ NEW 35"x27" WINDOW
NEW 2-2"x8" HEADER
- W6 - NEW 43"x48" WINDOW
NEW 2-2"x8" HEADER
- W7 - NEW 33"x22" WINDOW
NEW 2-2"x8" HEADER
- W8 - EX. 53"x95" WINDOW REMOVED
EX. HEADER TO BE REMOVED
- W9 - EX. 16"x16" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED
REPLACED W/ 48"x72" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR
TO HAVE MAX U-VALUE OF 0.28

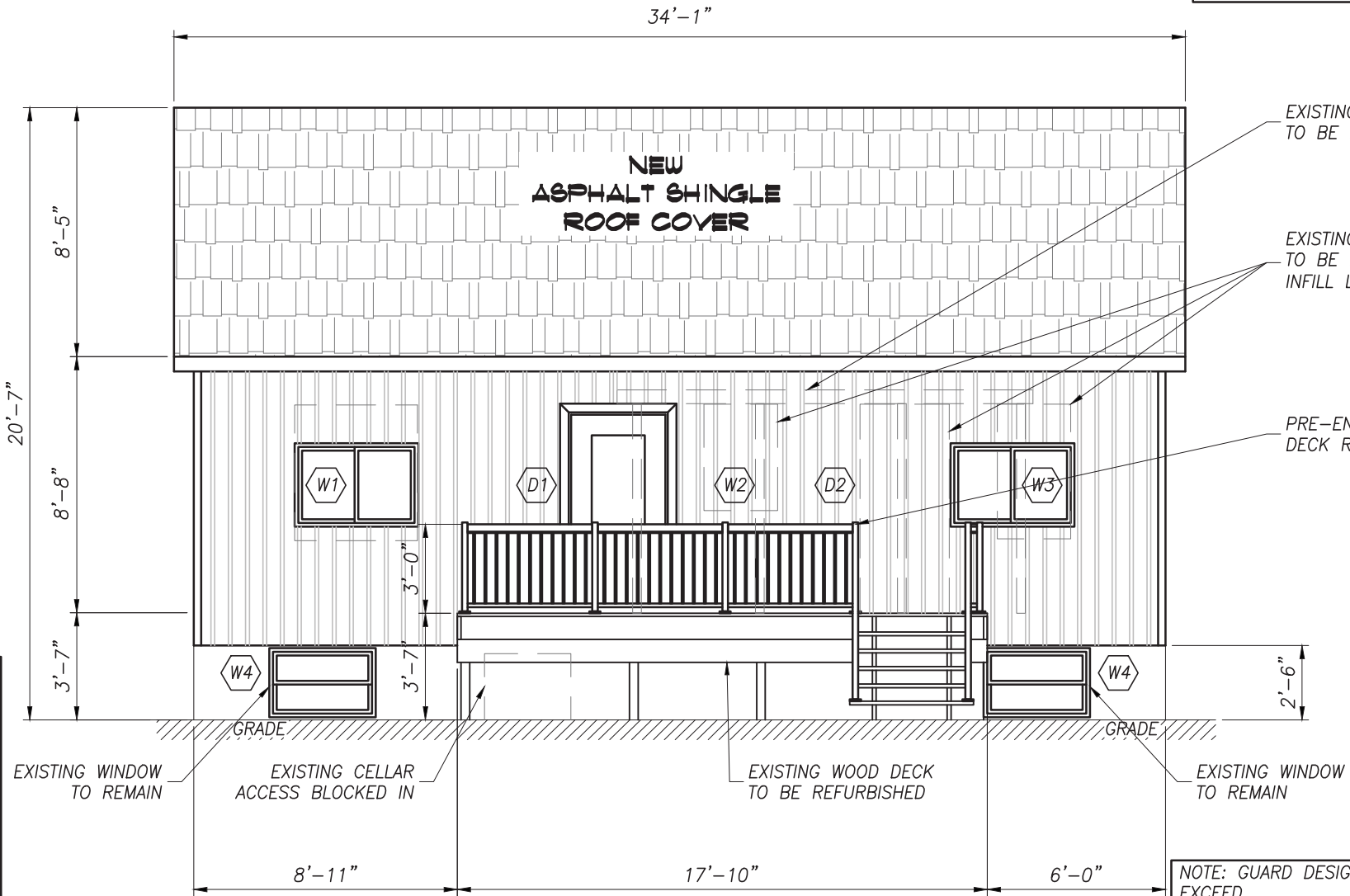
DOOR SCHEDULE:

- D1 - NEW 48"x84" DOOR
NEW 2-2"x8" HEADER
- D2 - EX. 36"x84" DOOR TO BE INFILLED
EX. LINTEL TO BE REMOVED
- D3 - NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER
- D4 - EX. 36"x84" DOOR REMOVED
REPLACED W/ NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER TO SUIT NEW OPENING
- D5 - NEW 60"x60" SLIDING DOOR
NEW 2-2"x8" HEADER

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO
HAVE MAX U-VALUE OF 0.28

GLAZING CALCULATIONS

EXISTING BUILDING FACE:	145.26m ²
EXISTING GLAZING:	16.6m ²
% EX. GLAZING COVERAGE:	11.4%
PROPOSED BUILDING FACE:	176.14m ²
PROPOSED GLAZING:	20.63m ²
% PROPOSED GLAZING COVERAGE:	11.7%



FRONT ELEVATION

SCALE: 3/16"=1'-0"

NOTE: GUARD DESIGN TO MEET OR EXCEED
4.1.5.14(C) OF THE O.B.C.

(1) THE MINIMUM SPECIFIED
HORIZONTAL LOAD
APPLIED INWARD OR OUTWARD AT
THE MINIMUM
REQUIRED HEIGHT OF EVERY
REQUIRED GUARD
SHALL BE,

(C) 0.75KN/M OR A
CONCENTRATED LOAD OF 1.0KN
APPLIED AT ANY POINT, WHICHEVER
GOVERNS FOR
LOCATIONS OTHER THAN THOSE
DESCRIBED IN
CLAUSES (A) AND (B).



1	21/06/09	ISSUED FOR PERMIT
No.	DATE	REVISION

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR
HOME RENOVATION

735 BEACH BOULEVARD

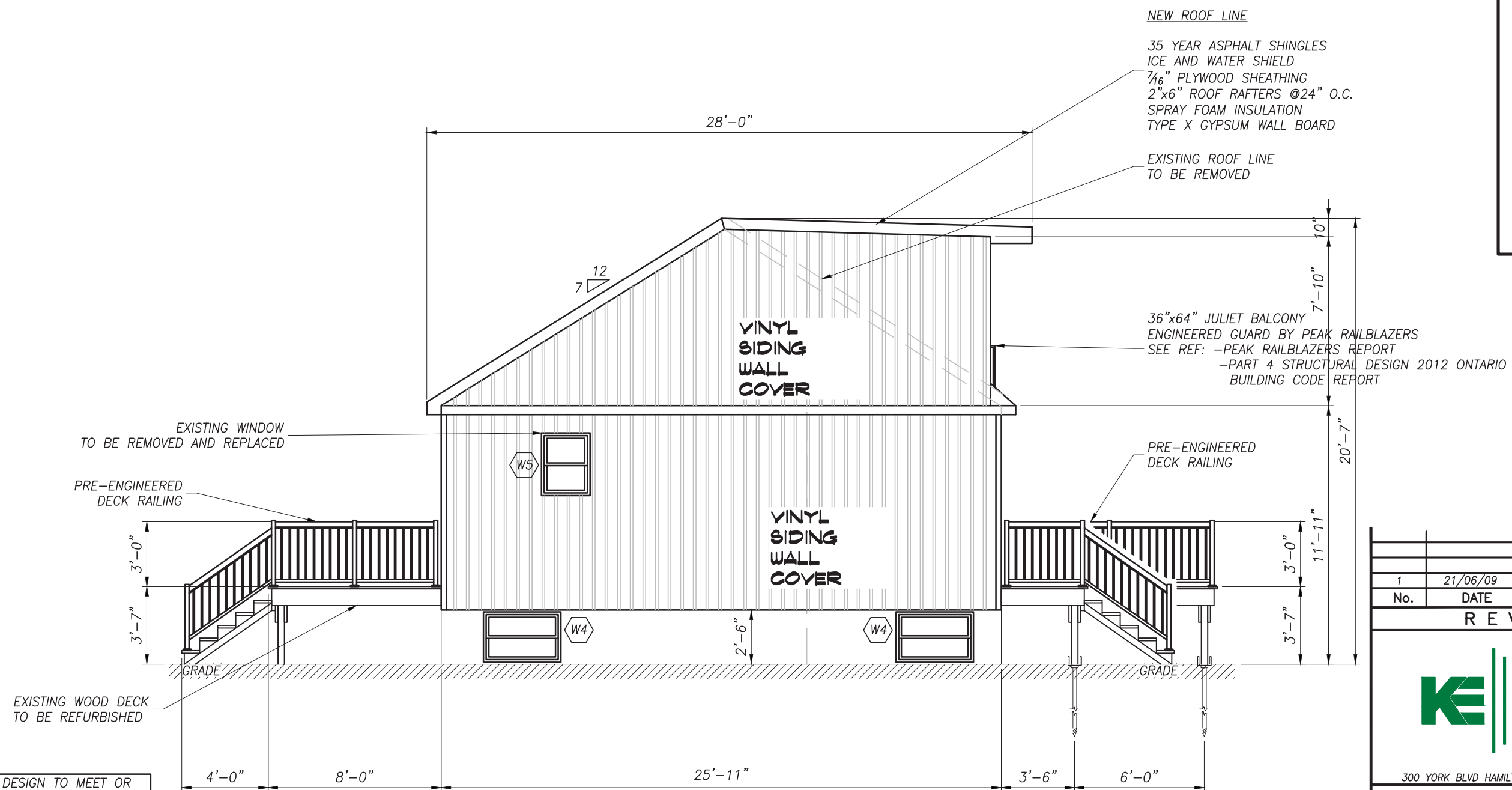
HAMILTON

ONTARIO

FRONT ELEVATION

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S2.01
PROJECT No. 21127	CHECKED BY J.P.C.	

PLOT DATE: 2021/06/09 6:23 PM



NOTE: GUARD DESIGN TO MEET OR EXCEED
4.1.5.14(C) OF THE O.B.C.

(1) THE MINIMUM SPECIFIED
HORIZONTAL LOAD
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CONCENTRATED LOAD OF 1.0KN
APPLIED AT ANY POINT, WHICHEVER
GOVERNS FOR
LOCATIONS OTHER THAN THOSE
DESCRIBED IN
CLAUSES (A) AND (B).

RIGHT ELEVATION

SCALE: $3/16'' = 1' - 0''$



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300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

HAMILTON






ONTARIO

LEFT ELEVATION

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S2.02
PROJECT No. 21127	CHECKED BY J.P.C.	

- W1 - EX. 55"x50" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING
- W2 - EX. 43"x30" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W3 - EX. 55"x30" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
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REPLACED W/ NEW 35"x27" WINDOW
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EX. HEADER TO BE REMOVED
- W9 - EX. 16"x16" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED
REPLACED W/ 48"x72" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING

DOOR SCHEDULE:

-  – NEW 48"x84" DOOR
NEW 2-2"x8" HEADER
-  – EX. 36"x84" DOOR TO BE INFILLED
EX. LINTEL TO BE REMOVED
-  – NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER
-  – EX. 36"x84" DOOR REMOVED
REPLACED W/ NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER TO SUIT NEW OPENING
-  – NEW 60"x60" SLIDING DOOR
NEW 2-2"x8" HEADER

34'-1"

32'-9"

36"x64" JULIET BALCONY
ENGINEERED GUARD BY PEAK RAILBLAZERS
SEE REF: -PEAK RAILBLAZERS
-PART 4 STRUCTURAL
BUILDING CODE REQUIREMENTS

EXISTING WINDOWS AND DOOR
TO BE REMOVED
INFILL LOCALLY W/ 2"x4" TO STAY
OPENING

PRE-ENGINEERED
DECK RAILING

POSTECH 3 1/2" PILE
HELICAL PILES
SEE PLAN FOR FACTORED LOAD

NOTE: GUARD DESIGN TO MEET OR

VINYL
SIDING
WALL
COVER

W6 W7 D5 W8 D3 W9 D4 W10

6'-0" MIN. DEPTH

2'-6"

GRADE

3'-0"

3'-7"

GRADE

4'-11" 4'-6" 8'-6" 4'-10" 4'-10" 4'-10" 1'-0"

REAR ELEVATION

SCALE: $3/16" = 1' - 0"$

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APPLIED AT ANY POINT, WHICHEVER
GOVERNS FOR
LOCATIONS OTHER THAN THOSE
DESCRIBED IN
CLAUSES (A) AND (B).

36"x64" JULIET BALCONY
ENGINEERED GUARD BY PEAK RAILBLAZERS
— SEE REF: —PEAK RAILBLAZERS REPORT
—PART 4 STRUCTURAL DESIGN 2012 ONTARIO
BUILDING CODE REPORT

EXISTING WINDOWS AND DOOR
TO BE REMOVED
INFILL LOCALLY W/ 2"x4" TO SUIT NEW WINDOW/DOOR
OPENING

PRE-ENGINEERED
DECK RAILING

POSTECH 3 1/2" PILE
— HELICAL PILES
SEE PLAN FOR FACTORED LOAD



1	21/06/09	ISSUED FOR PERMIT
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300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

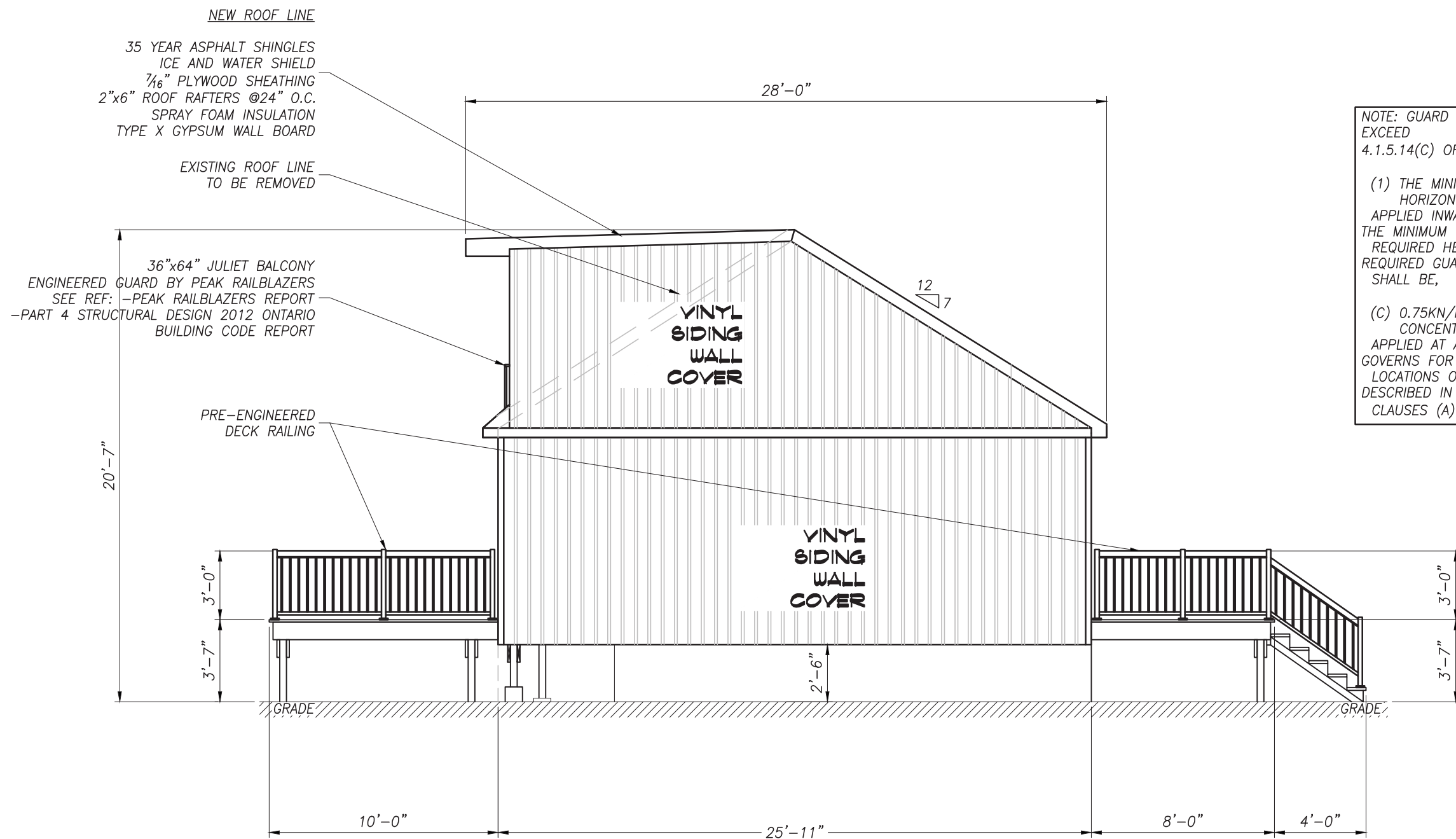
HAMILTON

ONTARIO

REAR ELEVATION

DATE <i>JUNE 2021</i>	DRAWN BY <i>JD</i>	DRAWING No. S2.03
PROJECT No. <i>21127</i>	CHECKED BY <i>J.P.C.</i>	

PLOT DATE: 2021/06/09 6:23 PM



NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

(1) THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE MINIMUM REQUIRED HEIGHT OF EVERY REQUIRED GUARD SHALL BE,

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LEFT ELEVATION

SCALE: 3/16"=1'-0"



1	21/06/09	ISSUED FOR PERMIT
No.	DATE	REVISION

REVISIONS

KALOS ENGINEERING

300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

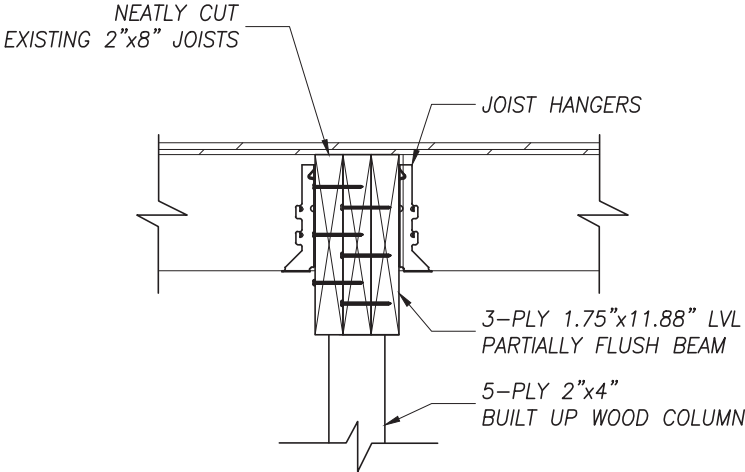
INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

HAMILTON ONTARIO

RIGHT ELEVATION

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S2.04
PROJECT No. 21127	CHECKED BY J.P.C.	

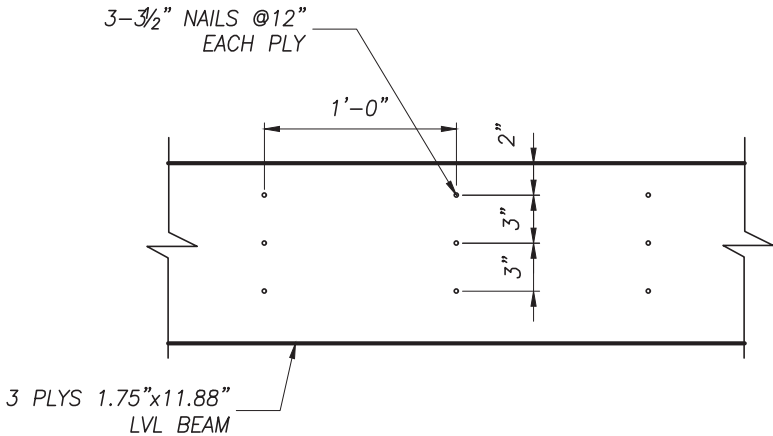


PARTIALLY FLUSH BEAM DETAIL

SCALE:

1"=1'-0"

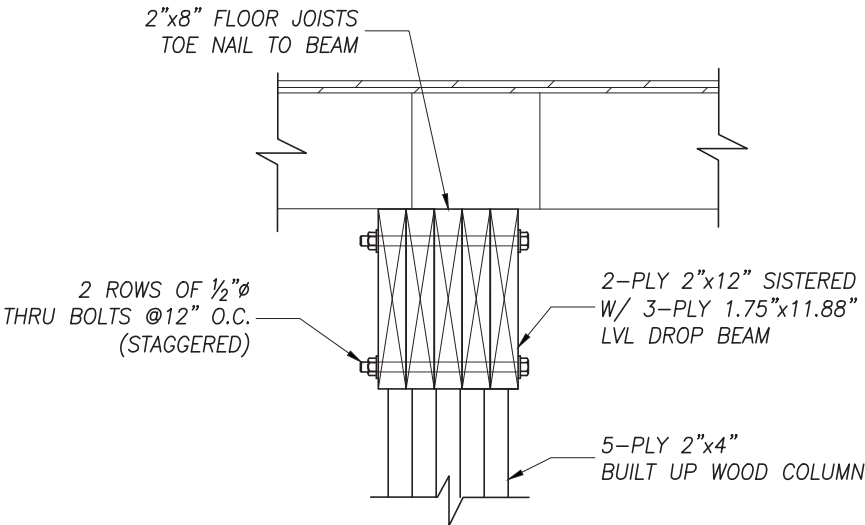
1
S1.02



BEAM NAILING PATTERN

SCALE:

1"=1'-0"

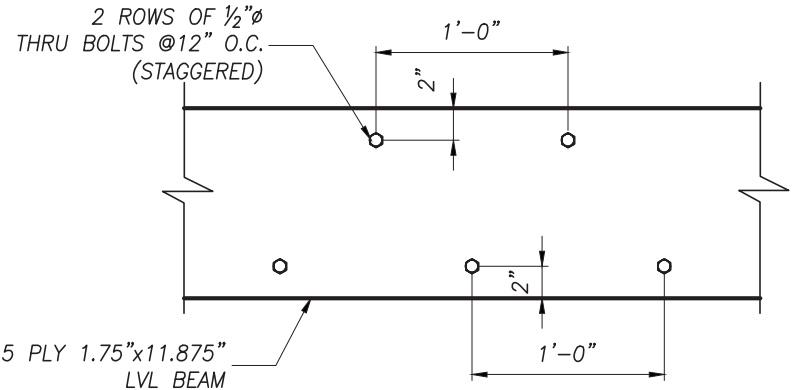


DROP BEAM DETAIL

SCALE:

1"=1'-0"

2
S1.01



BEAM BOLTING PATTERN

SCALE:

1"=1'-0"



No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR
HOME RENOVATION

735 BEACH BOULEVARD

HAMILTON

ONTARIO

SECTIONS

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S4.01
PROJECT No. 21127	CHECKED BY J.P.C.	

Report Of:

- **2014 Alberta Building Code - Part 9**
- **2012 British Columbia Building Code - Part 9**
- **2015 National Building Code of Canada - Part 9**
- **2012 Ontario Building Code - Part 9**

PLEASE CONTACT cofa@hamilton.ca for the remainder of the document.

WARNING

No representation or warranty is given that your particular application of these products complies with relevant building codes or that the fasteners provided or used are appropriate for your application. Therefore consult with professionals and local building officials before beginning work: (i) to ensure compliance with relevant building codes for your application and for your proposed use of fasteners; (ii) to ensure the integrity of the structural components in connection with which these products are to be used; (iii) to identify appropriate safety gear that is to be used during installation such as a safety harness when working above ground; (iv) to ensure that the work area is free from utilities, services and hazards; and, (v) to clarify any instructions or warnings that may not be clear. Work in a safe manner wearing protective gear such as gloves, eyewear, headwear, footwear and clothing. When using tools always comply with operation manuals and instructions. Metal and glass may have sharp edges and could fragment or splinter during or as a result of handling or cutting. Do not use these products in connection with any substance that is or may be harmful or corrosive to the products. Inspect and maintain these products and the structural components that they are used in connection with on a regular basis using professionals when appropriate. These instructions have been prepared for certain standard residential applications. Obtain professional advice for any non-standard or non-residential application.

Report Of:

- **2012 Ontario Building Code - Part 4**

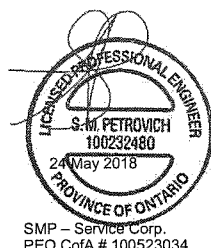
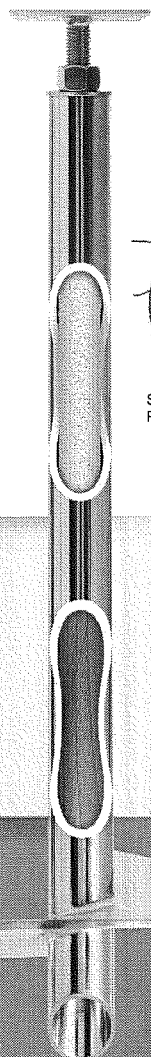
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TECHNICAL DATA SHEET POSTECH PILE P312 (3 1/2")



CCMC
13102-R



NORMATIVE INFORMATION

Postech products are approved by the Canadian Construction Materials Centre (CCMC 13102-R). They were tested on-site by an engineering firm recognized by the CCMC. The technical evaluation indicates that Postech products respect the requirements of the CCMC guidelines for augered steel piles. Their performance is equivalent or superior to prescribed NBC 2010 standards.

MANUFACTURER:

Pieux Vistech - Postech Screw Piles
10260, Bourque boulevard
Sherbrooke QC J1N 0G2
Tel. : 819.843.3003
Toll free: 1.866.277.4389
Fax : 819.868.0793
postech-foundations.com

PRODUCT CHARACTERISTICS

Physical and Chemical properties

STEEL GRADE	Conform to CAN/CSA G40.21-350W and/or ASTM A500 class C
ARC WELDING	Conform to CSA W59-13
HOT DIP GALVANIZATION	Conform to ASTM-A123M
THERMAL INSULATION	Unique polyurethane foam
Standard characteristics	
TUBING DIAMETER	89 mm (3 1/2 in)
BLADE DIAMETER	From 255 to 455 mm (10 in to 18 in)
TUBING LENGTH	Standard of 2.1 m and 3 m (7 ft. and 10 ft.)
TUBING THICKNESS	5.5 mm (0.216 in)
BLADE THICKNESS	9.5 mm (3/8 in) for diameter from 10 to 14 in. 12.7 mm (1/2 in) for diameter from 16 to 18 in
ADAPTER HEADS	Various forms as needed according to the project specifications
EXTENSIONS	Available according to project specifications

ALLOWABLE MECHANICAL RESISTANCE (SLS)

MAXIMUM COMPRESSIVE AND TENSILE OF TUBING	270 kN
BENDING MOMENT OF TUBING	7.9 kN.m

SLS = Service Limit State

DESIGN INFORMATION

BEARING CAPACITY

Postech products are designed to bear compressive, tension and lateral loads through the blade at the bottom of the shaft. The design of the shaft and the size of the blade depend on the load and on the bearing capacity of the soil. The monitoring of the applied torque on site allows for the confirmation of the allowable bearing capacity (SLS) of the soil.

THERMAL INSULATION

Postech products are insulated by a process of injecting polyurethane foam in the piles shaft. The revolutionary insulation system ensures that the inside of the pile is maintained at a temperature that will prevent ice or frost build-up at the base of the pile; providing optimal protection against ground motion using our planet's heat.

SCREW PILE ADVANTAGES

- Product and installation is supplied, you only need to mark the spot!
- Can be installed in all climates, weather or ground conditions;
- No excavation usually required, minimal impact to your property;
- No waiting time, you can build as soon as the installation is ready;
- Reusable and recyclable, environmentally friendly;
- Can be installed under an existing structure;
- The most reliable & economical solution available.



TECHNICAL DATA SHEET POSTECH PILE P312 (3 1/2")



COHESIONLESS SOILS (SILT, SAND OR GRAVEL)

ALLOWABLE LOADS (SLS) DEPENDING ON APPLIED TORQUES

APPLIED TORQUES (LB-FT)	ALLOWABLE LOADS (kN)	
	COMPRESSIVE	TENSILE
500	20	4
750	24	8
1000	29	11
1250	34	14
1500	39	18
1750	44	21
2000	49	25
2250	53	31
2500	58	31
2750	63	35
3000	68	40
3250	73	44
3500	78	48
3750	82	50
4000	87	52
4250	92	54
4500	97	56
4750	102	58
5000	107	60
5250	112	62
5500	116	64
5750	121	66
6000	126	68

ALLOWABLE LOADS (SLS) DEPENDING ON SOIL DENSITIES

SOIL DENSITIES	ALLOWABLE LATERAL LOADS (kN)
kN / m ³	P312
18	5.0
20	5.6
22	6.2

Technical Notes

- For cohesionless soils, the safety factor varies from 2.0 to 3.0 in compressive loads and from 2.0 to 2.4 in tensile loads.
- The safety factor for the lateral loads varies from 2.0 to 6.4, for cohesionless and cohesive soils.
- If there are any boulders (> 200 mm in diameter) in the granular matrix, the above mentioned capacities will be overstated. In this case, the allowable loads will be established on-site using a confirmatory test.

SLS = Service Limit State



SMP - Service Corp.
PEO CoFA # 100523034

CCMC
13102-R



NORMATIVE INFORMATION

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MANUFACTURER:

Pieux Vistech - Postech Screw Piles
10260, Bourque boulevard
Sherbrooke QC J1N 0G2
Tel. : 819.843.3003
Toll free: 1.866.277.4389
Fax. : 819.868.0793
postech-foundations.com



TECHNICAL DATA SHEET POSTECH PILE P312 (3 1/2")



ALLOWABLE LOAD VALUES OF POSTECH SCREW PILES

The geotechnical calculations for Postech's screw piles were carried out in accordance with the requirements of sub-section 4.2.4 of National Building Code (NBC). We used the design methods set out in Chapters 19 and 20 of the Canadian Foundation Engineering Manual (CFEM). These calculations are based on the physical and mechanical properties of the on-site at the blade depth and along the steel tubing.

ALLOWABLE LOADS (SLS) – COHESIVE SOILS (CLAY)

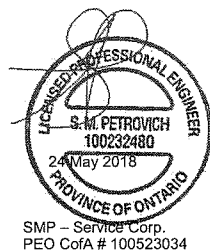
Undrained shear strengths (kPa)	Allowable bearing capacities of soils (kPa)*	ALLOWABLE LOADS (kN)									
		Blade 255 mm Ø (10" Ø)		Blade 300 mm Ø (12" Ø)		Blade 355 mm Ø (14" Ø)		Blade 405 mm Ø (16" Ø)		Blade 455 mm Ø (18" Ø)	
		C	T	C	T	C	T	C	T	C	T
C=compressive, T=tensile											
30	50	8	6	11	7	15	10	20	12	25	15
44	75	11	8	16	11	22	14	29	18	36	22
58	100	15	11	21	14	29	19	38	24	48	29
73	125	19	14	26	18	37	23	48	30	60	36
88	150	23	17	32	21	44	28	58	36	73	44
102	175	27	19	37	25	51	33	67	41	84	51
117	200	30	22	42	28	59	38	77	47	97	58
145	250	38	27	52	35	73	47	95	59	120	72
≥175	≥300	46	33	63	42	88	56	115	71	145	87

ALLOWABLE LOADS (SLS) – COHESIONLESS SOILS (SILT, SAND OR GRAVEL)

Compaction indexes N	Allowable bearing capacities of soils (kPa)*	ALLOWABLE LOADS (kN)									
		Blade 255 mm Ø (10" Ø)		Blade 300 mm Ø (12" Ø)		Blade 355 mm Ø (14" Ø)		Blade 405 mm Ø (16" Ø)		Blade 455 mm Ø (18" Ø)	
		C	T	C	T	C	T	C	T	C	T
C=compressive, T=tensile											
3	50	6	4	8	6	11	8	15	11	19	14
5	75	10	7	14	10	19	14	25	18	31	23
6	100	12	9	16	12	23	17	30	22	37	27
8	125	16	11	22	16	30	22	39	29	50	36
10	150	20	14	27	20	38	28	49	36	62	46
11	175	21	16	30	22	42	30	54	40	68	50
13	200	25	19	35	26	49	38	64	47	81	59
16	250	31	23	43	32	60	44	79	58	99	73
20	300	39	29	54	40	76	55	98	72	124	91
≥25	≥ 350	49	36	68	50	95	69	123	90	155	114

* Note: For a conventional strip footing with a width of less than 1 m.

SLS = Service Limit State



SMP – Service Corp.
PEO CoA # 100523034

CCMC
13102-R



NORMATIVE INFORMATION

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COHESIVE SOILS (CLAY)

ALLOWABLE LOADS (SLS) DEPENDING ON APPLIED TORQUES

APPLIED TORQUES (LB-FT)	ALLOWABLE LOADS (kN)	
	COMPRESSIVE	TENSILE
750	8	6
1000	11	8
1250	14	10
1500	17	12
1750	19	14
2000	22	16
2250	25	19
2500	28	21
2750	31	23
3000	33	25
3250	36	27
3500	39	29
3750	42	32
4000	44	34
4250	47	36
4500	50	38



CCMC
13102-R



NORMATIVE INFORMATION

Postech products are approved by the Canadian Construction Materials Centre (CCMC 13102-R). They were tested on-site by an engineering firm recognized by the CCMC. The technical evaluation indicates that Postech products respect the requirements of the CCMC guidelines for augered steel piles. Their performance is equivalent or superior to prescribed NBC 2010 standards.

MANUFACTURER:

Pieux Vistech - Postech Screw Piles
10260, Bourque boulevard
Sherbrooke QC J1N 0G2
Tel. : 819.843.3003
Toll free: 1.866.277.4389
Fax. : 819.868.0793
postech-foundations.com

ALLOWABLE LOADS (SLS) DEPENDING ON SOIL DENSITIES

SOIL DENSITY	ALLOWABLE LATERAL LOAD (kN)
kN/m3	P312
16	4.5

SLS = Service Limit State

Notes techniques

- For cohesive soils, the safety factor varies from 2.0 to 2.9 in compressive and in tensile loads.
- The safety factor for the lateral loads varies from 2.0 to 6.4, for cohesionless and cohesive soils.
- If there are any boulders (> 200 mm in diameter) in the granular matrix, the above mentioned capacities will be overstated. In this case, the allowable loads will have to be established on-site using a confirmatory test.

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Mortgage for the property is with:
CIBC
1273 Barton St, E.
Hamilton, ON. L8H 2V4

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4.

Nature and extent of relief applied for:

The existing dwelling has had a second storey addition and would need the following minor variances: rear yard setback - 0.0m side yard setback - 1.43m

☐ Second Dwelling Unit

☒ Reconstruction of Existing Dwelling

5.

Why it is not possible to comply with the provisions of the By-law?

The existing dwelling did not comply with the zoning by-law, previously to work being done on it. The owners have added a second storey to the house. By keeping inline with the first floor of the house the second floor does not meet the minimum setbacks.

6.

Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Part of Burlington Beach East Side of Beach Boulevard (Unregistered)

735 Beach Boulevard, Hamilton

7.

PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

8.1

If Industrial or Commercial, specify use _____

8.2

Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

8.3

Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4

Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5

Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6

Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7

Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8

Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

8.9

If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

APPLICATION FOR A MINOR VARIANCE (January 1, 2022)

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13. Date of acquisition of subject lands:
March 2020
14. Date of construction of all buildings and structures on subject lands:
Originally constructed in 1950, 1/2 storey was built in July 2020
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single family dwelling
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family dwellings on all abutting properties.
17. Length of time the existing uses of the subject property have continued:
70+ years
18. Municipal services available: (check the appropriate space or spaces)
Water ☒ Connected ☒
Sanitary Sewer ☒ Connected ☒
Storm Sewers ☐
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
C/S-1435
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
☐ Yes ☒ No
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
☐ Yes ☐ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

3. It is hereby acknowledged that if the deposit required pursuant to section 2 of this Agreement is not paid by the Developer the City shall have the option, at its sole discretion, of taking no further steps in supporting the Developer's application before the Ontario Land Tribunal.
4. It is hereby acknowledged that all expenses shall be paid for by the Developer. The Developer shall reimburse the City for all expenses the City may be put to in respect of the application upon demand.
5. It is hereby acknowledged and agreed that all expenses shall be payable by the Developer whether or not the Developer is successful before the Ontario Land Tribunal or any other tribunal or Court in obtaining approval for their application.
6. The City shall provide the Developer with copies of all invoices of external legal counsel or consultants included in the expenses claimed by the City.
7. The City shall provide the Developer with an accounting of all staff costs and City disbursements included in the expenses claimed by the City.
8. The City may, at any time, draw upon the funds deposited in accordance with sections 2 and 9 of this Agreement to satisfy expenses incurred pursuant to the appeal of the application.
9. In the event that the amount deposited pursuant to section 2 of this Agreement is reduced to less than 10% of the initial deposit, the City may halt all work in respect of the appeal of the application until the Developer deposits with the City a sum sufficient to increase the deposit to an amount which is equal to 100% of the expenses estimated pursuant to paragraph 2 of this Agreement and still to be incurred by the City.
10. Within 60 days of: (a) a decision being rendering in respect of the appeal or any legal proceedings resulting from the decision, whichever is later; or (b) the termination of all legal proceedings in respect of the application, the City shall prepare and submit a final account to the Developer. If there are any deposit funds remaining with the City they shall be applied against the account. Any amount owing in respect of the final account in excess of deposit funds shall be paid by the Developer within 30 days of the date of the final account. If any deposit funds are remaining after the final account has been paid they shall be returned to the developer within 30 days of the date of the final account.
11. This Agreement shall not be construed as acceptance of the application and nothing herein shall require or be deemed to require the City to approve the application.
12. This Agreement shall not stand in lieu of or prejudice the rights of the City to require such further and other agreements in respect of the application that the City may deem necessary.
13. Every term, covenant, obligation and condition in this Agreement ensures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors, trustees and assigns.
14. When the context so requires or permits, the singular number is to be read as if the plural were expressed, and the masculine gender as if the feminine, as the case may be, were expressed; and,
15. This Agreement and the schedules hereto constitute the entire agreement between the parties in respect of the subject matter contained herein and is not subject to, or in addition to, any other agreements, warranties or understandings, whether written, oral or implied. This Agreement may not be modified or amended except by instrument in writing signed by the Developer and the City, and,
16. The waiver or acquiescence by the City of any default by the Developer under any obligation to comply with this Agreement shall not be deemed to be a waiver of that obligation or any subsequent or other default under this Agreement.

Schedule "A"
Description of Lands