



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>SC/A-23:117</b>	<b>SUBJECT PROPERTY:</b>	147 SLINGER AVENUE, STONEY CREEK
<b>ZONE:</b>	“R2” (Single Residential - Two)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Stoney Creek 3692-92, as Amended

**APPLICANTS:**      **Owner:** KENNETH & PATRICIA ALTENBURG  
                                 **Agent:** LEN ANGELICI DESIGN C/O LEN ANGELICI

The following variances are requested:

1. A minimum side yard of 0.99 metres shall be permitted for a dwelling unit with an attached garage. Instead of the requirement of a minimum 1 metre side yard for a dwelling unit with an attached garage.

**PURPOSE & EFFECT:**      To permit a second storey addition of an existing Single Detached Dwelling.

**Notes:** N/A

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, June 15, 2023</b>
<b>TIME:</b>	<b>10:35 a.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

## SC/A-23:117

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

## FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding SC/A-23:117, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: May 30, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

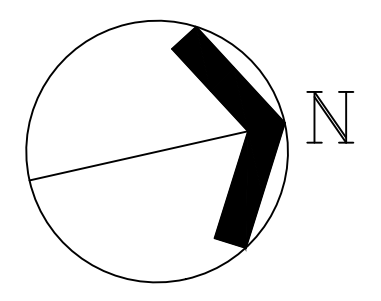
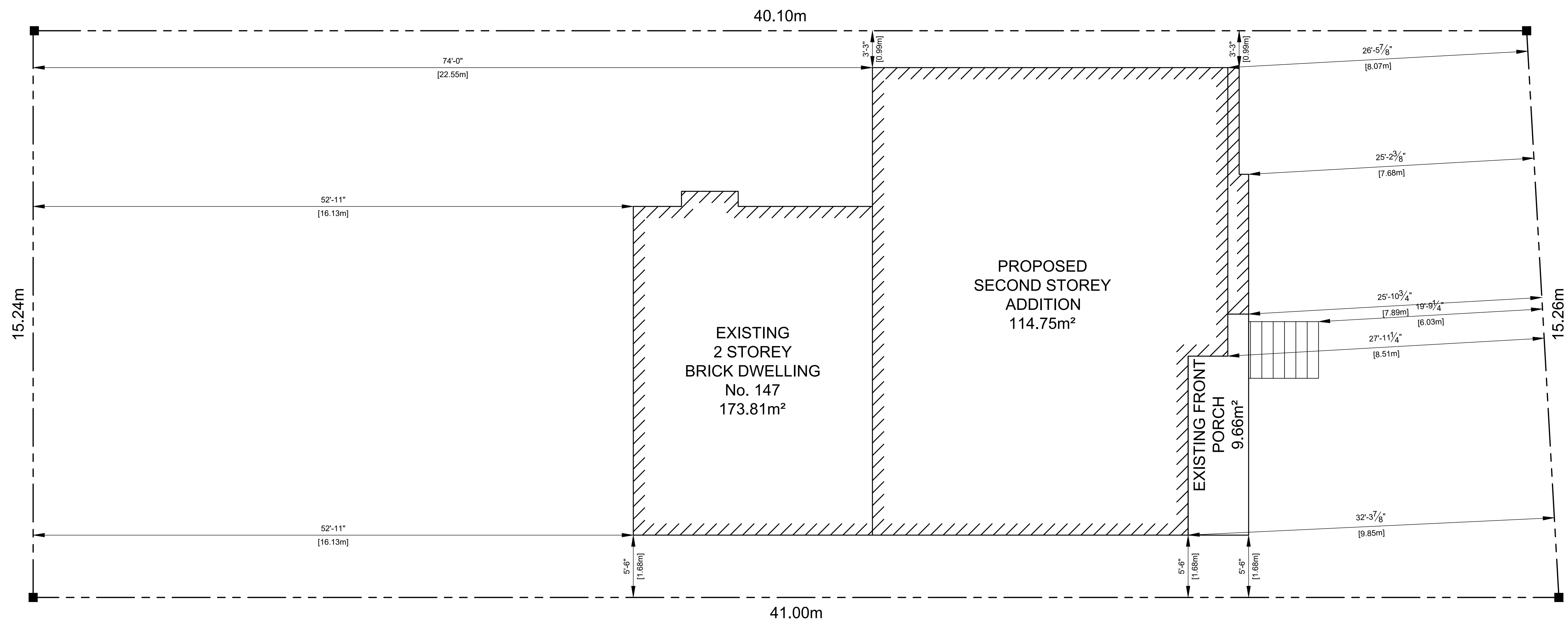
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



SITE DATA	
ZONE:	R2
LOT AREA:	618.27m <sup>2</sup>
EXISTING DWELLING FOOTPRINT:	173.81m <sup>2</sup>
EXISTING FRONT PORCH:	9.66m <sup>2</sup>
PROPOSED ADDITION:	114.75m <sup>2</sup>
LOT COVERAGE:	29.67%
<b>BUILDING HEIGHT</b>	
No. of STOREYS:	2
<b>ADDITION SETBACKS</b>	
FRONT:	8.07m
REAR:	22.55m
LEFT SIDE:	1.68m
RIGHT SIDE:	0.99m

SLINGER AVENUE

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	DRAWINGS FOR VARIANCE	05/02/2023

- ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
- REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
- CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
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- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

**QUALIFICATION INFORMATION**

LEONARD ANGELICI 42391  
NAME BCIN

**REGISTRATION INFORMATION**

LEN ANGELICI DESIGN 124457  
NAME BCIN

05/02/2023  
DATE SIGNATURE

**Len Angelici Design**

270 SHERMAN AVE N, UNIT MILL-125  
HAMILTON, ON L8L 6N4  
(905) 393-8868  
info@lenangelicidesign.ca

PROJECT

PROPOSED RESIDENCE

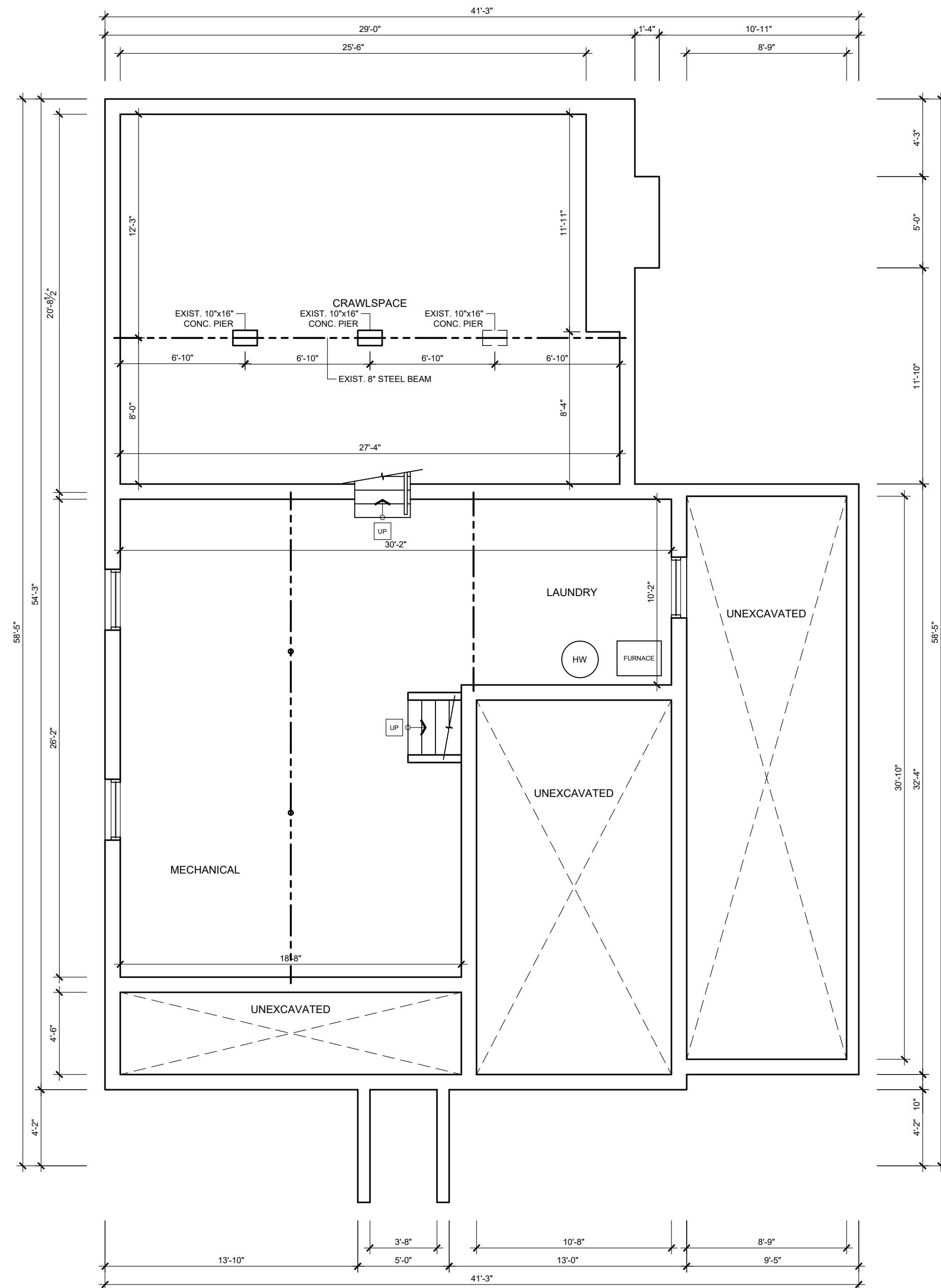
**147 SLINGER AVE.  
STONE CREEK, ON**

SHEET TITLE

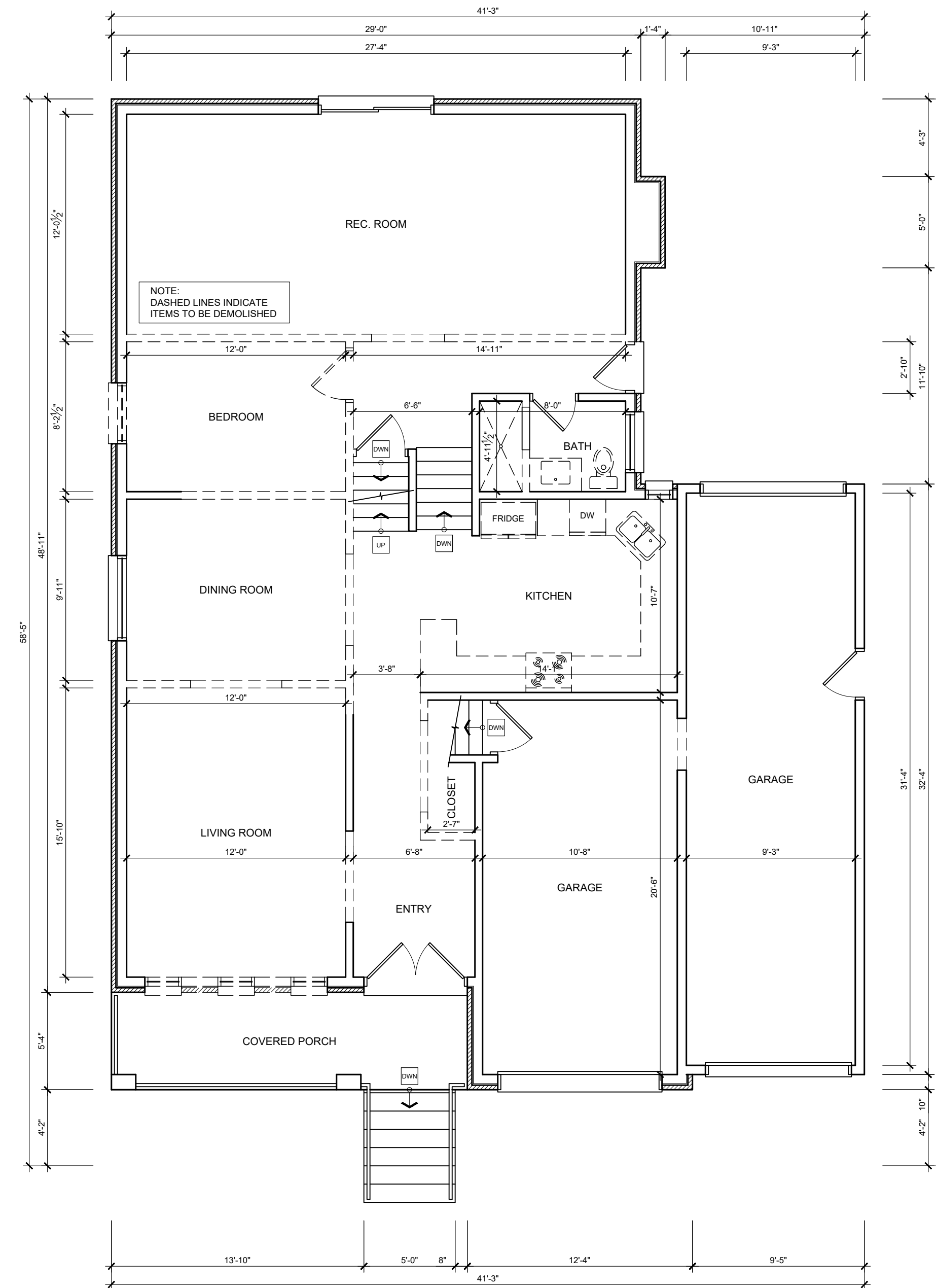
**SITE PLAN**

DRAWN BY	L. ANGELICI
DATE	05/02/2023
SCALE	3/8" = 1'-0"
PROJECT No.	22069

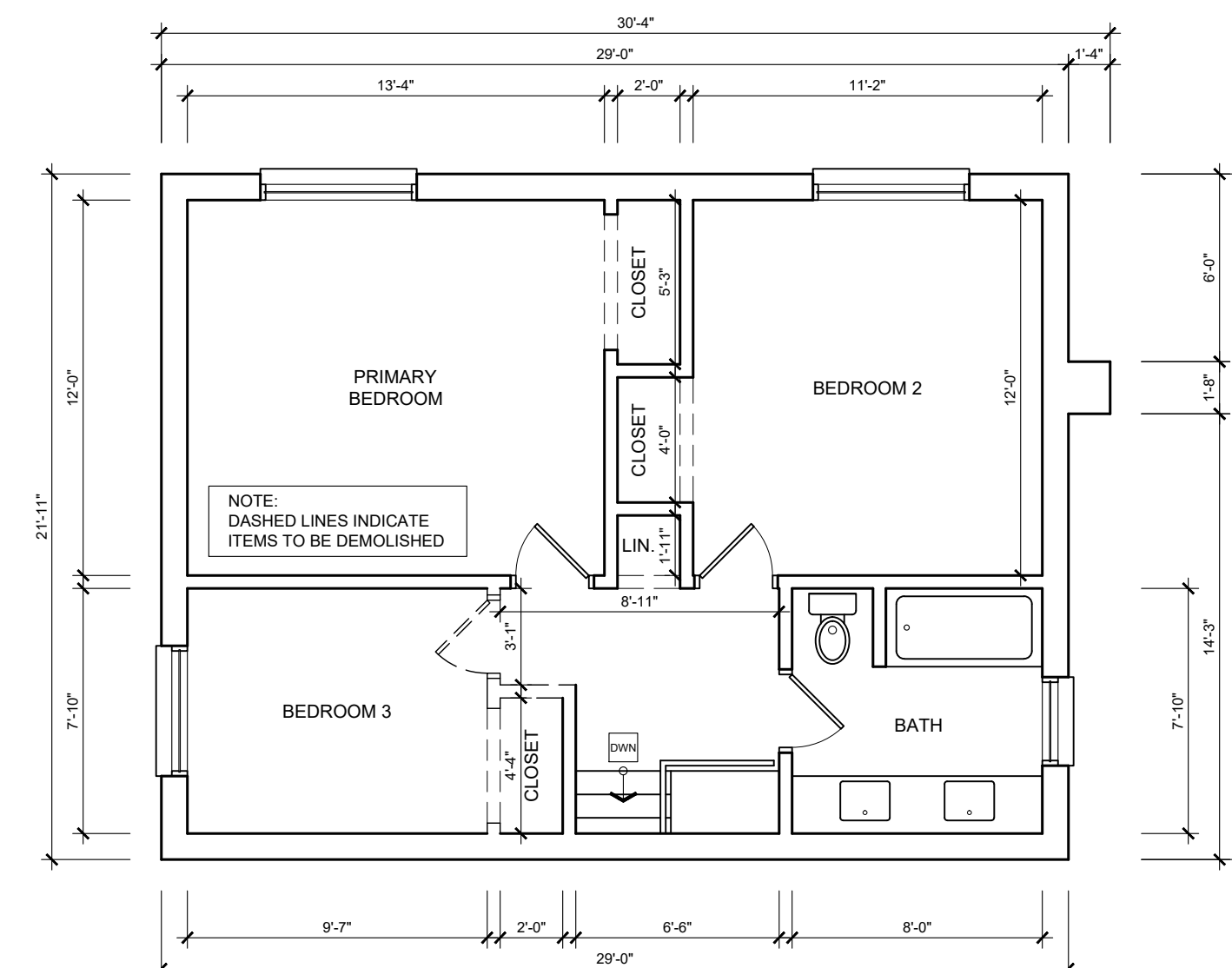
**SP1**



EXISTING BASEMENT PLAN  
SCALE 3/16" = 1' - 0"



EXISTING LOWER AND UPPER MAIN FLOOR PLANS  
SCALE 3/16" = 1' - 0"



EXISTING SECOND FLOOR PLAN  
SCALE 3/16" = 1' - 0"

PROJECT NORTH	TRUE NORTH
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No.	REVISION	DATE
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SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
LEONARD ANGELICI 42391  
NAME BCIN

REGISTRATION INFORMATION  
LEN ANGELICI DESIGN 124457  
NAME BCIN

05/02/2023  
DATE SIGNATURE

**Len Angelici Design**

270 SHERMAN AVE N, UNIT MILL-125  
HAMILTON, ON L8L 6N4  
(905) 393-8868  
info@lenangelicidesign.ca

PROJECT  
PROPOSED RESIDENCE  
147 SLINGER AVE.  
STONE CREEK, ON

SHEET TITLE  
EXISTING FLOOR PLANS

DRAWN BY  
L. ANGELICI  
DATE  
05/02/2023  
SCALE  
3/16" = 1'-0"  
PROJECT No.  
22069

A1

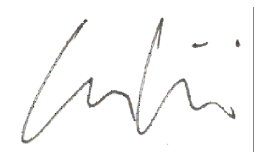
PROJECT NORTH	TRUE NORTH


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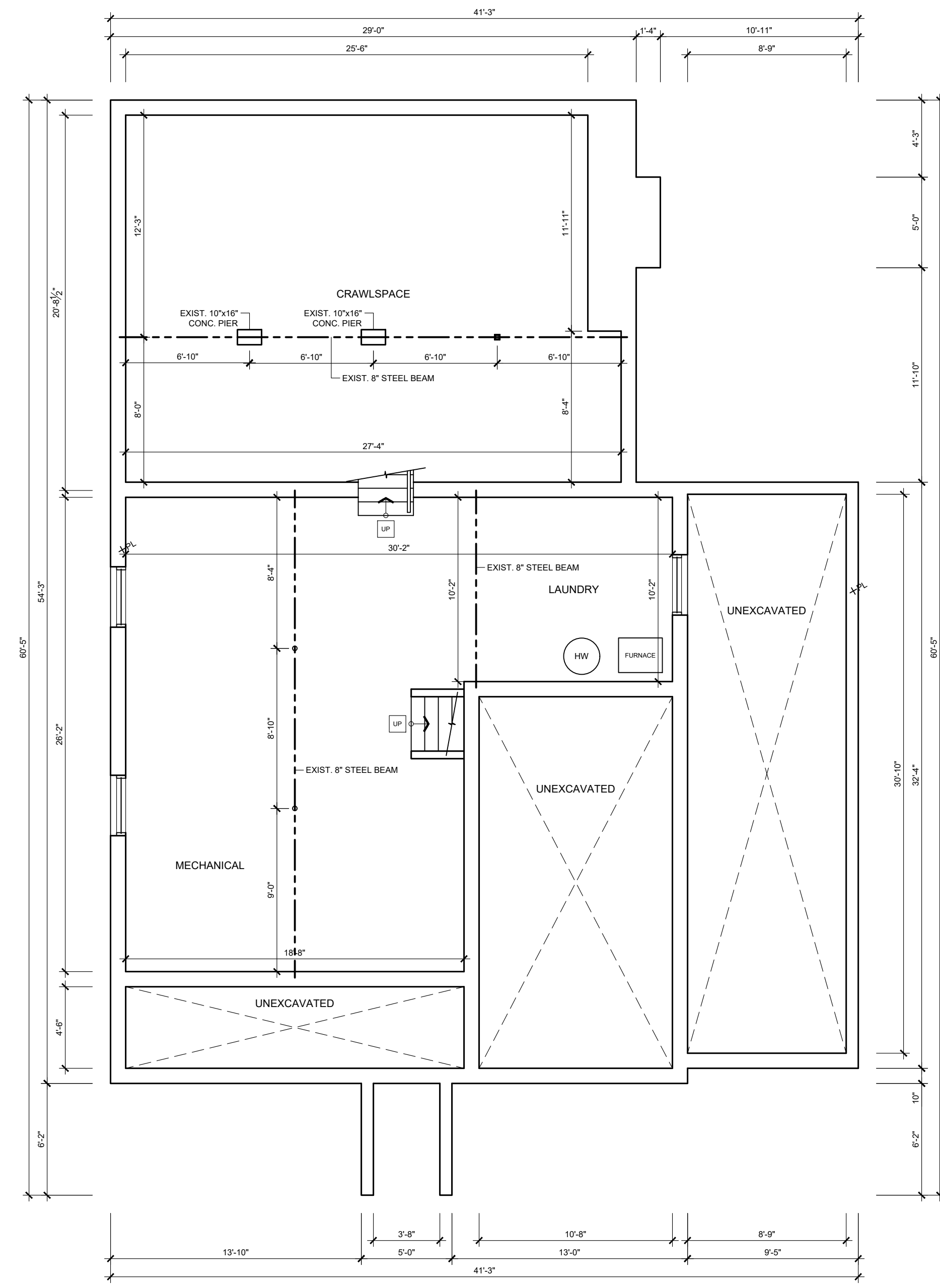
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PROJECT  
PROPOSED RESIDENCE  
**147 SLINGER AVE.  
STONEY CREEK, ON**

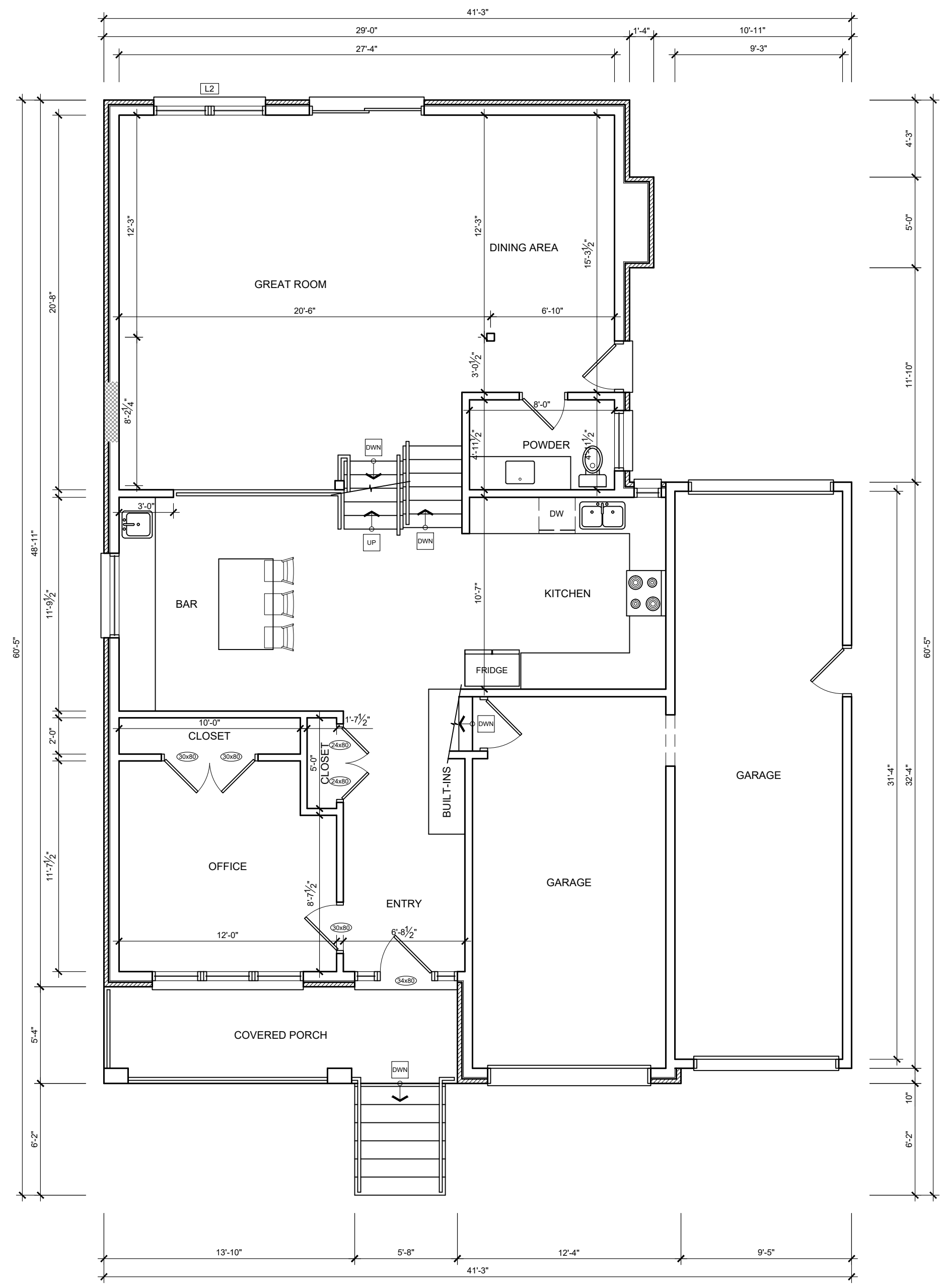
SHEET TITLE  
**PROPOSED FLOOR PLANS**

DRAWN BY	L. ANGELICI
DATE	05/02/2023
SCALE	3/16" = 1'-0"
PROJECT No.	22069

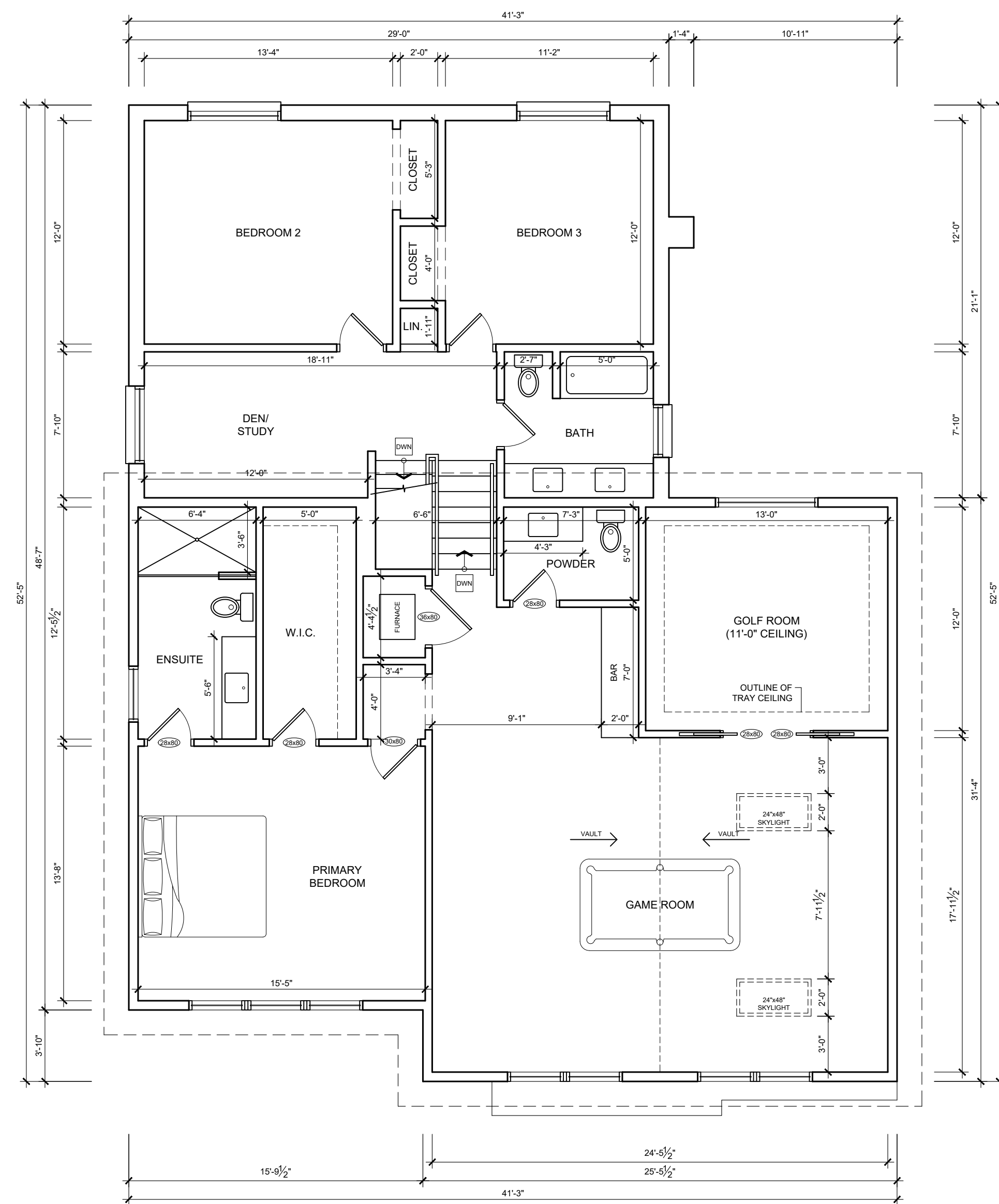
**A2**



PROPOSED BASEMENT PLAN  
SCALE 3/16" = 1' - 0"



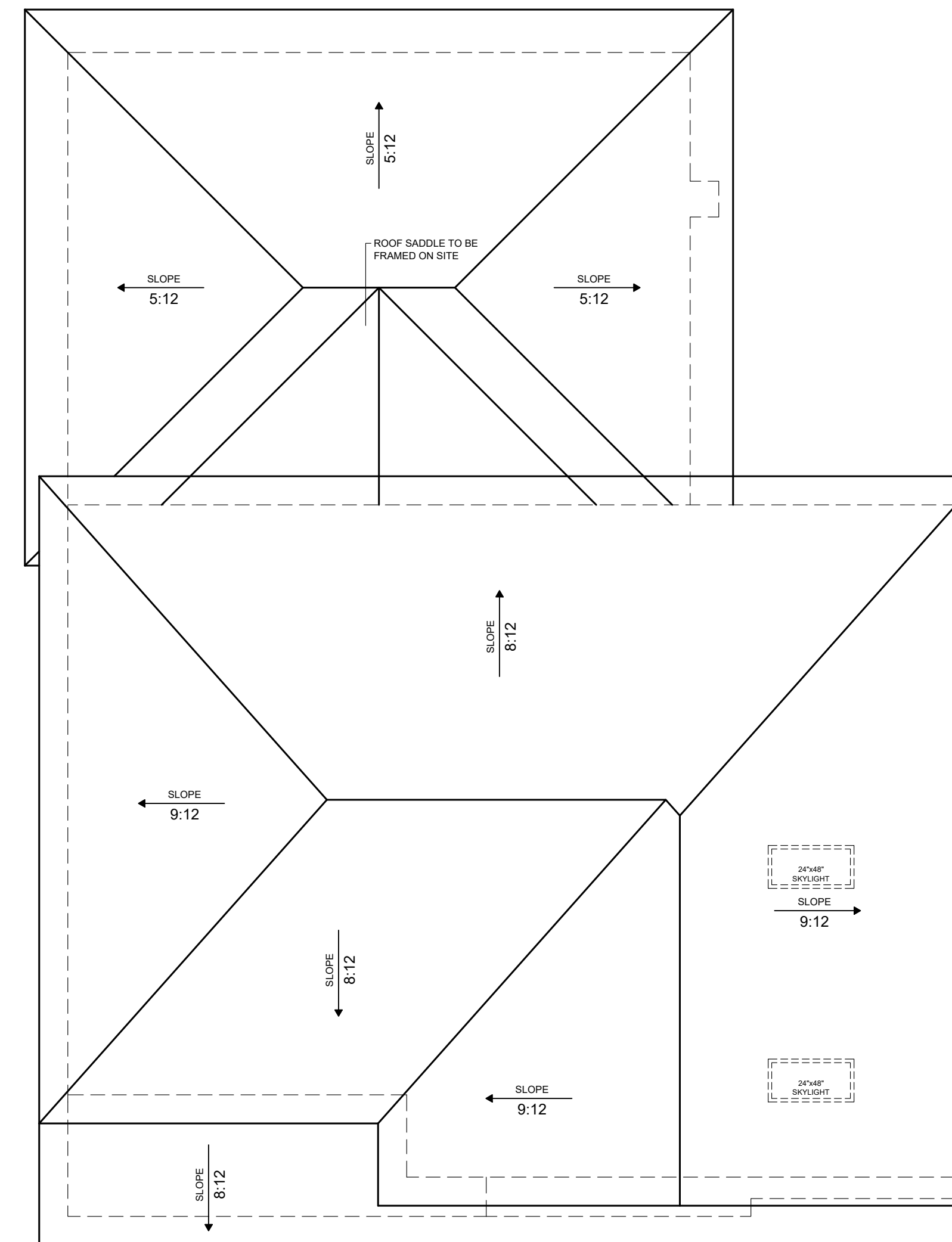
PROPOSED LOWER AND UPPER MAIN FLOOR PLANS  
SCALE 3/16" = 1' - 0"



PROPOSED LOWER & UPPER SECOND FLOOR PLAN

SCALE 3/16" = 1' - 0"

FLOOR AREA: 1219.13ft<sup>2</sup>



PROPOSED ROOF PLAN

SCALE 3/16" = 1' - 0"

PROJECT NORTH	TRUE NORTH


01.	DRAWINGS FOR VARIANCE	05/02/2023
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NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	124457
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**Len Angelici Design**

270 SHERMAN AVE N, UNIT MILL-125  
HAMILTON, ON L8L 6N4  
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info@lenangelicidesign.ca

PROJECT  
PROPOSED RESIDENCE  
147 SLINGER AVE.  
STONE CREEK, ON

SHEET TITLE  
PROPOSED SECOND FLOOR & ROOF PLANS

DRAWN BY	L. ANGELICI
DATE	05/02/2023
SCALE	3/16" = 1'-0"
PROJECT No.	22069

A3



PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
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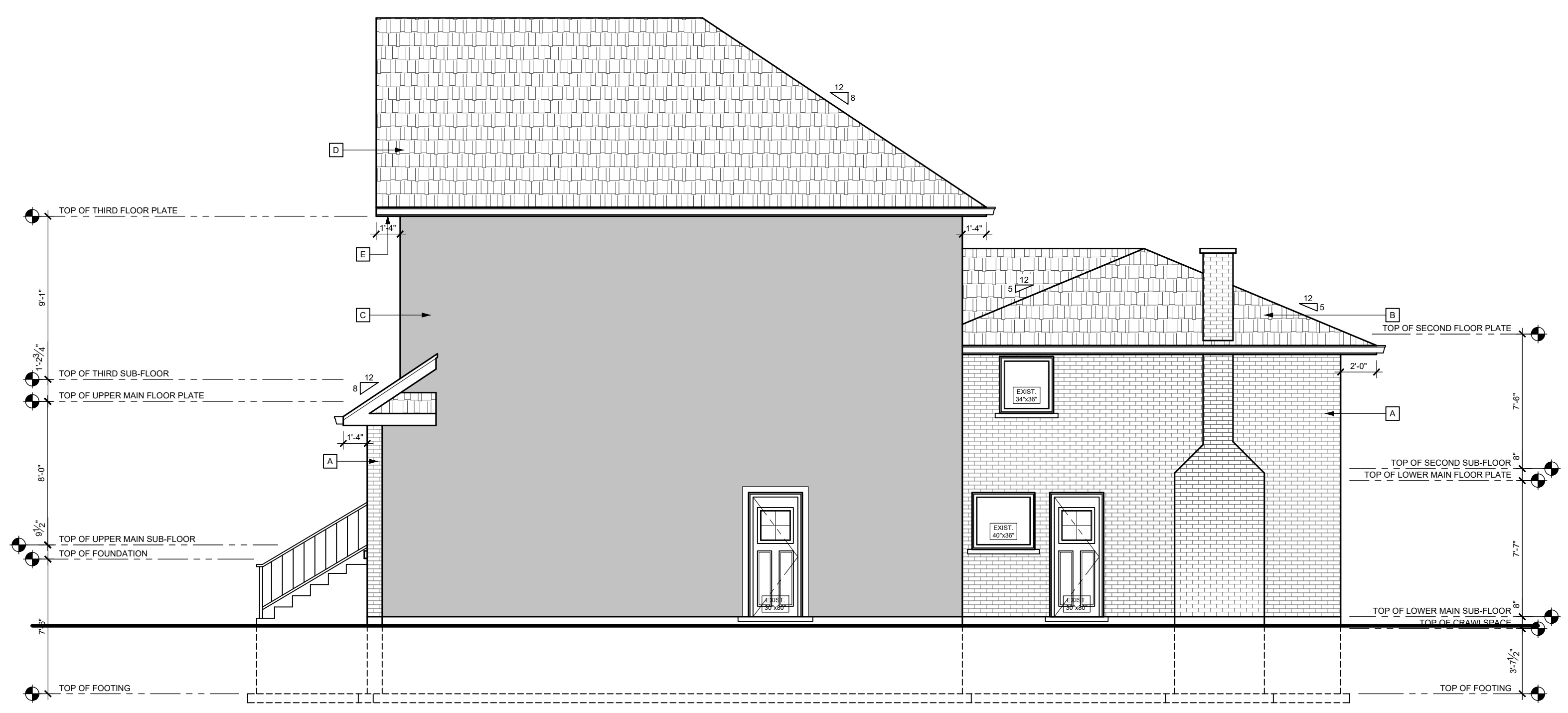
PROJECT  
 PROPOSED RESIDENCE  
 147 SLINGER AVE.  
 STONEY CREEK, ON

SHEET TITLE  
 PROPOSED ELEVATIONS

DRAWN BY	L. ANGELICI
DATE	05/02/2023
SCALE	3/16" = 1'-0"
PROJECT No.	22069



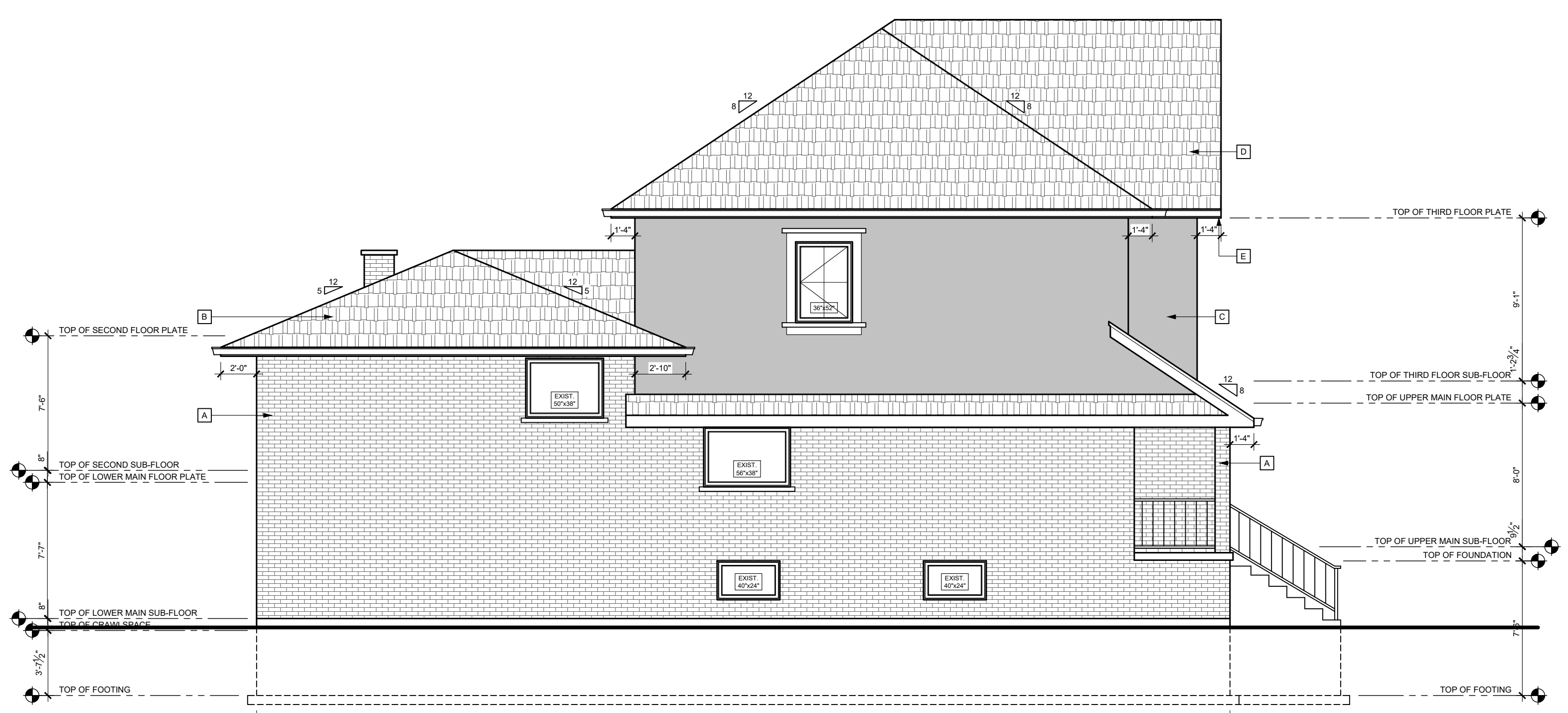
FRONT ELEVATION  
 SCALE 3/16" = 1' - 0"



RIGHT SIDE ELEVATION  
 SCALE 3/16" = 1' - 0"



REAR ELEVATION  
 SCALE 3/16" = 1' - 0"



LEFT SIDE ELEVATION  
 SCALE 3/16" = 1' - 0"

WALL AREA: 92.65m<sup>2</sup>  
 WALL SETBACK: 1.68m  
 UNPROTECTED OPENINGS AREA: 4.07m<sup>2</sup> = 4.39%  
 MAXIMUM ALLOWABLE OPENINGS: 6%

EXTERIOR FINISH INDEX

A	EXISTING BRICK VENEER
B	EXISTING ASPHALT SHINGLES
C	STUCCO FINISH
D	NEW ASPHALT SHINGLES
E	5" PRE-FIN. ALUM. EAVENTROUGH ON 8" WITH PRE-FIN. ALUM. FASCIA C/W PRE-FIN. ALUM. DOWNSPOUT

A4



Hamilton

Committee of Adjustment

City Hall, 5<sup>th</sup> Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

Table with columns: NAME, MAILING ADDRESS, and contact information (Phone, E-mail) for Registered Owners(s), Applicant(s), and Agent or Solicitor.

1.2 All correspondence should be sent to [checkbox] Purchaser [checkbox] Owner [checkbox] Applicant [checkbox] Agent/Solicitor

1.3 Sign should be sent to [checkbox] Purchaser [checkbox] Applicant [checkbox] Owner [checkbox] AgentSolicitor

1.4 Request for digital copy of sign [checkbox] Yes\* [checkbox] No

If YES, provide email address where sign is to be sent [redacted]

1.5 All correspondence may be sent by email [checkbox] Yes\* [checkbox] No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	147 SLINGER AVE, STONEY CREEK, ON		
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

RELIEF FROM REQUIRED RIGHT SIDE SETBACK OF 1.25m TO PROPOSED 0.99m

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

PROPOSED ADDITION IS TO BE BUILT OVER EXISTING GARAGE WALL WHICH HAS A SETBACK OF 0.99m

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.26m	41.00m	618.27m <sup>2</sup>	N/A

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
DWELLING	7.68m	16.13m	1.68m, 0.99m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2ND STOREY ADDITION	8.07m	22.55m	1.68m, 0.99m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
DWELLING	122.28m <sup>2</sup>	181.53m <sup>2</sup>	2	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2ND STOREY ADDITION		113.26m <sup>2</sup>		10.32m

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year \_\_\_\_\_

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SINGLE FAMILY DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE FAMILY DWELLINGS

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

N/A

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE FAMILY DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE FAMILY DWELLING

7.4 Length of time the existing uses of the subject property have continued:

SINCE CONSTRUCTION

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R2

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: \_\_\_\_\_

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes  No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes  No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

## **8 ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
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