



INVEST **IN** **HAMILTON**

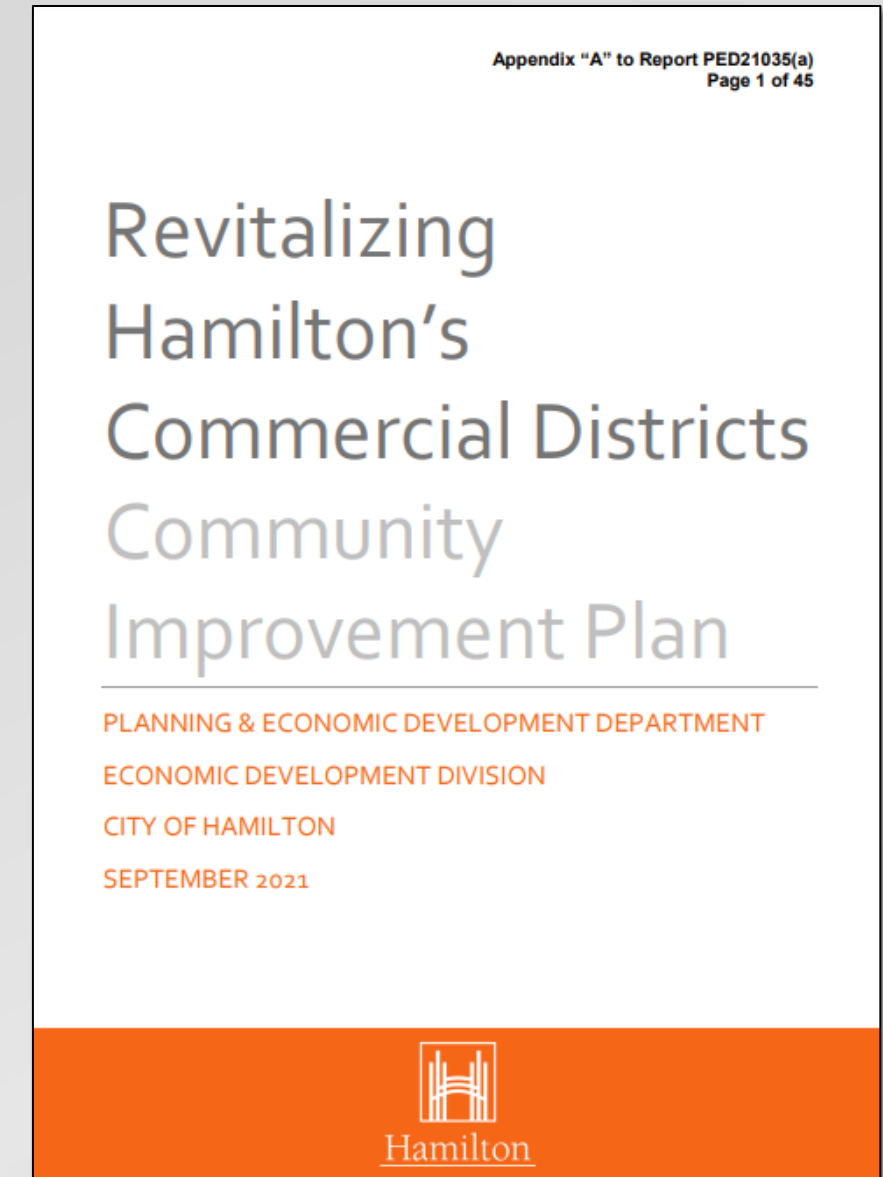
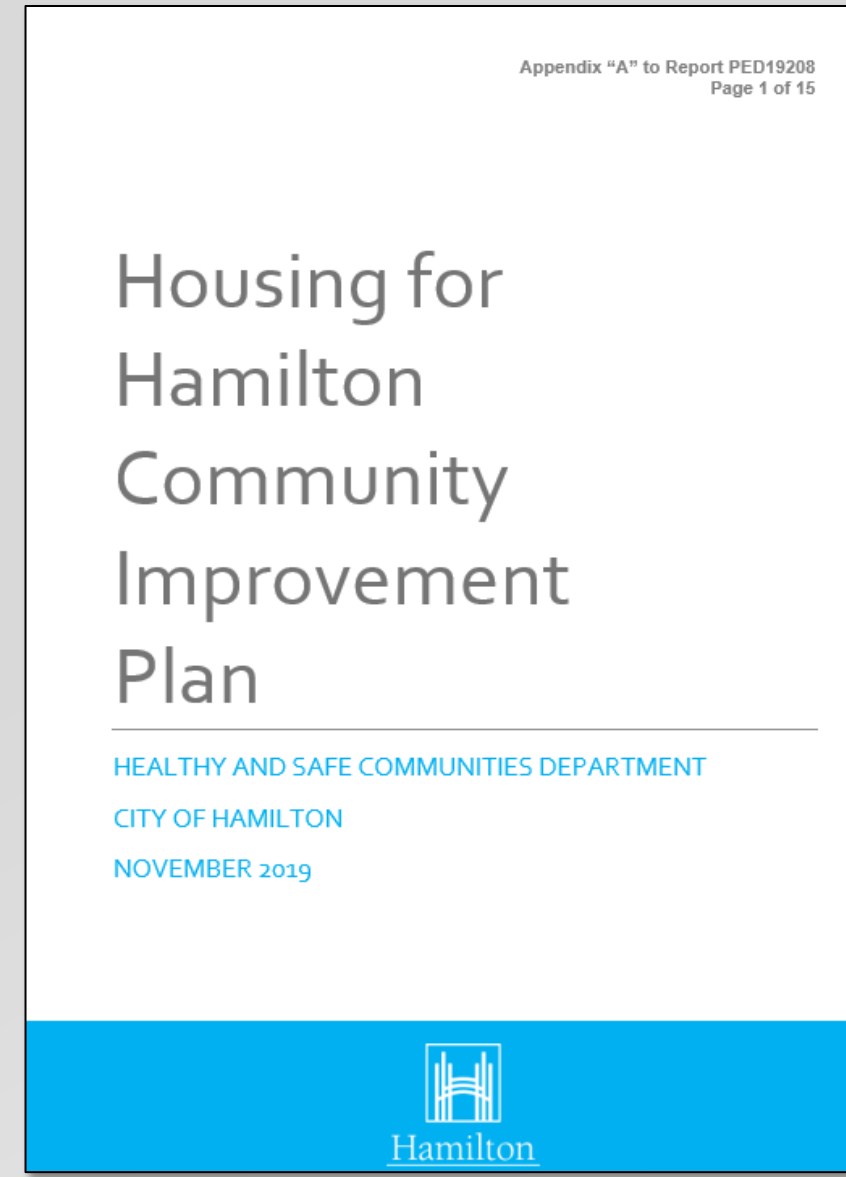
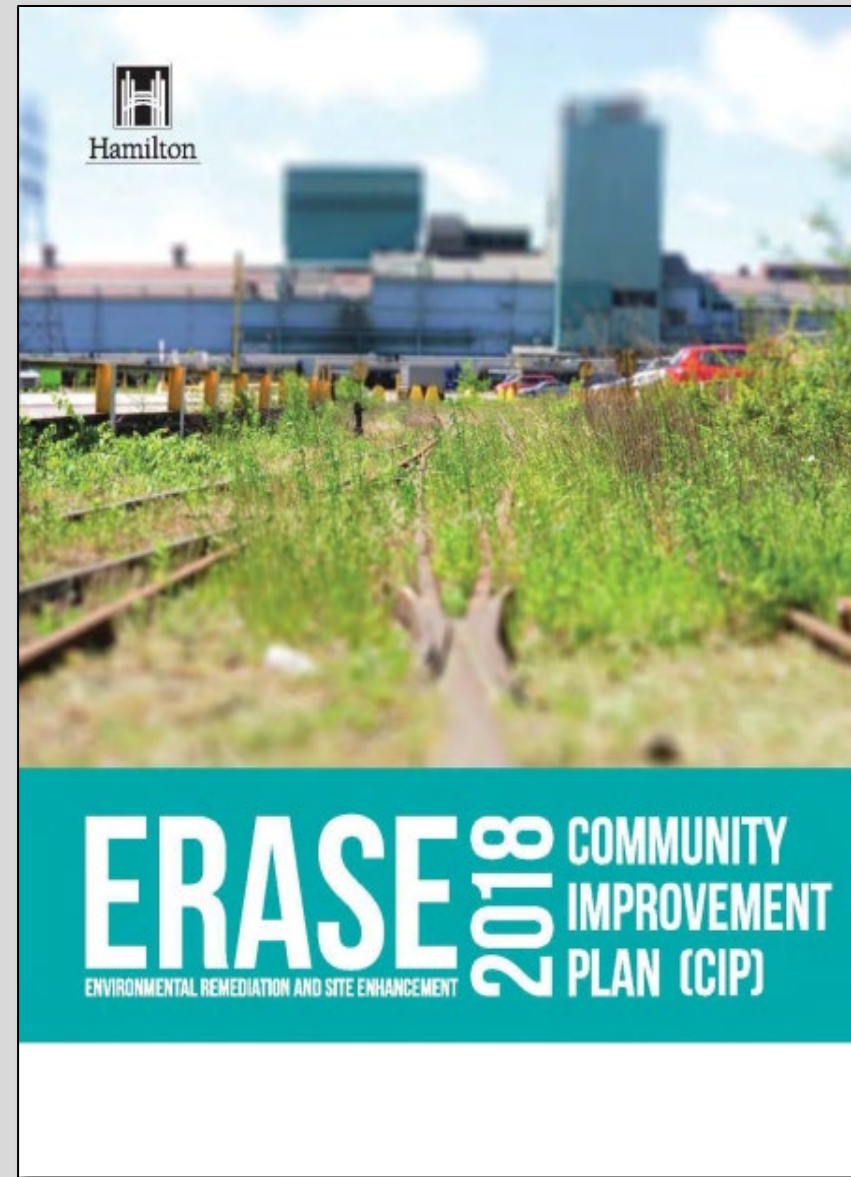
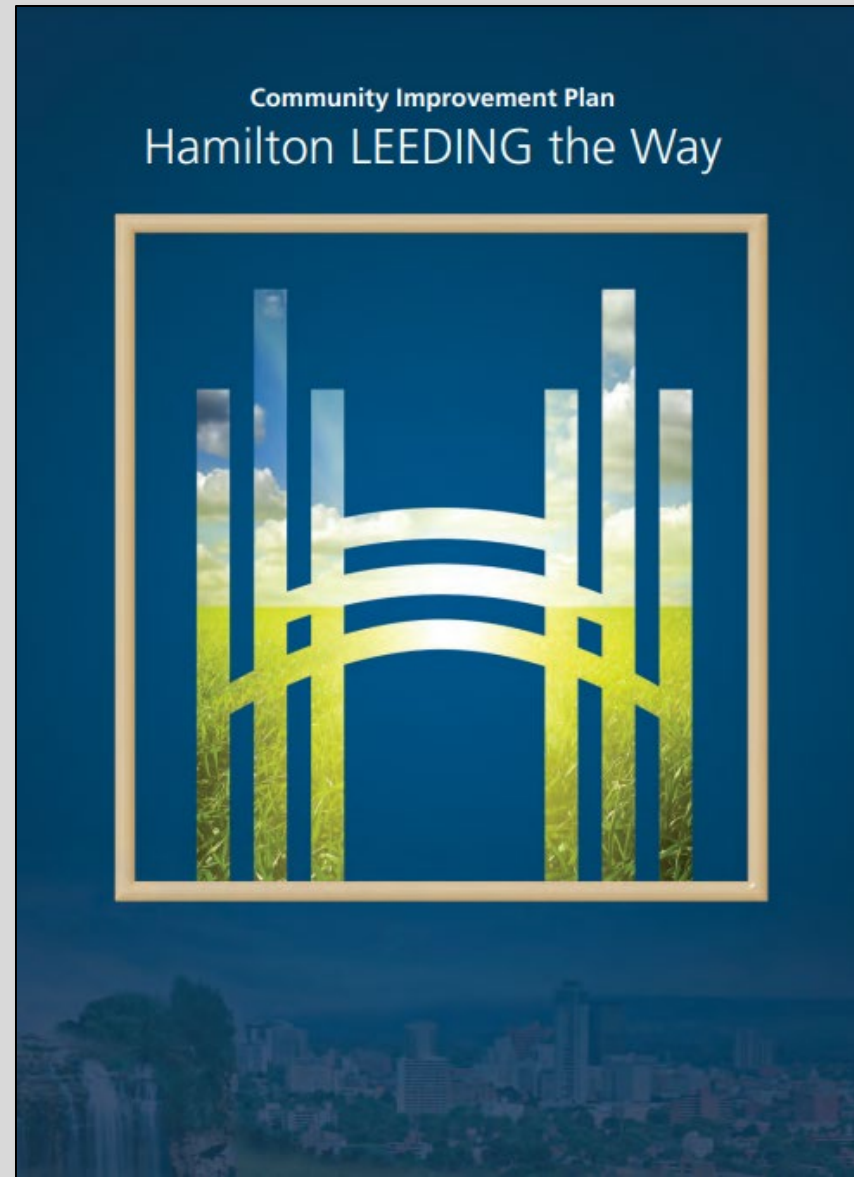
**Business Improvement Area Co-Ordinating Committee
City of Hamilton Financial Incentive Programs**

May 9, 2023

Carlo Gorni

Coordinator, Urban Renewal Incentives

Hamilton's Community Improvement Plans (CIPS)



Revitalizing Hamilton's Commercial Districts Community Improvement Plan



Appendix "A" to Report PED21035(a)
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Revitalizing Hamilton's Commercial Districts Community Improvement Plan

PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

ECONOMIC DEVELOPMENT DIVISION

CITY OF HAMILTON

SEPTEMBER 2021



- Commercial Districts and Small Business Section administers 12 financial incentive programs which allow for offering of grants and loans in designated areas of City of Hamilton—Community Improvement Project Areas
- Established with Council approval of Community Improvement Plan and accompanying by-laws
- Purpose of Community Improvement Plan is to support the revitalization of strategic urban commercial districts by minimizing financial barriers to, and stimulating new private sector investment in, the development of under-utilized properties and/or improve the appearance, functionality, marketability, usability and/or safety of existing commercial buildings
- Review of Community Improvement Plan and accompanying by-laws takes place every five years-Previous review took place in 2016

Revitalizing Hamilton's Commercial Districts Community Improvement Plan



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Revitalizing Hamilton's Commercial Districts Community Improvement Plan

PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

ECONOMIC DEVELOPMENT DIVISION

CITY OF HAMILTON

SEPTEMBER 2021



- Review of 2016 Plan started in 2020
- Looked at with intention of seeking input from various internal and external parties and addressing Council priorities including housing affordability, environmental sustainability/climate change and post-COVID economic recovery
- Consultations included:
 - Local Developers
 - Virtual public information meeting
 - Bay Area Climate Change Council
 - Hamilton Community Energy
 - Various City Depts (PED, Housing, PW)
 - Business Improvement Areas
 - Best Practices with Other Municipalities

Revitalizing Hamilton's Commercial Districts Community Improvement Plan



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Revitalizing Hamilton's Commercial Districts Community Improvement Plan

PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

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CITY OF HAMILTON

SEPTEMBER 2021



Hamilton

- Report with proposed recommendations to GIC on March 24, 2021 and Council on March 31, 2021 – Approved recommendation to receive recommendations
- Planning Committee Public Meeting on September 21, 2021
- Committee adopted the reports' recommendations including the accompanying by-laws
- Council approval on September 29, 2021
- Following a 20 day appeal period, the Revitalizing Hamilton's Commercial Districts Community Improvement Plan and its accompanying by-law came into effect on October 22, 2021.

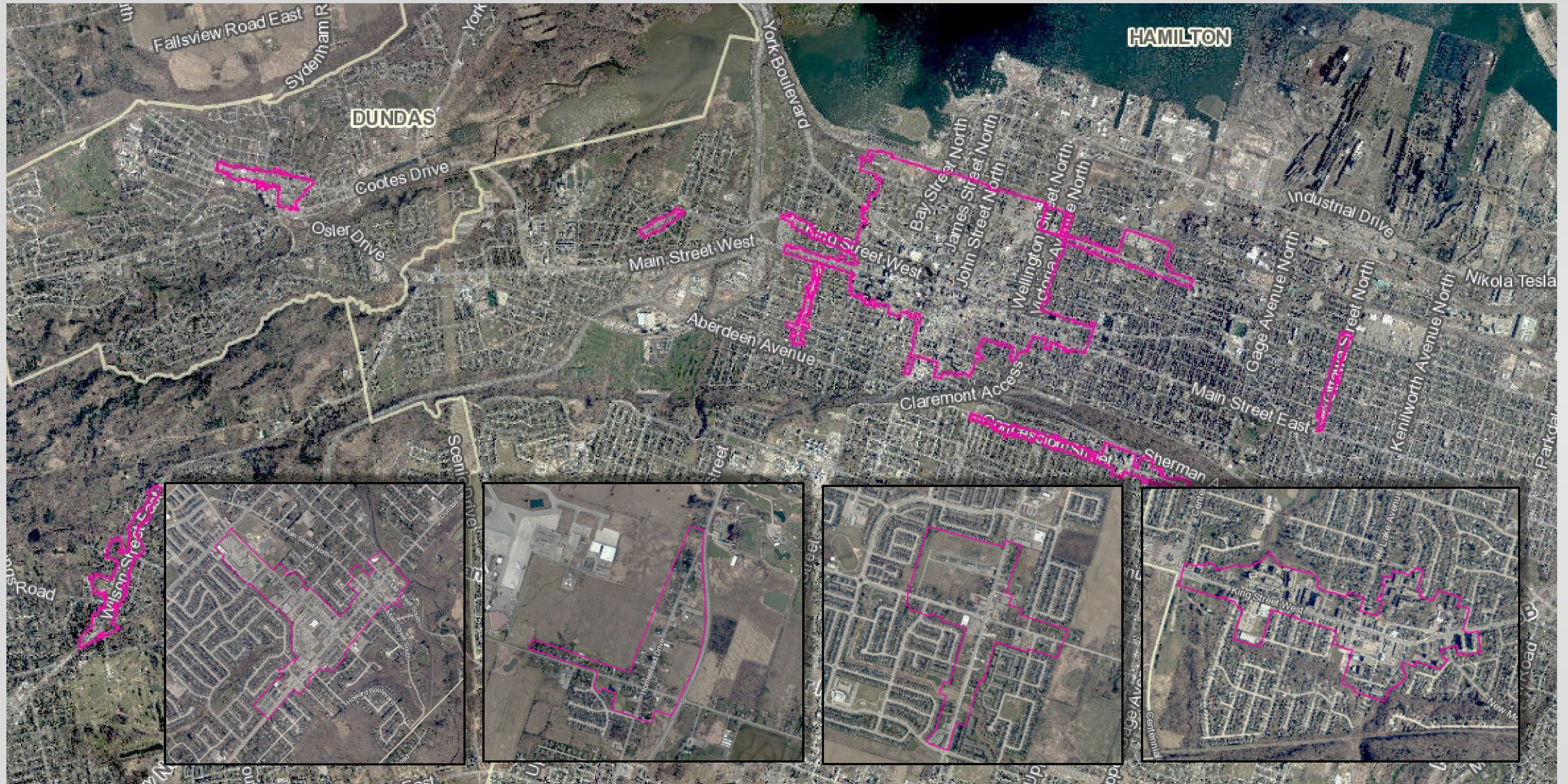
Revitalizing Hamilton's Commercial Districts

➤ Focuses on five key areas:

- Downtown Hamilton
- Community Downtowns/Village Cores
- BIAs and Commercial Corridors
- Mt. Hope/Airport Gateway
- Designated Heritage Properties



Revitalizing Hamilton's Commercial Districts – Aerial View



Revitalizing Hamilton's Commercial Districts – Programs



Revitalizing Hamilton
Tax Increment Grant

Barton/ Kenilworth Tax
Increment Grant

Commercial District
Revitalization Grant

Barton/ Kenilworth
Revitalization Grant

Commercial Vacancy
Assistance (Grant)

Commercial District
Housing Opportunities
(Loan + Grant)

Downtown & B/K Housing
Opportunities (Loan)

B/K Planning and Building
Fee Rebate

Start-up & Office Tenant
Attraction (Loan/Grant)

Revitalizing Hamilton's Commercial Districts – Programs



Hamilton Heritage
Property Grant Program

Hamilton Heritage
Conservation Grant
Program

Hamilton Heritage
Community Fund Loan
Program

Revitalizing Hamilton's Commercial Districts – Programs



Revitalizing Hamilton Tax Increment Grant

- Program offered in all Business Improvement Areas (except for Barton Village), Community Downtowns and Mount Hope/Airport Gateway
- A four-year grant, the amount of which is subject to Council approval, in an amount not exceeding the increase in municipal realty taxes (the Grant)

	Revitalization Project	Enhanced Revitalization Projects
Criteria	Any project that is located within an applicable CIPA and which will generate an increase in municipal taxes	Projects that meet one of the following: 1) The improvement/development will receive certification for the achievement of environmental sustainability standards from an eligible organization/program and/or will be connected (or be designed to allow for future connection) to a district energy system; and/or; 2) The improvement/development has been approved for financial assistance under a CMHC, federal, provincial, or City program for the purpose of creating residential rental housing that addresses housing affordability.
Grant	A reduced grant relative to the existing program	A grant greater than that provided under the existing program

Revitalizing Hamilton's Commercial Districts – Programs



Revitalizing Hamilton Tax Increment Grant

- Eligible environmental certifications:
 - Canadian Home Builders Association Net Zero Home Labelling (Net Zero or Net Zero Ready levels of efficiency)
 - Passive House Canada
 - Natural Resources Canada (NRCAN) R2000
 - Built Green to a Gold or higher standard in the Energy and Envelope category
 - Leadership in Energy and Environmental Design (LEED) Gold or higher standard
- District energy components required for eligibility:
 - Providing space for the sole purpose of future equipment/thermal piping;
 - Securing an easement between the mechanical room and the property line to allow for thermal piping; and
 - Including two-way pipes in the building to carry the thermal energy from the district energy network to the section in the building where the future energy transfer station will be located
- Intended to support Council's 2019 declaration of a climate emergency and the Corporate Climate Change Task Force's Corporate Goals and Areas of Focus for Climate Mitigation and Adaptation

Revitalizing Hamilton's Commercial Districts – Programs



Revitalizing Hamilton Tax Increment Grant

Year of Grant	Program Structure	
	Revitalization projects	Enhanced Revitalization Projects
1	100%	100%
2	75%	100%
3	50%	100%
4	25%	100%

Maximum annual grant as a percentage of actual municipal property tax increment

Year of Grant	Program Structure	
	Revitalization projects	Enhanced Revitalization Projects
1	\$100,000	\$100,000
2	\$75,000	\$100,000
3	\$50,000	\$100,000
4	\$25,000	\$100,000
Total Grant	\$250,000	\$400,000

Example: Realized \$100,000 municipal property tax increment

- Larger grant amount for enhanced projects is considered to be significant and impactful in terms of:
 - Providing an increase meaningful enough for a developer to investigate incorporating housing affordability/environmental sustainability measures into a project; and
 - Helping to off-set the resulting increase in project costs that would result, and be borne by the developer, as a result of incorporating the enhancements.

Revitalizing Hamilton's Commercial Districts – Programs



Revitalizing Hamilton
Tax Increment Grant



31-39 King William Street



43-51 King Street East, Hamilton

Revitalizing Hamilton's Commercial Districts – Programs

Barton Kenilworth Tax Increment Grant

Provides for a nine-year grant based on the increase in the municipal portion of the realty taxes attributed to the redevelopment of residential or commercial lands and buildings located within the boundaries of the Barton Village BIA, the Barton Street East and Kenilworth Avenue North commercial corridors and the properties that front on Barton Street between James Street North and Victoria Avenue North as identified in the DCRCIPA.

- The grant is at 100% of the municipal realty tax increase during the first five years, 80% in year six, 60% in year seven, 40% in year eight and 20% in year nine.



286 Sanford Avenue North

Start-up & Office Tenant Attraction (Loan/Grant)

- Provides interest free Loan or Forgivable Loan that will facilitate the undertaking of eligible leasehold improvements to office space (cabling, painting, drywall, electrical, etc.)
- Supports the creation of new office space and improves the marketability and attractiveness of existing office space
- Length of loan dependent on length of lease (Maximum of 5 years)
- Maximum Loan is \$450,000
- Loan is lesser of 90% of eligible costs and
- A formula using the square footage to be improved multiplied by a \$ amount
- Forgivable loans may be available to eligible start-up businesses, business incubators or educational institutions

Start-up & Office
Tenant Attraction
(Loan/Grant)

Definition of Start-up:

- A Start-up shall mean a business who is a current tenant of a start-up/business incubator, where support services/resources for new or growing businesses are provided as a component of one's tenancy
- For the purposes of this Program a Start-up shall also include a start-up/business incubator that provides space and services to new businesses and entrepreneurs as determined by the General Manager of Planning and Economic Development (GM).

Revitalizing Hamilton's Commercial Districts – Programs



Start-up & Office
Tenant Attraction
(Loan/Grant)



23 Griffin Street, Waterdown



366 King Street West, Hamilton

B/K Planning and Building Fee Rebate

- Intended to provide grants that will serve as a rebate of specific Planning and Building application fees for approved development-related applications
- Supports the redevelopment of under-utilized properties as well as further facilitates the undertaking of works that will improve the maintenance, functionality, viability, accessibility and aesthetics of existing commercial, mixed use commercial, multi-residential or institutional use buildings within the Barton Street East and Kenilworth Avenue North commercial corridors

Revitalizing Hamilton's Commercial Districts – Programs



Commercial District Housing Opportunities Program (Loan + Grant)

- Intended to provide financial assistance in the form of a low-interest Loan and Grant to promote the improvement or development of dwelling units that will create new/improved housing opportunities support robust local commercial district populations that add vibrancy and support demand for local commercial businesses/services.
- Offered in all Business Improvement Areas, CIPAs (except for Mount Hope/Airport Gateway)
- Financial assistance for the construction of new residential units and renovation of existing residential units
- 5 year interest free loan
- The loan is calculated on the basis of \$20 K per dwelling unit, to a maximum of \$600 K per property
- The grant provides up to a \$5 K grant per property for professional fees and some City of Hamilton fees paid.

Revitalizing Hamilton's Commercial Districts – Programs

Commercial District
Housing Opportunities
(Loan + Grant)



255 West Avenue North (at Barton Street East), Hamilton

Revitalizing Hamilton's Commercial Districts – Programs



Downtown & B/K Housing Opportunities (Loan)

- Provides financial assistance in the form of a low-interest Loan to promote the development of multiple dwelling units that will create new housing opportunities and support robust local commercial district populations that add vibrancy and support demand for local commercial businesses/services. Supported activities include:
 - The creation of at least 10 new dwelling units through the development of a multiple dwelling on vacant land, surface parking areas or the redevelopment of existing buildings;
 - A building addition containing at least 10 new dwelling units; and/or,
 - The conversion of existing non-residential space into housing consisting of at least 10 new dwelling units.
- Offered in Downtown, International Village, King West, Main West and Barton Village BIAs, the Downtown Hamilton Community Improvement Project Area and the Kenilworth Avenue North and Barton Street East Commercial Corridor Community Improvement Project Areas
- Maximum term is 5 years and 6 months
- 0% interest for first 5 years
- Maximum loan amount is 25% of the Cost to Construct Budget
- Maximum loan per development is \$4 million
- Maximum loan amount outstanding to a single developer or related group will not exceed \$10 million at one time.

Revitalizing Hamilton's Commercial Districts – Programs



Downtown & B/K Housing Opportunities (Loan)



179-191 James Street North, Hamilton

Revitalizing Hamilton's Commercial Districts – Programs



Commercial District Revitalization Grant Program

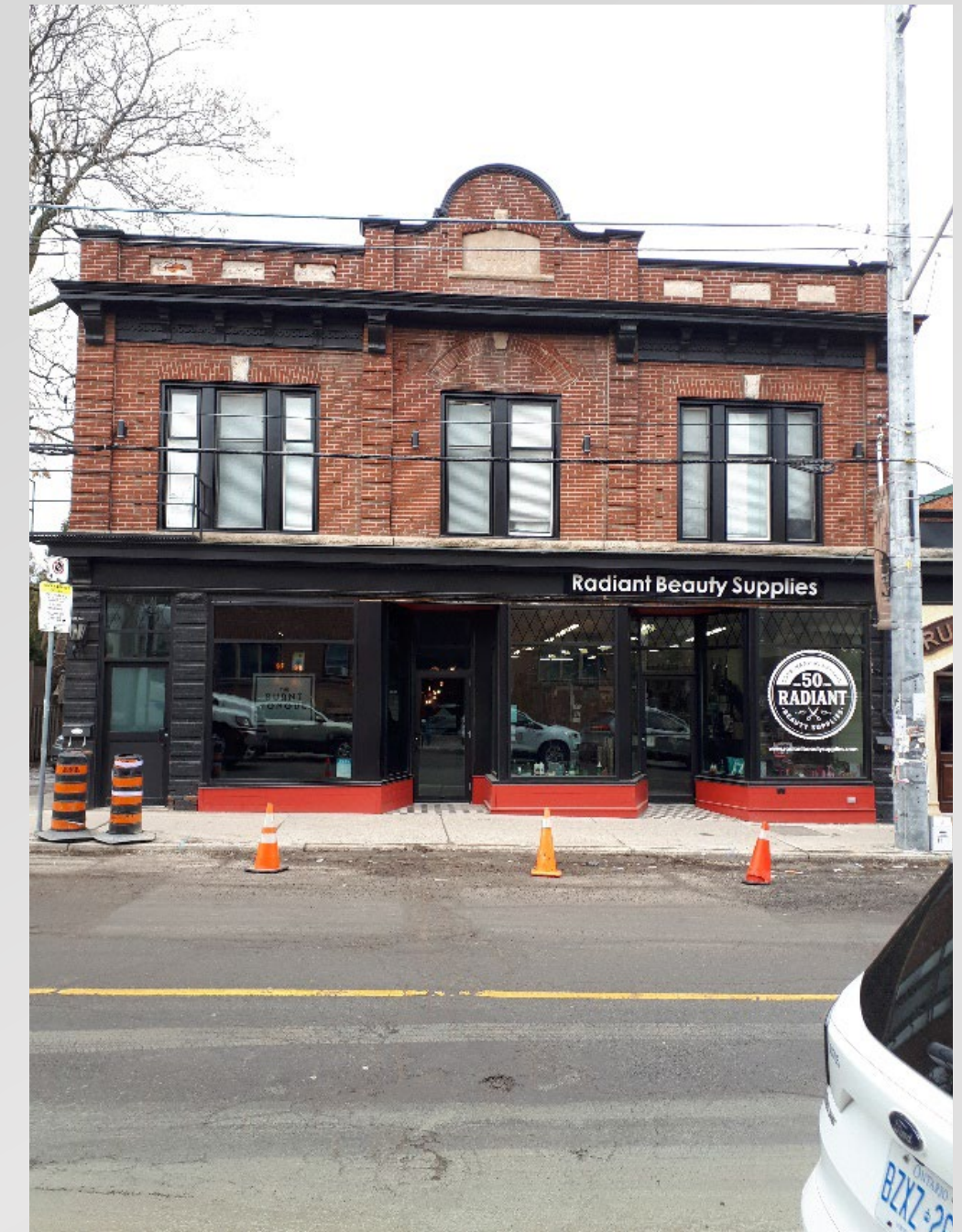
- Program aims to improve upon the physical appearance of properties within the areas, achieve quality façade improvements, support commercial property / business owners with limited rehabilitation of interior space and assist in creating a barrier-free and accessible environment. Added eligibility for exterior environmental sustainability improvements to a maximum of 50% an eligible grant
- **Business Improvement Areas**
 - Matching grant up to a maximum of \$20,000 (\$25,000 if a corner property) for properties more than 25 feet wide for eligible expenses
 - Matching grant of up to \$10,000 for properties that have 25 feet or less of frontage
 - Program also includes a separate Arts Component
 - An additional matching grant to a maximum of \$10,000 may be available for artfully designed façade improvements or art pieces placed on private property that can be viewed by the public
- **For commercial property owners and authorized tenants within Downtown Hamilton, Community Downtowns, the Mount Hope/Airport Gateway and the strategic commercial corridors as identified in the Revitalizing Hamilton's Commercial Districts Community Improvement Project Areas (i.e. Not in a Business Improvement Area)**
 - Matching grant up to a maximum of \$10,000 (\$12,500 if a corner property) for eligible expenses

Revitalizing Hamilton's Commercial Districts – Programs

Commercial District
Revitalization Grant
Program



143 Main Street East, Hamilton



172-182 Locke
Street South,
Hamilton

Revitalizing Hamilton's Commercial Districts – Programs

Commercial District
Revitalization Grant
Program



66 King Street East, Stoney Creek



294 Ottawa Street North, Hamilton

Revitalizing Hamilton's Commercial Districts – Programs

Barton/ Kenilworth Revitalization Grant

- Program aims support the development of properties as well as the maintenance, functionality, viability, accessibility and aesthetics of existing commercial, mixed use commercial, multi-residential or institutional use buildings within the Barton Street and Kenilworth Avenue North commercial corridors
- Offers a matching grant to a maximum of \$50 K per deeded property towards the redevelopment of property.
- Grant be used for both internal and external improvements to the building



657 Barton Street East, Hamilton

Revitalizing Hamilton's Commercial Districts – Programs



Commercial Vacancy Assistance (Grant)

- New temporary program to support a Post-COVID Economic Recovery
- To mitigate the potential for street-facing commercial vacancies arising from the pandemic
 - Grants provided for permanent interior renovations to a currently vacant at, or below, grade commercial space
- Program would be available to prospective tenants seeking to establish a new business location or test a location in the form of a 'pop-up' venture
- Grants of \$5K for leases between 3-6 months and \$10K for leases of 6 months or longer (no budget increase required)
- Businesses eligible under the program would include those that contribute towards pedestrian activity/vibrancy such as dine-in/take-out restaurants, retail and artist studios with a commercial component

Revitalizing Hamilton's Commercial Districts – Heritage Programs



Hamilton Heritage Property Grant Program

- Available to owners/authorized tenants of properties designated under Parts IV or V of the *Ontario Heritage Act*
- Located within Downtown Hamilton, a Community Downtown, an active Business Improvement Area, or, located within the lower City between Highway 403 and the Red Hill Valley Parkway and used for commercial, institutional or multi-residential purposes.
- Program offers grants to a maximum of \$150 K (50% for the first \$40 K of work and 25% of costs over and above the \$40 K) for conservation or structural/stability work plus an additional \$20 K grant for heritage assessments/reports.

Revitalizing Hamilton's Commercial Districts – Heritage Programs

Hamilton Heritage
Property Grant Program



1014 King Street West, Hamilton



25 Mill Street, Waterdown

Revitalizing Hamilton's Commercial Districts – Heritage Programs



Hamilton Heritage Conservation Grant Program

- Provides financial assistance in the form of matching grants between \$1,000 to \$5,000 for the conservation and restoration of cultural heritage resources
- The objective of the Hamilton Heritage Conservation Grant Program is to assist in the on-going conservation of heritage properties designated under the Ontario Heritage Act that are not eligible for the Hamilton Heritage Property Grant Program

Revitalizing Hamilton's Commercial Districts – Heritage Programs

Hamilton Community Heritage Fund Loan Program

- Loan is catalyst for stimulating the rejuvenation of designated heritage properties within the City of Hamilton
- Acting as a lender, the City provides financial support for the program and ensures that conservation and development activity arising from the program within the City is consistent with sound principles of managing and protecting designated heritage properties
- Zero interest loan to maximum of \$50 K
- Secured by second mortgage
- Heritage Easement for Loans \$15 K or more



70 James Street South, Hamilton

Thank you!

Questions? Please contact:

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