



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	AN/A-23:96	SUBJECT PROPERTY:	1194 SCENIC DRIVE, ANCASTER
ZONE:	"R1-582" (Residential One)	ZONING BY-LAW:	Zoning By-law former Town of Ancaster 87-57, as Amended OMB 12-294

APPLICANTS: **Owner:** KULDIP & CINDY SWAN

The following variances are requested:

1. A maximum of 55 children for a Day Nursey shall be permitted instead of the maximum required 35 children for a Day Nursery;

PURPOSE & EFFECT: So as to permit an increase to the number of children within the existing Single Detached Dwelling with accessory Day Nursery notwithstanding that:

Notes:

1. Please be advised, the applicant has indicated that the total number of permitted classrooms, maximum of three, shall be maintained with the increase in number of children attending the Day Nursery. In addition, the applicant has also indicated an "open room" with a capacity for 8-9 children which is existing. As per OMB 12-294, only three (3) classrooms are permitted within the Single Detached Dwelling. Should the open room function or facilitate activities similar to a classroom, this shall not be permitted, and an additional variance may be required to permit the additional classroom.
2. Be advised, insufficient information has been provided to determine parking requirements relating to lot coverage and surface material. As per Section 7.14(a)(x), at-grade parking areas shall occupy not more than 35 percent of the total lot area and Section 7.14(a)(xii), all parking areas required for the accommodation of more than two vehicles shall be constructed with a stable surface of concrete or asphalt, shall have adequate drainage and shall be permanently maintained. It is unclear if the existing parking area is being increased to accommodate the proposed parking space, indicated as "D14". Should alterations to the existing parking area be proposed, all additional spaces shall be subject to the current requirements of the Zoning By-Law and shall require adequate stable

surfaces and shall not exceed 35% combined area of the total lot area. Additional variances may be required should compliance with Section 7.14 not be possible.

3. Note, the existing barrier free parking space has been indicated to have been removed however, a new parking space with dimensions 5.5 metres x 3.5 metres has been indicated to replace the existing tandem parking space. Should this space be intended to be a barrier free parking space, adequate signage shall be provided to indicate the barrier free space as per Section 7.14(a)(xvii). In addition, it is recommended that the barrier free space be free of any obstruction as to permit adequate ingress and egress to the space.

It is also noted that barrier free parking is not required for a Single Detached Dwelling within the R1 Zone, however should a barrier free parking space be proposed, the requirements of 7.14(a)(xvii) shall still apply as it relates to parking space dimensions and signage.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, May 18, 2023
TIME:	10:25 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

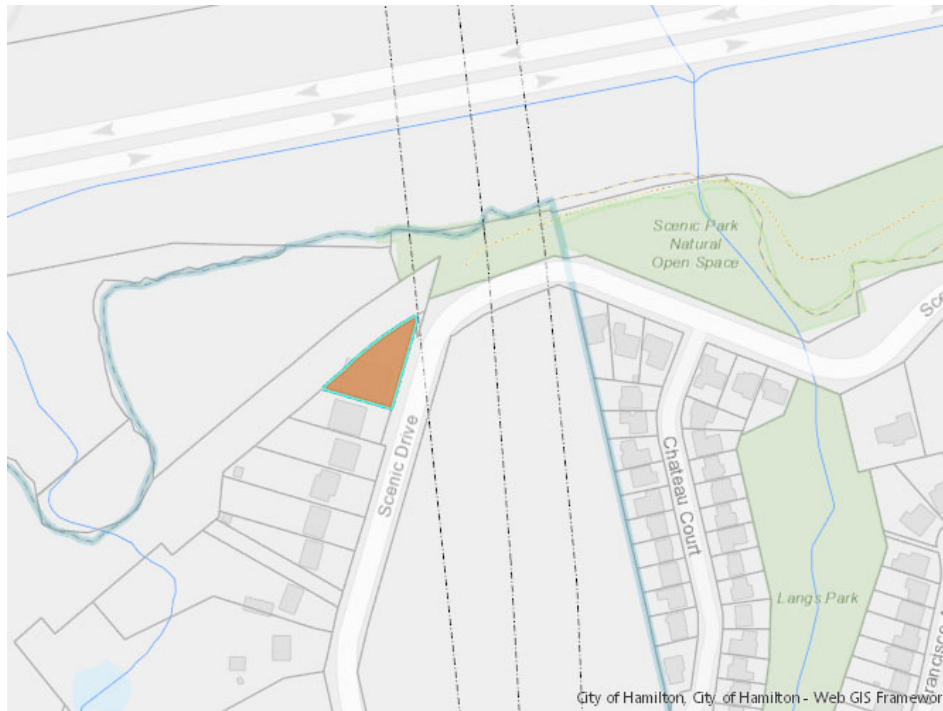
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding AN/A-23:96, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: May 2, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

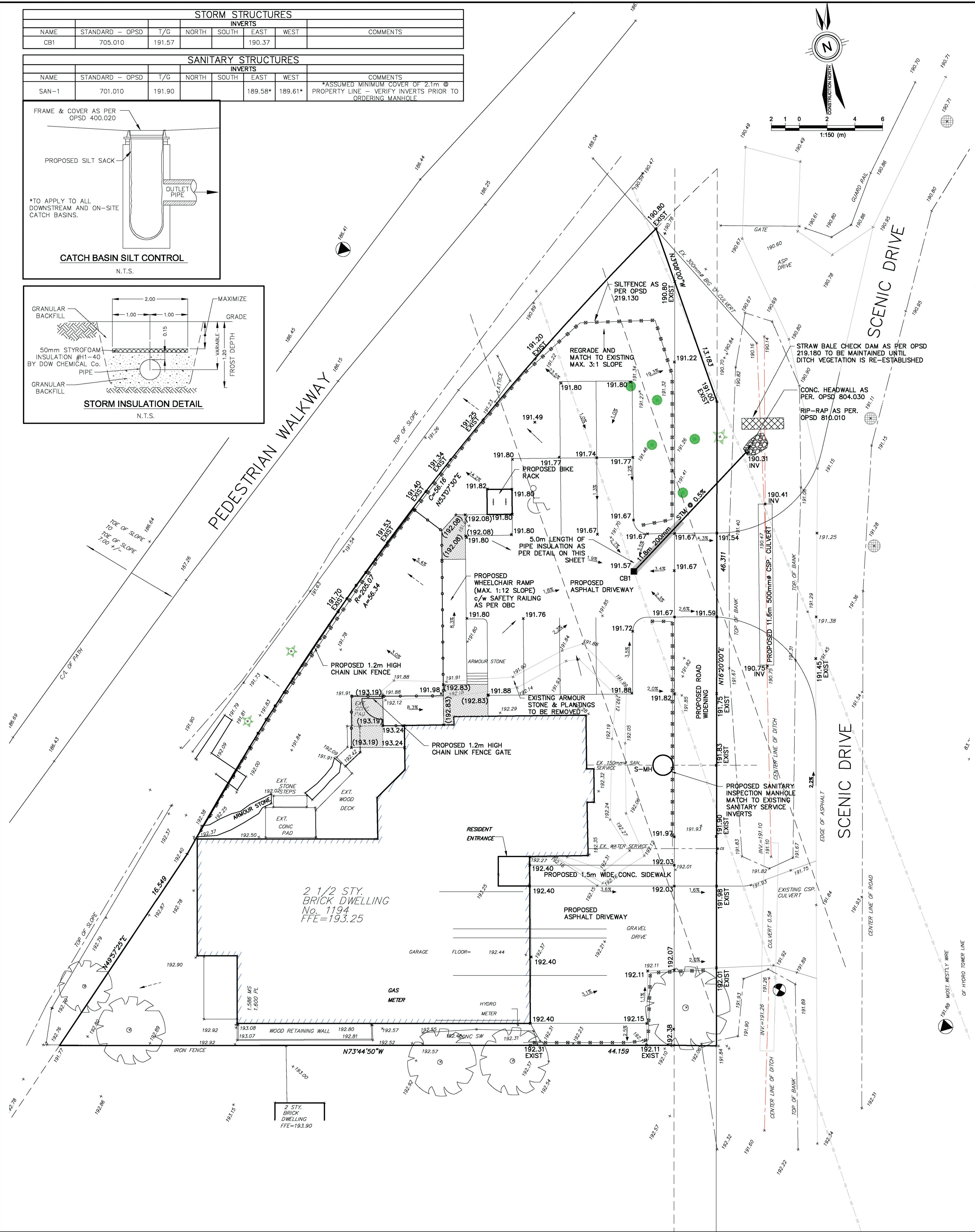
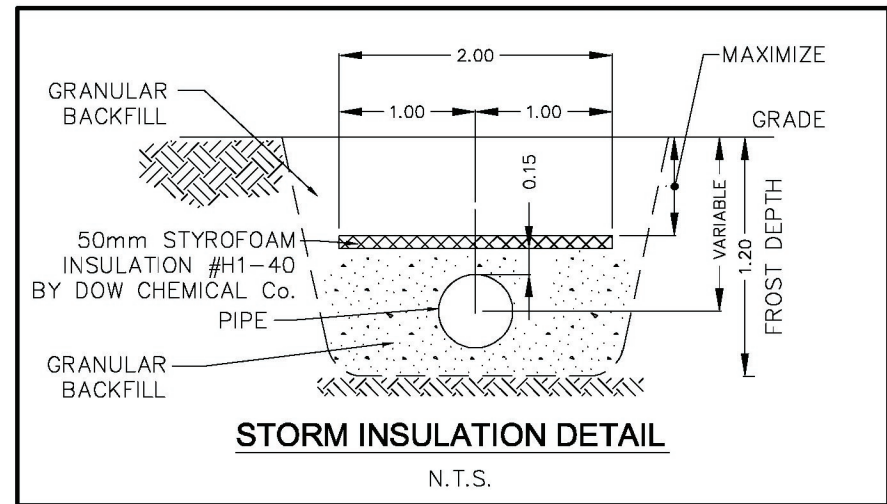
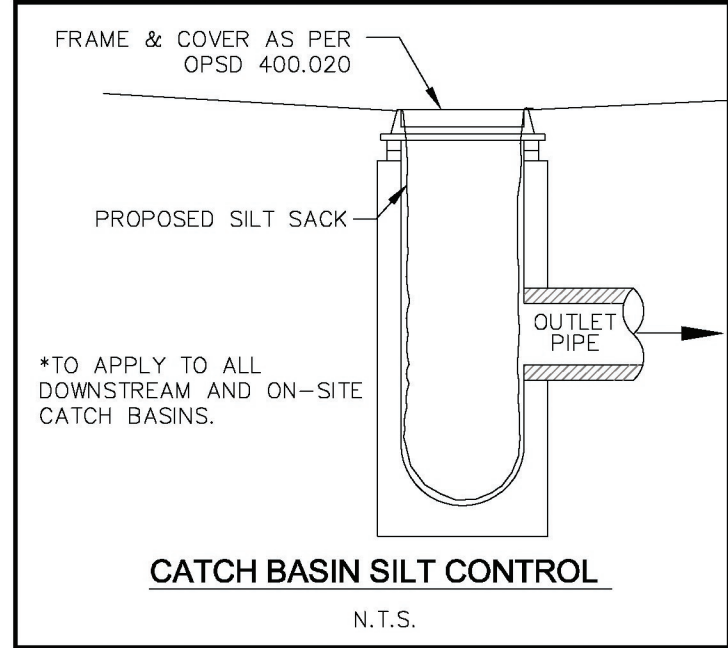
Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

STORM STRUCTURES							
INVERTS							
NAME	STANDARD - OPSD	T/G	NORTH	SOUTH	EAST	WEST	COMMENTS
CB1	705.010	191.57			190.37		

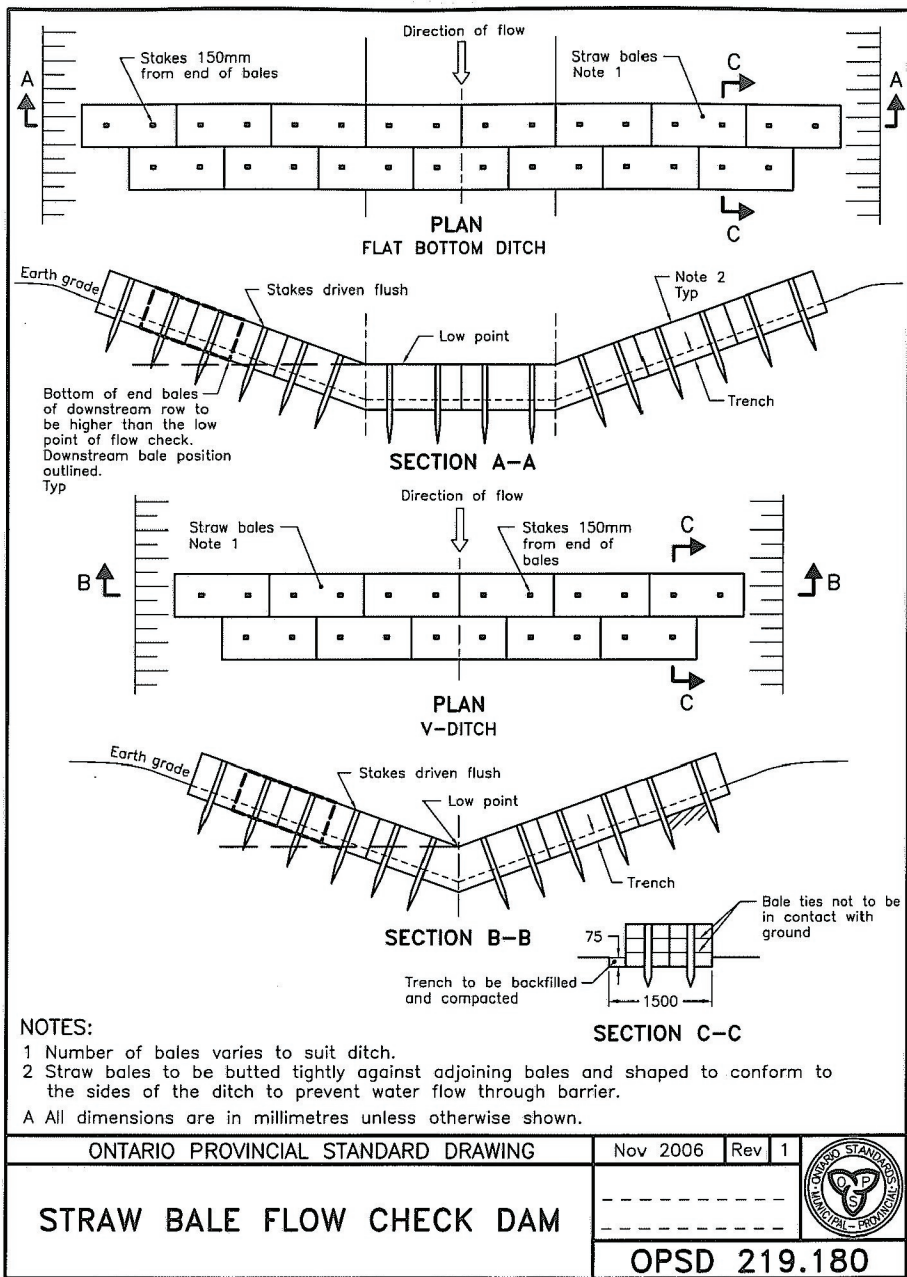
SANITARY STRUCTURES							
INVERTS							
NAME	STANDARD - OPSD	T/G	NORTH	SOUTH	EAST	WEST	COMMENTS
SAN-1	701.010	191.90			189.58*	189.61*	*ASSUMED MINIMUM COVER OF 2.1m @ PROPERTY LINE - VERIFY INVERTS PRIOR TO ORDERING MANHOLE



STORM & SANITARY SEWERS:

- CONSTRUCTION OF STORM SEWERS AND PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON SPECIFICATIONS MANUAL (LATEST REVISION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST REVISION).
- ALL PROPOSED SEWERS, THROUGHOUT THEIR LENGTH FROM THE MAIN SEWER TO THE BUILDING OR PLACE TO BE DRAINED IS TO BE LAID, AS NEARLY AS PRACTICAL, IN A STRAIGHT LINE IN A TRENCH AT A RIGHT ANGLE TO THE MAIN SEWER.
- SERVICE LATERALS TO BE INSTALLED WITH A MINIMUM COVER OF 2.20m AT THE PROPERTY LINE BELOW THE FINAL ROAD GRADE OR AT SUCH HIGHER ELEVATION ONLY AS MAY BE NECESSITATED BY THE ELEVATION OF THE MAIN SEWER. ON PRIVATE PROPERTY THE MINIMUM COVER IS TO BE NO LESS THAN 1.2m.
- STORM AND SANITARY FLOWS MUST BE SEPARATED WHEREVER POSSIBLE, AND THE INSTALLATION OF NEW COMBINED STORM AND SANITARY SEWERS IS NOT PERMITTED. EVERY SEWER CONNECTION TO A MAIN SEWER MUST BE MADE USING PROPER "T" OR "Y" FITTINGS. SADDLES MAY ONLY BE USED WHERE APPROVED BY THE DIRECTOR DEVELOPMENT DIVISION, PLANNING AND DEVELOPMENT DEPARTMENT.
- FOR PROPOSED SEWERS THAT ARE GREATER THAN OR EQUAL TO 300mm, A MANHOLE MUST BE PROVIDED AT THE JUNCTION TO THE MAIN SEWER. FOR SEWERS LESS THAN 300mm, CONNECTIONS SHOULD BE MADE DIRECTLY TO THE MAIN SEWER AND NOT TO A MANHOLE.
- MINIMUM HORIZONTAL SEPARATION BETWEEN SEWERS AND WATERMAINS SHALL BE 2.5m. VERTICAL CLEARANCE BETWEEN SEWERS AND WATERMAINS WHICH CROSS IS 150mm IF THE SEWER IS BELOW THE WATERMAIN AND 500mm IF THE WATER IS BELOW THE SEWER.
- PROPOSED SANITARY AND STORM SEWERS SHALL BE EITHER: (a) PVC SDR 28 FOR 150mm DIAMETER AND SDR 35 FOR ALL OTHER SIZES; (b) CLASS 3 CONCRETE (CSA A257.2). RIBBED OR PROFILE PIPE CAN BE UTILIZED FOR MAIN LINE STORM SEWERS, 200mm TO 600mm DIAMETER INCLUSIVE. RIBBED OR PROFILE PIPE IS NOT PERMITTED FOR SANITARY USE, PRIVATE DRAIN INSTALLATIONS OR CATCH BASIN CONNECTIONS.
- FOR FLEXIBLE PIPE, SEWER INSTALLATION TO BE AS PER OPSD 802.010 WITH GRANULAR 'A' BEDDING AND COVER.
- FOR RIGID PIPE, SEWER INSTALLATION TO BE AS PER OPSD 802.030 WITH GRANULAR 'A' BEDDING AND COVER.
- SANITARY AND STORM SERVICE LATERALS TO BE MIN. 150mm DIA. PVC SDR 28. STORM SHALL BE WHITE IN COLOUR, SANITARY SHALL BE ANY OTHER COLOUR OTHER THAN WHITE.
- MINIMUM AND MAXIMUM DESIGN REQUIREMENTS FOR SEWER VELOCITIES ARE AS FOLLOWS:

	STORM SEWER	SANITARY SEWER
MINIMUM ALLOWABLE VELOCITY	0.90m/s	0.75m/s
MAXIMUM ALLOWABLE VELOCITY	3.65m/s	2.75m/s
- MAINTENANCE HOLES ARE REQUIRED AT ALL CHANGES IN PIPE SIZE, CHANGES IN PIPE DIRECTION, ENDS OF PIPE RUNS AND AS CLEANOUTS. MAXIMUM SPACING OF MAINTENANCE HOLES IS 90m. IN ACCORDANCE WITH THE "ONTARIO BUILDING CODE", A MAINTENANCE HOLE IS REQUIRED WITHIN THE FIRST 30m AFTER THE PIPE EXITS THE BUILDING. FOR PIPE SIZES 200mm OR GREATER, IN ACCORDANCE WITH THE "ONTARIO BUILDING CODE", ALL REQUIRED CLEANOUTS SHALL BE MAINTENANCE HOLES. FOR PIPE SIZES LESS THAN 200mm, CLEANOUTS MAY BE SUBSTITUTED FOR MAINTENANCE HOLES.
- A DROP STRUCTURE IS REQUIRED AT ALL MAINTENANCE HOLES WHERE THERE IS A DROP OF GREATER THAN 600mm BETWEEN THE INVERT OF THE UPSTREAM PIPE AND THE INVERT OF THE DOWNSTREAM PIPE. DROP STRUCTURES ARE TO BE MINIMUM 200mm DIAMETER AND CONSTRUCTED AS PER OPSD 1003.010. GENERALLY, THE DROP PIPE SHALL BE ONE SIZE SMALLER THAN THE CONNECTING SEWER.
- PVC PIPE WILL REQUIRE SPECIAL CONSTRUCTION PROCEDURES FOR LEAKAGE AND TESTING, PIPE DEFLECTION, ETC. AS PER CITY'S REQUIREMENTS.



EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEVELOPMENT AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS, UNTIL ALL DISTURBED AREAS HAVE BEEN REVEGETATED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAINFALL TO THE SATISFACTION OF AUTHORITY STAFF.
- ANY DISTURBED AREA NOT SCHEDULED FOR FURTHER CONSTRUCTION WITHIN 45 DAYS WILL BE PROVIDED WITH A SUITABLE TEMPORARY MULCH AND SEED COVER WITHIN 7 DAYS OF THE COMPLETION OF THAT PARTICULAR PHASE OF CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITH PERMANENT COVER IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
- ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE CITY AND/OR THE ENGINEER.
- SILT FENCE TO BE AS PER OPSD 219.110.

NOTE TO CONTRACTOR

THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THIS CONTRACT DRAWING, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES IS NOT GUARANTEED. BEFORE STARTING WORK THE CONTRACTOR SHALL INFORM THEMSELVES OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

LEGEND

- 191.22 (192.08) - PROPOSED ELEVATION
- 192.50 - PROPOSED RAMP ELEVATION
- EXISTING GRADE - EXISTING GRADE
- 2.0% - PROPOSED SLOPE
- CB - PROPOSED CATCH BASIN
- HYD - EXISTING HYDRANT
- 8" W - EXISTING WATER VALVE
- PROPOSED STORM SERVICE - PROPOSED STORM SERVICE
- PROPOSED MAJOR OVERLAND FLOW - PROPOSED MAJOR OVERLAND FLOW
- EXISTING DIRECTION OF SURFACE FLOW - EXISTING DIRECTION OF SURFACE FLOW
- PROPOSED DIRECTION OF SURFACE FLOW - PROPOSED DIRECTION OF SURFACE FLOW

NOT FOR CONSTRUCTION

TOPOGRAPHICAL FROM BARICH GRENKIE DRAWING DATED MAY 14, 2008

BENCHMARK - ELEVATION ELEVATIONS ARE REFERRED TO THE CITY OF HAMILTON BENCH MARK NO. 10-05 HAVING AN ELEVATION OF 188.471 METERS.

No.	DATE	BY	REVISIONS	DATE
1	2010 09 27	BE	SECOND ENGINEERING SUBMISSION	
DESIGN	S. PONGRACZ	CHKD	B. ENTER	AUGUST 25, 2009
DRAWN	P. MALLOY	CHKD	B. ENTER	
SCALE	1:150			
	2 1 0 2 4 6			
	1:150 (m)			

APPROVALS

APPROVED

DATE

IBI GROUP

200 East Wing
 360 James Street North
 Hamilton ON L8L 1H5
 tel 905 546 1010
 fax 905 546 1011
 toll free 1 877 822 3798
 www.ibigroup.com

SWAN DAYCARE

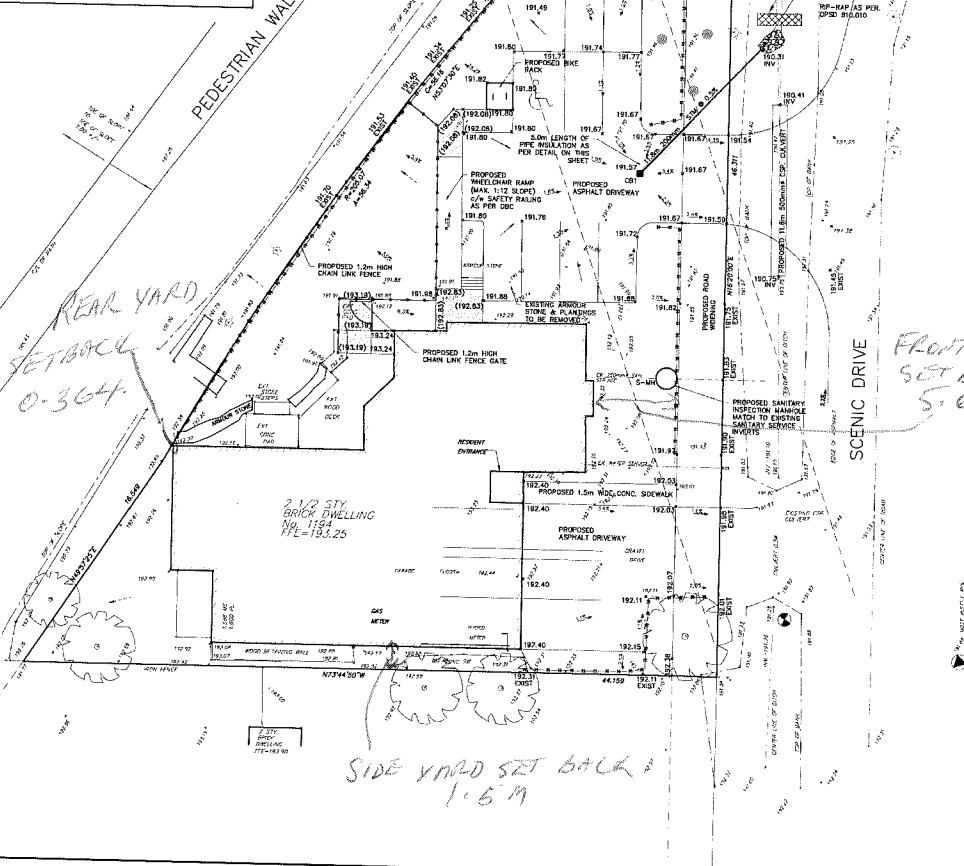
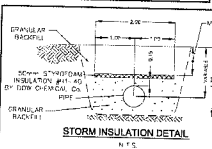
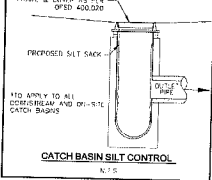
1194 SCENIC DRIVE
HAMILTON
MDA-09-107

SITE GRADING PLAN

IBI FILE NO.	SHEET NO.
26466	GP

STORM STRUCTURES					
NAME	STANDARD	DEPTH	TYPE	LOCATION	COMMENTS
SR-1	7/2" DIA	15' 0"	15' 0"	15' 0"	

SANITARY STRUCTURES					
NAME	STANDARD	DEPTH	TYPE	LOCATION	COMMENTS
SR-1	7/2" DIA	15' 0"	15' 0"	15' 0"	

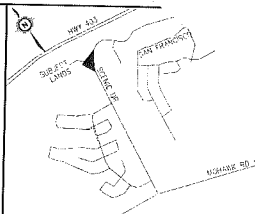


STORM & SANITARY SEWERS

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EROSION AND SEDIMENT CONTROL NOTES

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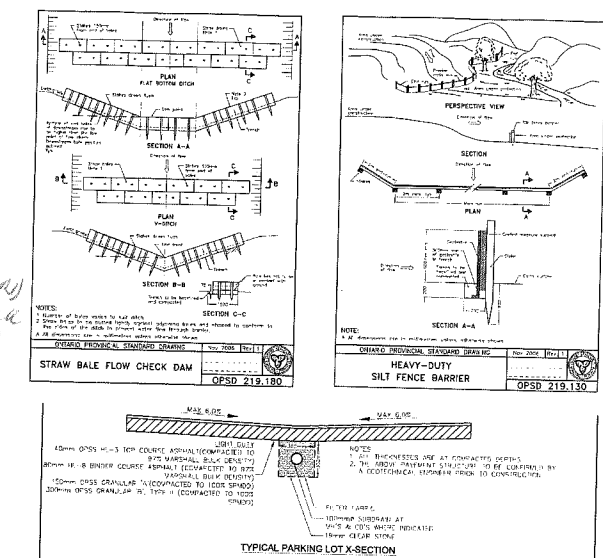


NOTE TO CONTRACTOR

THE PROVISION OF THIS PLAN, SPECIFICATIONS, DRAWINGS, AND NOTES ARE NOT NECESSARILY EXHAUSTIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF HAMILTON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF HAMILTON.

LEGEND

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GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON SPECIFICATIONS (LATEST EDITION) AND THE CITY OF HAMILTON SPECIFICATIONS (LATEST EDITION).
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NOT FOR CONSTRUCTION

FOR INFORMATION ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND INFORMATION FROM THE CITY OF HAMILTON.

NO.	DATE	BY	REVISIONS
1	2019/08/27	IBI	SECOND DRAFTING & REVISION
2	2019/08/27	IBI	REVISIONS
3	2019/08/27	IBI	REVISIONS
4	2019/08/27	IBI	REVISIONS
5	2019/08/27	IBI	REVISIONS
6	2019/08/27	IBI	REVISIONS
7	2019/08/27	IBI	REVISIONS
8	2019/08/27	IBI	REVISIONS
9	2019/08/27	IBI	REVISIONS
10	2019/08/27	IBI	REVISIONS
11	2019/08/27	IBI	REVISIONS
12	2019/08/27	IBI	REVISIONS
13	2019/08/27	IBI	REVISIONS
14	2019/08/27	IBI	REVISIONS
15	2019/08/27	IBI	REVISIONS
16	2019/08/27	IBI	REVISIONS
17	2019/08/27	IBI	REVISIONS
18	2019/08/27	IBI	REVISIONS
19	2019/08/27	IBI	REVISIONS
20	2019/08/27	IBI	REVISIONS

APPROVALS

APPROVED: _____ DATE: _____

200 East Wing
380 James Street North
Hamilton ON L8L 1H5
Tel: 905.546.1010
Fax: 905.546.1011
www.ibigroup.com

SWAN DAYCARE
1194 SCENIC DRIVE
HAMILTON
MDA-09-107
SITE GRADING PLAN

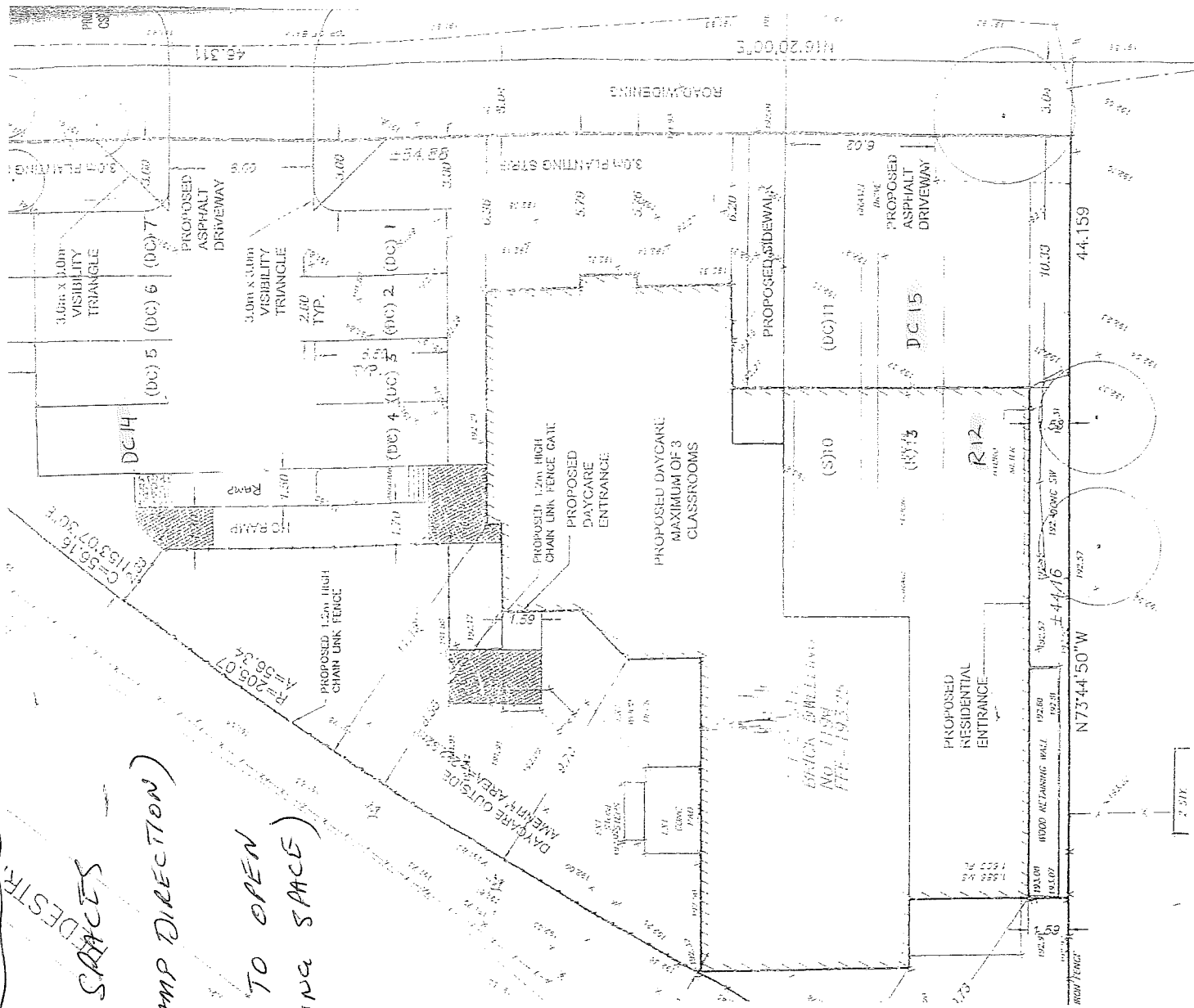
IBI FILE NO.	SHEET NO.
26466	GP

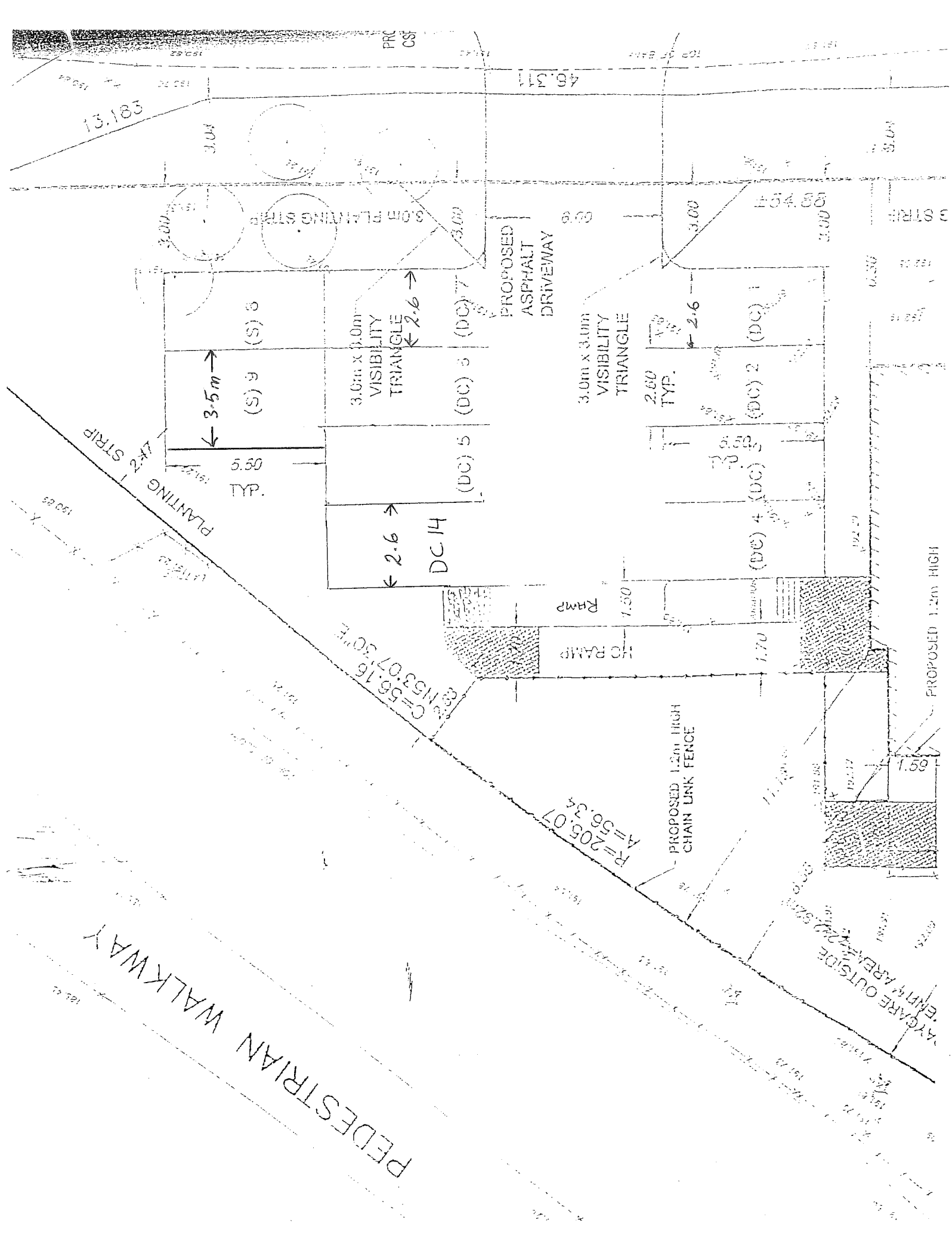
ADD TWO MORE PARKING SPACES

ADD TWO MORE PARKING SPACES

DC 14 (BY CHANGING RAMP DIRECTION)

DC 15 (BY MOVING R12 TO OPEN GARAGE PARKING SPACE)







CYNTHIA
ZAHORUK
ARCHITECTS
HAMILTON, ONTARIO
TEL: 905.571.4400



NOTES:
1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CURVE UNLESS OTHERWISE SPECIFIED.
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9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CURVE UNLESS OTHERWISE SPECIFIED.
10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CURVE UNLESS OTHERWISE SPECIFIED.

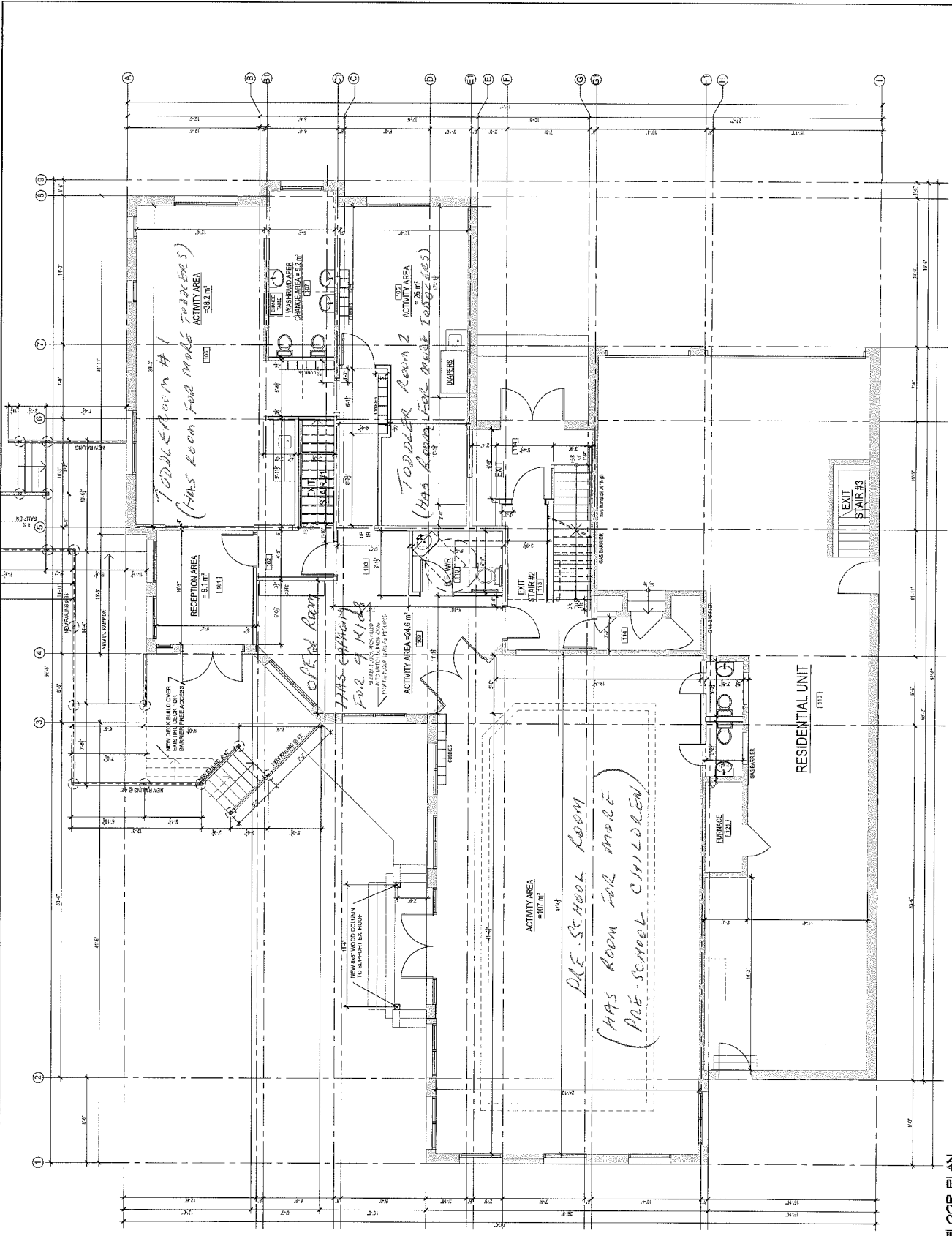
NO.	REVISION
1	AS NOTED

SCALE: AS NOTED
DRAWN BY: KJR
DATE: 2008/01/11

SWAN DAYCARE
1194 SCENIC DRIVE
HAMILTON, ONTARIO

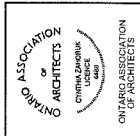
MAIN FLOOR PLAN

A1.2



1 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

MAIN FLOOR

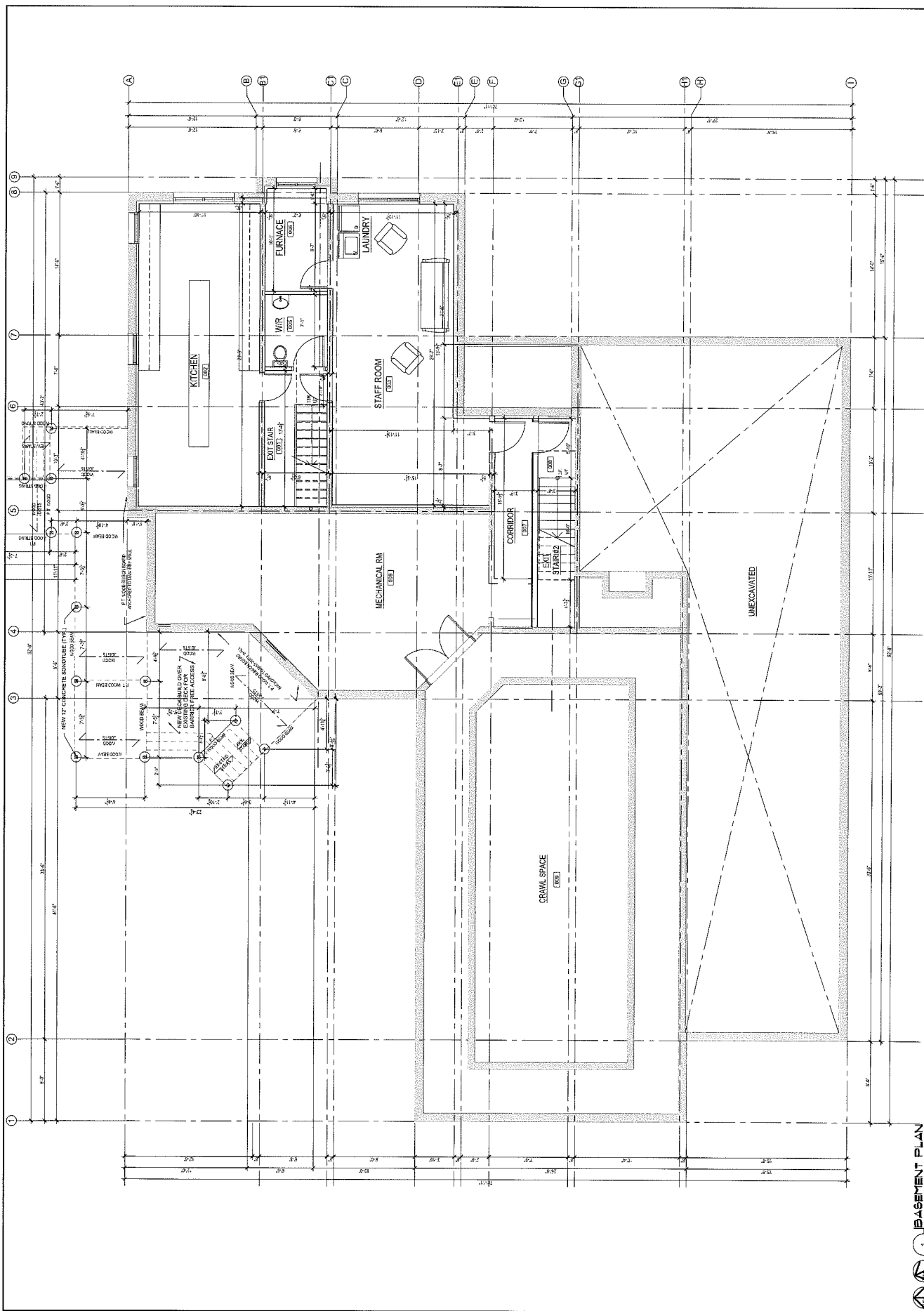
[illegible][illegible]

SCALE AS NOTED
DRAWN BY: KR
PRINT DATE 23/09/2021

SWAN DAYCARE
1194 SCENIC DRIVE
HAMILTON, ONTARIO

BASEMENT PLAN

A1.1



BASÉMENT

PLEASE CONTACT cofa@hamilton.ca
for full file.

Scenicview Childcare Capacity Increase

We are writing this letter in order to achieve daycare capacity increase within Scenicview Childcare to 55 children. Our Current Zoning permit only allows us for a licensed capacity of 36 children.

City of Hamilton recommended daycare capacity of 38 children (Appendix E) based on 9 parking spaces available for parents drop off and pick up. The City of Hamilton Parking and By-Law Service Division used the 0.24 vehicle per child peak period parking demand to determine the capacity of 38 children.

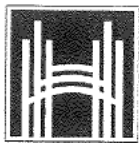
I am proposing to add 2 additional parking spaces in order to increase the pickup and drop off parking spaces. One parking space has been created by reorienting a ramp and the other parking spot by moving one parking to unused parking space in the existing garage (See Appendix L and M).

Based on the peak demand rate calculation, additional 2 parking spaces will enable us to increase the capacity to 46 children based on spaces available within the existing 3 classrooms. However, our daycare will still have one open room beside the existing 3 classrooms and one open room with a capacity of 8-9 children.

Currently the City of Hamilton is in demand of childcare spaces. I am proposing to use the City of Hamilton by law where only 1.5 parking spaces are required per classroom. With the parking spaces at the property, only 6 parking spaces are required to meet the capacity of 55 children that I am requesting.

Over the last 6 years, Scenicview Childcare has established a reputation of loyalty and trust among the children and families who have attended our childcare center. We continue to foster and build relationships not only within the Scenicview community but, also have made connections with the community partners throughout the years. As a childcare center, we offer so many wonderful experiences and we know, that through these experiences, growth and learning we will continue to shape those little minds and hearts who we look after day in and day out.

At this point, we could like the opportunity to increase our capacity therefore, staying true to our business plan regarding growth and continuing to have a positive impact within our community and to the children and their families who attend Scenicview Childcare Center. We are currently licensed and zoned for 36 children and we would like to increase the capacity to 55 total children within our childcare center. Based on the square footage of the existing



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)			
Agent or Solicitor			Phone:
			E-mail:

1.2 All correspondence should be sent to ☐ Owner ☒ Applicant
☐ Agent/Solicitor

1.2 All correspondence should be sent to ☐ Purchaser ☐ Owner
☒ Applicant ☐ Agent/Solicitor

1.3 Sign should be sent to ☐ Purchaser ☐ Owner
☒ Applicant ☐ Agent/Solicitor

1.4 Request for digital copy of sign ☒ Yes* ☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email ☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1194 Scenic Drive, Ancaster, ON, L9k 1J6		
Assessment Roll Number	140.280.01000.0000		
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Increase Current Zoning daycare capacity from 36 to 55. (See Cover Letter)

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

To increase daycare capacity, Zoning Certificate required with capacity increase.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
41.15 meter	Varies	0.15 hectare	6.5 meters

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Main Building	5.6 meter	0.36 meter	1.5 meter	1997

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Main Building	5.6 meter	0.36 meter	1.5 meter	1997

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Main Dwelling	0.15 hectare	215 sq meter	2	10.7 meter

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Main Dwelling	0.15 hectare	215 sq meter	2	10.7 meter

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
-

- 4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage system
☐ privately owned and operated individual septic system
☐ other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year

- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Daycare; Residential

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single Detached dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
November 2002

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Daycare and Single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:
November 2015.

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Neighbourhoods

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1-582

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

☒ Yes ☐ No

If yes, please provide the file number:

ZAR-08-001

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes ☒ No

If yes, please provide the file number:

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes ☒ No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: One

8.2 Number of Dwelling Units Proposed: One

8.3 Additional Information (please include separate sheet if needed):

Please see attached document: Appendix A to Appendix M.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☐ Application Fee
- ☐ Site Sketch
- ☐ Complete Application form
- ☐ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study
- ☐ _____
- ☐ _____

13.3 I acknowledge that the members of the Committee of Adjustment and members of staff of the City of Hamilton may enter the subject lands for the limited purposes of evaluating the merits of this application. Initials [REDACTED]

13.4 I acknowledge that a sign is required to be posted on the subject lands, clearly visible and legible from a public highway (road). The sign must be posted no later than 14 days before the Hearing for consents, and no later than 10 days before the Hearing for minor variances. I acknowledge that the sign will remain posted and visible until after the Hearing. Failure to post the sign in accordance with the requirements may result in a deferral of the application. Initials [REDACTED]

13.5 I acknowledge that it is a policy of the City of Hamilton that any City costs associated with an appeal to the Ontario Land Tribunal, by a party other than the Applicant, of an approval of a consent, rezoning, official plan amendment, plan of subdivision, minor variance, and/or any other development application under the *Planning Act*, such as, but not limited to, legal counsel costs, professional consultant costs and City staff costs, shall be paid by the Applicant. I acknowledge and agree that a Cost Acknowledgment Agreement may be required to be filed in this event. Questions about this agreement should be directed to cofa@hamilton.ca. Initials [REDACTED]

DATE [REDACTED]

NAME [REDACTED]

SIGNED [REDACTED]

14. AFFIDAVIT OR SWORN DECLARATION

This declaration must be sworn before a Commissioner of Oaths.

[REDACTED]