



HERITAGE PERMIT HP2023-019
32 JOHN ST. E, FLAMBOROUGH
(PED23126)

May 19, 2023

Hamilton Municipal Heritage Committee

HP2023-019: 32 John St. E, Flamborough

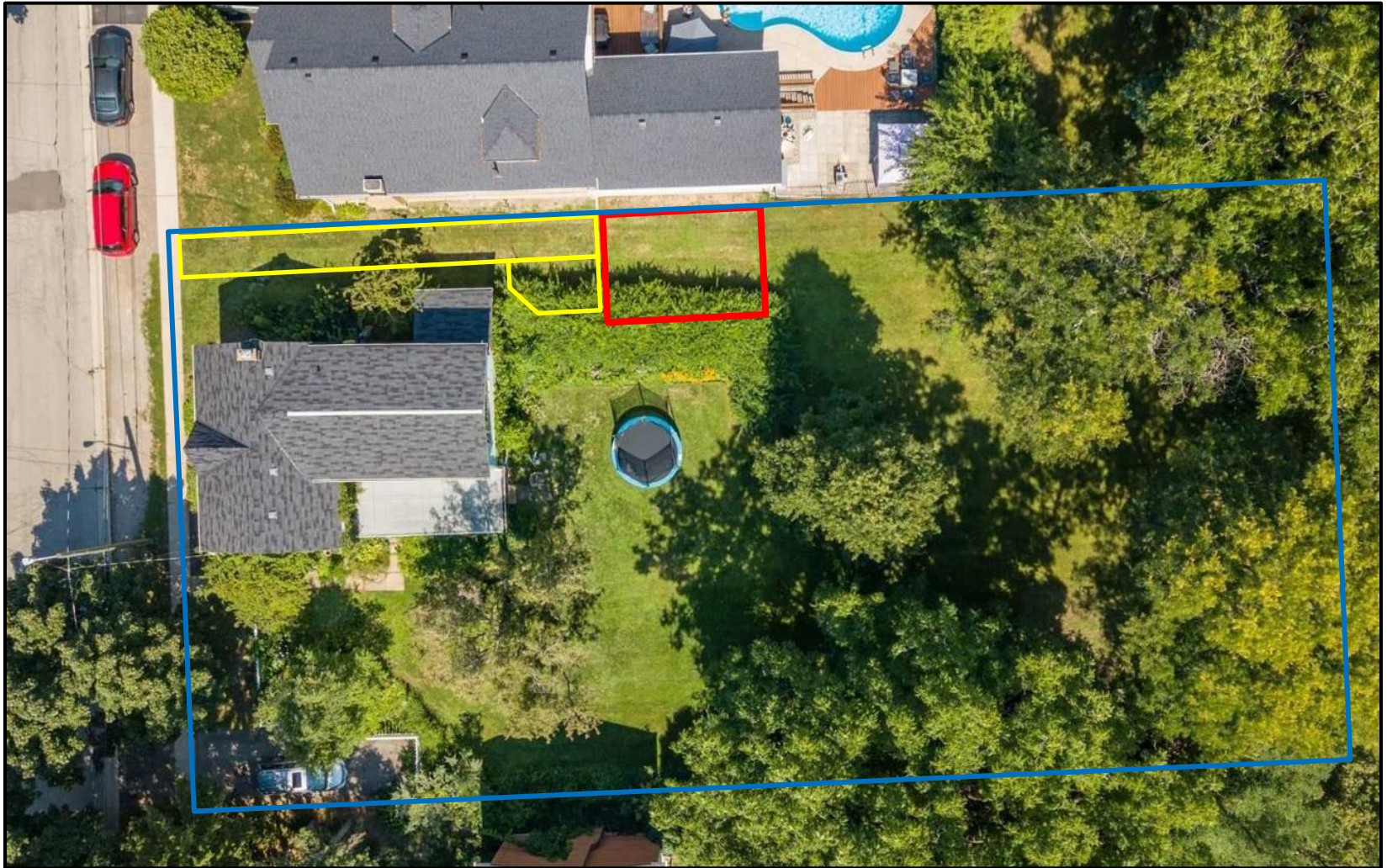


HP2023-019: 32 John St. E, Flamborough

Proposal:

- Construction of a new rear detached accessory structure, including;
 - A front gable roof;
 - Board and batten cladding;
 - A front (north) elevation with two ground-floor garage doors and windows in the second storey; and,
 - Installation of a new gravel driveway along the east side of the property.

HP2023-019: 32 John St. E, Flamborough



HP2023-019: 32 John St. E, Flamborough

Heritage Permit Review Subcommittee (HPRS)

- Reviewed the proposal on its meeting on April 18, 2023
 - HPRS indicated support for the proposed detached dwelling; and
 - HPRS was supportive of the conditions proposed by staff.

HP2023-019: 32 John St. E, Flamborough

Site Plan



HP2023-019:

32 John St. E, Flamborough
Existing Conditions



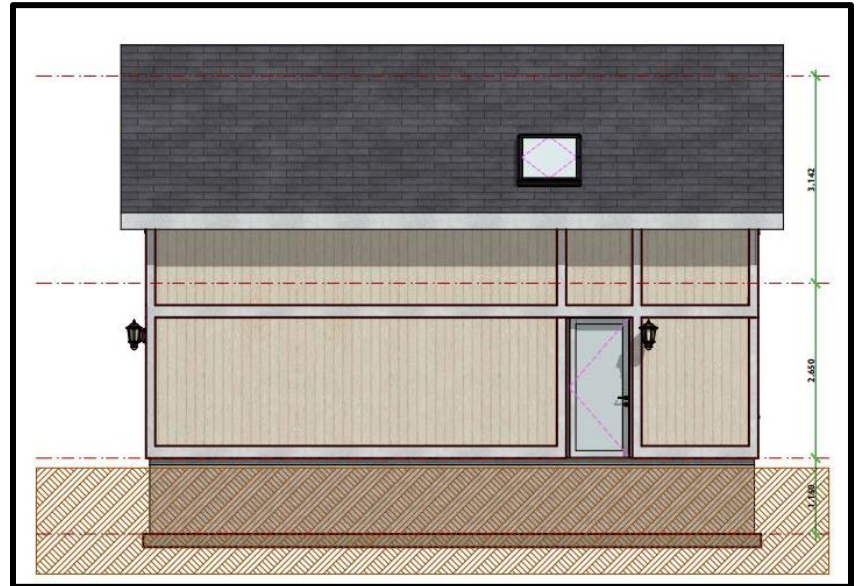
HP2023-019: 32 John St. E, Flamborough Proposed Elevations



HP2023-019: 32 John St. E, Flamborough Proposed Elevations



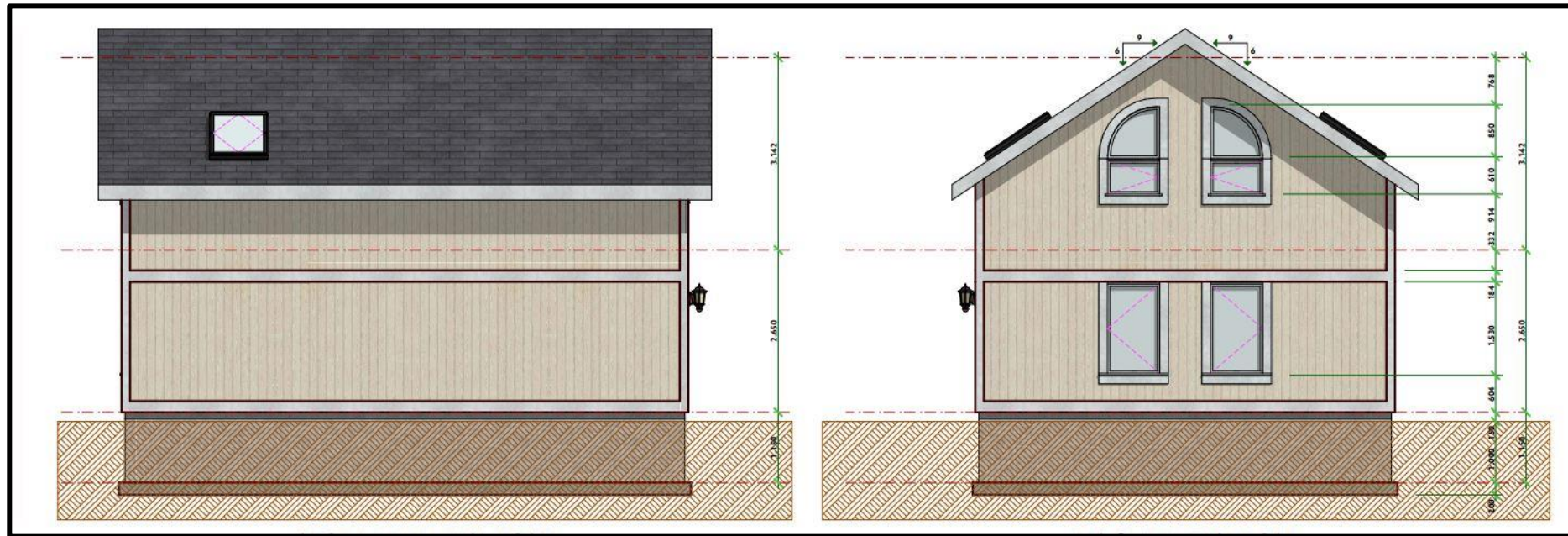
West Elevation



South Elevation

HP2023-019: 32 John St. E, Flamborough

Proposed Elevations



North Elevation

East Elevation

HP2023-019: 32 John St. E, Flamborough

Mill Street Heritage Conservation District Guidelines (Section 4.5):

Policies and Guidelines for New Construction:

- **General:** New structures should look new and not pretend to be historical by replicating or copying older façades
- **Height:** Building height of new structures should maintain the building height of adjacent properties and the immediate streetscape
- **Relationship to the Street:** Ancillary buildings should be located towards the rear of the lot. Garages should not be a dominant element of the main elevation. They are best located to the rear of the building or set back from the principal façade.
- **Roof Forms:** Use of traditional roof forms in new construction is encouraged – flat or shallow pitch roofs are to be avoided in new construction aside from use in discreet locations.
- **Materials and Colours:** Wood or asphalt shingles are appropriate for new construction. Wall materials of new construction should reflect the predominant traditional materials and their respective colours. Windows and doors in the area are predominantly painted wood.

HP2023-019: 32 John St. E, Flamborough

Recommendation:

That the Heritage Permit Application be approved, subject to the approval of any required Planning Act applications and the following conditions:

- That the final details of the windows, garage doors, siding and roofing material be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to installation;
- That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner; and,
- That construction and site alterations, in accordance with this approval, shall be completed no later than June 30, 2026.



Hamilton

THANK YOU